

ITEM #: 6.14

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A279/22
3201 Hwy 7, Vaughan**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X			Application Under Review
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X			No Comments Recieved to Date
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X	X		General Comments
Region of York *Schedule B	X			No Comments Recieved to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Planning Justification Report

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A136/18	06/19/2019	Approved by COA

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

A064/05	03/31/2005	Approved by COA
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A279/22
3201 Hwy 7, Vaughan**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.14	CITY WARD #: 4
APPLICANT:	VMC GP INC.
AGENT:	Malone Given Parsons Ltd.
PROPERTY:	3201 Hwy 7, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	"Station Precinct", Volume 2, Section 11.8, Vaughan Metropolitan Centre ('VMC') Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.17.015
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit reducing parking requirements to facilitate the construction of a mixed-use development and to facilitate related site development application DA.17.015.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned C9 Corporate Centre and subject to the provisions of Exception 9(957) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
#16 (as identified on the related Zoning Report)	<p>A minimum parking requirement as follows is required:</p> <p>Apartment Dwelling: Bachelor/1 Bedroom 0.7/unit</p> <p style="padding-left: 150px;">2 Bedrooms 0.9/unit</p> <p style="padding-left: 150px;">3 Bedrooms 1.0/unit</p> <p>1844 Units required a minimum of 1429 parking spaces;</p> <p>1844 Units required a minimum of 277 visitor parking spaces;</p> <p>788 sqm of retail G.F.A requires a minimum of 16 parking spaces;</p> <p>4973.3 sqm of Office G.F.A requires a minimum of 75 parking spaces.</p> <p>Applying Parking Standards for Mixed-Use Development in the Vaughan Metropolitan Centre; Section 3.8.1 c)</p> <p>A minimum of 307 shared parking spaces would be required for Residential Visitors, Retail and Office Uses.</p> <p>Thus, 1429 Residential Parking Spaces would be required and 307 shared parking spaces for</p>	<p>To permit a residential parking ratio of 0.25 spaces per all types of units based on 1844 units to provide 461 parking spaces.</p> <p>To permit a minimum of 286 Shared parking spaces for Mixed Use Development in the Vaughan Metropolitan Centre</p> <p>Thus, a minimum of 461 residential parking spaces will be provided, and a of 286 shared parking spaces will be provided for a total of 747 parking spaces for the site.</p>

Zoning By-law 1-88	Variance requested
a total of 1736 Parking spaces under this Section.	

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 25, 2022
Date Applicant Confirmed Posting of Sign:	November 25, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The Zoning By-law requires a higher residential parking rate that is not conducive to the proposed development or the achievement of transit-supportive communities.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	While the Zoning Review Report attached to Schedule B indicates 17 variances and requests additional information, the applicant confirmed that the only variance being requested at this time is Variance #16 as identified in the Zoning Review Report.

COMMITTEE OF ADJUSTMENT COMMENTS

	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	Application under review.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As stated in item #16 of the zoning report dated November 23rd, 2022, The Applicant is requesting the following variance:

To permit the reduction of required residential parking spaces from 0.4 parking spaces per residential unit minimum to 0.25 parking spaces per residential unit (461 spaces based on 1,844 residential units)

Based on the justification provided by BA Group Transportation Impact Study dated Sept, 23, 2022 and MPA Planning Opinion Letter dated Oct 4, 2022, staff is satisfied that the proposed residential rate of 0.25 per unit will be adequate to support the needs of the development and contribute to the advancement of a transit-oriented downtown community. The proposed rate is also in alignment with other similar mixed-use developments in the area.

On November 23rd, 2022, The Applicant requested on their Zoning Acknowledgment Form that they are only interested in pursuing approval for item #16. Based off this, Development Engineering is supportive of Item #16 in the Minor Variance application A279/22 and will review all other identified Variances in a future application.

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall obtain approval for the related Site Development Application (DA.17.015) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.	
PFH Recommended Conditions of Approval:	N/A

DEVELOPMENT FINANCE COMMENTS

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.	
BCLPS Recommended Conditions of Approval:	N/A

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	N/A

FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:

N/A

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	Application under review.
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.17.015) from the Development Engineering (DE) Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

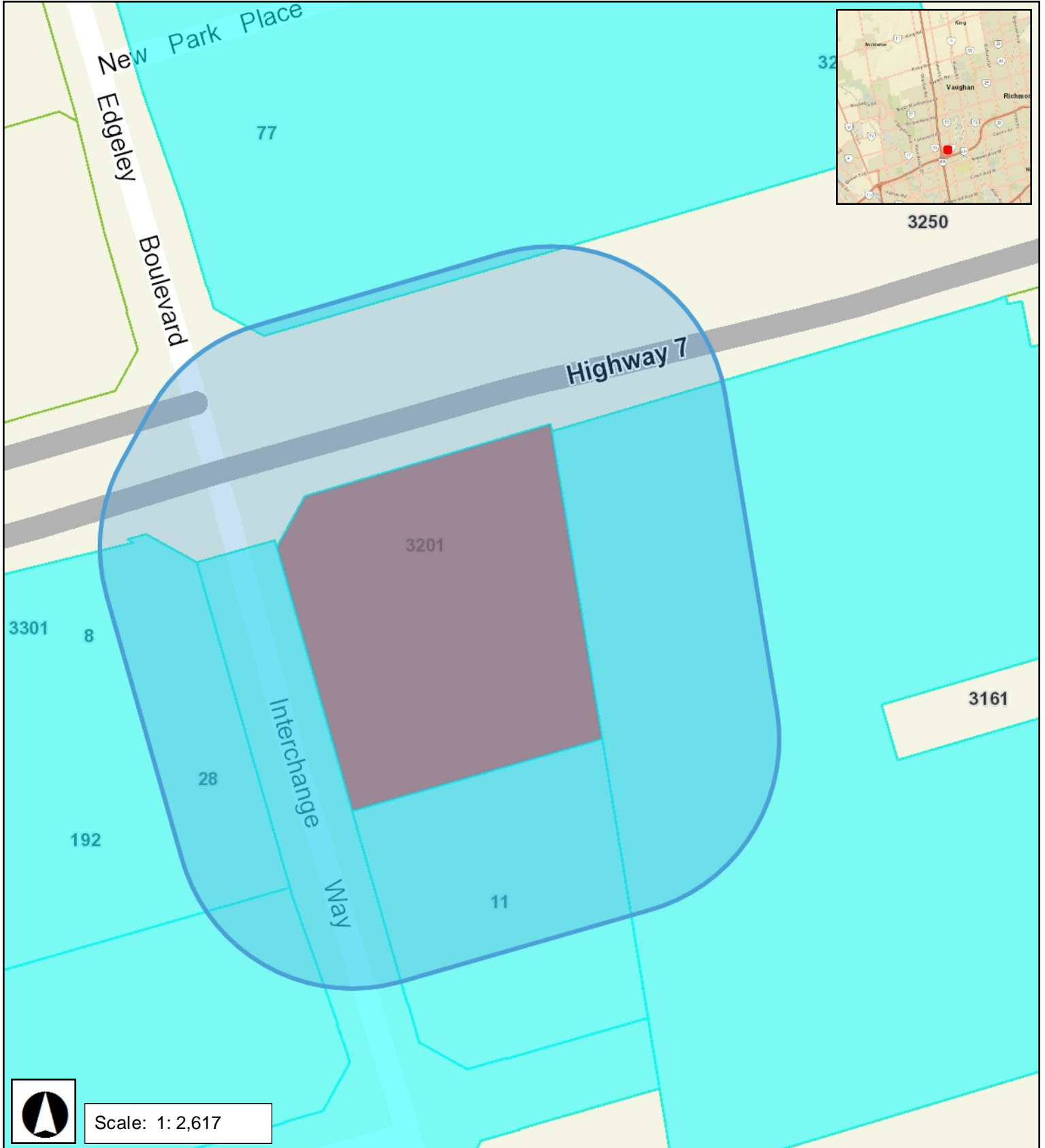
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

IMPORTANT INFORMATION – PLEASE READ

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Scale: 1: 2,617

VAUGHAN
SITE STATISTICS AND DEVELOPMENT DATA
SITE AREA = 11,591m²

HEIGHT	
EXCLUSIVE OF ANY ACCESSORY ROOF CONSTRUCTION SUCH AS CHIMNEY, STEEPLE, ELEVATOR, MECHANICAL ROOM, TELEVISION ANTENNA, PARAPETS AND ARCHITECTURAL FEATURES, WINDOW WASHING EQUIPMENT.	
AVERAGE ELEV. OF FINISHED GRADE: EAST TOWER (46 STOREYS)	202.21 m ABOVE SEA LEVEL
AVERAGE ELEV. OF FINISHED GRADE: WEST TOWER (55 STOREYS)	202.21 m ABOVE SEA LEVEL
AVERAGE ELEV. OF FINISHED GRADE: SOUTH TOWER (40 STOREYS)	200.63 m ABOVE SEA LEVEL
TOP of EAST TOWER (46 STOREYS)	142.58m
TOP of WEST TOWER (55 STOREYS)	169.43 m
TOP of SOUTH TOWER (40 STOREYS)	131.22 m
TOP of EAST TOWER (46 STOREYS)	202.21m + 142.58m = 344.79 m ABOVE SEA LEVEL
TOP of WEST TOWER (55 STOREYS)	202.21m + 169.43 m = 371.64 m ABOVE SEA LEVEL
TOP of SOUTH TOWER (40 STOREYS)	200.63m + 131.22 = 331.85 m ABOVE SEA LEVEL

RESIDENTIAL GFA CALCULATION				
	WEST TOWER	EAST TOWER	SOUTH TOWER	TOTAL
GF GFA	1295.9m ²	1450.3m ²	862.5m ²	3,608.7m ²
MEZZANINE GFA	1385.9m ²	1246.5m ²	423.50m ²	3,055.9m ²
2nd FLOOR GFA	1205.1m ²	1401.0m ²	474.90m ²	3,081.0m ²
3rd FLOOR GFA	1165.0m ²	1165.0m ²	47.10m ²	2,377.1m ²
4th FLOOR GFA	1165.0m ²	1165.0m ²	850.0m ²	3,180.0m ²
5th FLOOR GFA	1165.0m ²	1165.0m ²	850.0m ²	3,180.0m ²
TYPICAL FLOOR GFA	843.60 m ² x 50 FLOORS = 42,180m ²	843.60 m ² x 41 FLOORS = 34,587.6m ²	850.00 m ² x 35 FLOORS = 29,750m ²	106,517.6 m ²
TOTAL RESIDENTIAL GFA	49,561.9m²	42,180.4m²	33,258.0m²	125,000.3
AMENITY - INDOOR				
GF	73.7m ²	73.7m ²	167.1m ²	314.5m ²
2nd FLOOR	1,125.0m ²	974.2 m ²	273.7m ²	2,373.0m ²
4th FLOOR	0	0	54m ²	54m ²
TOTAL INDOOR				2,741.50 m²
AMENITY - OUTDOOR				
	557m ²	742m ²	232m ²	1,531m ²
RESIDENTIAL GFA (INCLUDING INDOOR AMENITY AREA AND EXCLUDING MPH)				125,000.3m²
MPH AREA				2,537.2m²
RETAIL GFA				788.9m²
TOTAL GFA AT GROUND FLOOR (NORTH BUILDING) = 3,535 m ²				RETAIL AREA IS 22%
TOTAL OFFICE GFA (EXCLUDING MPH)				4,973.3m²
TOTAL GFA OF SOUTH BUILDINGS = 33,258.0m ²				OFFICE AREA IS 13.1%

4th FLOOR	0	0	54m ²	54m ²
TOTAL INDOOR				2,741.50 m²

AMENITY - OUTDOOR				
	557m ²	742m ²	232m ²	1,531m ²

RESIDENTIAL GFA (INCLUDING INDOOR AMENITY AREA AND EXCLUDING MPH)				125,000.3m²
MPH AREA				2,537.2m²

RETAIL GFA		788.9m²
TOTAL GFA AT GROUND FLOOR (NORTH BUILDING) = 3,535 m ²		RETAIL AREA IS 22%
TOTAL OFFICE GFA (EXCLUDING MPH)		4,973.3m²
TOTAL GFA OF SOUTH BUILDINGS = 33,258.0m ²		OFFICE AREA IS 13.1%

TOTAL PROJECT GFA (INCLUDES RESIDENTIAL GFA, OFFICE GFA, RETAIL GFA AND EXCLUDING MPH AREA) = 130,782.4m²

FSI (GFA/SITE AREA)					
RESIDENTIAL UNITS					
	STUDIOS	1BR	2BR	3BR	TOTAL
WEST TOWER	212	247	209	54	722
EAST TOWER	132	280	167	46	605
SOUTH TOWER	111	259	110	37	517
GRAND TOTAL	455	786	486	137	1,844

PARKING SPACE COUNTS	
P3 =228	
P2 =294	
P1 =220	

TOTAL PARKING SPACES = 747 SPACES	
BICYCLE PARKING SPACE COUNTS	
10 SPACES	SHORT TERM OFFICE
10 SPACES	LONG TERM OFFICE
116 SPACES	SHORT TERM RESIDENTIAL
922 SPACES	LONG TERM RESIDENTIAL
6 SPACES	SHORT TERM COMMERCIAL
1 SPACES	LONG TERM COMMERCIAL
132 SPACES	TOTAL SHORT TERM
933 SPACES	TOTAL LONG TERM

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

Plans provided as excerpts from DA.17.015 related to Minor Variance Application A279/22

A279/22

ZONING BYLAW 1-88 RELIEF REQUESTED#16

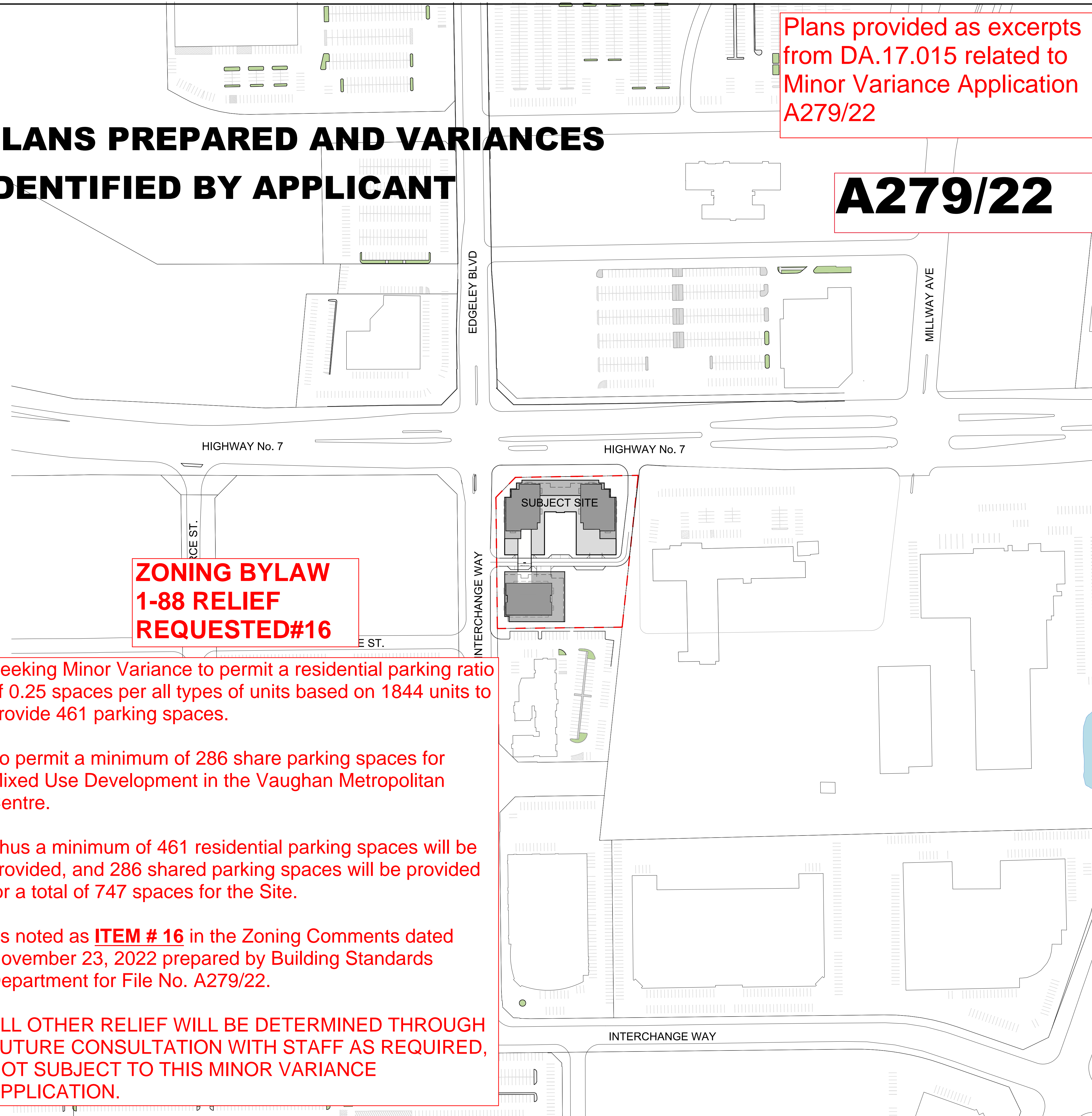
Seeking Minor Variance to permit a residential parking ratio of 0.25 spaces per all types of units based on 1844 units to provide 461 parking spaces.

