

ITEM #: 6.6

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A248/22
68 Riviera Dr Concord**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A248/22
68 Riviera Dr Concord**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.6	CITY WARD #: 5
APPLICANT:	Serguei and Olga Khoroch
AGENT:	PLEKS
PROPERTY:	68 Riviera Dr Concord ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed deck/balcony with pergola.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RT, Townhouse Residential Zone subject to the provisions of Exception 14.266 under By-law 001-2021 as amended

#	Zoning By-law 001-2021	Variance requested
1	A balcony may encroach a maximum of 1.5 metres into the required rear yard and may project a maximum of 3.0 metres beyond the main wall. (Table 4-1)	To permit a balcony to encroach to a maximum of 2.99 metres into the required rear yard setback and project 4.48 metres from the main wall.

The subject lands are zoned RM1 Street Townhouse Zone and subject to the provisions of Exception 9(465) under By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	An uncovered deck may encroach a maximum of 1.8 metres into the required rear yard. (Section 3.14 c)	To permit a maximum rear yard encroachment of 2.99 metres into the require rear yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:
Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022	
Date Applicant Confirmed Posting of Sign:	TBC	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The Zoning By-law 1-88 permits balconies which are uncovered, unexcavated and unenclosed may extend into a required rear yard to a maximum of 1.8 meters. Whereas, the balcony is covered and is not a permitted encroachment into the required 7.5 meters rear yard setback. (Section 3.14 c))	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On November 21, 2022, Development Planning provided the following recommendations:</p> <p>Development Planning is not in position to support a deck that projects more than 50% of the entire rear lot area. We recommend reducing the depth to 4.48 m.</p> <p>In response to the above comments, the applicant amended the application to propose a depth of 4.48m and submitted a Zoning Review Waiver to facilitate public notice.</p> <p>On November 25, 2022, Building Standards confirmed the variances requested.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	Yes	<small>*Building Standards staff have confirmed the required variances</small>
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>		
<small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>		
<small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		
Adjournment Fees:		
<small>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</small>		
<small>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</small>		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	Application under review.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering Department does not object to the Minor Variance application A248/22.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: forestry has no comments at this time

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	TRCA kristen.regier@trca.ca	That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

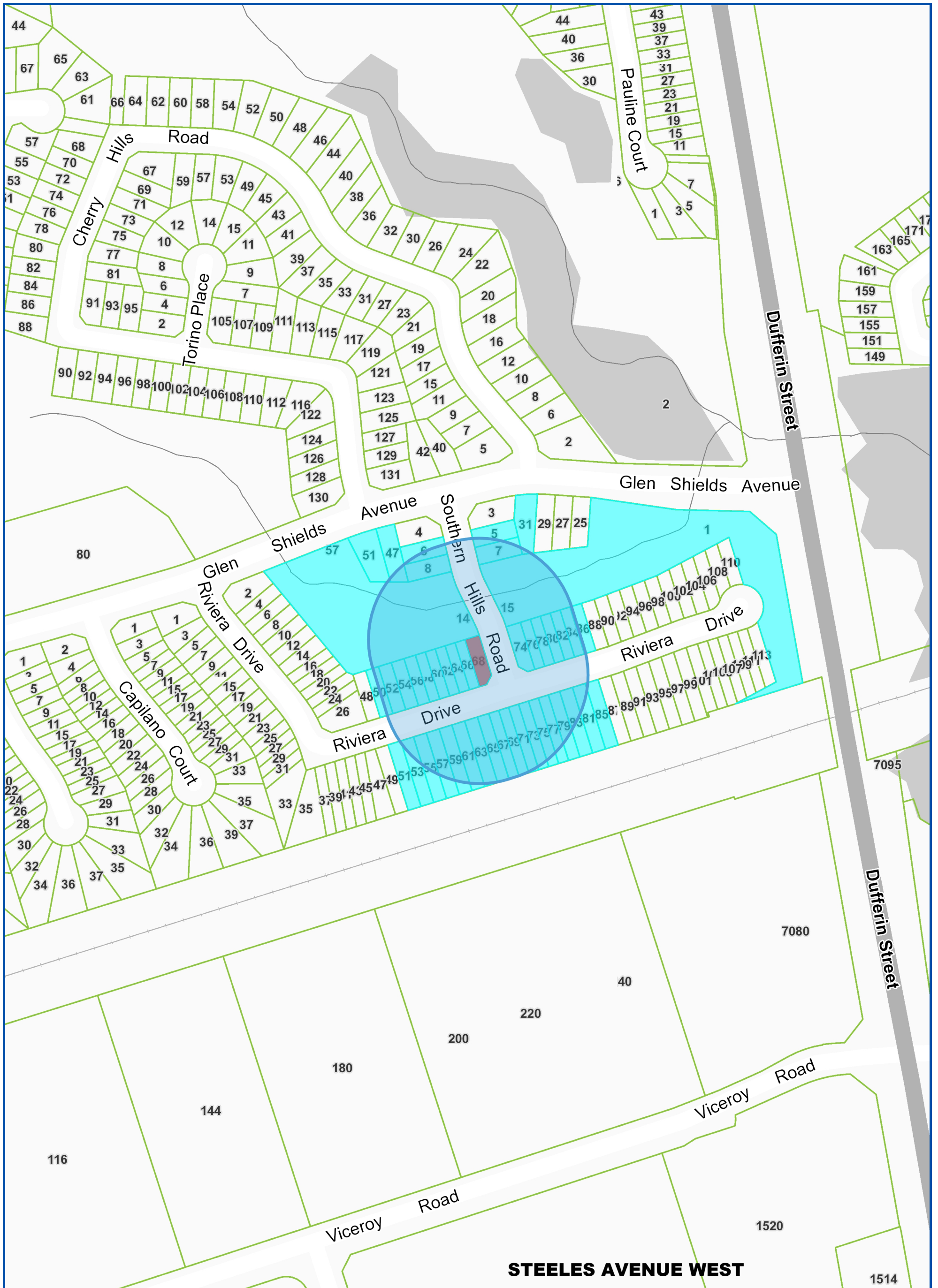
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

