

**ITEM #: 6.5**

**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A240/22  
46 Zantella Ct Maple**

**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Received to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Received to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Received to Date
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public	Marat Gulbandgan	42 Zantella Court	08/07/2022	Letter of Support

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision MM/DD/YYYY</b>	<b>Decision Outcome</b>
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**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see Schedule D for a copy of the Decisions listed below

None		
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**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A240/22  
46 Zantella Ct Maple**

**FILE MANAGER:** Lenore Providence, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER:</b> 6.5	<b>CITY WARD #:</b> 1
<b>APPLICANT:</b>	Taron Petevotyan and Agata Hovakimyan
<b>AGENT:</b>	TBM Engineers Inc.
<b>PROPERTY:</b>	46 Zantella Ct Maple ON
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed covered porch.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R4(EN)** and subject to the provisions of **Exception 14.632** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 5.5 metres to the covered porch is required. [Section 7.2.3 and 4.13]	To permit a minimum rear yard setback of 3.1 metres to the porch.

The subject lands are zoned **R4** and subject to the provisions of **Exception 9(632)** under **Zoning By-law 1-88**, as amended.

	Zoning By-law 1-88	Variance requested
2	A minimum rear yard setback of 7.5 metres to the covered porch. [Schedule A]	To permit a minimum rear yard setback of 3.1 metres to the covered porch.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, December 8, 2022  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
If you would like to submit written comments, please quote file number above and submit by mail or email to:  
**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	November 24, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	November 23, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Zoning by-law 001- 2021. The rear yard setback of 3.18 m to the proposed rear-covered porch encroaches into the required minimum rear yard setback of 5.5 meters. Zoning by-law 1-88. The rear yard setback of 3.18 m to the proposed rear-covered porch encroaches into the required minimum rear yard setback of 7.5 meters.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

**\*\*See Schedule B for Building Standards (Zoning) Comments**

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

**\*\*See Schedule B for Development Planning Comments.**

<b>Development Planning Recommended Conditions of Approval:</b>	Application under review.
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to the variance application A240/22.

<b>Development Engineering Recommended Conditions of Approval:</b>	None
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comments at this time

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	N/A
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	N/A
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### FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	N/A
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### SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:roberto.simbana@vaughan.ca">roberto.simbana@vaughan.ca</a>	Application under review.
2	TRCA <a href="mailto:Hamedeh.Razavi@trca.ca">Hamedeh.Razavi@trca.ca</a>	That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

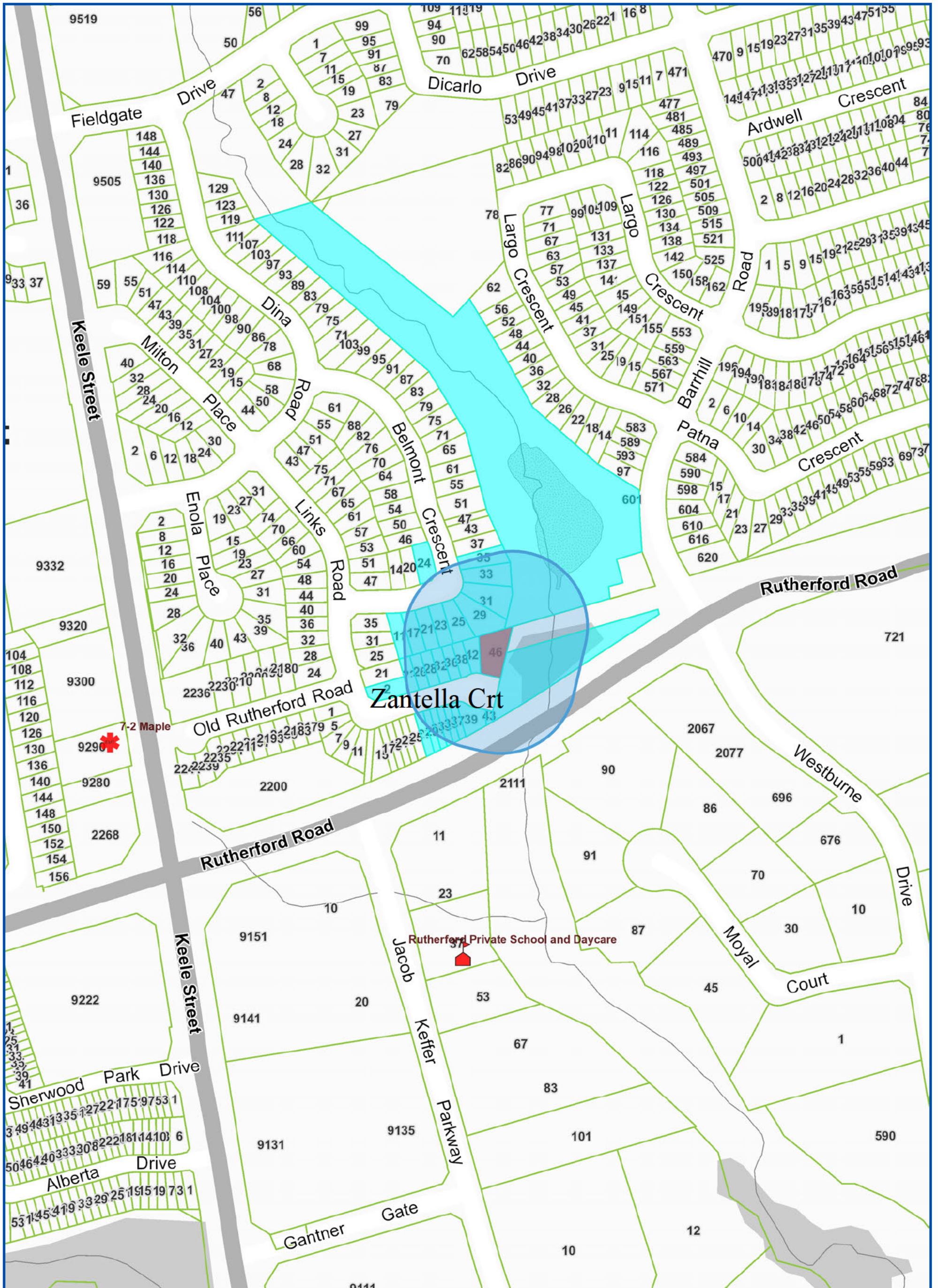
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

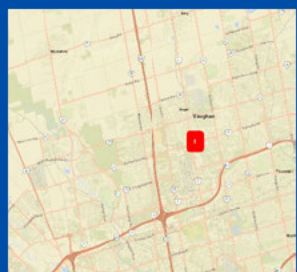
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Map Information:



Title: **46 ZANTELLA COURT, MAPLE**

**NOTIFICATION MAP - A240/22**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,239

0 0.07 km



Created By:

Infrastructure Delivery  
Department

September 8, 2022 10:03 AM

Projection:

NAD 83  
UTM Zone  
17N



LOT 69

PART OF LOT 16

REGISTERED

PLAN

65M-2549

CONCESSION 3



**ZANTELLA COURT**  
 (By Registered Plan 65M-3197)  
 P.I.N. 03339 - 1002

**RUTHERFORD ROAD**  
 (Road Allowance Between Lots 15 and 16, Concession 3 Vaughan)  
 (By By-Law 24-72 and 27-72, Instrument No. GRS3089 (By-Law 3089))  
 P.I.N. 03339 - 0837