To permit a minimum of 286 share parking spaces for Mixed Use Development in the Vaughan Metropolitan Centre.

Thus a minimum of 461 residential parking spaces will be provided, and 286 shared parking spaces will be provided for a total of 747 spaces for the Site.

As noted as **ITEM # 16** in the Zoning Comments dated November 23, 2022 prepared by Building Standards Department for File No. A279/22.

ALL OTHER RELIEF WILL BE DETERMINED THROUGH FUTURE CONSULTATION WITH STAFF AS REQUIRED, NOT SUBJECT TO THIS MINOR VARIANCE APPLICATION.



CLIENT
VMC Condos LP

COPYRIGHT
This drawing has been prepared solely for the intended use. Any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.
IBI Group Architects (Canada) Inc.
is a member of the IBI Group of companies.

ISSUES		
No.	DESCRIPTION	DATE
1.	ISSUED FOR SPA	16-12-2021
2.	RE-ISSUED FOR SPA	16-02-2022
3.	RE-ISSUED FOR SPA	21-09-2022

CONSULTANTS

SEAL

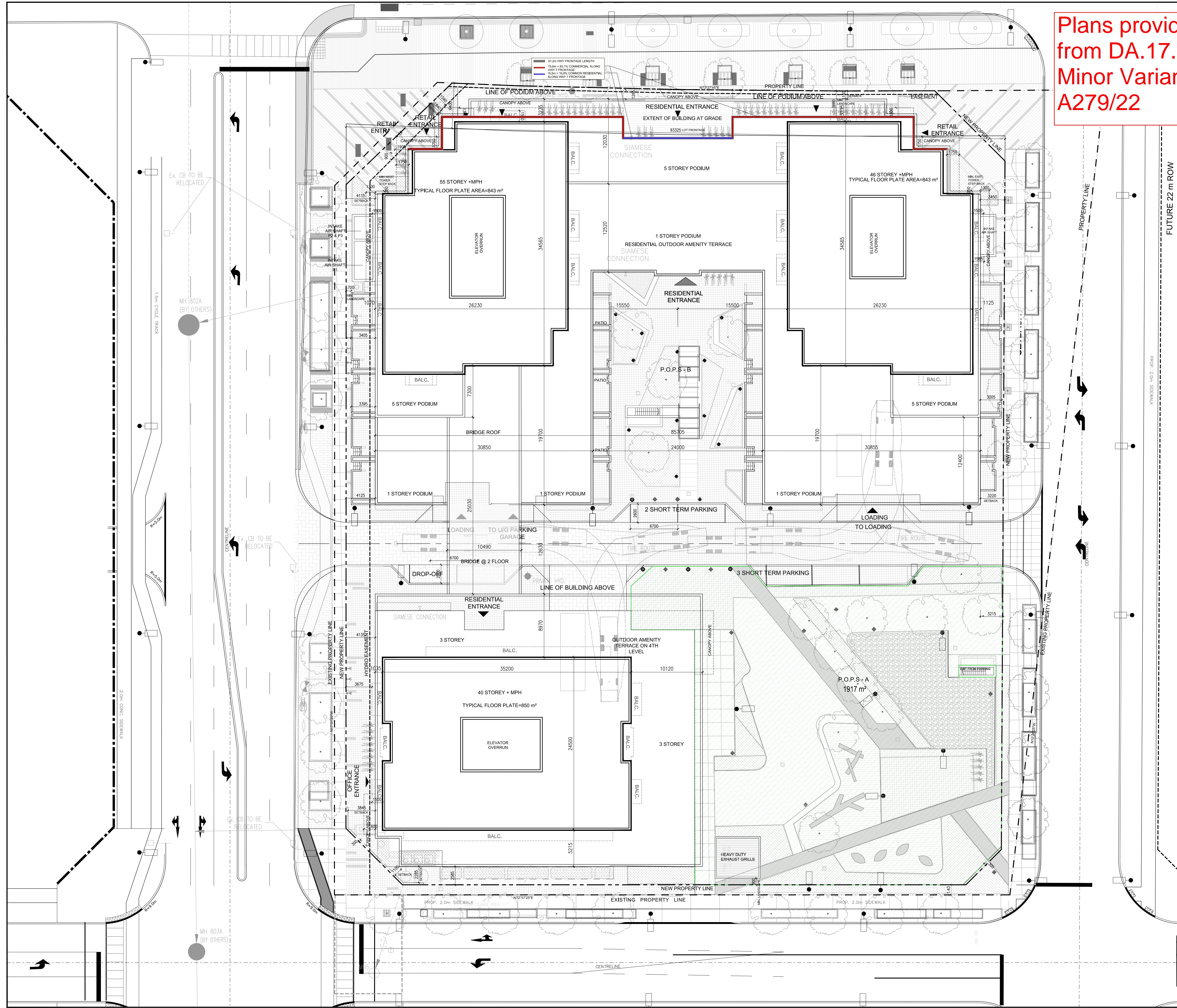


PRIME CONSULTANT
IBI GROUP
7th Floor - 55 St. Clair Avenue West
Toronto ON M4V 2Y7 Canada
tel 416 596 1930 fax 416 596 0644
ibigroup.com

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE	SCALE
CONTEXT PLAN & STATISTICS	1:1500
	DATE SEP 21, 2022
SHEET NUMBER	ISSUE
A.001	



Plans provided as excerpts from DA.17.015 related to Minor Variance Application A279/22

ALL FUTURE RELIEF AS REQUIRED WILL BE DETERMINED UPON CONSULTATION WITH STAFF, PLAN INCLUDED FOR CONTEXT PURPOSES ONLY.

A279/22

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

CLIENT VMC Condos LP		
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ISSUES		
No.	DESCRIPTION	DATE
1.	ISSUED FOR SPA	16-12-2021
2.	RE-ISSUED FOR SPA	16-02-2022
3.	RE-ISSUED FOR SPA	21-09-2022
CONSULTANTS		
SEAL		
PRIME CONSULTANT IBI GROUP 7th Floor - 55 St. Clair Avenue West Toronto ON M4V 2T7 Canada tel 416 596 1930 fax 416 596 0644 ibigroup.com		
PROJECT MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)		
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
SITE PLAN - ULTIMATE	1:250	
	DATE SEP 21, 2022	
SHEET NUMBER	ISSUE	
A.100A		

Plans provided as excerpts from DA.17.015 related to Minor Variance Application A279/22

ZONING BYLAW 1-88 RELIEF REQUESTED#16

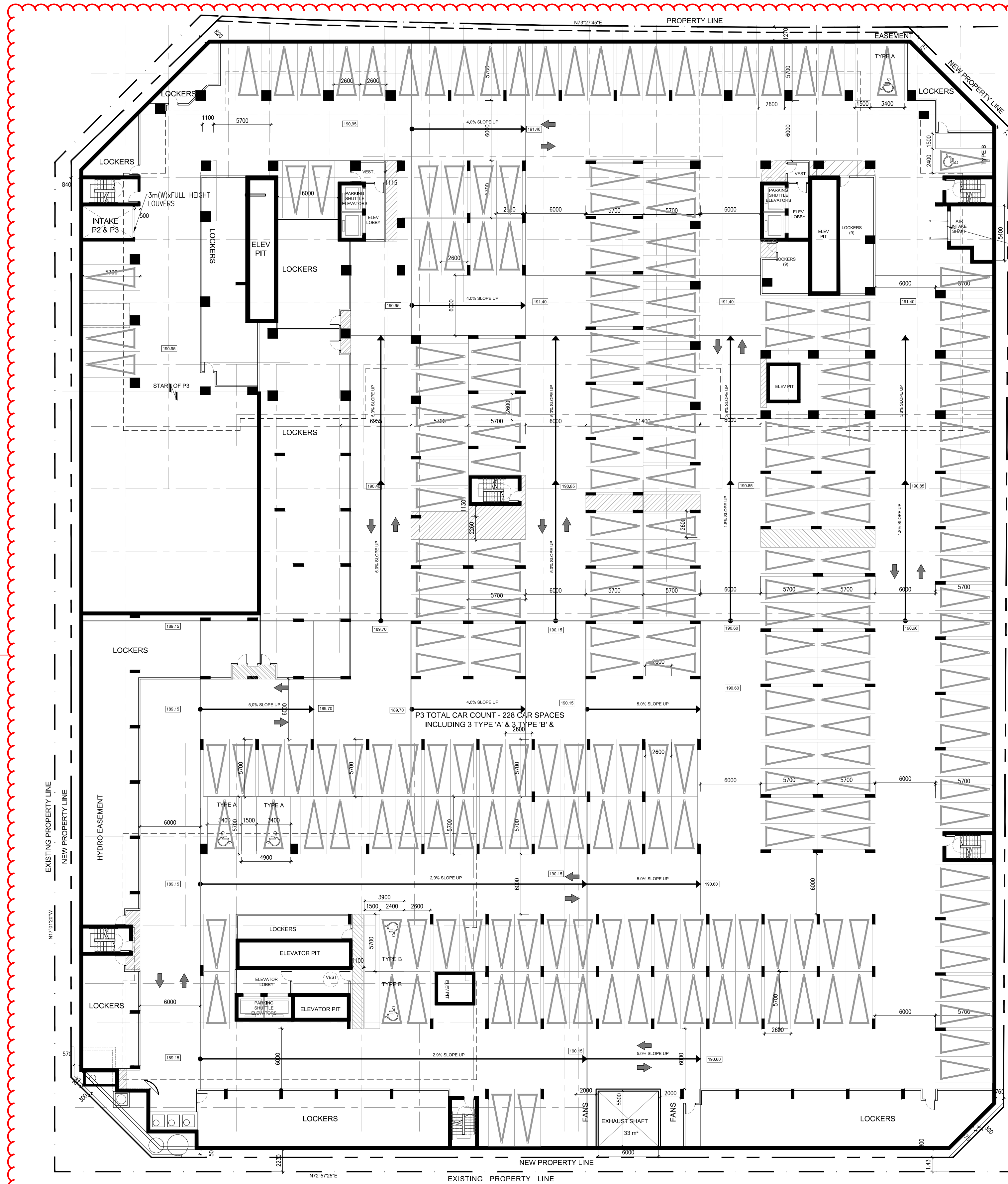
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A279/22

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CLIENT VMC Condos LP		
COPYRIGHT This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general performance before proceeding with fabrication.		
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2.	RE-ISSUED FOR SPA	16-02-2022
3.	RE-ISSUED FOR SPA	21-09-2022
CONSULTANTS		



PRIME CONSULTANT
IBI GROUP
 7th Floor - 55 St. Clair Avenue West
 Toronto ON M4V 2T7 Canada
 tel 416 596 1930 fax 416 596 0644
 ibigroup.com

PROJECT
 MIXED USE DEVELOPMENT AT
 HIGHWAY 7 AND INTERCHANGE WAY
 (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE	SCALE
P3 PARKING LEVEL	1:250
	DATE
	SEP 21, 2022

SHEET NUMBER	ISSUE
A.101.1	

**ZONING BYLAW
1-88 RELIEF
REQUESTED#16**

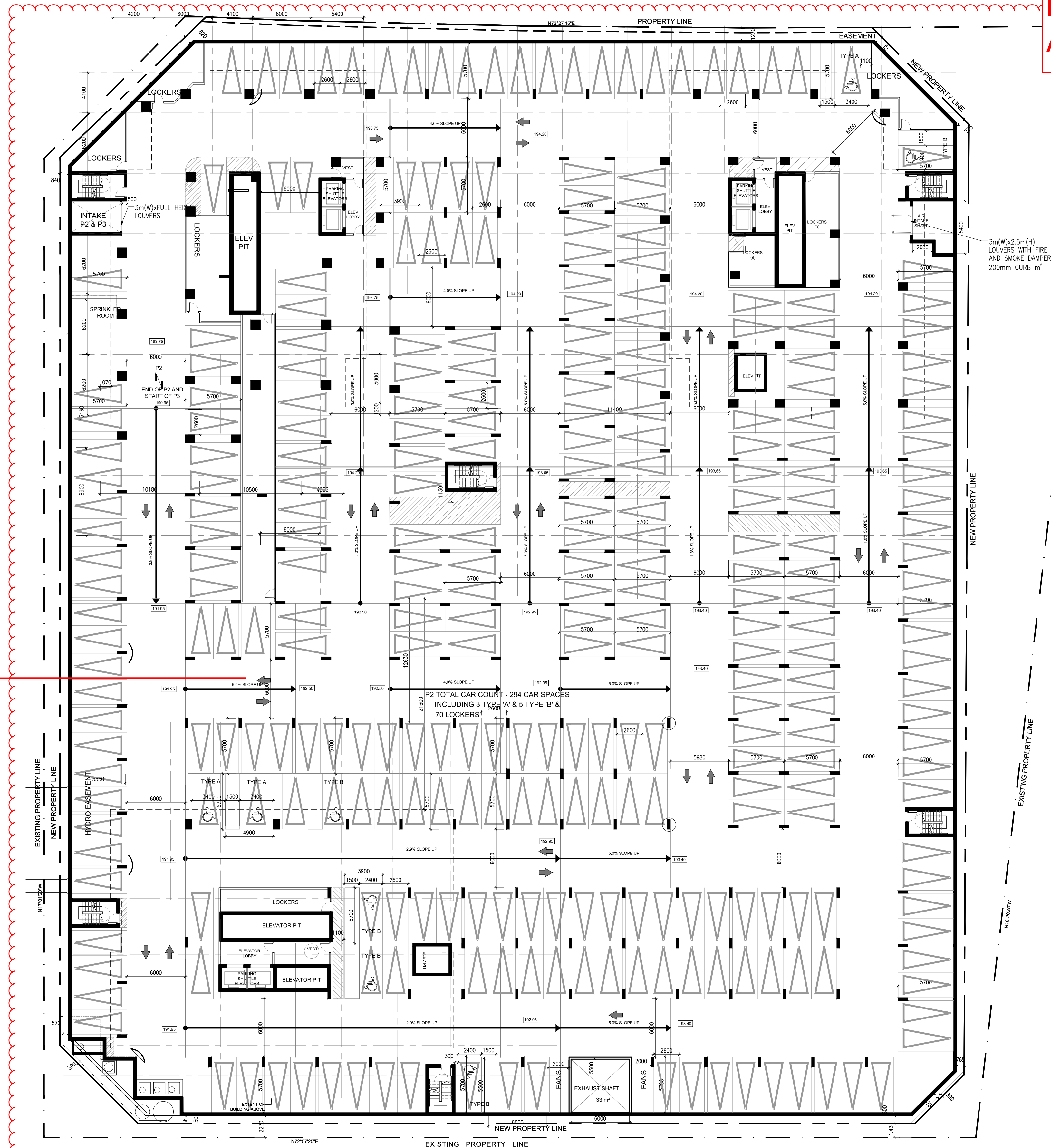
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PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