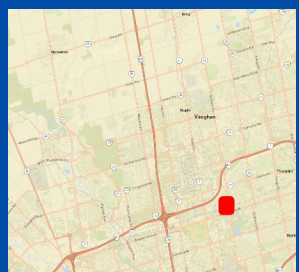
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

68 Riviera Drive, Concord

NOTIFICATION MAP - A248/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,286

0 0.05 km



Created By:

Infrastructure Delivery
Department

October 26, 2022 7:12 PM

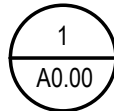
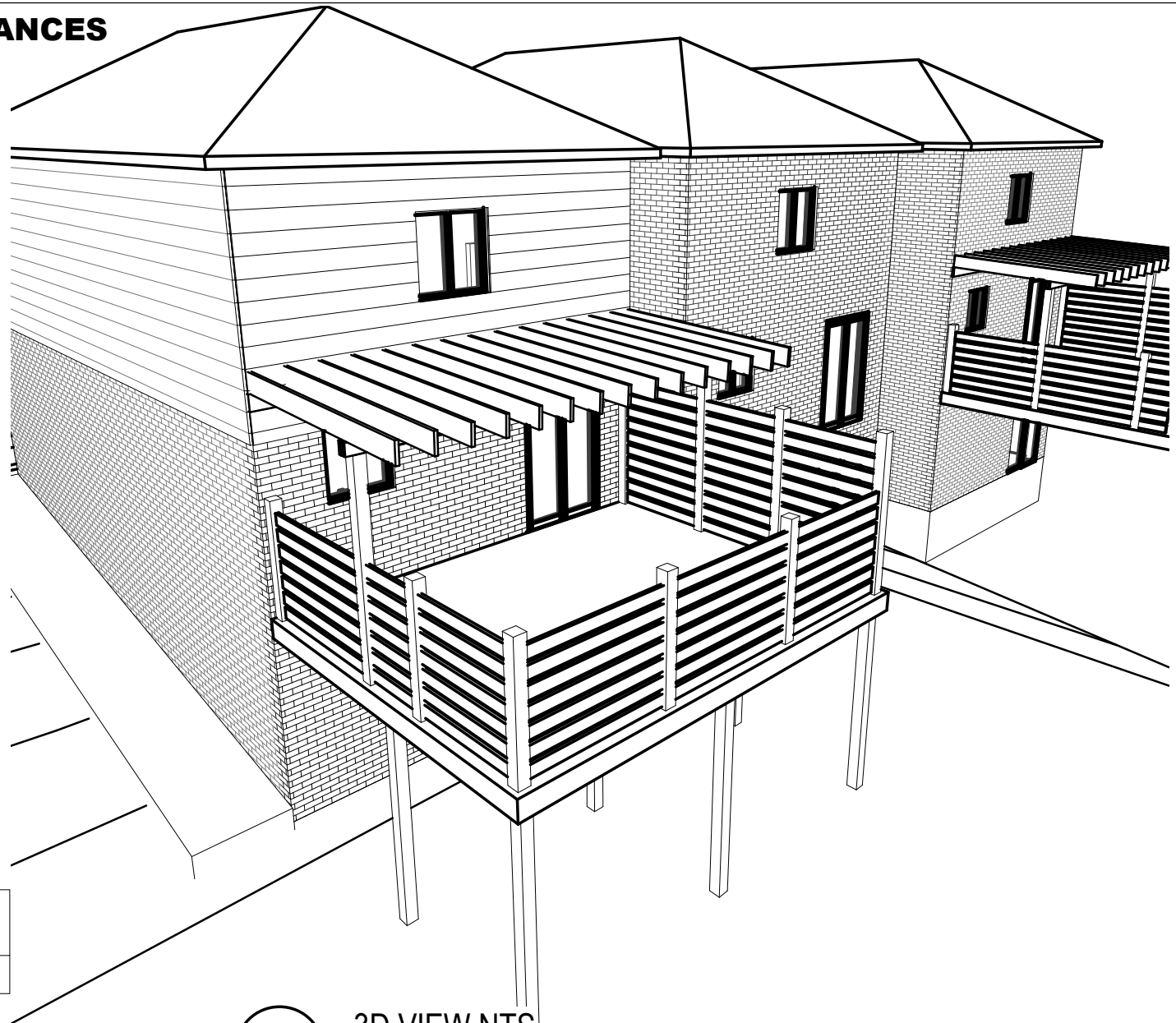
Projection:
NAD 83
UTM Zone
17N

**PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT**

A248/22

Received

November 25, 2022



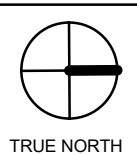
3D VIEW NTS

SCALE:

PROPOSED DECK

SHEET LIST

SHEET NUMBER	SHEET NAME
A0.00	COVER SHEET
A1.00	SITE PLAN
A2.01	FOOTING PLAN
A2.02	FIN 1ST FLR
A4.00	EXTERIOR ELEVATION
A4.01	EXTERIOR ELEVATION
A5.00	EXTERIOR ELEVATION