**METRIC**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 25th DAY OF MARCH, 2022.

MARCH 28, 2022  
 DATE

ALEX WALCZAK  
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR  
 TARON PETEVOTYAN

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
**V-24340**

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

**LEGEND**

□ DENOTES SURVEY MONUMENT SET  
 RP REGISTERED PLAN 65M-3197  
 YY PLAN BY YOUNG & YOUNG SURVEYING INC. O.L.S.  
 DATED 1998

1370 V. KROMAR, O.L.S.  
 N.S.E.W. NORTH, SOUTH, EAST, WEST  
 M MEASURED  
 B IRON BAR  
 SIB STANDARD IRON BAR  
 P.I.N. PROPERTY IDENTIFIER NUMBER  
 AC AIR CONDITIONER  
 BB BELL BOX  
 BC BOTTOM OF CURB  
 TC TOP OF CURB

**LEGEND Continued**

CT DENOTES CONIFEROUS TREE  
 DT DECIDUOUS TREE  
 MH MANHOLE  
 T.R.E. TOP OF ROOF ELEVATION

**ELEVATION NOTE**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE NAD83-CSR8 COORDINATE SYSTEM DERIVED FROM THE GLOBAL POSITIONING SYSTEM OBSERVATIONS.

**BEARING NOTE**  
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EAST LIMIT OF LOT 21, HAVING A BEARING OF N13°20'55"E ACCORDING TO REGISTERED PLAN 65M-3197.

**PART 2 - SURVEY REPORT**

- PLEASE NOTE LOCATION OF FENCES AND SHED
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:  
 -SUBJECT TO EASEMENTS OVER PART OF PART 2, PLAN 65R-15562  
 AS IN INSTRUMENT No. R546283 & R546284, PLAN 65R-13719  
 AS IN INSTRUMENT No. L7682764 & L7682765  
 -SUBJECT TO AN EASEMENT OVER PART 4, PLAN 65R-13719 AS IN INSTRUMENT No. L4867009  
 -SUBJECT TO EASEMENTS OVER PARTS 21, 22 & 23, PLAN 65R-20006  
 AS IN INSTRUMENT No. L1302402 & L1290999  
 -SUBJECT TO AN EASEMENT OVER PART 8, PLAN 65R-20738 AS IN INSTRUMENT No. L1319800  
 -SUBJECT TO AN EASEMENT OVER PARTS 1, 2, 3 & 4, PLAN 65R-20757 AS IN INSTRUMENT No. L1333999
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**GTA**  
 Greater Toronto Area  
 SURVEYING Inc.

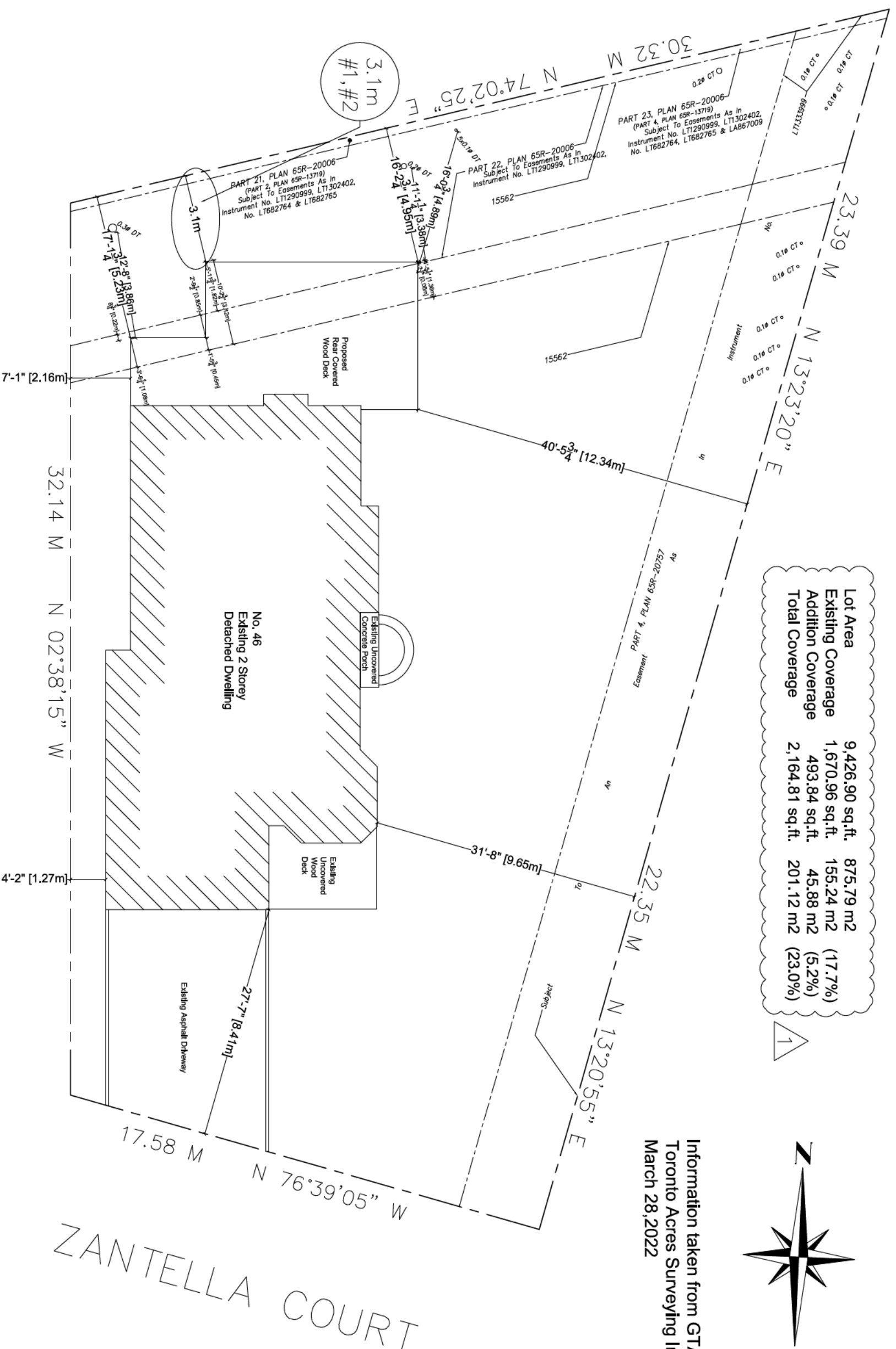
7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2  
 Tel: (416) 679-0572  
 E-MAIL: jw@gtasurveying.ca

DRAWN: B.D. CHECKED: P.W. PROJECT 22030



Information taken from GTA Greater  
Toronto Acres Surveying Inc. signed on  
March 28, 2022

Lot Area	9,426.90 sq.ft.	875.79 m <sup>2</sup>
Existing Coverage	1,670.96 sq.ft.	155.24 m <sup>2</sup> (17.7%)
Addition Coverage	493.84 sq.ft.	45.88 m <sup>2</sup> (5.2%)
Total Coverage	2,164.81 sq.ft.	201.12 m <sup>2</sup> (23.0%)