CLIENT VMC Condos LP		
COPYRIGHT This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than that authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general performance before proceeding with fabrication. IBI Group Architects (Canada) Inc. is a member of the IBI Group of companies.		
ISSUES		
No.	DESCRIPTION	DATE
1.	ISSUED FOR SPA	16-12-2021
2.	RE-ISSUED FOR SPA	16-02-2022
3.	RE-ISSUED FOR SPA	21-09-2022
CONSULTANTS		
SEAL		
PRIME CONSULTANT IBI GROUP 7th Floor - 55 St. Clair Avenue West Toronto ON M4V 2T7 Canada tel 416 596 1930 fax 416 596 0644 ibigroup.com		
PROJECT MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)		
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
P2 PARKING LEVEL	1:250	
	DATE SEP 21, 2022	
SHEET NUMBER	ISSUE	
A.101.2		

**ZONING BYLAW
1-88 RELIEF
REQUESTED#16**

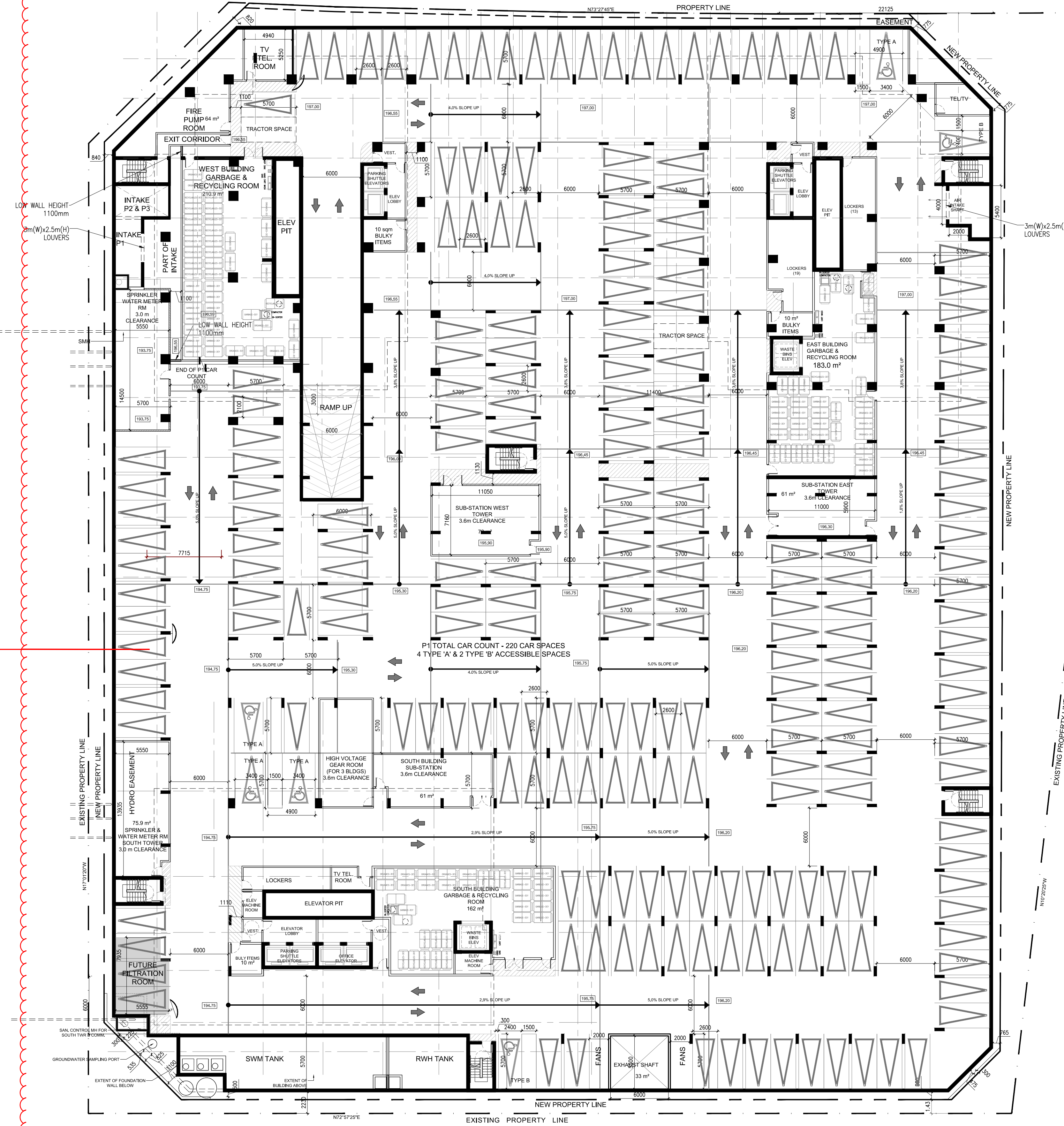
Seeking Minor Variance to permit a residential parking ratio of 0.25 spaces per all types of units based on 1844 units to provide 461 parking spaces.

To permit a minimum of 286 share parking spces for Mixed Use Development in the Vaughan Metropolitan Centre.

Thus a minimum of 461 residential parking spaces will be provided, and 286 shared parking spaces will be provided for a total of 747 spaces for the Site.

As noted as ITEM # 16 in the Zoning Comments dtd November 23, 2022 prepared by Building Standards Department for File No. A279/22.

ALL OTHER RELIEF WILL BE DETERMINED THROUGH FUTURE CONSULTATION WITH STAFF, NOT SUBJECT TO THIS MINOR VARIANCE APPLICATION.



Plans provided as excerpts from DA.17.015 related to Minor Variance Application A279/22

A279/22

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

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ISSUES		
No.	DESCRIPTION	DATE
1.	ISSUED FOR SPA	16-12-2021
2.	RE-ISSUED FOR SPA	16-02-2022
3.	RE-ISSUED FOR SPA	21-09-2022
CONSULTANTS		
SEAL		
PRIME CONSULTANT IBI GROUP 7th Floor - 55 St. Clair Avenue West Toronto ON M4V 2T7 Canada tel 416 596 1930 fax 416 596 0644 ibigroup.com		
PROJECT MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)		
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
P1 PARKING LEVEL	1:250	
SHEET NUMBER	DATE	
A.101.3	SEP 21, 2022	
ISSUE		

LANDSCAPE STATISTICS:
 TOTAL NET SITE AREA: 10270 m²
 TOTAL LANDSCAPE AREA: 4925 m²
 PERCENTAGE OF LANDSCAPING AREA: 48%
 TOTAL SOFT LANDSCAPE AREA: 1190 m²
 TOTAL HARD LANDSCAPE AREA: 3735 m²
 PERCENTAGE OF SOFT LANDSCAPE AREA: 24.2%

Plans provided as excerpts from DA.17.015 related to Minor Variance Application A279/22

CLIENT

VMC Condos LP

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ISSUES

No.	DESCRIPTION	DATE
1.	ISSUED FOR SPA	16-12-2021
2.	RE-ISSUED FOR SPA	16-02-2022
3.	RE-ISSUED FOR SPA	21-09-2022

A279/22

ALL FUTURE RELIEF AS REQUIRED WILL BE DETERMINED UPON CONSULTATION WITH STAFF, PLAN INCLUDED FOR CONTEXT PURPOSES ONLY.

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

CONSULTANTS

SEAL

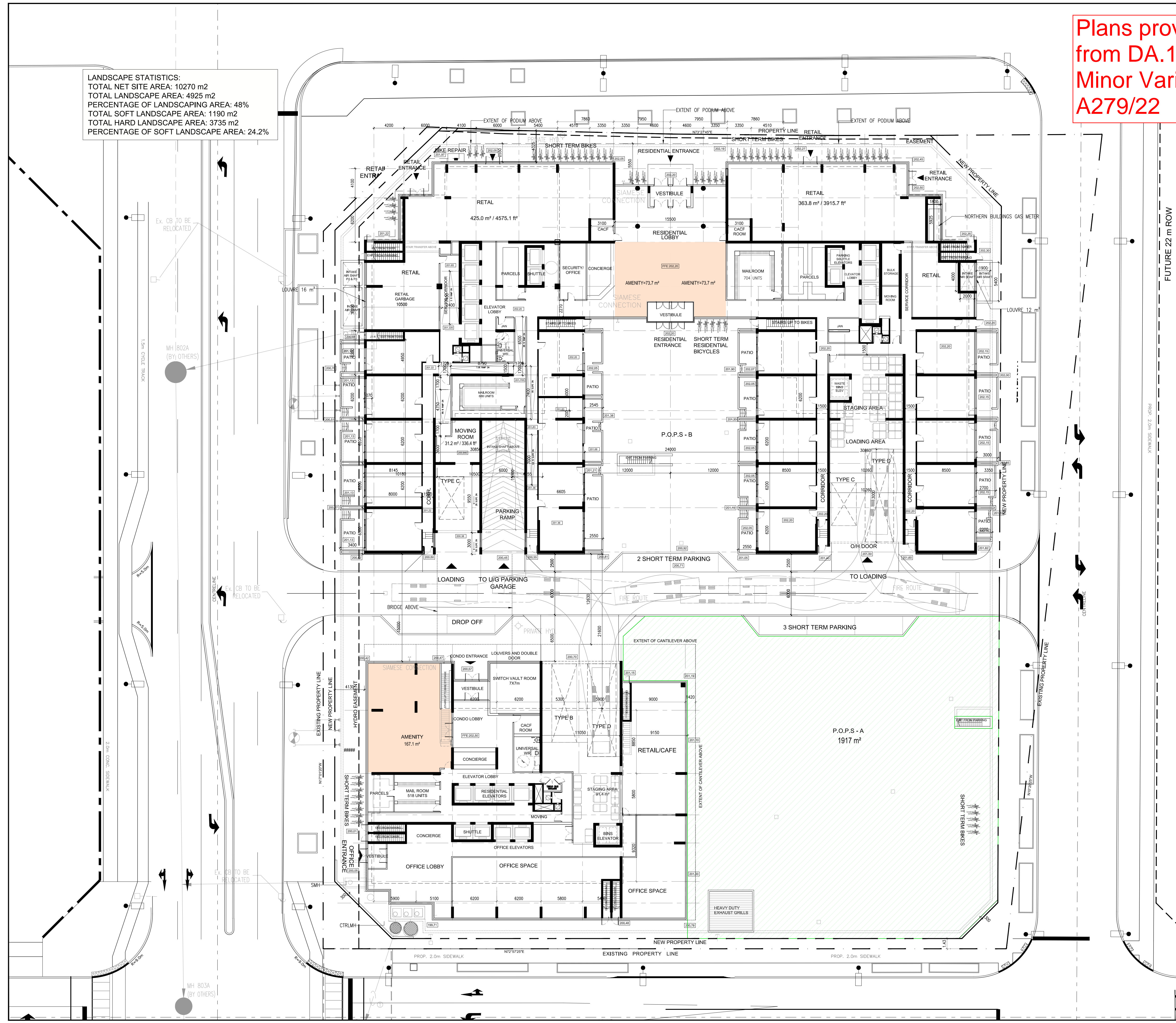


PRIME CONSULTANT
 IBI GROUP
 7th Floor - 55 St. Clair Avenue West
 Toronto ON M4V 2T7 Canada
 tel 416 596 1930 fax 416 596 0644
 ibigroup.com

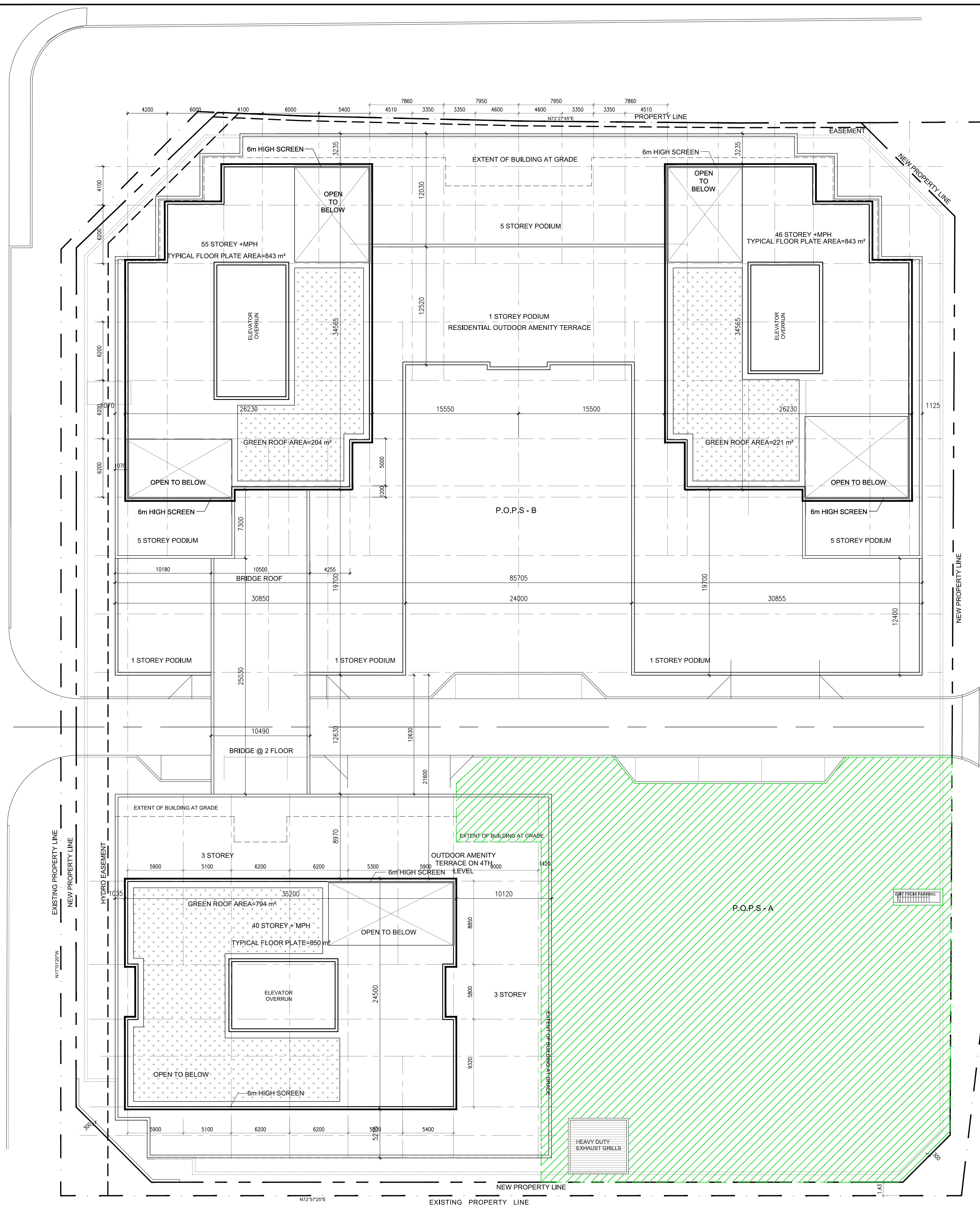
PROJECT
 MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE	SCALE
GROUND FLOOR PLAN	1:250
	DATE
	SEP 21, 2022
SHEET NUMBER	ISSUE
A.102	



Plans provided as excerpts from DA.17.015 related to Minor Variance Application A279/22



A279/22

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

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		IBI Group Architects (Canada) Inc. is a member of the IBI Group of companies.
ISSUES		
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2.	RE-ISSUED FOR SPA	16-02-2022
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CONSULTANTS		
SEAL		
PRIME CONSULTANT		 IBI GROUP 7th Floor - 55 St. Clair Avenue West Toronto ON M5V 2T7 Canada tel 416 596 1930 fax 416 596 0644 ibigroup.com
PROJECT		MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
ROOF PLAN	1:250	
	DATE	SEP 21, 2022
SHEET NUMBER	ISSUE	
A.110		

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X	X		General Comments
Region of York *Schedule B	X			No Comments Recieved to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review.
Building Standards (Zoning)	X	X		General Comments

Date: November 29th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A279-22**

Related Files:

Applicant VMC GP INC.