68 RIVIERA DRIVE, VAUGHAN - NEW DECK

A0.00

COVER SHEET

DRAWN BY: SP

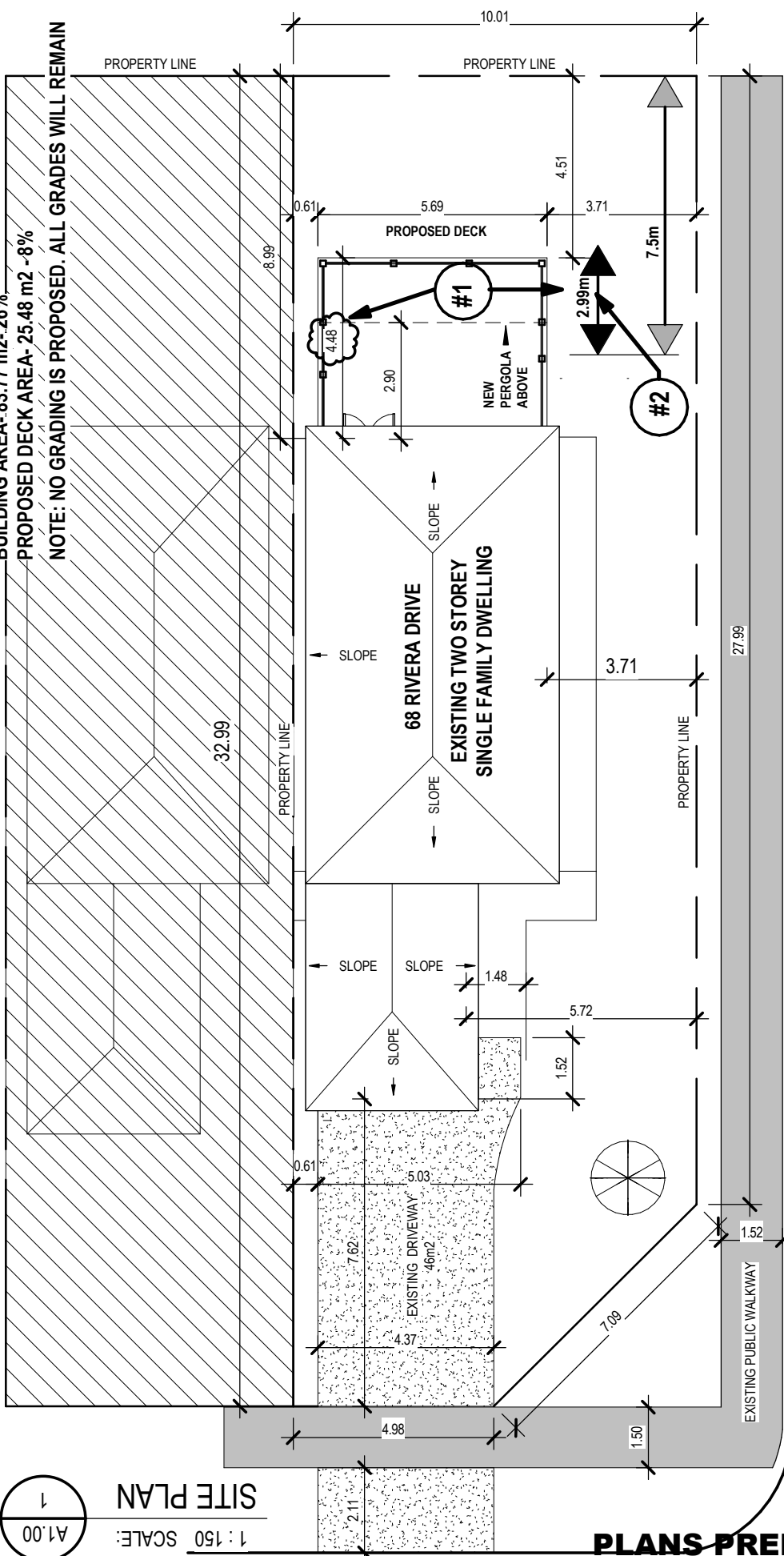
DATE: 11/2022



BUILDING RIGHTS DESIGN, L.L.C.

SITE AREA - 317.46 m² - 100%
 BUILDING AREA - 83.77 m² - 26%
 PROPOSED DECK AREA - 25.48 m² - 8%

NOTE: NO GRADING IS PROPOSED. ALL GRADES WILL REMAIN

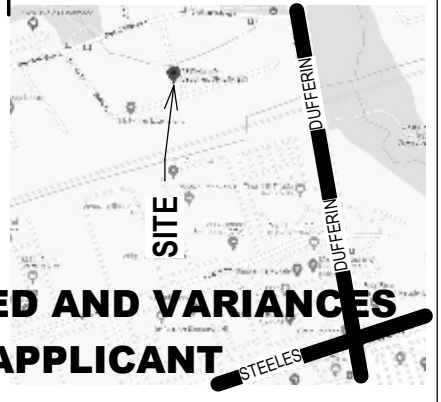


A248/22

Received
 November 25, 2022

SOUTHERN HILLS RD

- NOTES:
- EROSION AND SEDIMENT CONTROL (ESC) MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING THE CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO THE WATERWAYS. ESC MEASURES SHOULD BE REPAIRED AND/OR REPLACED WITHIN 48 HOURS OF THE INSPECTION.
 - DISTURBED AREAS WILL BE MINIMIZED TO THE EXTENT POSSIBLE, AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES.
 - THE EROSION AND SEDIMENT CONTROL STRATEGIES OUTLINED ON THE PLANS ARE NOT STATIC AND MAY NEED TO BE UPGRADED/AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LEAVING THE WORK AREAS. IF THE PRESCRIBED MEASURES ON THE PLANS ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A DELETERIOUS SUBSTANCE, INCLUDING SEDIMENT, THEN A MORE EFFECTIVE MEASURE SHOULD BE IMPLEMENTED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS. TRCA ENFORCEMENT OFFICER SHOULD BE IMMEDIATELY CONTACTED. ADDITIONAL ESC MEASURES TO BE KEPT ON FILE FOR FUTURE USE AS NECESSARY.
 - NON-WOVEN GEOTEXTILE FILTER FABRIC, TERRAFIX 270R OR EQUIVALENT SILT FENCE WOULD BE INSTALLED DURING CONSTRUCTION.



PLANS PREPARED AND VARIANCES

RIVIERA DRIVE IDENTIFIED BY APPLICANT

1 : 150 SCALE:
 SITE PLAN
 A1.00



68 RIVIERA DRIVE, VAUGHAN - NEW DECK	
A1.00	SITE PLAN
1 : 150	DRAWN BY: SP
	DATE: 11/2022

PROJECT NORTH
 TRUE NORTH

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

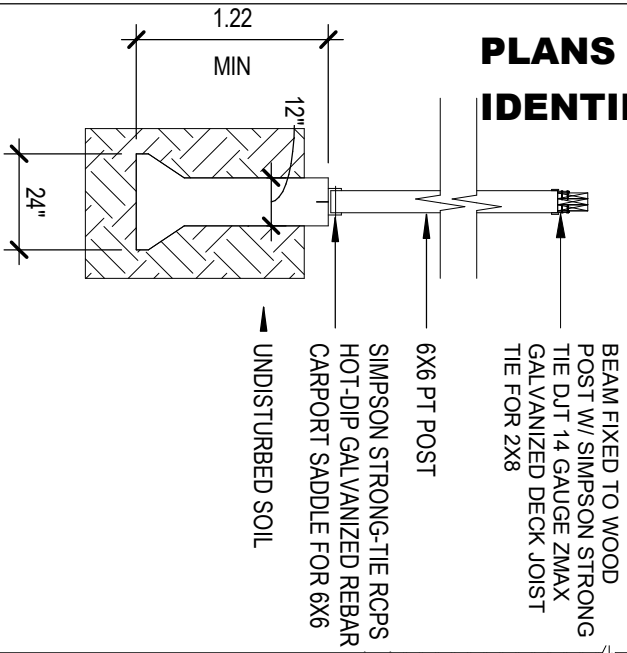
A248/22

1:75 SCALE:

A2.01

1

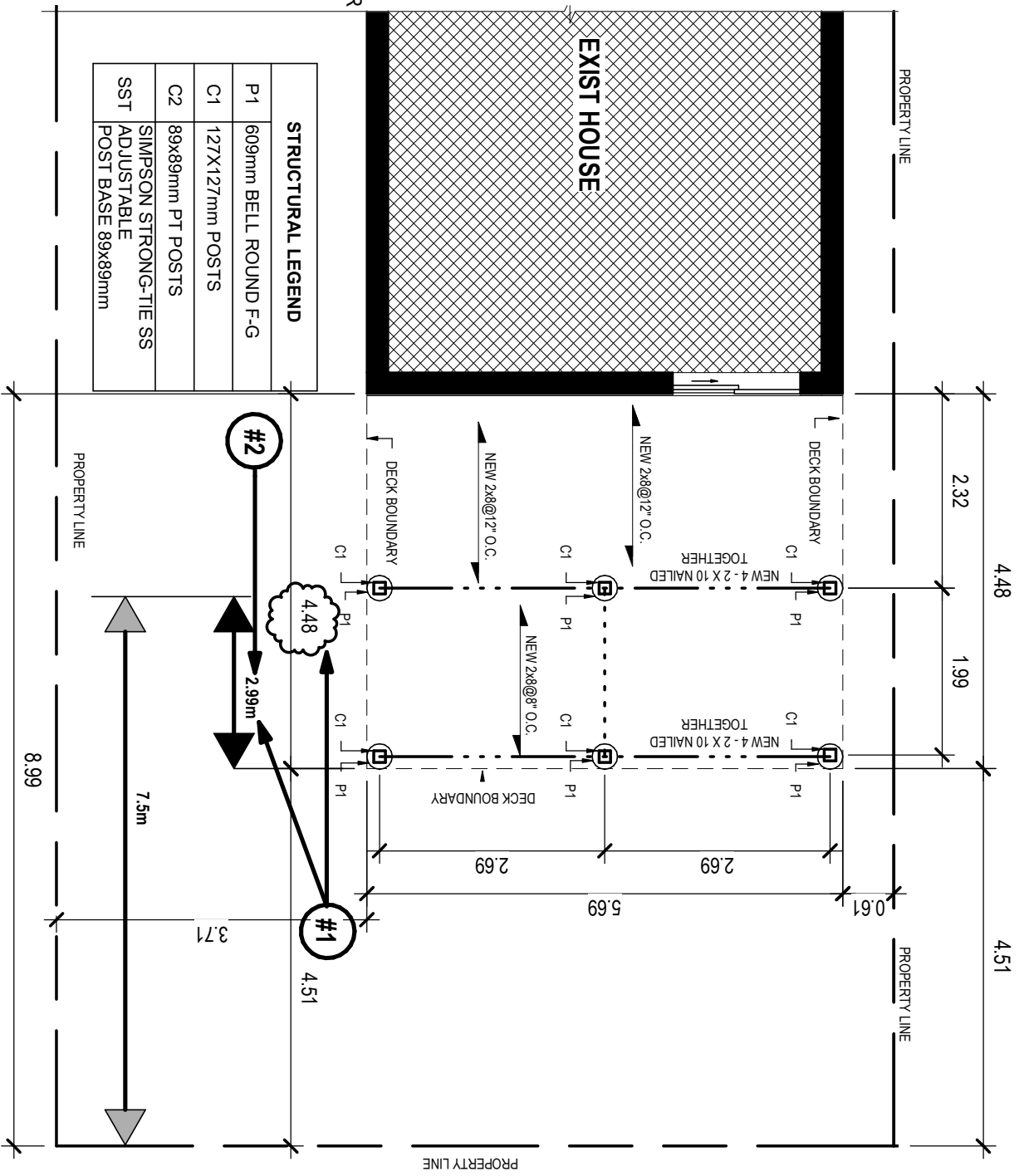
FIN BSMNT



SCALE: 1 : 48

BELL FOOTING DETAIL

STRUCTURAL LEGEND	
P1	609mm BELL ROUND F-G
C1	127X127mm POSTS
C2	89x89mm PT POSTS
SST	SIMPSON STRONG-TIE SS ADJUSTABLE POST BASE 89x89mm