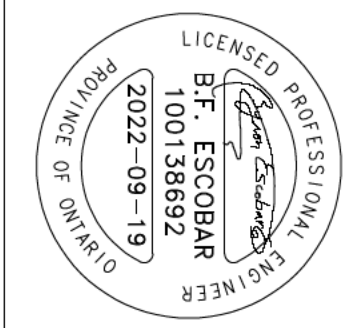


ZANTELLA COURT

# Site Plan

**TBM.**  
ENGINEERS INC.  
DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengeers.com  
tbmengeers@mail.com



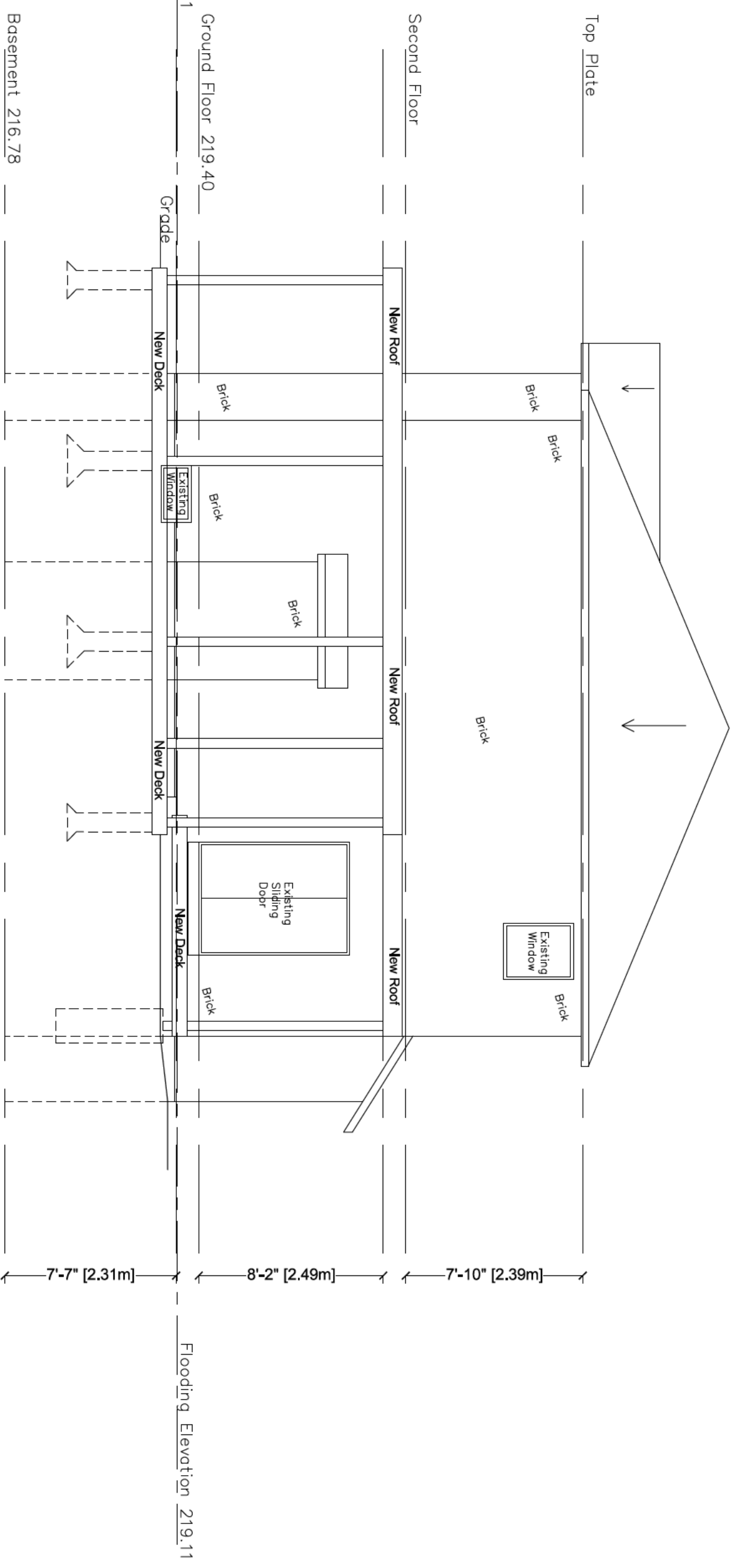
**Project Address:**  
46 ZANTELLA CRT  
MAPLE ON  
L6A 1Z7  
**Rear Covered Porch**

**Date** 2022-04-18 Building Permit  
2022-08-18 COA  
2022-08-31 COA  
2022-09-19 COA  
**Issued for:**

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Drawing No.**  
**D-02**  
2 of 8

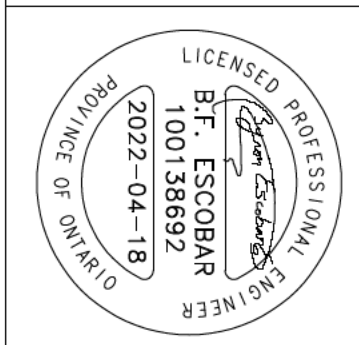
ALL EXISTING GRADES WILL  
REMAIN UNCHANGED



# Rear (North) Elevation



**TBM Engineers Inc.**  
 15 Jaylynn Cr.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengeers.com  
 tbmengeers@mail.com