Location 3201 Highway 7



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

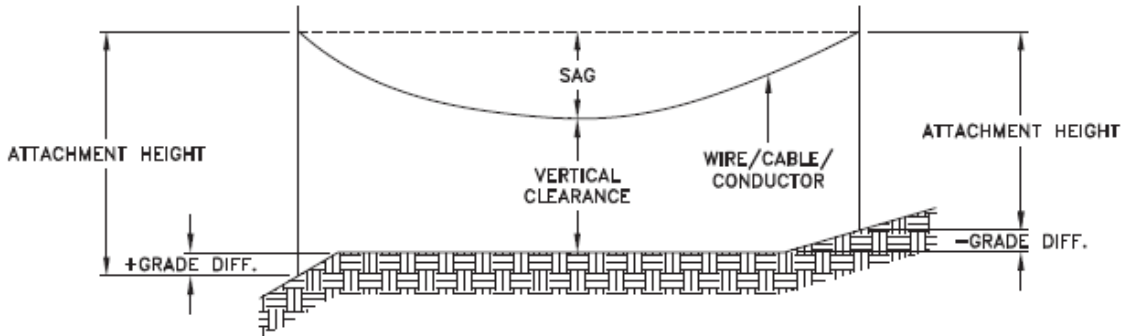
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment

From: Gregory Seganfreddo, Building Standards Department

Date: November 23, 2022

Applicant: VMC GP INC.

Location: PLAN 65R27858
CONC 5 Part of Lot 5
PLAN 65R20291 Part 11-12
PLAN 65R20291 Part 21-22 municipally known as 3201 Hwy 7

File No.(s): A279/22

Zoning Classification:

The subject lands are zoned C9 Corporate Centre and subject to the provisions of Exception 9(957) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 3.0 metres is required for Residential Uses. [Schedule A2]	To permit a minimum front yard setback of 0.2 metres to the portion of the building containing residential units abutting Hwy 7 and a minimum 1.2 metres at the North/West Sight-triangle, stating at the 3 rd floor.
2	A minimum rear yard setback of 3.0 metres is required to the Podium abutting the Southerly lot line.[Schedule A2]	To permit a minimum rear yard setback of 1.1 metres to the Podium abutting the Southerly lot line.
3	A minimum rear yard setback of 6.0 metres is required to Residential Uses. [Schedule A2]	To permit a minimum rear yard setback of 1.5 metres to the Residential use, at the South/West corner for the South Tower measured to the Sight-triangle at the South/West Corner.
4	Canopies shall not project more than 0.5 metres into a required yard. [Section 3.14 a)	To permit a Canopy to encroached into a required yard up to a maximum of 1.75 metres.
5	Porches may a maximum of 1.8 metres into an exterior side yard. [Section 3.14, c)]	To permit a porch to encroach up to a maximum of 3.405 metres into an exterior side yard for units on the ground floor abutting the two North South Roads on the West and East side of the development.
6	A maximum building height of 25 metres is permitted for all other locations outside of a Landmark Location	To permit a maximum building height of 140.22 metres for the South Tower.
7	A minimum building height of 10.0 metres is required for Residential Uses. [Schedule A2]	To permit a minimum building height of 6.0 metres for all ground floor level units.
8	A minimum building height of 16.5 metres is required for all uses. [By-law 144-2009]	To permit a minimum building height of 6.0 metres for all ground floor level units.
9	A minimum setback of 0.0 - 3.0 metres is required for non-residential uses in the Build to Zone. [Schedule A2]	To permit a maximum setback of 4.3 metres for the Northern West and East Tower Buildings to non-residential uses abutting Hwy 7 and the Westerly property line and a maximum of 4.9 metres to the North-Easterly Sight-triangle.
10	A minimum setback of 0.0-3.0 meters is required for non-residential uses in a Build to Zone [Schedule A2]	To permit a maximum setback of 3.4 metres to non-residential uses for the North East Tower Building abutting the new proposed North/South road.
11	A minimum setback of 0.0-3.0 meters is required for non-residential uses in a Build to Zone [Schedule A2]	To permit a maximum setback of 4.2 metres to the Office Podium for the South Tower Building abutting Interchange Way.
12	A minimum setback of 0.0-3.0 meters is required for non-residential uses in a Build to Zone [Schedule A2]	To permit a maximum setback of 44.0 metres to Office Podium for the South Tower Building abutting the new North/South Road to the east.

13	A minimum setback of 3.0-6.0 meters is required for residential uses in a Build to Zone [Schedule A2]	To permit a minimum front yard setback of 0.2 metres to the portion of the building containing residential units abutting Hwy 7 and a minimum 1.2 metres at the North/West Sight-triangle, stating at the 3 rd floor..
14	A minimum setback of 3.0-6.0 meters is required for residential uses in a Build to Zone [Schedule A2]	To permit a maximum setback of 8.0m to the South Tower Residential building abutting the new West/East Road and a minimum of 1.2 metre setback to the Residential use abutting the South West Sight-triangle.
15	A minimum setback of 3.0-6.0 meters is required for residential uses in a Build to Zone [Schedule A2]	To permit a maximum setback of 43 metres to the South Tower Residential Use Terrace to the new North/South road to the East.
16	<p>A minimum parking requirement as follows is required:</p> <p>Apartment Dwelling: Bachelor/1 Bedroom 0.7/unit 2 Bedrooms 0.9/unit 3 Bedrooms 1.0/unit</p> <p>1844 Units required a minimum of 1429 parking spaces;</p> <p>1844 Units required a minimum of 277 visitor parking spaces;</p> <p>788 sqm of retail G.F.A requires a minimum of 16 parking spaces;</p> <p>4973.3 sqm of Office G.F.A requires a minimum of 75 parking spaces.</p> <p>Applying Parking Standards for Mixed-Use Development in the Vaughan Metropolitan Centre; Section 3.8.1 c)</p> <p>A minimum of 307 shared parking spaces would be required for Residential Visitors, Retail and Office Uses.</p> <p>Thus, 1429 Residential Parking Spaces would be required and 307 shared parking spaces for a total of 1736 Parking spaces under this Section.</p>	<p>To permit a residential parking ratio of 0.25 spaces per all types of units based on 1844 units to provide 461 parking spaces.</p> <p>To permit a minimum of 286 Shared parking spaces for Mixed Use Development in the Vaughan Metropolitan Centre</p> <p>Thus, a minimum of 461 residential parking spaces will be provided, and a of 286 shared parking spaces will be provided for a total of 747 parking spaces for the site.</p>
17	A minimum landscape strip of 3.0 metres is required abutting a Street line. [Section 5.1.1 c)i)]	To permit the location of a Heavy Duty Exhaust grill and Exterior Staircase into the 3.0 landscape abutting the street line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 18-001745 for Hotel/Motel - Non-Residential Demolition, Issue Date: Jun 22, 2022
Building Permit No. 22-131938 for Hotel/Motel - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

Zoning By-law 1-88	
1	Applicant to confirm that where a building is constructed fronting onto Regional Road No. 7 (formerly Highway No. 7), a minimum of 60% of the gross floor area at the ground floor level shall be composed of commercial uses which provide individual external at-grade pedestrian access to such use. There are two large "retail" areas shown each with one at-grade access. Should those areas be turned into small units, each unit must have individual external at-grade access, or further variances will be required.
2	Applicant shall verify the setback to the residential floors for the South Tower from the South/West corner, in relation to variance 3.
3	Please provide confirmation that 80% of the length of the Street Line abutting Regional Road No. 7; the first East-West street parallel to Regional Road No. 7; and the north-south street providing a vista to a civic use and the transit corridor shall have buildings located within the build to zone.

	Relief is most likely required for the Park area being proposed in the South East portion of the site.
4	Please confirm that Fifty (50%) percent of the length of the street line shall have buildings located within the build to zone for Hwy 7 and Interchange Way.
5	The applicant shall provide the breakdown of the number of Accessible Parking Spaces proposed as per Section 3.8.1 d)
6	Applicant to confirm driveway dimensions measured at the street line per section 3.8.1 f)
7	Applicant to update variance regarding parking requirement. There is still a deficiency on parking ratio being amended, and also parking standards for mixed-use development in the Vaughan Metropolitan Centre under Section 3.8.1 a) and c). Will they propose a variance for Mixed Use Development parking from the required 307 down to 286? To provide a total of 747 parking spaces?

General Comments	
8	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Blaney, Cameron \(MTO\)](#)
To: [Christine Vigneault](#)
Cc: [Mulrenin, Colin \(MTO\)](#)
Subject: [External] RE: A279/22 (3201 Hwy 7) - (URGENT) REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, November 28, 2022 11:50:08 AM

Hello Christine,

MTO has no concerns with the reduction of parking requirements for the site.

Please keep in mind the VMC is considered a large traffic generator and MTO requires permits for this area to ensure the efficiency of the Highway 400 ramps and to keep track of daily vehicle trips for the area.

Cameron Blaney | Corridor Management Planner | Simcoe & York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

416-358-7871

Cameron.Blaney@ontario.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Planning Justification Report

October 4, 2022

MGP File: 21-3056

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

via City of Vaughan Committee of Adjustment Online Submission

Attention: Ms. Christine Vigneault
Secretary-Treasurer, Committee of Adjustment

Dear Members of Committee:

RE: Application for Minor Variance – Planning Opinion Letter
3201 Highway 7, City of Vaughan
VMC GP Inc.

Malone Given Parsons (“MGP”) is the planning consultant for VMC GP Inc. (“VMC GP”), the owner of the lands municipally known as 3201 Highway 7 West, in the City of Vaughan (the “Subject Lands”). The Subject Lands are located at the south-east corner of Highway 7 and Interchange Way. The Subject Lands are approximately 1.16 ha (2.86 acres) in size and located in the Vaughan Metropolitan Centre (“VMC”), the City’s downtown core. The Subject Lands are shown in **Figure 1** and legally described in **Table 1** below.

MGP has prepared this Planning Opinion Letter in support of an application for a minor variance to the City of Vaughan Committee of Adjustment to reduce the residential parking rate requirement on the Subject Lands (the “Application”). The Application facilitates the redevelopment of the Subject Lands for a high-rise, mixed-use development consisting of residential, retail, office, and Privately-Owned Publicly-Accessible Space (“POPS”) uses. For the reasons set out in this letter, it is my opinion that the proposed parking variance and the Application meets the four tests of a minor variance and should be approved because the proposed variance:

- Maintains the general intent and purpose of the City’s Official Plan (“VOP”) and the Vaughan Metropolitan Centre Secondary Plan (“VMCSP”);
- Maintains the general intent and purpose of the City’s Zoning By-law 1-88;
- Is desirable for the appropriate development or use of the land; and
- Is minor.

Figure 1: Site Location

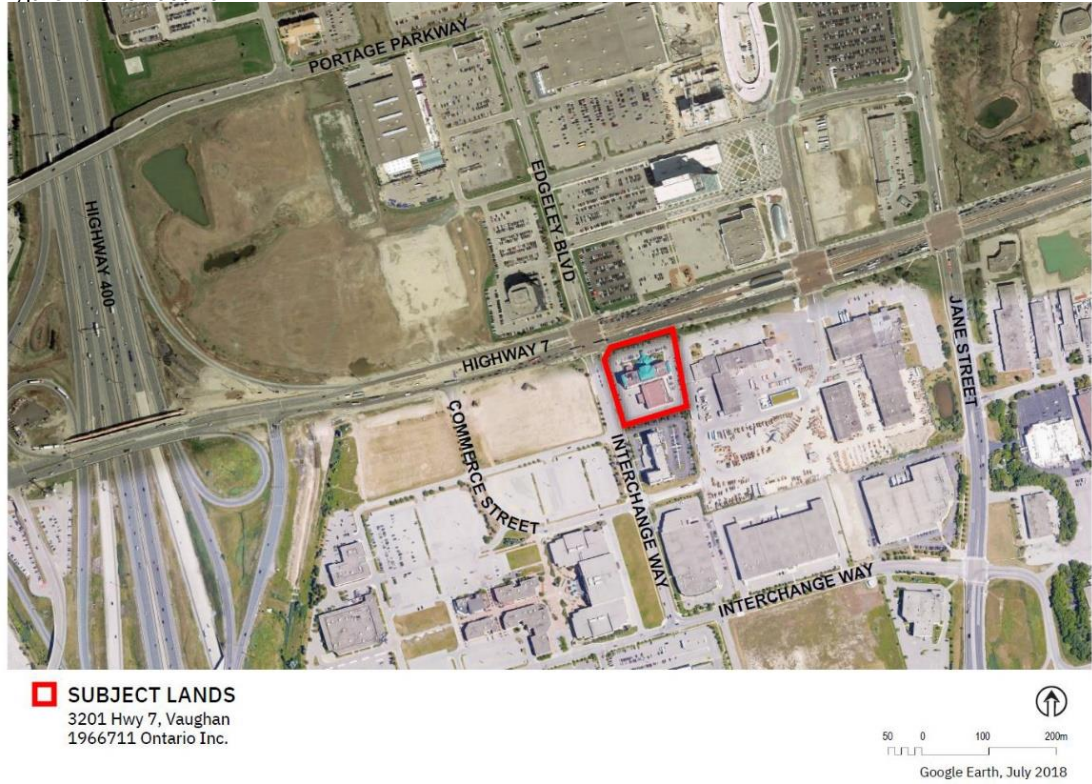


Table 1: Legal Description of the Subject Lands

Registered Owner	Legal Description	PIN
VMC CONDOS LIMITED PARTNERSHIP; VMC GP INC.	PT LT 5 CON 5, VAUGHAN, PTS 2, 4, 5, 11 & 12 PL 65R27858 EXCEPT PTS 1, 2 & 3 PL 65R28072 EXCEPT PTS 10 & 13 ON EXPRO PLN YR1694787; S/T EASE OVER PTS 5 & 12 PL 65R27858, AS IN LT1357479. T/W EASE OVER PT LT 4 CON 5 PTS 4,8 & 9 PL 65R23408, AS IN LT1601211.T/W EASE OVER PT LT 4 CON 5, PTS 5,6,7 & 10 PL 65R23408, AS IN LT1601211. T/W EASE OVER PT LT 4 CON 5, PTS 6,31,43 & 44 PL 65R24974 & PT LT 4 CON 5, PTS 6,7,8,40 & 44 PL 65R24974 & PT LT 4 CON 5, PTS 6,40 & 44 PL 65R24974 ,AS IN YR163400. T/W EASE OVER PT LTS 4 & 5 CON 5, PTS 37,38,40,41,44,45,46,48,49,50 & 51 PL 65R20291 UNTIL DESIGNATED AS A PUBLIC HIGHWAY, AS IN LT1357482. T/W EASE OVER PT LT 5 CON 5, PTS 3 & 10 PL 65R27858, AS IN YR631007. T/W EASE OVER PT LT 5 CON 5, PTS 9 & 10 PL 65R27858, AS IN YR631007 SUBJECT TO AN EASEMENT OVER PARTS 2, 4, 5, 11 & 12, 65R27858, EXCEPT PARTS 1, 2 &3, 65R28072, EXCEPT PARTS 10, &13, EXPRO PLAN YR1644787 AS IN YR2951849 CITY OF VAUGHAN	032280291
VMC CONDOS LIMITED PARTNERSHIP; VMC GP INC.	PT LT 5 CON 5, (VAUGHAN) PTS 10 & 13 ON EXPRO PLAN YR1694787; T/W EASE OVER PT LT 4 CON 5 PTS 4,8 & 9 PL 65R23408, AS IN LT1601211.T/W EASE OVER PT LT 4 CON 5, PTS 5,6,7 & 10 PL 65R23408, AS IN LT1601211. T/W EASE OVER PT LT 4 CON 5, PTS 6,31,43 & 44 PL 65R24974 & PT LT 4 CON 5, PTS	032280290

	6,7,8,40 & 44 PL 65R24974 & PT LT 4 CON 5, PTS 6,40 & 44 PL 65R24974 ,AS IN YR163400. T/W EASE OVER PT LTS 4 & 5 CON 5, PTS 37,38,40,41,44,45,46,48,49,50 & 51 PL 65R20291 UNTIL DESIGNATED AS A PUBLIC HIGHWAY, AS IN LT1357482. T/W EASE OVER PT LT 5 CON 5, PTS 3 & 10 PL 65R27858, AS IN YR631007. T/W EASE OVER PT LT 5 CON 5, PTS 9 & 10 PL 65R27858, AS IN YR631007 CITY OF VAUGHAN	
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1.0 Background and Site Context

The Subject Lands are presently occupied by the Hilton Garden Inn Toronto/Vaughan hotel and associated surface parking. Surrounding uses include existing office, commercial, and industrial uses to the south and east, as well as on the north side of Highway 7, the VMC substation to the east, and the Residence Inn by Marriott hotel immediately to the south. Residential and mixed-use towers under construction are located to the west and northeast.