PROJECT NORTH

TRUE NORTH

68 RIVIERA DRIVE, VAUGHAN - NEW DECK

A2.01

FOOTING PLAN

As indicated

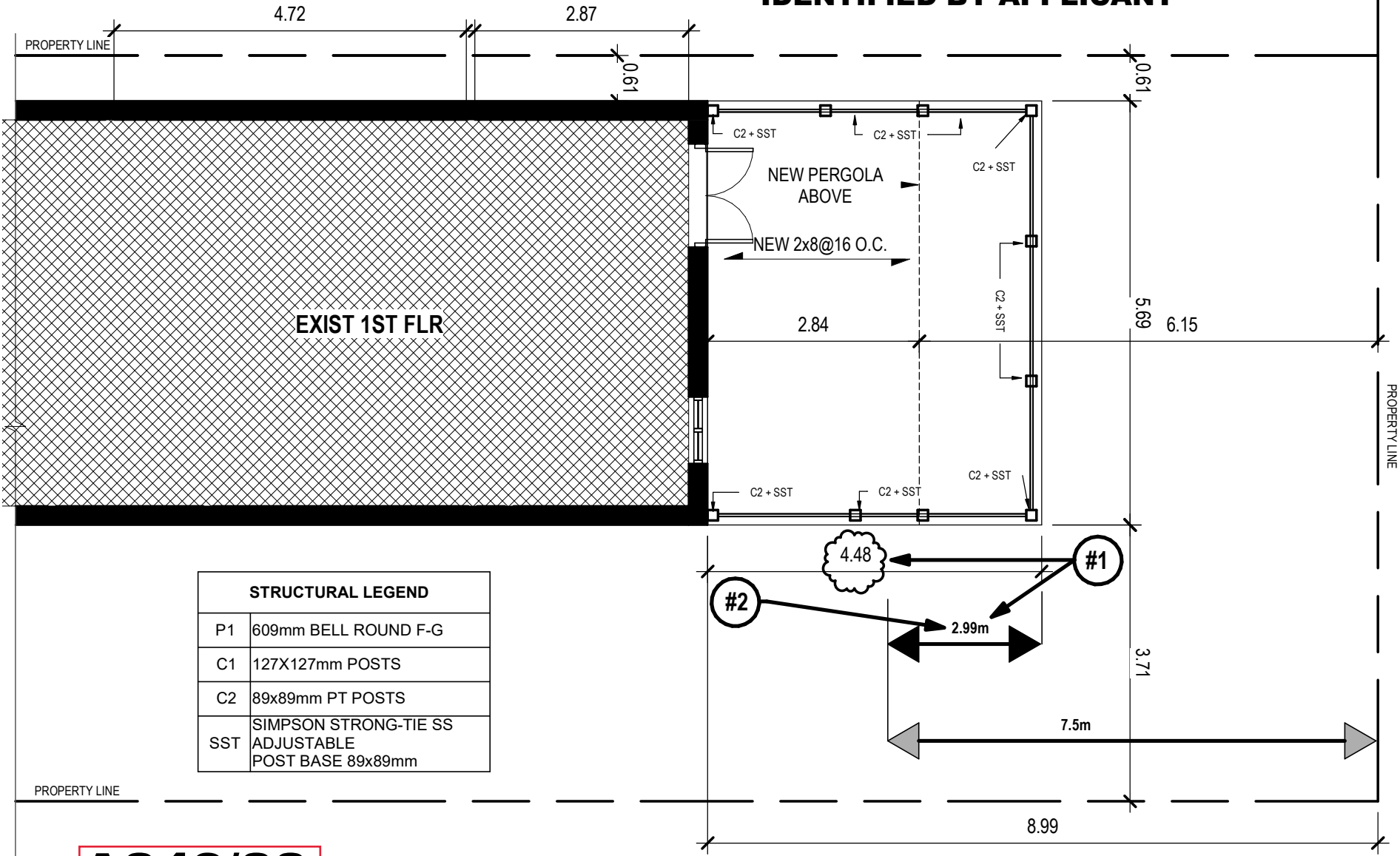
DRAWN BY: SP

DATE: 11/2022

PLEKS

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

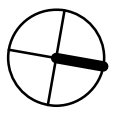
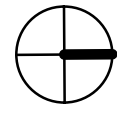

A2.02
1
1:75 SCALE:
FIN 1ST FLR



STRUCTURAL LEGEND	
P1	609mm BELL ROUND F-G
C1	127X127mm POSTS
C2	89x89mm PT POSTS
SST	SIMPSON STRONG-TIE SS ADJUSTABLE POST BASE 89x89mm

A248/22

Received
November 25, 2022

 PROJECT NORTH	 TRUE NORTH	68 RIVIERA DRIVE, VAUGHAN - NEW DECK		 PLEKS BUILDING DESIGN SERVICES LTD.
		A2.02	FIN 1ST FLR As indicated	