**Project Address:**  
 46 ZANTELLA CRT  
 MAPLE ON  
 L6A 1Z7

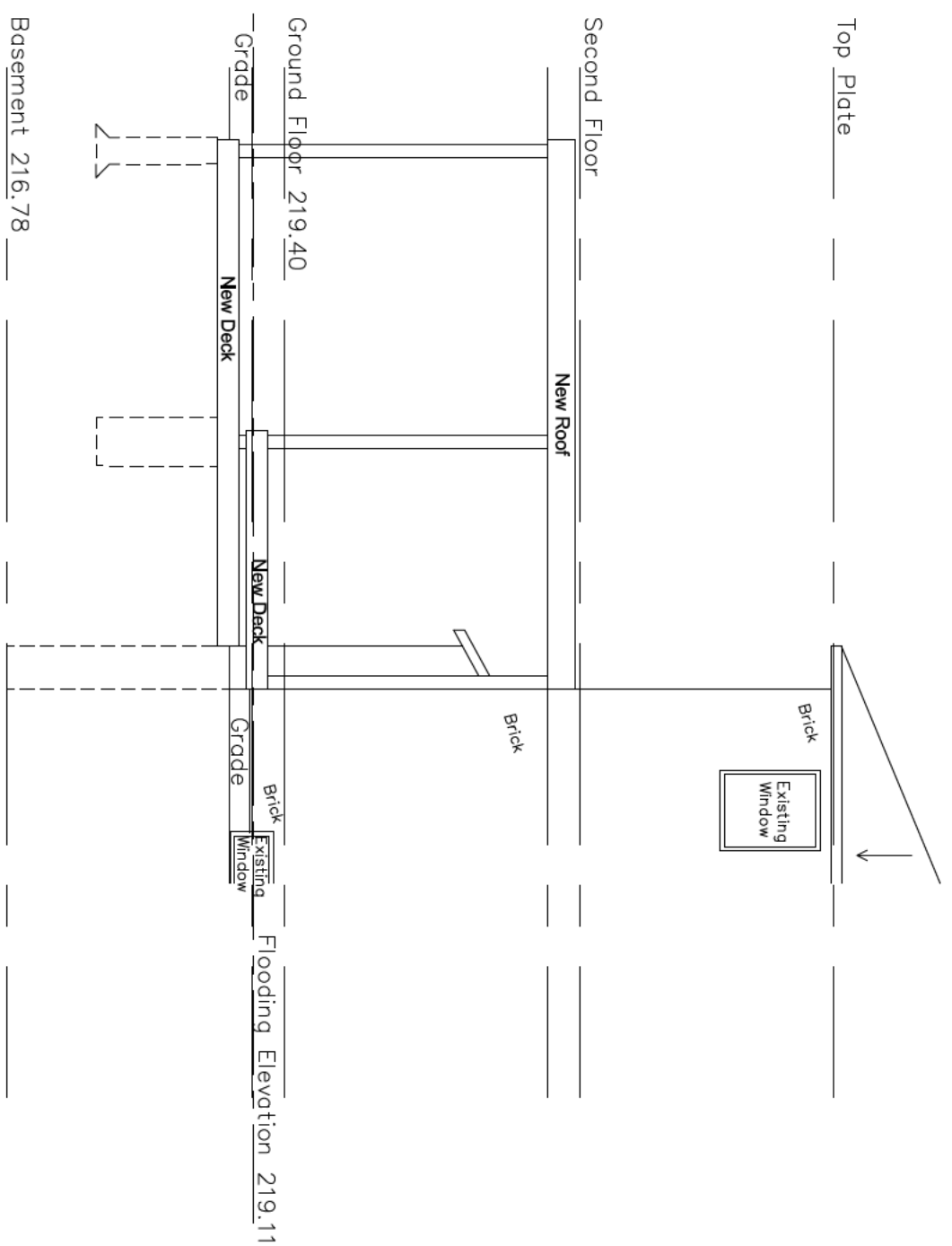
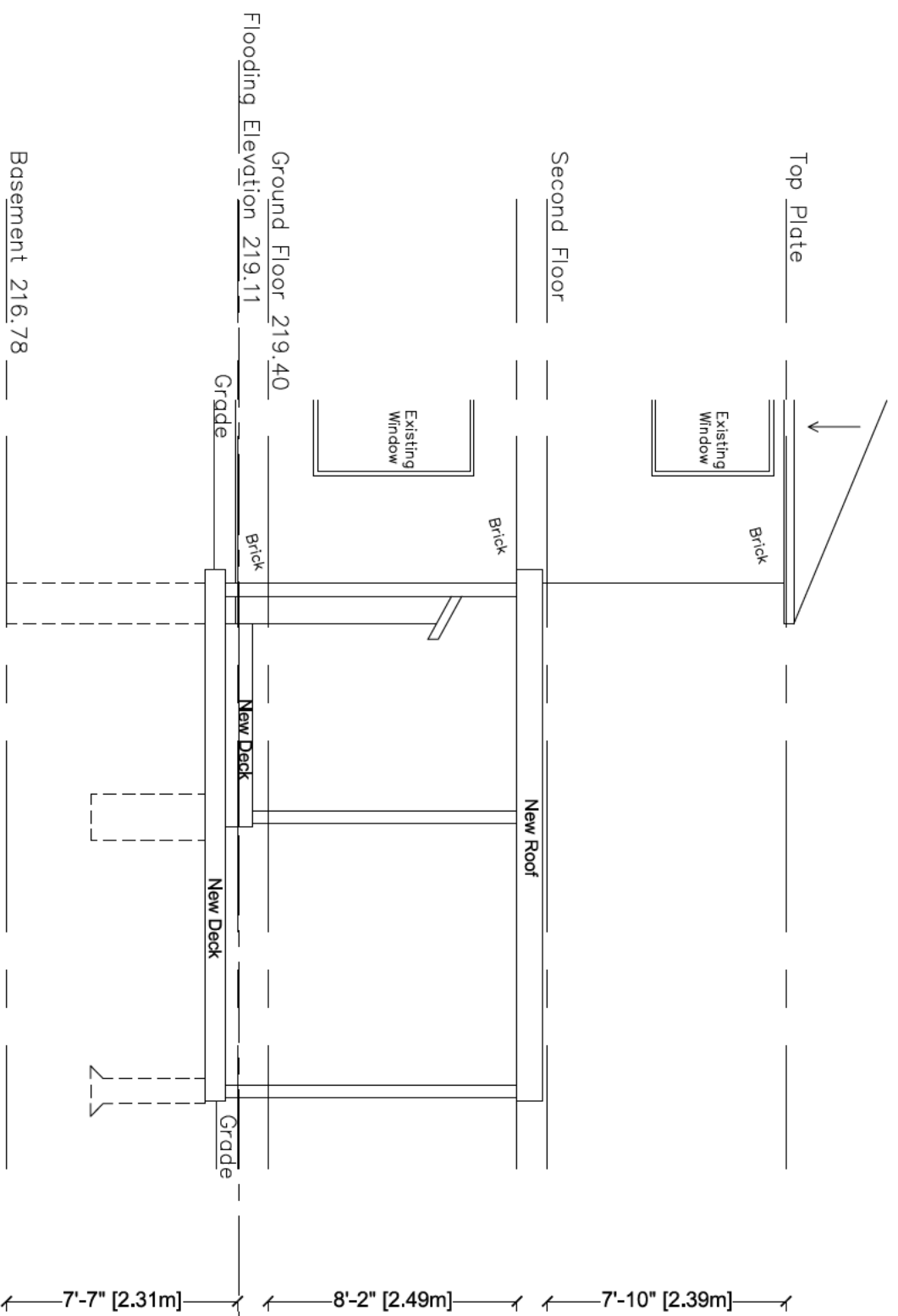
**Rear Covered Porch**

**Date:** 2022-04-18  
**Issued for:** Building Permit

**Scale:**  
 $\frac{3}{16}'' = 1'-0''$  (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Drawing No.**  
**D-06**  
 6 of 8



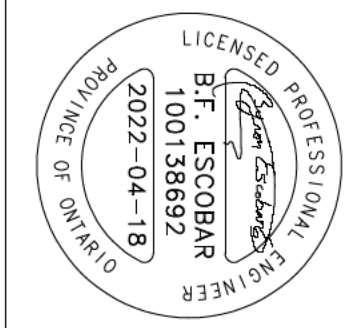
# Right (East) Elevation

# Left (West) Elevation



**DESIGN. DELIVER. INNOVATE.**

**TBM Engineers Inc.**  
 15 Jaylynn Crt.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengeers.com  
 tbmengeers@mail.com



**Project Address:**  
 46 ZANTELLA CRT  
 MAPLE ON  
 L6A 1Z7  
**Rear Covered Porch**

**Date:** 2022-04-18  
**Issued for:** Building Permit  
**Scale:** 3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Drawing No.**  
**D-07**  
 7 of 8