The Subject Lands have undergone an extensive development review process with multiple submissions beginning in early 2017 under the prior owner. VMC GP acquired the Subject Lands in November 2021 and assumed carriage of the existing Site Development Application DA.17.015 (the "SPA"). The SPA, to permit a high-rise mixed-use development consisting of 1,649 residential units in three towers (55, 55, and 46 storeys), a hotel, a convention centre, and 6 levels of underground parking accommodating 1796 parking spaces (the "Icona Development"), was conditionally approved by Council in June 2018.

The SPA approval was subject to conditions, which included:

- 1) execution of a site plan agreement;
- 2) final approval of the site plan drawings;
- 3) approval of variances to Zoning By-law 1-88 to permit the Icona Development, including an increase in permitted building height, which approval shall be subject to a Section 45(9) agreement for community benefits; and
- 4) resolution of Appeal #164 of the 2010 Vaughan Official Plan for the Subject Lands.

The SPA conditions were further amended by Council on September 29, 2020 to authorize a cash payment of \$1.2 million towards the City's Public Art Program in lieu of an on-site public art installation.

On July 19, 2018, the previous owner submitted an application to the Vaughan Committee of Adjustment Zoning for variances to Zoning By-law 1-88 to permit the development standards contemplated by the Icona Development, in order to satisfy Condition 3) above.

On June 27, 2019, the Committee of Adjustment approved Minor Variance Application A136/18, subject to certain conditions, to permit the Icona Development including an increase in building height for the southerly tower, revised setbacks, Build-to-Zone, and landscape strip requirements, and revised parking, loading, and bicycle parking requirements. A Section 45(9) agreement was executed and registered on title in accordance with the Minor Variance decision A136/18.

In May 2021, a further application to the Committee of Adjustment was submitted to reduce the required number of parking spaces for the Icona Development. On June 30, 2021, the Committee of Adjustment approved Minor Variance Application A124/21, permitting 660 parking spaces for the residential uses, calculated at a rate of 0.4 spaces per unit.

In order to satisfy Condition 4) above to the SPA approval, a site-specific policy (Policy 9.3.13, Area K) within the VMCSPP with specific built form standards for the Icona Development was approved by the Local Planning Appeal Tribunal (now the Ontario Land Tribunal) on May 13, 2021, which resolved Appeal #164 of the VOP for the Subject Lands.

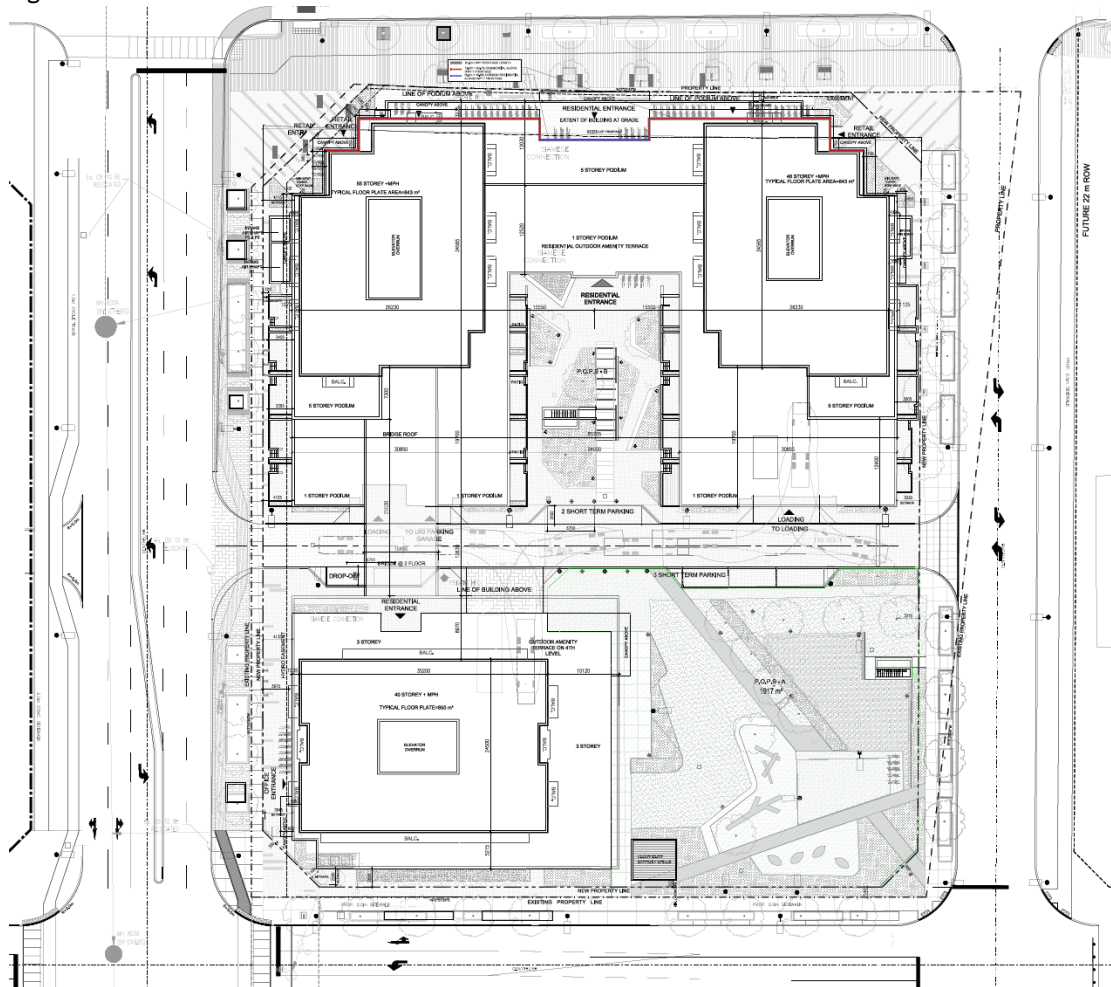
2.0 Revised SPA and Current Development Proposal

Since its acquisition of the Subject Lands, VMC GP and its consultant team have met with the City to discuss revisions to certain aspects of the former Icona Development in order to align with VMC GP and the City's aspirations for the Subject Lands. VMC GP is now advancing a revised SPA, through a resubmission filed with the City on September 23, 2022 that includes the following components:

- Three residential towers at 55, 46, and 40 storeys atop a connected podium ranging from 1 to 5 storeys in height;
- A total floor space index ("FSI") of 11.28;
- 4,973.30 square metres of office gross floor area ("GFA") within the podium of the south tower;
- 788.80 square metres of retail GFA within the podium;
- 125,000.30 square metres of residential GFA and 1,844 residential units;
- 4,337.50 square metres of amenity area, including 1,596 square metres of outdoor amenity area;
- 1,892 square metres of POPS in the southeast corner;
- 3 levels of underground parking and 747 parking spaces, including 5 short-term surface parking spaces; and
- 1,065 bicycle parking spaces.

The revised Site Plan is shown in **Figure 2** below.

Figure 2: Site Plan



Source: IBI Group, 2022

3.0 Minor Variances

The purpose of this minor variance application is to seek a reduction in the required residential parking space rate for the proposed mixed-use development. Consistent with the plans submitted for SPA review, the following variances to Zoning By-law 1-88 are required:

1. To permit the reduction of required parking spaces from 0.4 parking spaces to 0.25 parking spaces per residential unit (461 spaces)

As the City's new comprehensive Zoning By-law 001-2021 remains under appeal as it applies to the Subject Lands, a minor variance is only being sought to Zoning By-law 1-88.

The proposed total parking supply is 747 parking spaces: 461 residential parking spaces (at the proposed rate) and 286 non-residential parking spaces (office, retail, and residential visitor). This takes into account the parking sharing factors within both Zoning By-laws 1-88 and Zoning By-law 001-2021 and reflects the governing weekday evening period.

A Transportation Impact Study, which includes a detailed assessment of the parking needs and proposed rates for the revised SPA dated September 2022 was prepared by BA Group and is enclosed with this application (the "Revised TIS").

The following portion of this letter assesses the requested variance in the context of the four minor variance tests under s.45(1) of the Planning Act. In my opinion, the proposed variance maintains the intent of the Official Plan and Zoning By-law, is minor in nature, desirable for the appropriate development of the land, and should be approved.

3.1 Precedent Variances in the Surrounding Area

There are several developments within the VMC that have been approved with reduced resident parking supplies similar to or lower than the proposed parking residential parking rate for the Subject Lands, given their vicinity to the VMC Subway Station and the Hwy. 7 Bus Rapid Transit Corridor. Examples include the following:

- VMC Tower 3: 0.33 resident parking spaces per unit
 - SmartCentres VMC Residences ("Transit City 3")
 - SW Corner, Portage and Millway
 - File Nos. DA.17.062 and 2.17.028,
 - By-law 070-2018
 - Under Construction / Built
- VMC Block A5: 0.18 resident parking spaces per unit
 - Approved
 - NE corner of Hwy. 7/Interchange Way
- VMC Block 3, North: 0.25 resident parking spaces per unit
 - SW corner of Hwy. 7 / Interchange Way
 - Approved

These examples are indicative of a level of support and acceptance of parking supply standards that are substantially lower than the former requirements of the City of Vaughan Zoning By-law 1-88 and more in-line with, and some lower than, the recently passed Zoning By-law 001-2021 parking rates. The proposed minimum resident parking supply ratio of 0.25 spaces per unit for the Subject Lands is similar to recent approvals for resident parking rates requirements in the VMC area.

4.0 Minor Variance Tests

Section 45(1) of the Planning Act outlines four tests to which applications for minor variances must comply. A description of how the requested variance meets each of the four tests is outlined below.

4.1 The general intent and purpose of the City's Official Plan is maintained

The proposed parking supply conforms to the policy directions outlined in the City of Vaughan's Official Plan. The Subject Lands are located in the Vaughan Metropolitan Centre Urban Growth Centre and within a proposed Major Transit Station Area, as defined by A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 and the York Region Official Plan. These areas are intended to be the focal area for intensification and to

accommodate significant population and employment growth. The significant growth targets set out for the VMC rely on a comprehensive transportation network to accommodate a full range of mobility options, including higher order transit, cycling, and walking. These established policies respond to climate change, improving air quality, linking land use and transportation, and managing parking supply.

As mentioned in the Revised TIS, the proposed development and parking supply aims to reduce emissions by supporting a compact pattern of urban growth supporting a comprehensive transportation network to provide multiple options for mobility while prioritizing cycling, walking, and transit use (Policy 3.7.1.4; Policy 4.1.1.1; Policy 4.1.1.2).

Intensification Areas prioritize transit investments and land use planning decisions that maximize use of transit infrastructure (Policy 4.1.1.4). They also support context sensitive reduction of parking to meet this goal and reviewing parking standards to minimize the provision of excess parking (Policy 4.1.1.4; Policy 4.3.2.2).

The VMCSPP provides further policies related to parking in recognition of the planned function and land uses within the VMC and the availability of transit services. In particular, Policy 4.6.3 encourages transit-supportive parking standards for residential and non-residential uses to facilitate development of the VMC and encourage non-automobile travel.

The proposed reduction to the supply of residential parking is context-sensitive, taking into account parking proposed and approved for nearby developments, the range of mobility options, and represents transit-supportive rates that serve to support the existing higher order transit in the area. It is aimed to reduce the demand for single occupant vehicle trips by encouraging other modes of travel.

The proposed reduction to resident parking supply conforms with and maintains the general intent of the City of Vaughan Official Plan.

4.2 The general intent and purpose of the City's Zoning By-law is maintained

The former residential parking standards outlined in the City of Vaughan Zoning By-law 1-88 for the VMC can be described as conservatively high relative to the parking demands generated by residential buildings adjacent to higher order transit and subway stations. While the recently passed Zoning By-law 001-2021 advances the reduction of resident parking rates within the VMC, this By-law is not in force on the Subject Lands and as such does not apply.

The approved variance A124/21 brings the residential parking rate requirement on the Subject Lands in line with the requirement under Zoning By-law 001-2021, being 0.4 spaces per residential unit. However, recent studies within the City relating to the update of the VMCSPP and other intensification areas, recognize the importance of reducing and or eliminating minimum parking requirements in order to encourage transit usage, active transportation, and creating complete and transit-supportive communities. The proposed variance meets the general intent and purpose of the by-law by providing parking for both residential and non-residential uses.

The reduction in residential parking rates only supports reducing single-occupant vehicle trips within the VMC by future residents but does not impact the visitor and non-residential use trips or parking supply. There are no other variances requested, keeping the nature of the mixed-use development the same, which maintains the intent of the land use permissions and zoning standards established for this area.

4.3 The requested variance is desirable for the appropriate development or use of the land, building or structure

It is my opinion that the requested variance to the residential parking supply is desirable and appropriate for the development and use of the land.

As noted above, the proposed parking rate is required to support the development of the proposed mixed-use development. The redevelopment of the Subject Lands contributes to meeting the City's goals and objectives for the VMC, including meeting its intensification targets, building a modern, urban downtown core, and creating transit-supportive communities. The reduction in parking supply also reduces the cost of construction of the project (requiring less levels of underground parking), which improves housing costs and enhances affordability for future residents. Given the precedence of similar or lower parking rates for other residential developments and the existing transit infrastructure in the VMC, the requested variance is appropriate and desirable.

4.4 The requested variance is minor

The proposed variance is minor as it has no impacts on adjacent lands, neighbouring landowners, or future visitors and tenants of the proposed development. The reduction in residential parking is supported by a Transportation Demand Management Plan prepared by BA Group which will further promote transit usage and active transportation for future residents.