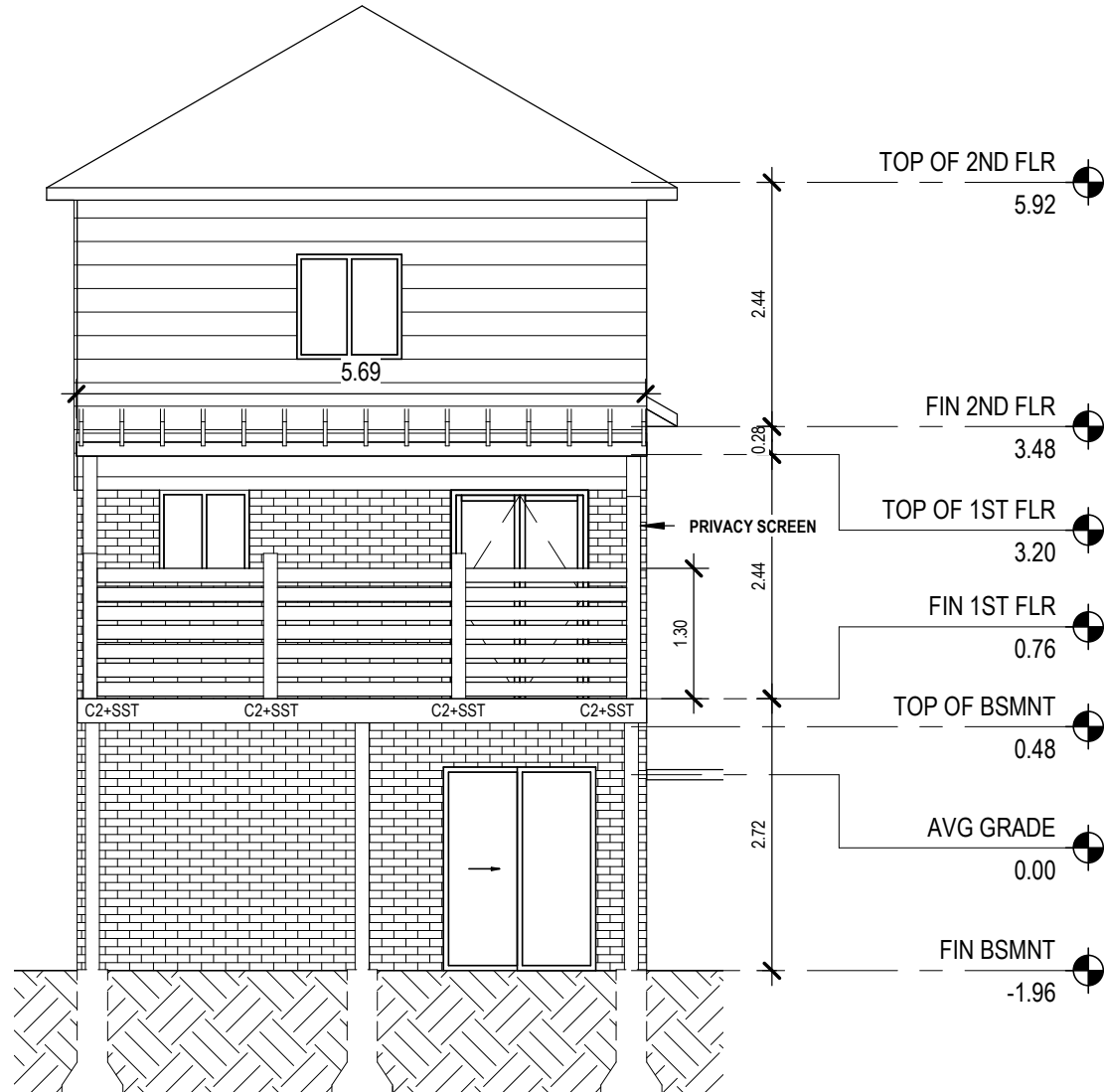
PLANS PREPARED AND VARIANCES

IDENTIFIED BY APPLICANT

A248/22

Received

November 25, 2022



1
A4.00

NORTH ELEVATION

SCALE: 1 : 75

68 RIVIERA DRIVE, VAUGHAN - NEW DECK

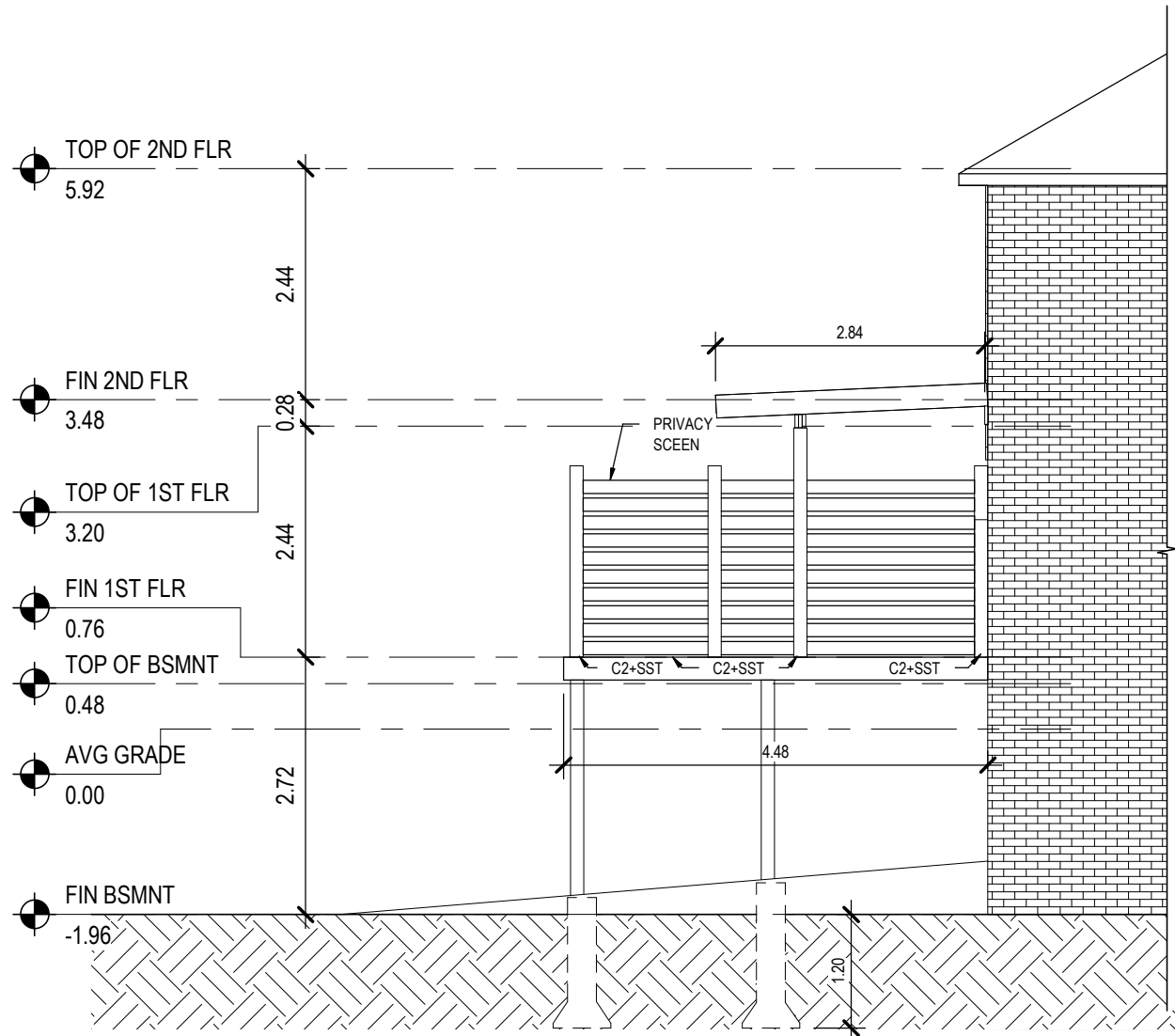
A4.00	EXTERIOR ELEVATION	DRAWN BY: SP
	1 : 75	DATE: 11/2022



**PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT**

A248/22

Received
November 25, 2022



1
A4.01 **WEST ELEVATION**
SCALE: 1 : 75

68 RIVIERA DRIVE, VAUGHAN - NEW DECK		
A4.01	EXTERIOR ELEVATION	DRAWN BY: SP
	1 : 75	DATE: 11/2022

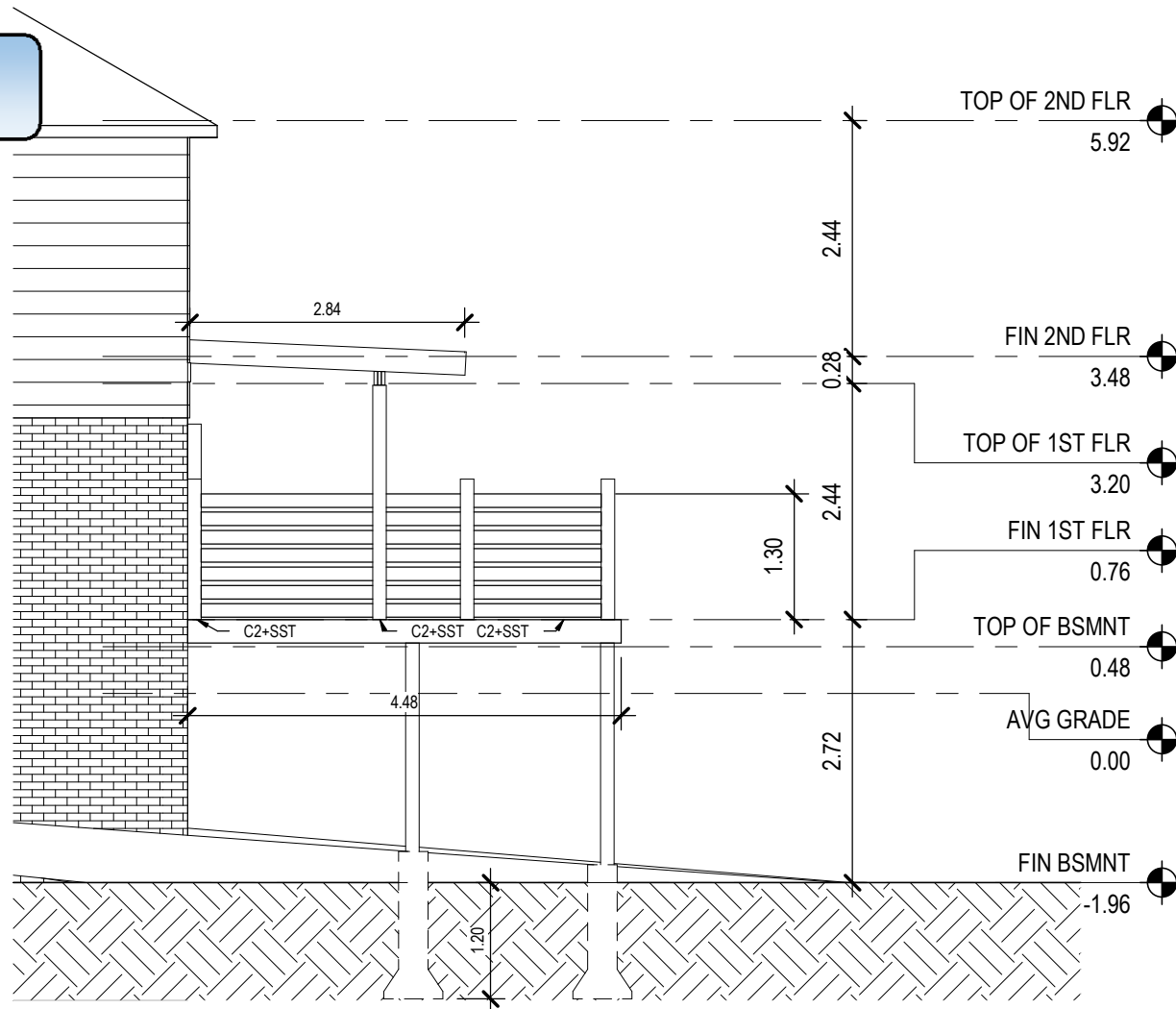


PLANS PREPARED AND VARIANCES


IDENTIFIED BY APPLICANT

A248/22

Received
November 25, 2022



1 EAST ELEVATION
A5.00 SCALE: 1 : 75

68 RIVIERA DRIVE, VAUGHAN - NEW DECK			 <small>BUILDING DESIGN CONSULTANTS</small>
A5.00	EXTERIOR ELEVATION	DRAWN BY: SP	
	1 : 75	DATE: 11/2022	

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: September 27th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A248-22**

Related Files:

Applicant Serguei and Olga Khoroch

Location 68 Riviera Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

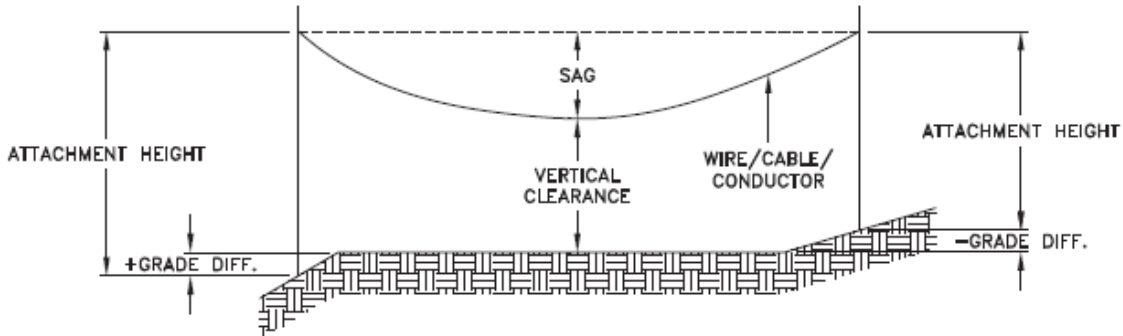
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