**Project Address:**  
46 ZANTELLA CRT  
MAPLE ON L6A 1Z7

**Scope of Work:**  
Rear Covered Wood Deck  
on existing Detached  
Dwelling



DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengeers.com  
tbmengeers@mail.com



**Project Address:**  
46 ZANTELLA CRT  
MAPLE ON  
L6A 1Z7  
**Rear Covered Porch**

**Date** 2022-04-18 **Issued for:** Building Permit

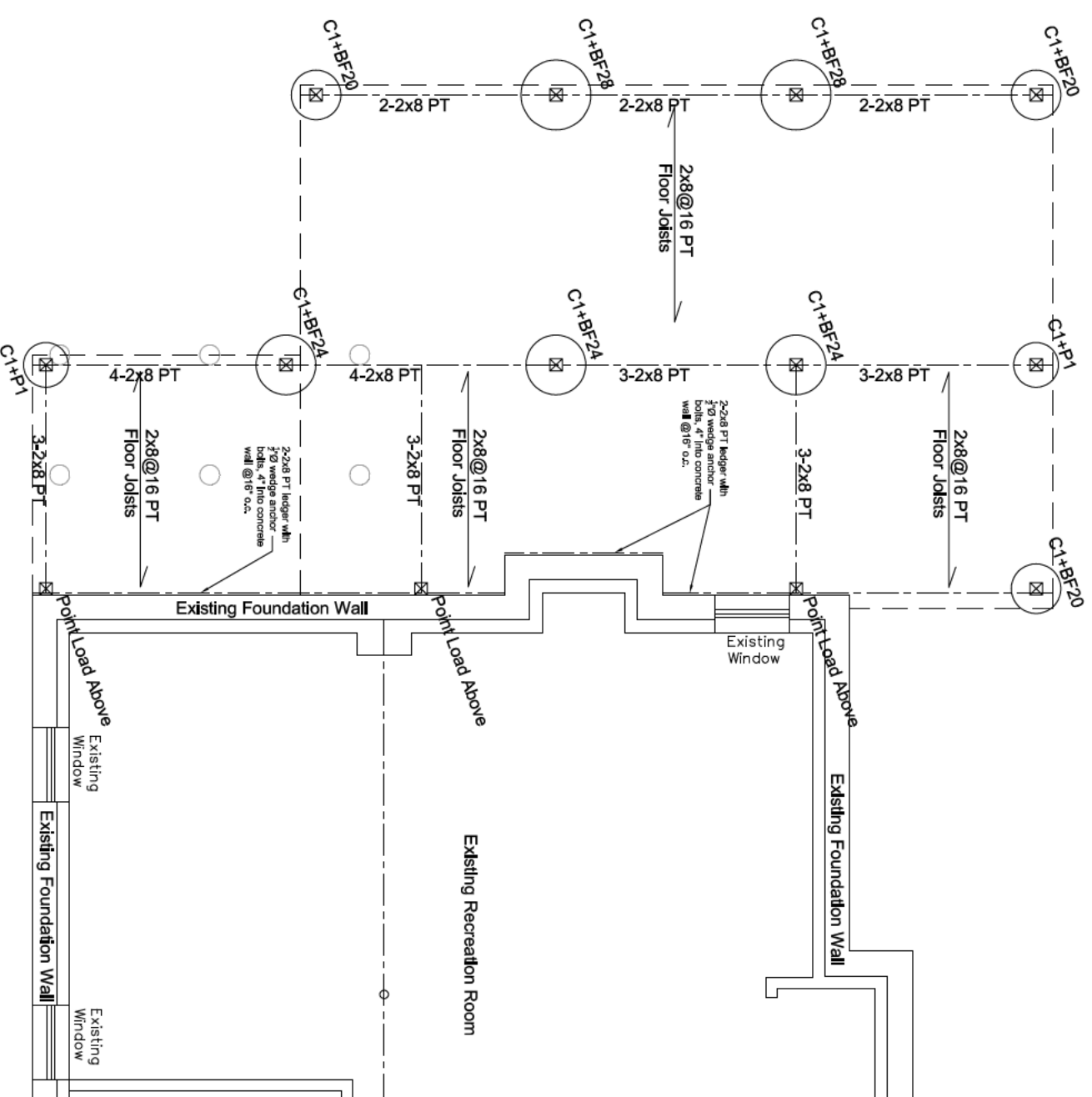
**Scale:**  
3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Drawing No.**  
**D-01**  
1 of 8