In absolute terms, the proposed variance results in a reduction from 738 residential parking spaces to 461 residential parking spaces (277 spaces). Given the scale of the development (at 1,844 units and over 130,000 square metres of total GFA), this reduction is minor and implements a truly transit-supportive parking ratio. The proposed development also includes a substantial amount of bicycle parking to offset a portion of the parking space reduction.

5.0 Application Materials

In support of the minor variance application, please find enclosed (and submitted digitally through the Committee of Adjustment Online Submission Form):

- One (1) copy of the Chart – Confirm Variances Requested;
- One (1) copy of the Chart – Property Setbacks for all Existing and Proposed Structures;
- One (1) copy of the Chart – Size of all Existing and Proposed Structures
- One (1) copy of the Revised Transportation Impact Study prepared by BA Group, dated September 2022;

- One (1) copy of the Plan of Survey prepared by KRCMAR dated July 29, 2022; and
- One (1) copy of the Architectural Package prepared by IBI group, dated September 21, 2022.

The Minor Variance application fee of \$3,155.00 will be provided under separate cover.

We trust the enclosed information is sufficient to support the application and request to be scheduled on the earliest Committee of Adjustment agenda. Should you have any questions, please contact the undersigned.

Yours very truly,
Malone Given Parsons Ltd.



Lauren Capilongo, MCIP, RPP

Principal

cc: Client

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A136/18	06/19/2019	Approved by COA
A064/05	03/31/2005	Approved by COA

NOTICE OF DECISION
Minor Variance Application A136/18
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

Date of Hearing: Thursday, June 27, 2019
Applicant: 1406284 Ontario Inc.
Agent: John Zipay – Weston Consulting Group Inc.
Property: **3201 Highway 7, Concord, ON**
Zoning: The subject lands are zoned C9 Corporate Centre and subject to the provisions of Exception No. 9(957) under By-law 1-88 as amended.
OP Designation: OPA #500 (Corporate Centre Plan) as amended by OPA #663 (Avenue 7 Plan): "Corporate Centre Node" and identified as a "Gateway Site" (in effect)
 VOP 2010: "Station Precinct" by the Vaughan Metropolitan Centre Secondary Plan (Section 11.12, Volume 2) (under appeal to the Local Planning Appeals Tribunal)
Related Files: Site Plan Application: DA.17.015
Purpose: Relief from the by-law is being requested to permit the construction of a proposed high rise mixed-use development consisting of three (3) residential towers, townhouse units as well as a hotel to facilitate Site Plan Application DA.17.015.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. Where a building is constructed fronting onto Regional Road No. 7 (formerly Highway No. 7), a minimum of 60% of the gross floor area at the ground floor level shall be composed of commercial uses which provide individual external at-grade pedestrian access to such use.	1. To permit a minimum of 19 % of the gross floor area at the ground floor level to be composed of commercial uses which provide individual external at-grade pedestrian access to such use.
2. A maximum building height of 25 metres is permitted for all other locations outside of a Landmark Location.	2. To permit a maximum building height of 152.2 metres and 159.5 metres to the top of the mechanical penthouse for the South Tower (for all other locations outside of a Landmark Location).
3. A minimum parking space dimension of 2.7 metres x 6.0 metres is required.	3. To permit a minimum parking space dimension of 2.6 metres x 5.7 metres.
4. A minimum of 1966 parking spaces are required.	4. Despite the provisions of By-law 1-88, vis-à-vis vehicular parking requirements, the required vehicular parking for the site will be 1788 vehicle parking spaces.
5. A minimum of 9 loading spaces are required (as per a parking study report previously provided).	5. To permit a total of 4 loading spaces.
6. A minimum setback of 1.8 metres is required.	6. To permit a minimum front yard setback (Regional Road 7) and exterior side yard setback (Interchange Way and future North - South Road) of 0.0 metres to below grade structures.
7. A minimum landscape strip width of 3.0 metres is required.	7. To permit a minimum landscape strip width of 2.4 metres along Regional Road 7, 1.9 metres along future North-South Road and 1.4 metres

By-law Requirement	Proposal
	abutting the future southerly road (for non-residential uses, Major Streets).
8. A private amenity area or private patio is not permitted to be located within the minimum required landscape strip.	8. To permit a private amenity area or private patio within the minimum required landscape strip.
9. A setback of 0 to 3 metres is required within the Build-to-Zone area.	9. To permit a front yard setback of 3.7 metres within the Build-to-Zone area for non-residential uses.
10. Build-To-Zone to other streets where 50% of the length of the street line shall have buildings within the build to zone:	10. Build-To-Zone to other streets where 50% of the length of the street line shall have buildings within the build to zone:
<ul style="list-style-type: none"> • 3 to 6 metre setback required • 3 to 6 metre setback required • 3 to 6 metre setback required • 0 to 3 metre setback required • 0 to 3 metre setback required 	<ul style="list-style-type: none"> • 1.9 metre east yard setback from the east townhouses to future north-south road (residential uses-Other Streets) • 2.2 metre east yard setback from the East tower to future north-south road • 0.5 metre to 1.9 metre east yard setback from the South townhouses to future north-south road (residential uses-Other Streets. • 3.7 metre west yard setback from the West Tower to Interchange Way (non-residential uses-Other Streets) • 5.4 metre west yard setback from the South Tower to Interchange Way (non-residential uses-Other Streets)
11. A minimum building height of 16.5 metres is required (By-law 144-2009).	11. To permit a minimum building height of 9.75 metres (West Townhouses) and 9.75 metres (East Townhouses) and 9.0 metres for the south townhouses.
12. An outdoor patio, as an accessory use to an Eating Establishment, shall be completely enclosed by a physical barrier.	12. To permit an Outdoor Patio, as an accessory use to the Eating Establishment in the South Tower Hotel and Condo, not to be completely enclosed by a physical barrier at the ramp (east) and the exterior stairway (west).
13. The surface of all loading spaces and related driveways and manoeuvring aisles shall be paved with hot mix asphalt or concrete.	13. To permit the surface of all loading spaces and related driveways and manoeuvring aisles not to be paved with hot mix asphalt or concrete.
14. Parking aisles or any area designated to accommodate vehicular traffic are not permitted within the Build -To Zone.	14. To permit parking aisles or any area designated to accommodate vehicular traffic to be permitted within the Build -To Zone.
15. A minimum of 165 short term residential bicycle parking spaces are required.	15. To permit a minimum of 116 short term residential bicycle parking spaces.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A136/18 on behalf of 1406284 Ontario Inc. be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Steve Lysecki 905-832-8585 x 8731 steve.lysecki@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.17.015) from the Development Engineering (DE) Department.
2	Development Planning Christopher Cosentino 905-832-8585 x 8215 christopher.cosentino@vaughan.ca	1. The City and the Owner shall execute and register a Section 45(9) Agreement to permit bonusing for increased building height of the South Tower, which provides for the payment and/or actual provision of community benefits calculated in accordance with the "City of Vaughan's Guidelines for the Implementation

Department/Agency	Condition
	<p>of Section 37 of the Planning Act” and section 37 of the Planning Act, which comprises of:</p> <p>a) An on-site public art contribution with a budget of \$1.2 million consistent with the principles of Site 10 – Private Development, as outlined in the City’s VMC Culture and Public Art Framework, to the satisfaction of the City;</p> <p>b) \$391,000 cash contribution towards an off-site community benefit regarding the first iconic pedestrian bridge in the Edgeley Pond and Park, to the satisfaction of the City; and</p> <p>c) The Section 45(9) Agreement shall contain clauses regarding the execution and registration of a Public Art Agreement that will include a requirement for the Owner to submit a Letter of Credit to the City, to address the details to commission and install a permanent piece of public art as a public contribution with a budget of \$1.2 million consistent with the principles of Site 10 – Private Development, as outlined in the City’s VMC Culture and Public Art Framework, to the satisfaction of the City.</p> <p>The Owner shall develop a public art program that follows the approved process outlined in the City-wide Public Art Program, to the satisfaction of the City. The Public Art Agreement shall also include a requirement that the Owner shall own and maintain the public art piece(s).</p> <p>2. The Owner shall provide payment of the foregoing contributions totaling \$1,591,000.00 to the City of Vaughan.</p>

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


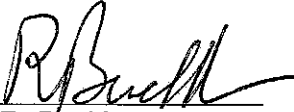

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

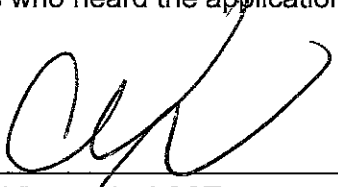
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

<p align="center">Public Written Submissions</p> <p align="center">* Public Correspondence received and considered by the Committee in making this decision</p>	<p align="center">Public Oral Submissions</p> <p align="center">*Please refer to the approved Minutes of the Thursday, January 10, 2019, January 24, 2019 and June 27, 2019 meetings for submission details.</p>
<p>Name: Stikeman Elliott – Michael Currie Address: 5300 - 199 Bay St, Toronto Nature of Correspondence – Letter of Objection & Withdrawal of Appeal letter Date(s) Received: (Jan. 24/19, Jan. 10/19 & May 6/19)</p>	<p>Name: Stikeman Elliott – Michael Currie Address: 5300 - 199 Bay St, Toronto Jan. 10/19</p>
<p>Name: Overland LLP – Daniel Artenosi Address: 1101 – 5255 Yonge St, Toronto Nature of Correspondence: In response to Stikeman Elliott Letter</p>	<p>Name: Overland LLP – Daniel Artenosi Address: 1101 – 5255 Yonge St, Toronto Jan. 10/19</p>
<p>Name: Robert Paniccia Address: 586 Napa Valley Avenue Nature of Correspondence: Letter of Objection</p>	<p>Name: Robert Paniccia Address: 586 Napa Valley Avenue Jan. 10/19 and Jan. 24/19</p>
<p>Name: LPAT Address: 655 Bay Street, Suite 1500 Toronto Nature of Correspondence: Acknowledgement of withdrawal letter</p>	<p>Name: Patricia DeBartolo Address: 40 McCan Crescent, Bradford Jan. 24/19</p>
<p>Name: Ron Kanter, MacDonald Sager Manis LLP Address: 150 York Street, Suite 820 Toronto M5H 3S5 Nature of Correspondence: Letter of Objection</p>	<p>Name: Melissa Jardin, Address: 82 Burnhaven Avenue Jan. 24/19</p>
	<p>Name: Mary Darmanin, Address: 152 Jackman Crescent Jan. 24/19</p>
	<p>Name: Ron Kanter, MacDonald Sager Manis LLP Address: 150 York Street, Suite 820 Toronto M5H 3S5 June 27/19</p>

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
<hr style="width: 100px; margin: 0 auto;"/>		<hr style="width: 100px; margin: 0 auto;"/>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, June 27, 2019
DATE OF NOTICE:	July 5, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 17, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.	
	
Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

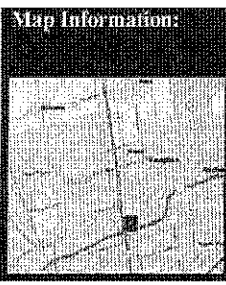
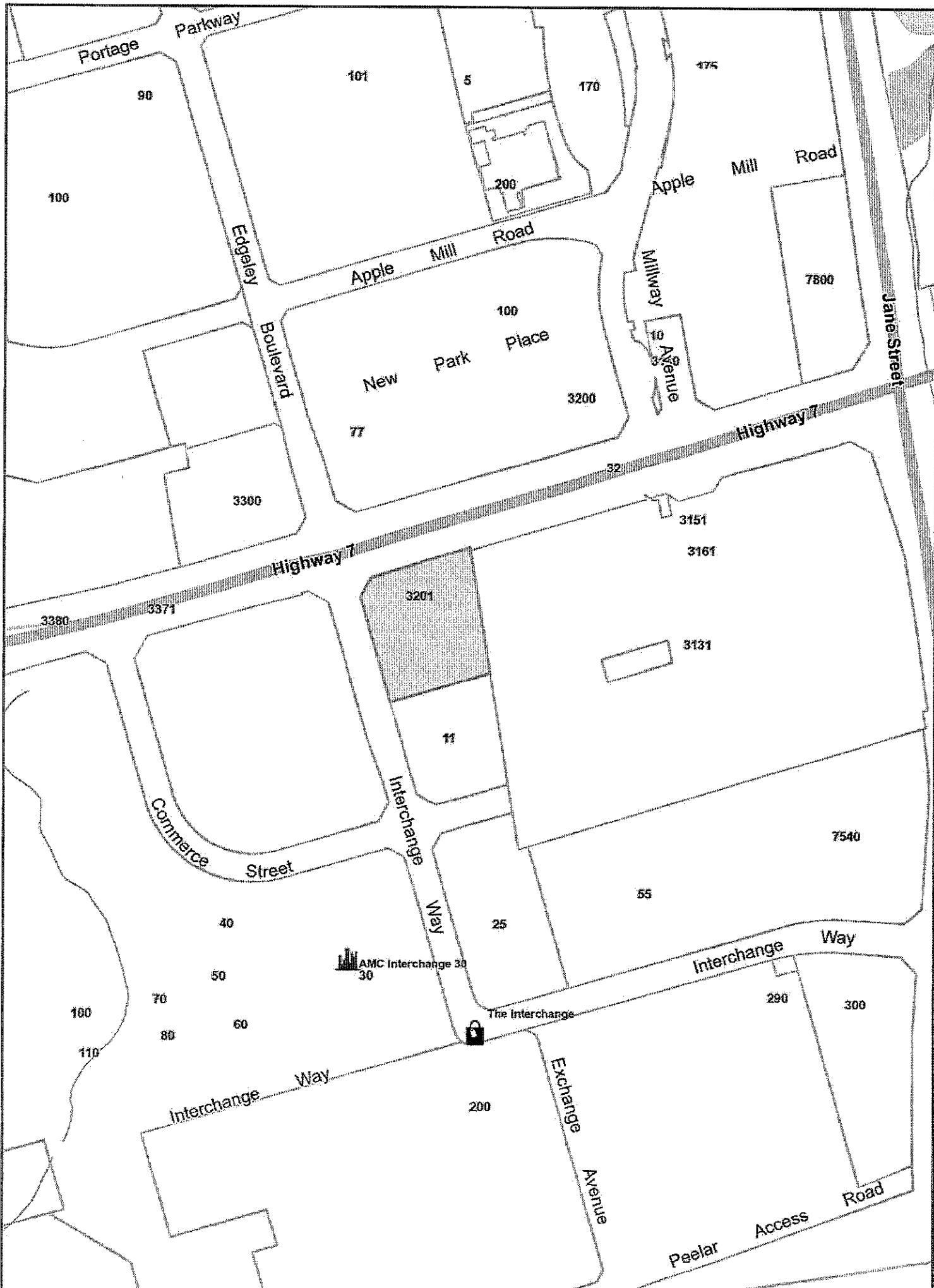
Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Title:
3201 HIGHWAY #7, CONCORD

LOCATION MAP - A136/18

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability for errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514
 0 0.07 km