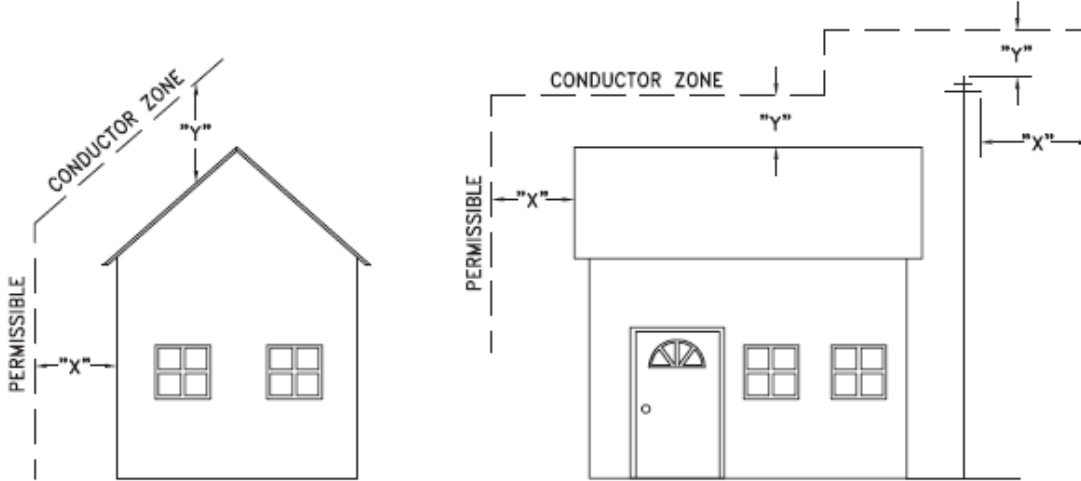
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: November 25, 2022
Applicant: Serguei and Olga Khoroch
Location: 68 Riviera Drive,
 PLAN M1863 Lot 145
 PLAN 66R11186 Part 18
File No.(s): A248/22

Zoning Classification:

The subject lands are zoned RT, Townhouse Residential Zone subject to the provisions of Exception 14.266 under By-law 001-2021 as amended

#	Zoning By-law 001-2021	Variance requested
1	A balcony may encroach a maximum of 1.5 metres into the required rear yard and may project a maximum of 3.0 metres beyond the main wall. (Table 4-1)	To permit a balcony to encroach to a maximum of 2.99 metres into the required rear yard setback and project 4.48 metres from the main wall.

The subject lands are zoned RM1 Street Townhouse Zone and subject to the provisions of Exception 9(465) under By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	An uncovered deck may encroach a maximum of 1.8 metres into the required rear yard. (Section 3.14 c)	To permit a maximum rear yard encroachment of 2.99 metres into the require rear yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-113462 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: November 28, 2022

Name of Owners: Serguei and Olga Khoroch

Location: 68 Riviera Drive

File No.(s): A248/22

Proposed Variance(s) (By-law 01-2021):

- 1) To permit a balcony to encroach to a maximum of 2.99 m into the required rear yard setback and project 4.48 m from the main wall.

By-Law Requirement(s) (By-law 01-2021):

- 1) A balcony may encroach a maximum of 1.5 m into the required rear yard and may project a maximum of 3.0 m beyond the main wall. [Table 4-1]

Proposed Variance(s) (By-law 1-88):

- 2) To permit a maximum rear yard encroachment of 2.99 m into the required rear yard.

By-law Requirement(s) (By-law 1-88):

- 2) An uncovered deck may encroach a maximum of 1.8 m into the required rear yard. [Section 3.14 c)]

Official Plan:

Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"

Comments:

The Owners are requesting to permit the expansion of an elevated deck located in the rear yard with the above noted variances. The deck is proposed over a walk-out basement.

At the request of Development Planning, the Owners have reduced the depth of the deck to arrive at the current proposal. Development Planning Department does not object to the variances as the proposed deck projects less than halfway into the depth of the rear yard while being in-line with the dwelling's side walls. This maintains sufficient rear yard space for outdoor amenity and recreational purposes. Development Planning staff recognize the deck is being elevated (2.72 m) to service a walk-out basement entrance at the rear and is of the opinion the visual impact will be minimal.

In support of the minor variance application, the Owners submitted an Arborist Report prepared by Harmony Tree Service, dated October 11, 2022, and Tree Preservation Plan prepared by Sergei Plehhanov, dated October 11, 2022. Urban Design staff have reviewed the report and study, agree with the findings, and are satisfied the proposed works will not have an adverse impact on the surrounding vegetation on-site.

The Development Planning Department is of the opinion the variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
David Harding, Senior Planner

September 30, 2022

CFN 66448.26

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A248/22
Part of Lot 2, Concession 3
68 Riviera Drive
City of Vaughan, Region of York
Owner: Serguei and Olga Khoroch
Agent: Sergei Plehhanov**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on September 22, 2022. TRCA staff has reviewed the above noted application, and as per the “Living City Policies for Planning and Development within the Watersheds of the TRCA” (LCP), provides the following comments as part of TRCA’s commenting role under the *Planning Act*; the Authority’s delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA’s Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under both Zoning By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021

1. To permit a balcony to encroach to a maximum of 4.3 m into the required rear yard setback and project 5.74 m from the main wall, whereas a balcony may encroach a maximum of 1.5 m into the required rear yard and may project a maximum of 3.0 m beyond the main wall.

By-Law 1-88

2. To permit a maximum rear yard encroachment of 4.3 m into the required rear yard, whereas an uncovered deck may encroach a maximum of 1.8 m into the required rear yard.

The noted variances are being requested to permit the construction of a deck at the rear yard.

Ontario Regulation 166/06

A portion of the subject lands are located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain associated with a tributary of the Don River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

Based on a review of the submitted materials, the proposed works are located within TRCA's Regulated Area. Specifically, the proposed deck is located within the Regional Storm flood plain which impacts the rear (northern) portion of the site.

TRCA staff have reviewed and issued a permit, pursuant to Ontario Regulation 166/06, for the proposed deck structure (TRCA Permit No. C-220766, issued on June 24, 2022). The plans submit with this application are consistent with the plans that were approved as a part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed deck structure, or the variances being requested through this application.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A248/22 subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.Regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A248/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, September 27, 2022 4:14:52 PM
Attachments: [image002.png](#)
[image004.png](#)
[APPCIRC A248 22.pdf](#)

Hello,

The Regional Municipality of York has completed its review of the minor variance application A248/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None