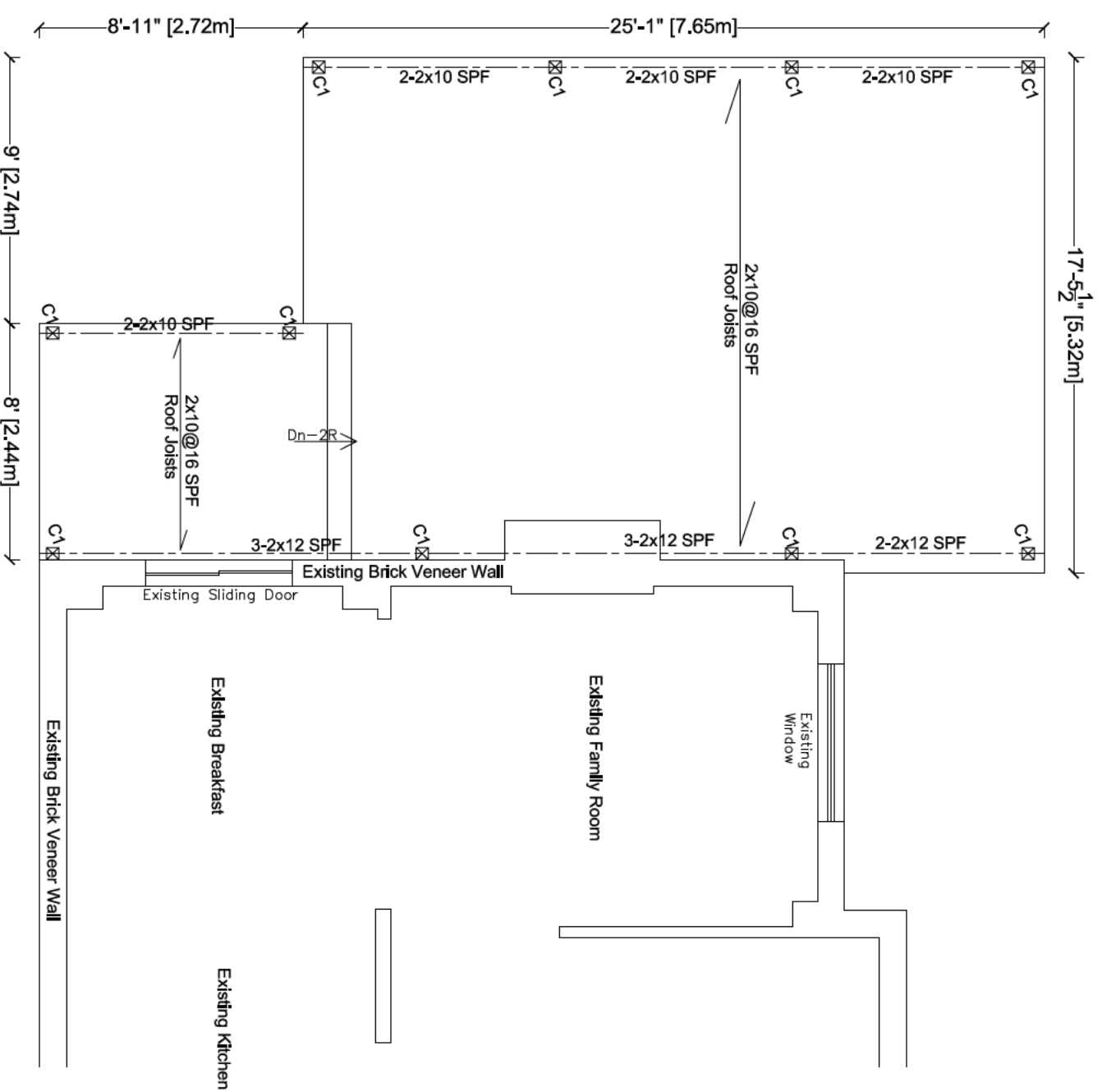


- C1 = 6"x6" PT post
- P1 = 18"Ø concrete pier, min. 48" below grade
- BF20 = 20"Ø Bigfoot Systems, min. 48" below grade
- BF24 = 24"Ø Bigfoot Systems, min. 48" below grade
- BF28 = 28"Ø Bigfoot Systems, min. 48" below grade



# Foundation Plan

 <p><b>DESIGN. DELIVER. INNOVATE.</b></p>	<p><b>TBM Engineers Inc.</b>          15 Jaylynn Crt.          Woodbridge, ON (905) 893-9070          www.tbmengeers.com          tbmengeers@mail.com</p>	 <p>LICENSED PROFESSIONAL ENGINEER          B.F. ESCOBAR          100138692          2022-04-18          PROVINCE OF ONTARIO</p>	<p><b>Project Address:</b>          46 ZANTELLA CRT          MAPLE ON          L6A 1Z7</p> <p><b>Rear Covered Porch</b></p>	<p><b>Date:</b> 2022-04-18  <b>Issued for:</b> Building Permit</p> <p><b>Scale:</b>          3/16" = 1'-0" (1:64)</p>	<p>These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.</p>	<p><b>Drawing No.</b></p> <h1 style="font-size: 2em;">D-03</h1> <p>3 of 8</p>
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# Ground Floor Plan

**TBM Engineers Inc.**  
 15 Layllyn Crl.  
 Woodbridge, ON (905) 893-9070  
 www.tbmengineers.com  
 tbmengineers@mail.com



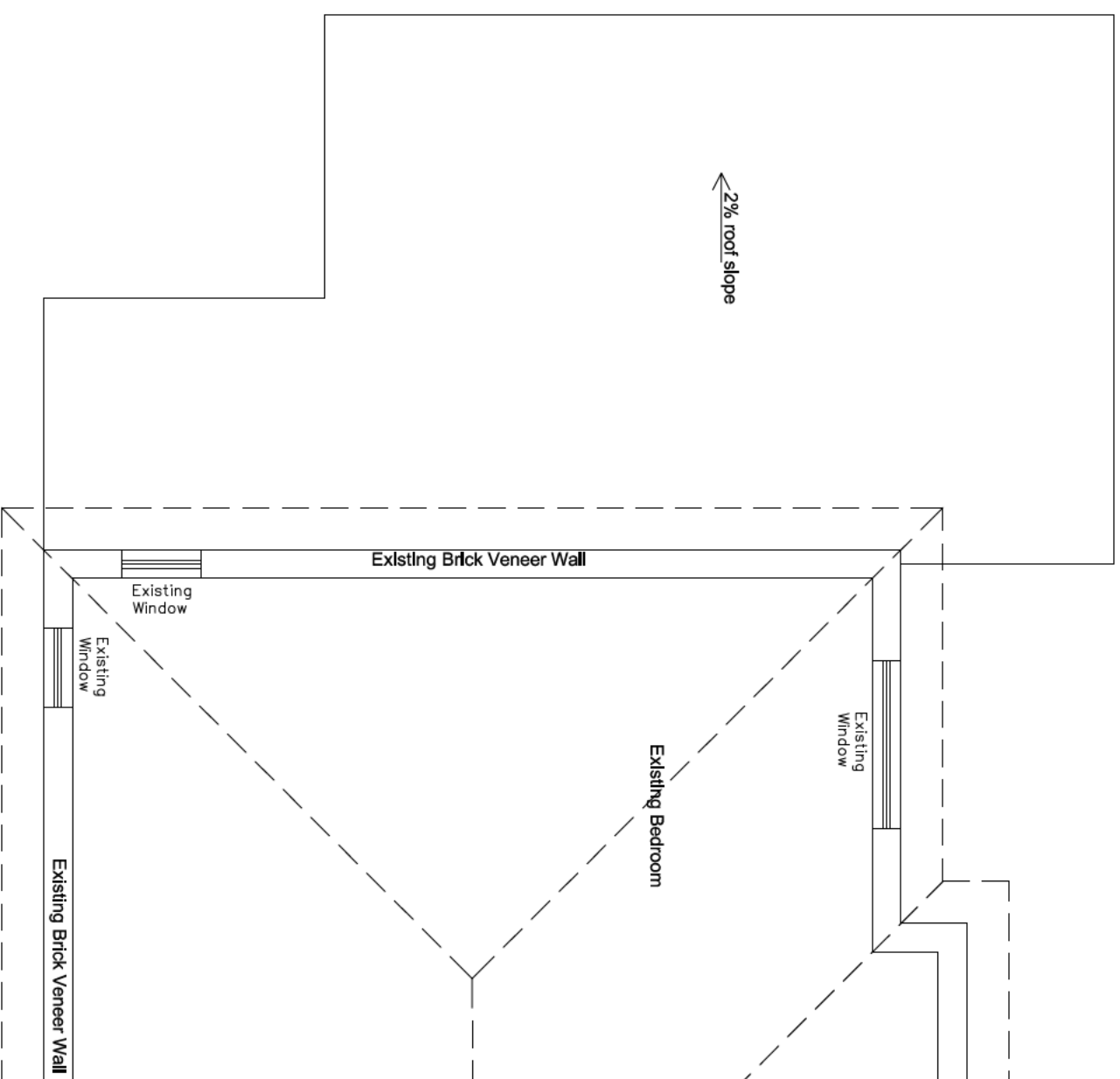
**Project Address:**  
 46 ZANTELLA CRT  
 MAPLE ON  
 L6A 1Z7  
**Rear Covered Porch**

**Date Issued for:**  
 2022-04-18 Building Permit

**Scale:**  
 3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Drawing No.**  
**D-04**  
 4 of 8



# Second Floor Plan



DESIGN. DELIVER. INNOVATE.