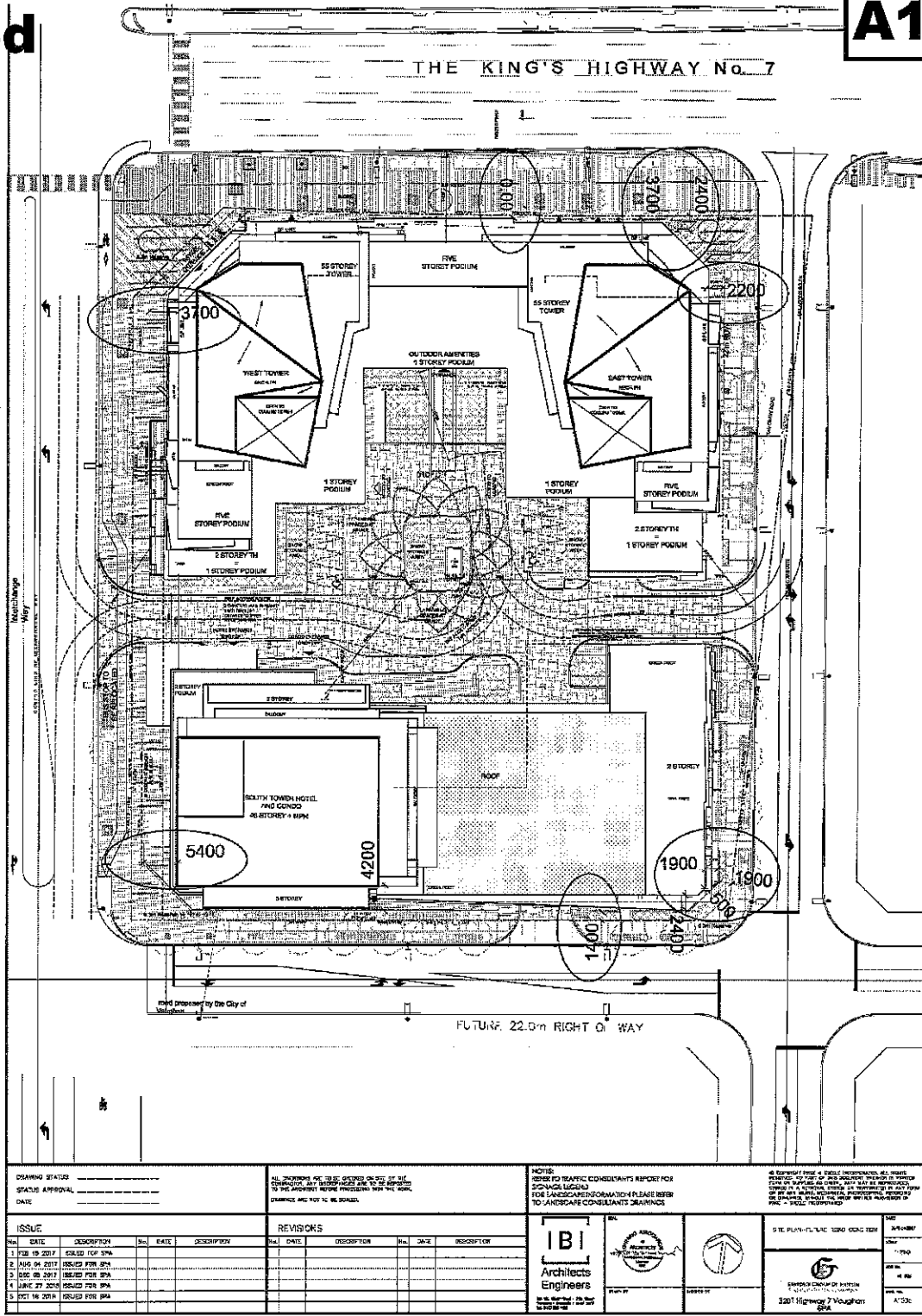
Created By:
 Infrastructure Delivery
 Department
 September 12, 2018 6:50 PM

Projection:
 NAD 83
 UTM Zone
 17N

Revised

Jan. 18/18
Dec. 13/18
Nov. 30/18

A136/18



DRAWING STATUS: _____ STATUS APPROVAL: _____ DATE: _____		ALL PROVISIONS ARE TO BE CHECKED AGAINST THE CITY OF VICTORIA ZONING BY-LAW AND THE VICTORIA BUILDING BY-LAW TO BE APPLIED TO THE PROPOSED DEVELOPMENT. PLEASE REFER TO THE CITY OF VICTORIA WEBSITE FOR THE LATEST VERSIONS OF THESE BY-LAWS.		NOTES: REFER TO TRAFFIC CONSULTANTS REPORT FOR TRAFFIC SIGNALING AND SIGNALING DESIGN FOR LANDSCAPE INFORMATION PLEASE REFER TO LANDSCAPE CONSULTANTS DRAWINGS		© Copyright 2018 IBI Architects Engineers. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of IBI Architects Engineers.	
ISSUE		REVISIONS		IBI Architects Engineers		SITE PLAN - PL/18-0130-0000-1001	
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	DATE	APPROVAL
1	FEB 15 2017	ISSUED FOR SPA					
2	AUG 04 2017	ISSUED FOR SPA					
3	DEC 05 2017	ISSUED FOR SPA					
4	JAN 27 2018	ISSUED FOR SPA					
5	FEB 16 2018	ISSUED FOR SPA					

- To permit a minimum of 19 % of the gross floor area at the ground floor level to be composed of commercial uses which provide individual external at-grade pedestrian access to such use.
- To permit a maximum building height of 152.2 metres and 159.5 metres to the top of the mechanical penthouse for the South Tower (for all other locations outside of a Landmark Location).
- To permit a minimum parking space dimension of 2.6m x 5.7m.
- Despite the provisions of By-law 1-88, vis-à-vis vehicular parking requirements, the required vehicular parking for the site will be 1788 vehicle parking spaces.
- To permit a total of 4 loading spaces.
- To permit a minimum front yard setback (Regional Road 7) and exterior side yard setback (Interchange Way and future North -South Road) of 0.0 metres to below grade structures (for non-residential uses, Major Streets).
- To permit a minimum landscape strip width of 2.4 metres along Regional Road 7, 1.9 metres along future North-South Road and 1.4 metres abutting the future southerly road (for non-residential uses, Major Streets).
- To permit a private amenity area or private patio within the minimum required landscape strip.
- To permit a front yard setback of 3.7 metres within the Build-to-Zone area.
- Build-To-Zone to other streets where 50% of the length of the street line shall have buildings within the build to zone:
 - 1.9 metre east yard setback from the east townhouses to future north-south road (residential uses-Other Streets)
 - 2.2 metre east yard setback from the East tower to future north-south road
 - 0.5 metre to 1.9 metre east yard setback from the South townhouses to future north-south road (including setback to the 0.3 m southeast reserve).
 - 3.7 metre west yard setback from the West Tower to Interchange Way (non residential uses-Other Streets)
 - 5.4 metre west yard setback from the South Tower to Interchange Way (non residential uses-Other Streets)
- To permit a minimum building height of 9.75 metres (West Townhouses) and 9.75 metres (East Townhouses) and 9.0 metres for the south townhouses.
- To permit an Outdoor Patio, as an accessory use to the Eating Establishment in the South Tower Hotel and Condo, not to be completely enclosed by a physical barrier at the ramp (east) and the exterior stairway (west).
- To permit the surface of all loading spaces and related driveways and manoeuvring aisles not to be paved with hot mix asphalt or concrete.
- To permit parking aisles or any area designated to accommodate vehicular traffic to be permitted within the Build -To Zone.
- To permit a minimum of 116 short term residential bicycle parking spaces.

COMMITTEE OF ADJUSTMENT
(VARIANCES)

NOTICE OF DECISION

FILE NO: A064/05

IN THE MATTER OF Subsection 45 of the Planning Act.

IN THE MATTER OF an application by **2748355 CANADA INC. c/o BENTALL REAL ESTATE**, with respect to Part of Lot 5, Concession 5, (municipally located on the southeast corner of Highway 7 & Interchange Way, Concord).

The subject lands are zoned C9, Corporate Commercial under By-law 1-88 as amended and further subject to Exception 9(957).

The applicant is requesting variances to permit the construction of a hotel and convention centre as follows:

Proposal:

1. One loading space required
2. 15 parking space size to be 2.7m x 5.9m
3. North landscape strip 3m, West landscape strip 1.3m
4. Delete build to zone
5. 227 parking spaces required

By-Law Requirements:

1. Two loading spaces required
2. Parking space size 2.7m x 6.0m
3. 6m landscape strips required
4. 80% of the building in 0.3m built to zone
5. 231 parking spaces required

Sketches are attached illustrating the request.

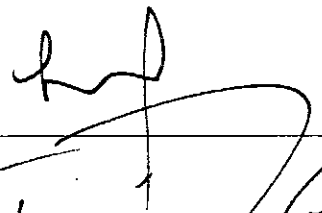
Other Planning Act Applications:

The land which is the subject in this application was also the subject of an application under the Planning Act for:

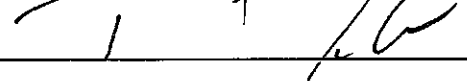
Consent Application File No. B67/04 - Approved October 14, 2004 (Creation of a new lot for commercial purposes).

Site Plan DA.04.073 – Approved by Committee of the Whole February 21, 2005

Moved by:



Seconded by:



THAT the Committee is of the opinion that the variances sought can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

AND THAT Application No. **A064/05 – 2748355 CANADA INC. c/o BENTALL REAL ESTATE**, be **APPROVED**, in accordance with the sketches attached.

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

DATE: MARCH 31, 2005

CHAIR: Mary Mauti

Signed by all members present who concur in this decision:

Mary Mauti

M. Mauti,
Chair,

T. DeCicco

T. DeCicco
Vice Chair,

L. Fluxgold

L. Fluxgold,
Member,

~~D. H. Kang
Member,~~

~~ABSENT~~

~~M. S. Panicali,
Member,~~

~~ABSENT~~

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Dianne E. L. Grout

Dianne E. L. Grout, A.M.C.T.,
Manager of Development Services and
Secretary-Treasurer to Committee of
Adjustment
City of Vaughan

DATE OF HEARING:

MARCH 31, 2005

LAST DATE OF APPEAL:

APRIL 20, 2005

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON APRIL 20, 2005.

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

NOTE: IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

***** APRIL 20, 2006 *****

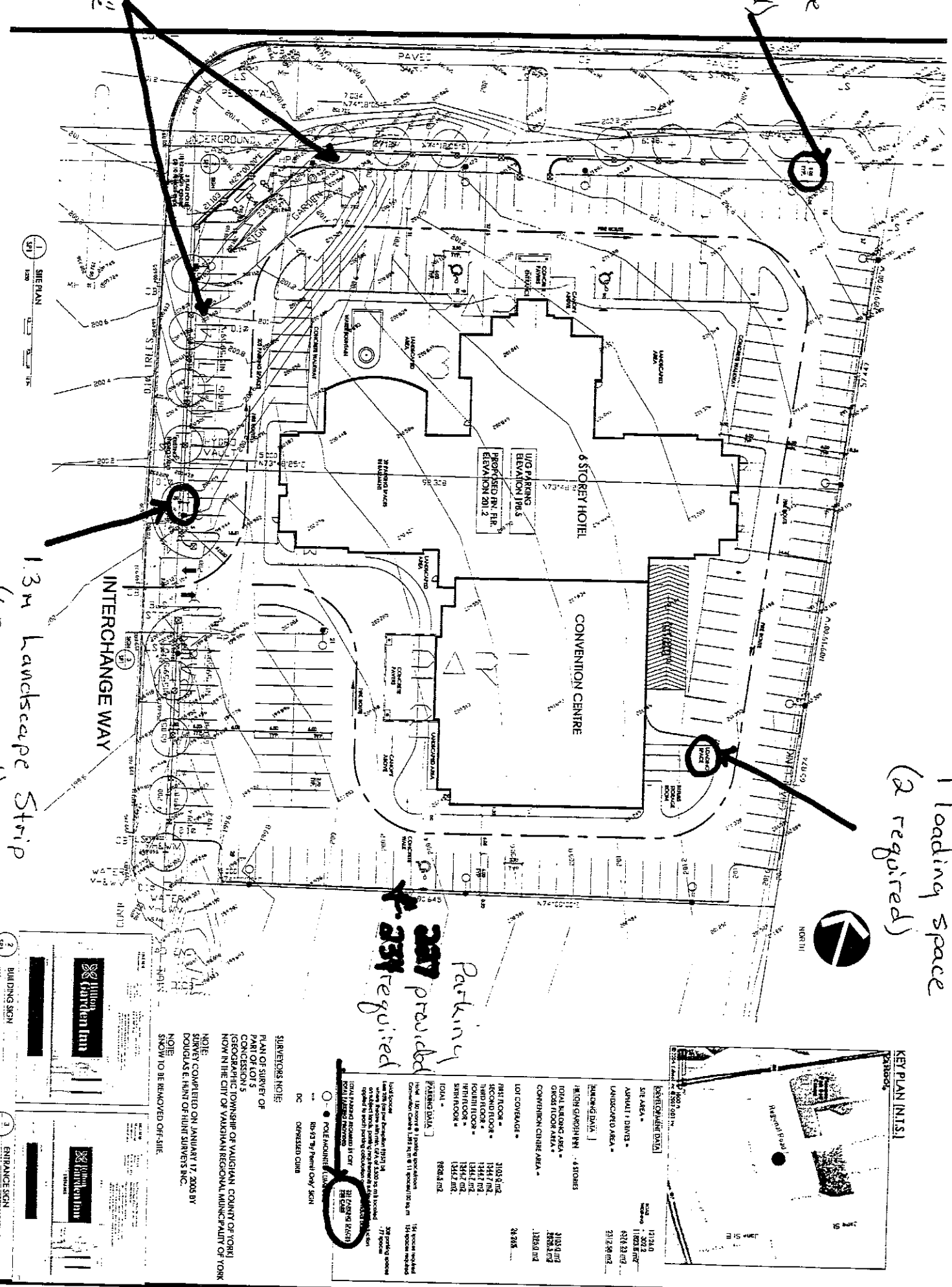
REVISED MARKS

1 Loading Space (2 required)

3.0m Landscape Strip (6.0m req'd)

Delete
0-3m "Build to Zone" Required

1.3m Landscape Strip (6.0m required)



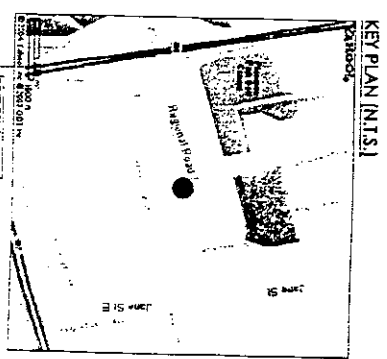
1 SIGN PLAN

2 BUILDING SIGN

3 ENTRANCE SIGN

Hilton Garden Inn

Parking 237 provided
237 required



REMARKS DATA

DATE: 1/12/08
SCALE: 1:2000

AREA =	13129.0
PERIMETER =	11623.87M
ADJACENT DIVISIONS =	6378.33 M ²
UNSCURVED AREA =	2312.59 M ²

REMARKS DATA

ADJACENT GARDEN INN =	4 STOREYS
TOTAL PARKING AREA =	1139.0 M ²
GRAND FLOOR AREA =	2828.1 M ²
CONVENTION CENTRE AREA =	1358.0 M ²

LOT COVERAGE = 28.8%

FIRST FLOOR = 3105.0 M²
 SECOND FLOOR = 1344.7 M²
 THIRD FLOOR = 1344.7 M²
 FIFTH FLOOR = 1344.7 M²
 SIXTH FLOOR = 1344.7 M²
 TOTAL = 8528.5 M²

SUBVERTORS NOTE:
 PLAN OF SURVEY OF
 PART OF LOTS
 CONCESSOR'S
 GEOMETRIC TOWNSHIP OF VAUGHAN COUNTY OF YORK
 NOW IN THE CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

NOTE:
 SURVEY COMPLETED ON JANUARY 17, 2008 BY
 DOUGLAS E. HUNT OF HUNT SURVEYS INC.

NOTE:
 SIGN TO BE REMOVED OFF-SITE

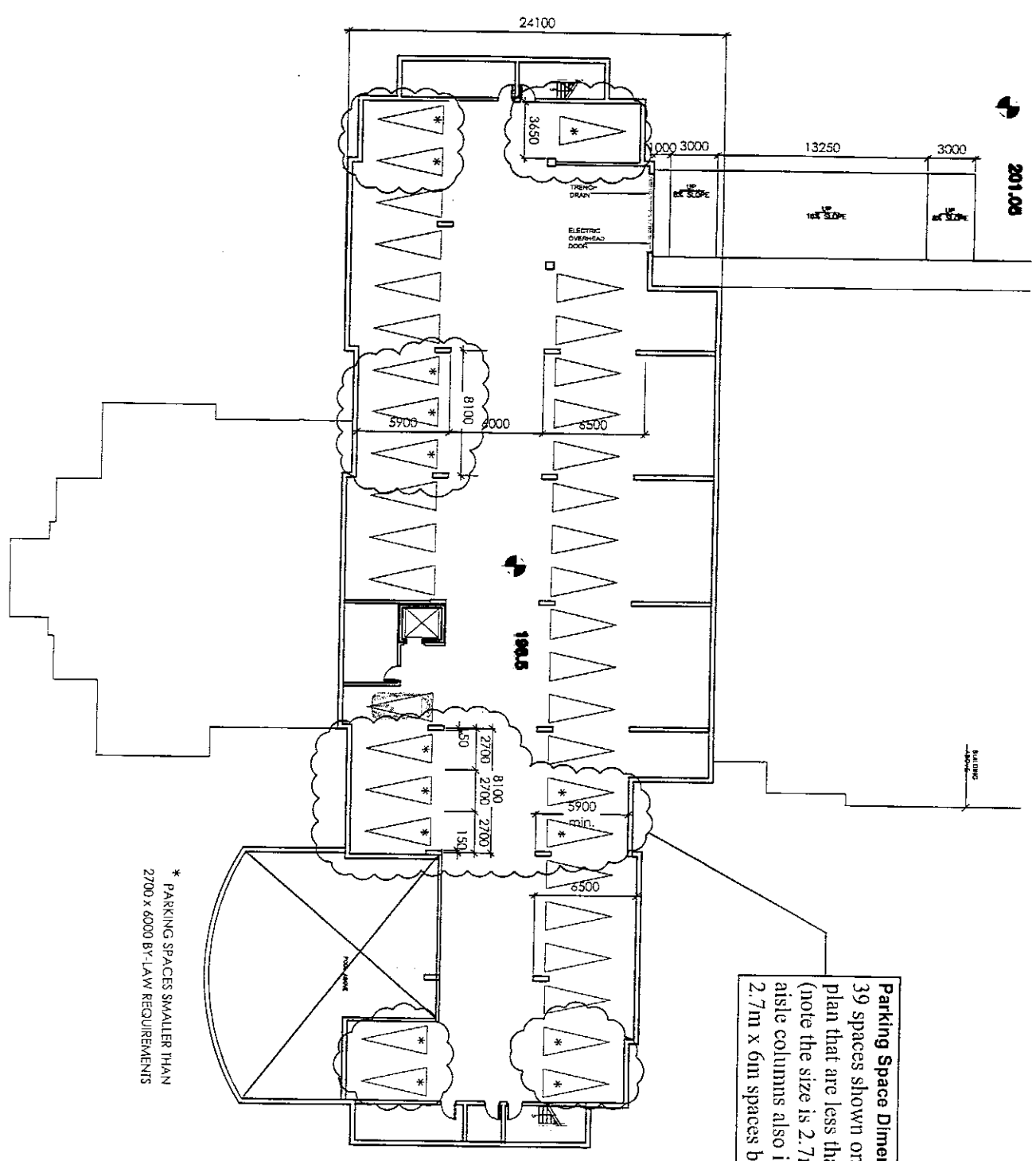
CHAMBERLAN ARCHITECT SERVICES LIMITED

Hilton Garden Inn
 8 STOREY HOTEL
 HIGHWAY 7 & INTERCHANGE WAY
 VAUGHAN, ONTARIO

DATE: JANUARY 18, 2008
 DRAWN BY: MZ
 CHECKED BY: AJM
 TITLE: CONVENTION CENTRE SIGN PLAN
 PROJECT NO.: 1250
 DRAWING NO.: 102128

SP1

A04405



Parking Space Dimension: the 15 of the 39 spaces shown on the underground plan that are less than 2.7m x 6m. (note the size is 2.7m x 5.9m) The aisle columns also intrude into the 2.7m x 6m spaces by .15m.

* PARKING SPACES SMALLER THAN 2700 x 6000 BY-LAW REQUIREMENTS

AO6405

CHAMBERLAIN
ARCHITECT
SERVICES
LIMITED



118 SOUTH ST. 4TH FLOOR
TORONTO, ONT. M5V 1A8
TEL: (416) 593-2777
FAX: (416) 593-2778
WWW.CHAMBERLAINARCHITECT.COM

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	NOV 10 2004
2	ISSUE FOR CONSTRUCTION	NOV 10 2004
3	ISSUE FOR CONSTRUCTION	NOV 10 2004

PROJECT: 6 STOREY HOTEL
CLIENT: MILLENNIUM
DATE: NOVEMBER 10, 2004
DRAWING NO.: 1021796

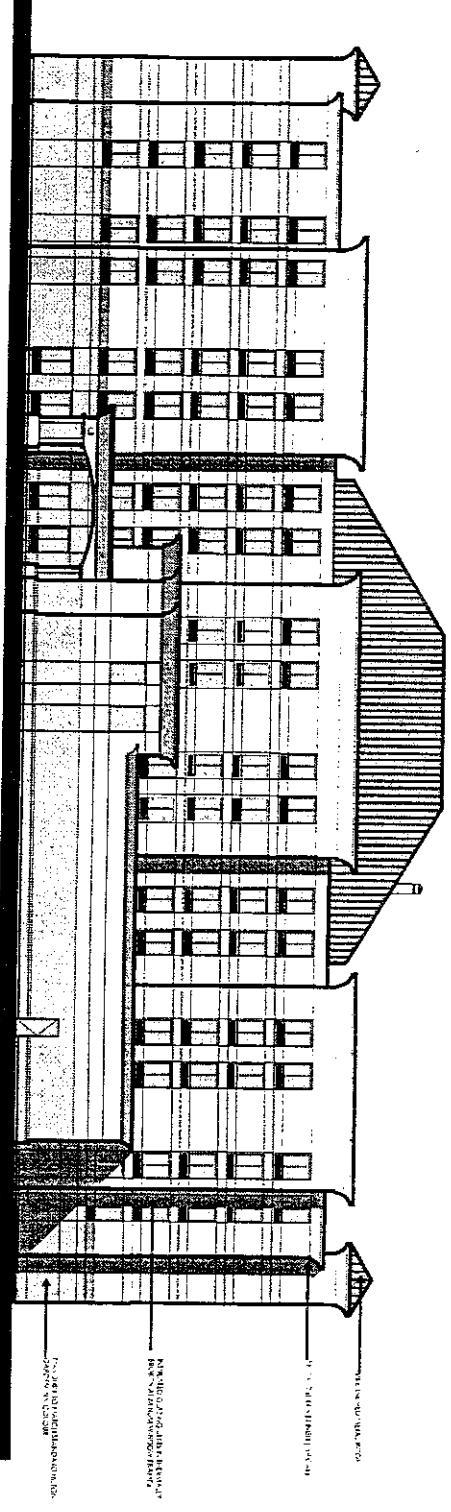
DATE: NOVEMBER 10, 2004
DRAWING NO.: 1021796

MILLENNIUM
Canadian Hotel

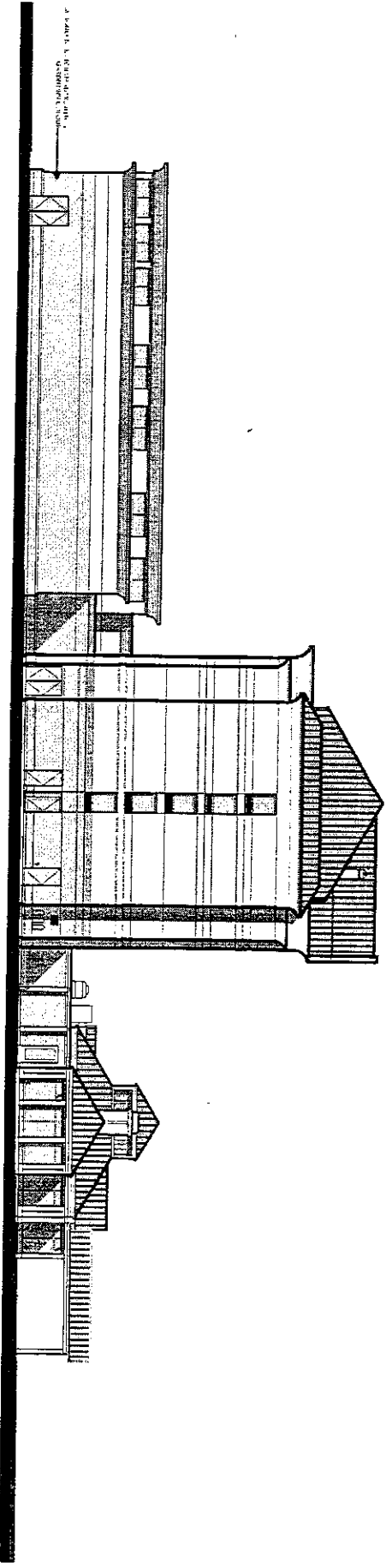
6 STOREY HOTEL
HIGHWAY 7 & INTERCHANGE WAY
VAUGHAN, ONTARIO

ELEVATIONS

DATE: NOVEMBER 10, 2004
DRAWING NO.: 1021796
SCALE: 1:150
PROJECT NO.: 1021796

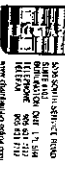


1 BACK ELEVATION



2 SIDE ELEVATION

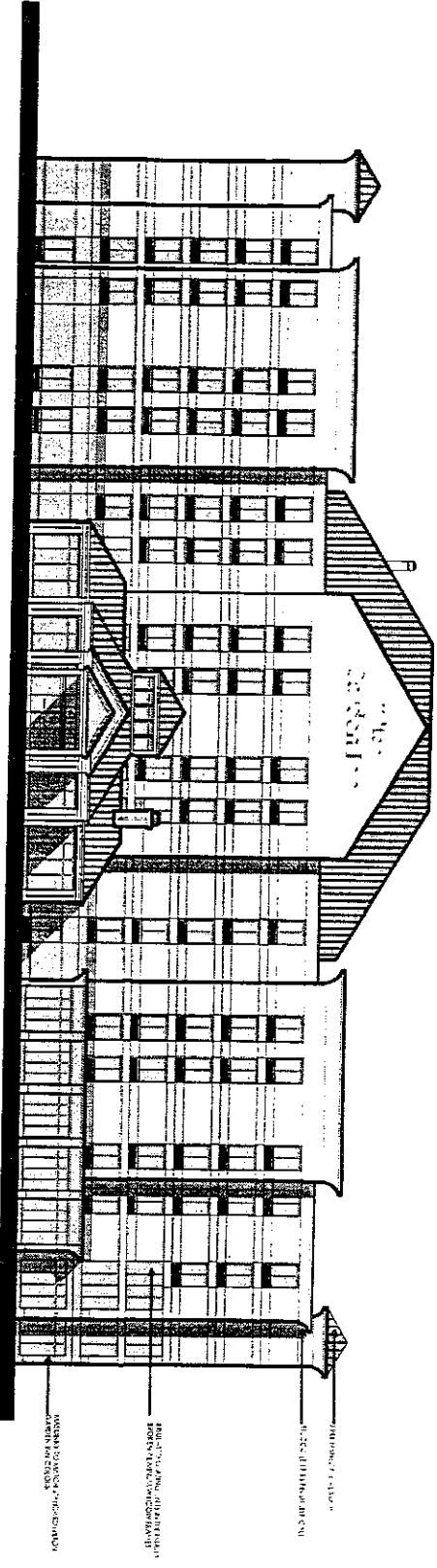
CHAMBERLAIN
ARCHITECT
SERVICES
LIMITED



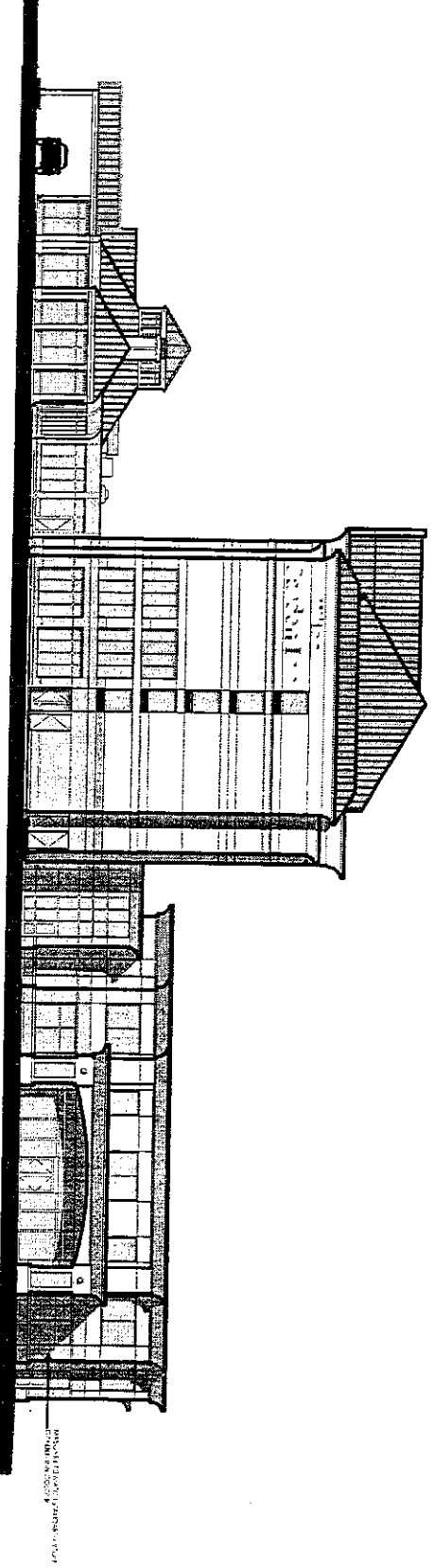
DATE: NOVEMBER 10, 2004
 SHEET NO.: 115
 PROJECT NO.: 102126

NO.	REVISION	DATE
1	DATE OF PREPARATION	NOV. 2004
2	DATE OF REVISION	NOV. 2004
3	DATE OF REVISION	NOV. 2004

FOR ALL CONTRACT DOCUMENTS, SEE THE PROJECT SHEET. THIS SHEET IS A PART OF THE PROJECT SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER AGENCIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF SUCH PERMITS AND APPROVALS.



1 FRONT ELEVATION - HIGHWAY 7
115



2 SIDE ELEVATION - INTERCHANGE WAY
115

Milliken
Chamberlain
LIMITED

6 STOREY HOTEL

HIGHWAY 7 & INTERCHANGE WAY
MUSKOGEE, OKLAHOMA

ELEVATIONS

DATE: NOVEMBER 10, 2004

DESIGNED BY: MZ

CHECKED BY: AM

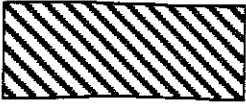
FILE NAME: 5-2004-115-115

SCALE: 1:150

PROJECT NO.: 102126

CHAMBERLAIN

COMMITTEE OF ADJUSTMENT

File No.:	A064/05
Applicant:	2748355 Canada Inc.
	S/E corner of Highway 7 & Interchange Way, Woodbridge Subject Area