**TBM Engineers Inc.**  
15 Jaylynn Crt.  
Woodbridge, ON (905) 893-9070  
www.tbmengeers.com  
tbmengeers@gmail.com



**Project Address:**  
46 ZANTELLA CRT  
MAPLE ON  
L6A 1Z7  
**Rear Covered Porch**

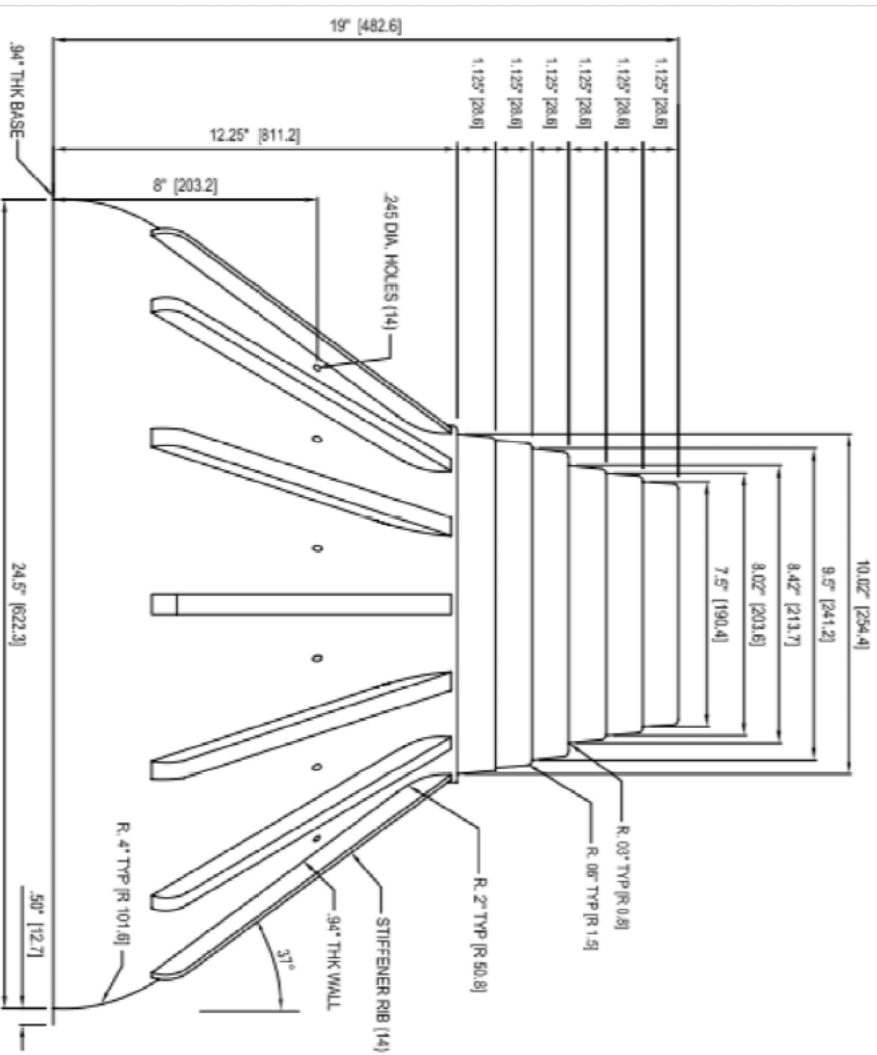
**Date** 2022-04-18 **Issued for:** Building Permit

**Scale:**  
3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Drawing No.**  
**D-05**  
5 of 8

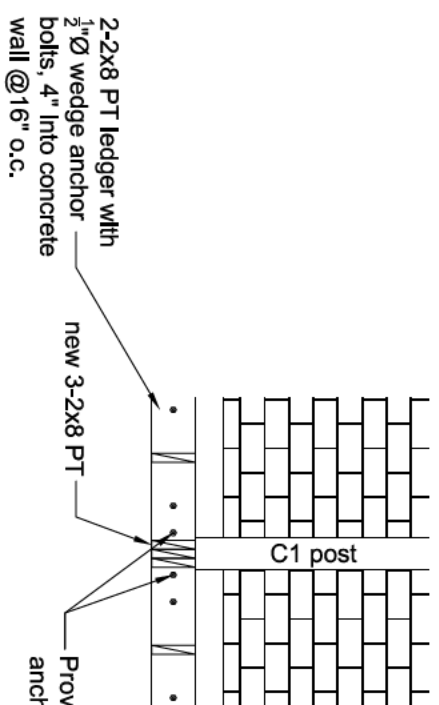




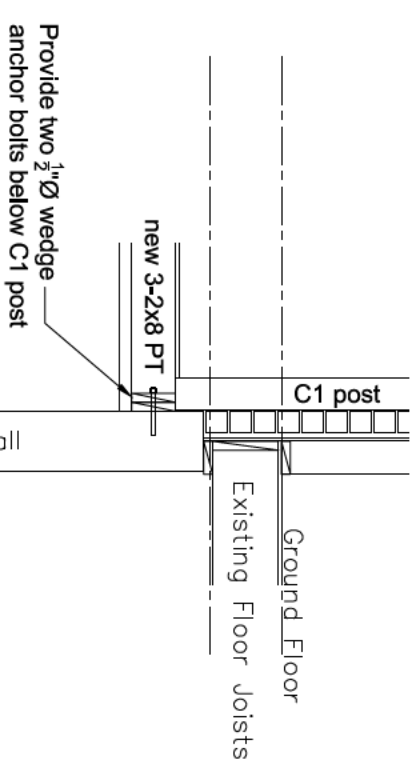
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS.
  3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) REFERENCE NUMBER 552.001a.

**BIGFOOT SYSTEMS® FOOTING FORM**  
94\"/>

# Details



**Ledger Board Detail  
(Rear View)**



**Ledger Board Detail  
(Section View)**

### GENERAL NOTES:

- All work according to Ontario Building Code and Municipal by-laws and standards
- All dimensions and locations to be verified on site prior construction
- Contractor to provide all temporary bracing and shoring necessary for the safe execution of this work
- All footing to be minimum 48" below finish grade, on natural undisturbed soil, rock, or 6" of compacted granular fill with minimum bearing capacity of 100 kPa
- All lumber to be No. 1 & 2 spruce or better
- All plywood shall be stamped exterior grade
  - Interior Door Lintels:
    - Up to 4' 2-2"x8"
    - Up to 5' 2-2"x10"
    - Up to 6' 2-2"x12"
- All members shall be so framed, fastened, tied, braced, and anchored to provide the necessary strength, rigidity, and stability OBC 9.23.2.1 and 4.1.1.3
- All loads must be supported and transferred to foundation or adequate support
- All guards and handrails to comply with OBC 9.8.7 and 9.8.8 requirements typical
- All exterior wood to be pressure treated

**SCHEDULE B: STAFF & AGENCY COMMENTS**

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** September 21<sup>st</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A240-22**

**Related Files:**

**Applicant** Taron Petevotyan Agata Hovakimyan

**Location** 46 Zantella Crt



Discover the possibilities

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

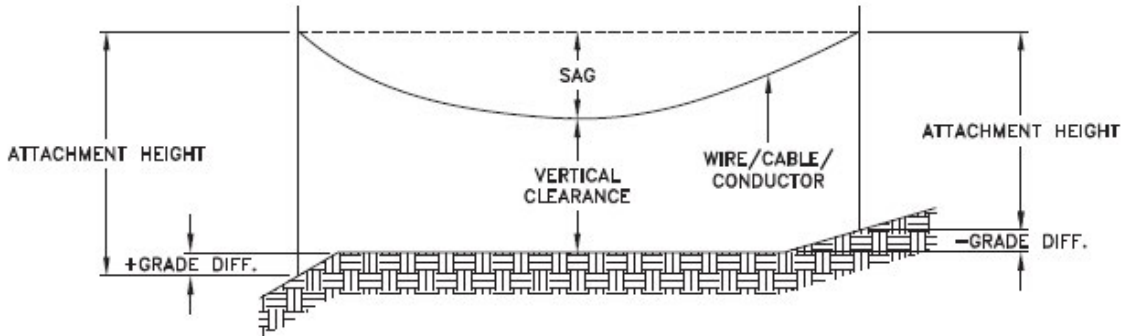
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

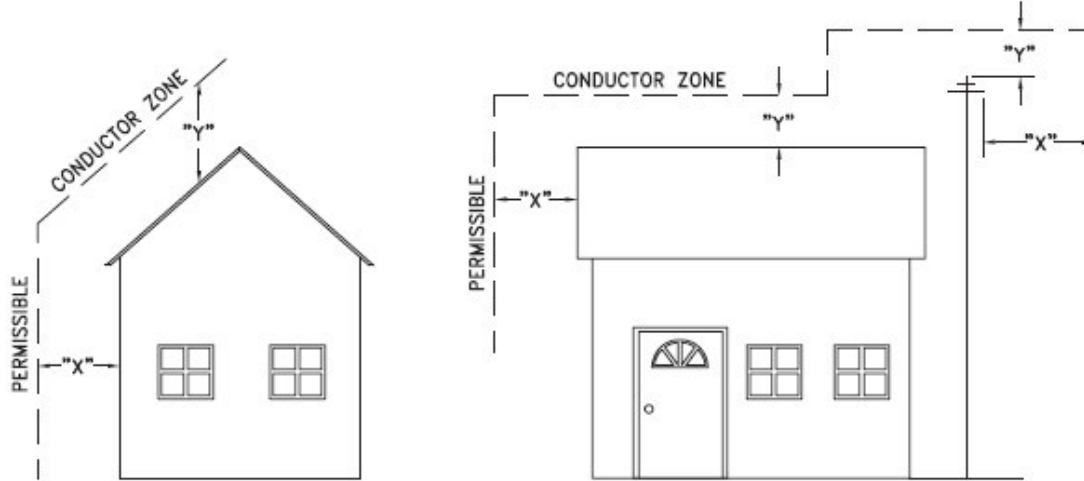
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS: System Planning and Standards/Standard Design/PowerStream Standards/PowerStream Standards working folder/Section 3.3-6/DWG 03-4 R0 May 5, 2010.dwg, 3/3/2010 10:27:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** October 13, 2022  
**Applicant:** Taron Petevotyan and Agata Hovakimyan  
**Location:** 46 Zantella Court  
 PLAN 65M3197 Lot 21  
**File No.(s):** A240/22

**Zoning Classification:**

The subject lands are zoned R4(EN) and subject to the provisions of Exception 14.632 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 5.5 metres to the covered porch is required. [Section 7.2.3 and 4.13]	To permit a minimum rear yard setback of 3.1 metres to the porch.

The subject lands are zoned R4 and subject to the provisions of Exception 9(632) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	A minimum rear yard setback of 7.5 metres to the covered porch. [Schedule A]	To permit a minimum rear yard setback of 3.1 metres to the covered porch.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 22-115880 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** November 28, 2022  
**Name of Owners:** Taron Petevotyan and Agata Hovakimyan  
**Location:** 46 Zantella Court  
**File No.(s):** A240/22

---

**Proposed Variance(s) (By-law 01-2021):**

- 1) To permit a minimum rear yard setback of 3.1 m to the porch.

**By-Law Requirement(s) (By-law 01-2021):**

- 1) A minimum rear yard setback of 5.5 m to the covered porch is required. [Section 7.2.3 and 4.13]

**Proposed Variance(s) (By-law 1-88):**

- 2) To permit a minimum rear yard setback of 3.1 m to the covered porch.

**By-law Requirement(s) (By-law 1-88):**

- 2) A minimum rear yard setback of 7.5 m to the covered porch. [S. 3.14]

**Official Plan:**

Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to construct a covered porch within the rear yard of an existing single detached dwelling with the above noted variances.

The Development Planning Department has no objection to the proposed variances. The rear lot line is at an angle to the covered porch. As such, it is a corner that would utilize the full extent of the requested rear yard setback of 3.1 m. The northwest portion of the covered porch is stepped back to reduce its proximity to the abutting rear yard to the north. In addition, the covered porch complies with maximum height provision and minimum side yard setback of both By-laws ensuring any massing impact is minimized. Development Planning acknowledges the Owners have obtained clearance from Bell Canada for the proposed works within the registered easement in the rear yard.

In support of the minor variance application, the Owners have submitted an Arborist Report and Tree Protection Plan, prepared by D. Andrew White and TBM Engineers Inc. respectively, both dated October 7, 2022. Urban Design has reviewed the submitted materials and have expressed no concerns.

The Development Planning Department is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-laws, and are desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
David Harding, Senior Planner



## Lenore Providence

---

**Subject:** FW: [External] TRCA Comment - A240/22 - 46 Zantella Court, Vaughan

**From:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

**Sent:** September-21-22 12:58 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Christine Vigneault <Christine.Vigneault@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] TRCA Comment - A240/22 - 46 Zantella Court, Vaughan

Good morning,

Thanks for circulating the above noted application to TRCA.

Please note that TRCA issued a permit to facilitate the construction of the proposed rear-covered porch on May 11, 2022 (TRCA Permit No. C-220519). Based on a review of the plans submitted with this variance application, TRCA is satisfied that the noted works are consistent with the plans that were approved as a part of TRCA Permit C-220519. As such, TRCA has no concerns with the proposed variance.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A240.22 subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance.

Regards,

**Hamedeh Razavi** MURP

Planner

Development Planning and Permits | Development and Engineering Services

T: [437-880-1940](tel:437-880-1940)

E: [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## Lenore Providence

---

**Subject:** FW: [External] RE: A240/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

---

**From:** Development Services <developmentsservices@york.ca>

**Sent:** September-19-22 12:12 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A240/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

**Christine Meehan, B.U.R.PL.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 x73012 | [christine.meehan@york.ca](mailto:christine.meehan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public	Marat Gulbandgan	42 Zantella Court	08/07/2022	Letter of Support

Vaughan, (date) 7-Aug-2022, 2022

Committee of Adjustment  
City of Vaughan  
Vaughan City Hall, Level 100  
2141 Major Mackenzie Drive  
Vaughan, ON L6A 1T1

Dear Sir / Madam:

I am the owner of (address) Zantella 42, CRT, Maple, ON and have received the Public Hearing Notice regarding the minor variances sought for the property at 46 ZANTELLA CRT MAPLE ON L6A 1Z7.

I have reviewed the information attached to the notice regarding the minor variances and discussed the application with the owner of the property.

In my opinion, the proposed variances would not negatively impact on our property or the surrounding neighbourhood, in fact, I think that it will make the house more in keeping with the esthetic of the neighbourhood. I am in support of the application.

Yours Truly,

(Name) Harat Gulbandgan

(Signature) 

(Phone Number) 