

ITEM #: 6.4

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A238/22
42 Thomas Henry Rd Thornhill**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X			General Comments
Alectra *Schedule B	X			General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			11/29/2022	Justification Letter
Public	Shyamal Ghosal	46 Thomas Henry Road	11/29/2022	Support Letter
Public	Leon Wiktorowicz	43 Ferne-Rachel Road	11/29/2022	Support Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A238/22
42 Thomas Henry Rd Thornhill**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.4	CITY WARD #: 5
APPLICANT:	Kim Andes & Allan Friedman
AGENT:	Tarunpreet Kaur
PROPERTY:	42 Thomas Henry Rd Thornhill ON L4J 6J3
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the by-law is being requested to permit the construction of a proposed covered porch.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.291 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum encroachment into the minimum required rear yard shall be 2.0 metres for a porch [Section 4.13, Table 4-1].	To permit a maximum encroachment of 3.14 metres into the minimum required rear yard for a porch.

The subject lands are zoned R4, Residential Zone, and subject to the provisions of Exception 9(491) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	A minimum Rear yard of 7.5 metres is required to the porch roof [Schedule T-32].	To permit a minimum rear yard of 4.36 metres to the porch roof.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:
Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022
Date Applicant Confirmed Posting of Sign:	November 22, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The application is to propose a patio cover in the rear yard of the house because of which we request to the City for a relaxation in by-law for rear yard setback which is 3.78m proposed whereas 7.5m is allowed according to by-law 1-88 and 5.5m according to by-law 001-2021.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering Department does not object to the Minor Variance application A238/22.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comments at this time

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A238/22

42 THOMAS HENRY ROAD, THORNHILL

Highway 7



Dufferin Street

Bathurst Street

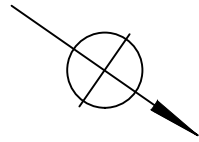
Steeles Avenue West

November 18, 2022 10:41 AM

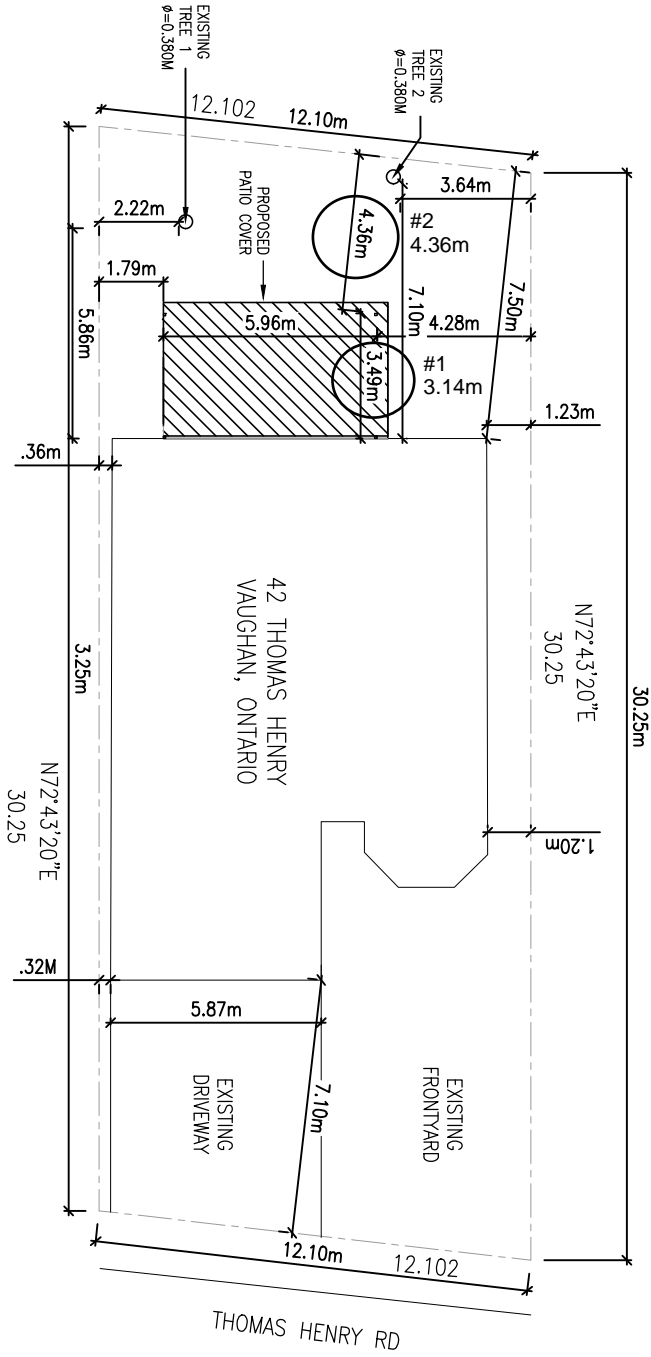
RECEIVED

By RECEIVED at 3:23 pm, Oct 27, 2022

A238/22



1 SITE PLAN
5 SCALE: 1:150



TOTAL LOT = 364.74 m ²	LOT COVERAGE:	PROPOSED LOT COVERAGES
	DWELLING FOOTPRINT (INCLUDING GARAGE)	= 45.00%
	PROPOSED PATIO COVER	
	= 20.85 m ²	
	DWELLING FOOTPRINT + PATIO COVER	
	= 164.15 m ²	



42 THOMAS HENRY RD
SITE PLAN

DRAWN BY : TK	APPROVED BY :
DATE : 26 OCT 22	SCALE : 1:150
REV. No.	REVISION :
PROJECT No. 50483001	DRAWING : 5

MIRODAN CONTRACTING

42 THOMAS HENRY RD

THORNHILL, ONTARIO

L4J 6J3

GENERAL NOTES

1. THESE DRAWINGS DETAIL THE INSTALLATION
2. DESIGN IS IN ACCORDANCE WITH CAN3-S157-M83 STRENGTH.
3. STRUCTURE AND ALL MATERIALS ARE IN ACCORDANCE WITH CURRENT EDITIONS OF THE NATIONAL BUILDING CODE OF CANADA 2015 AND THE 2012 ONTARIO BUILDING CODE.

FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.

1.1 DESIGN CRITERIA

1. PREVAILING CODE: OBC 2012
2. SNOW LOAD...Ss= 1.1 kPa
3. RAIN LOAD...Sf= 0.4 kPa
4. WIND LOAD:
 - a. 1 in 10:..... 0.34 kPa
 - b. 1 in 50:..... 0.44 kPa
5. DEAD LOAD...DL= 0.49 kPa

LOCATION: THORNHILL, ONTARIO



October 28, 2021

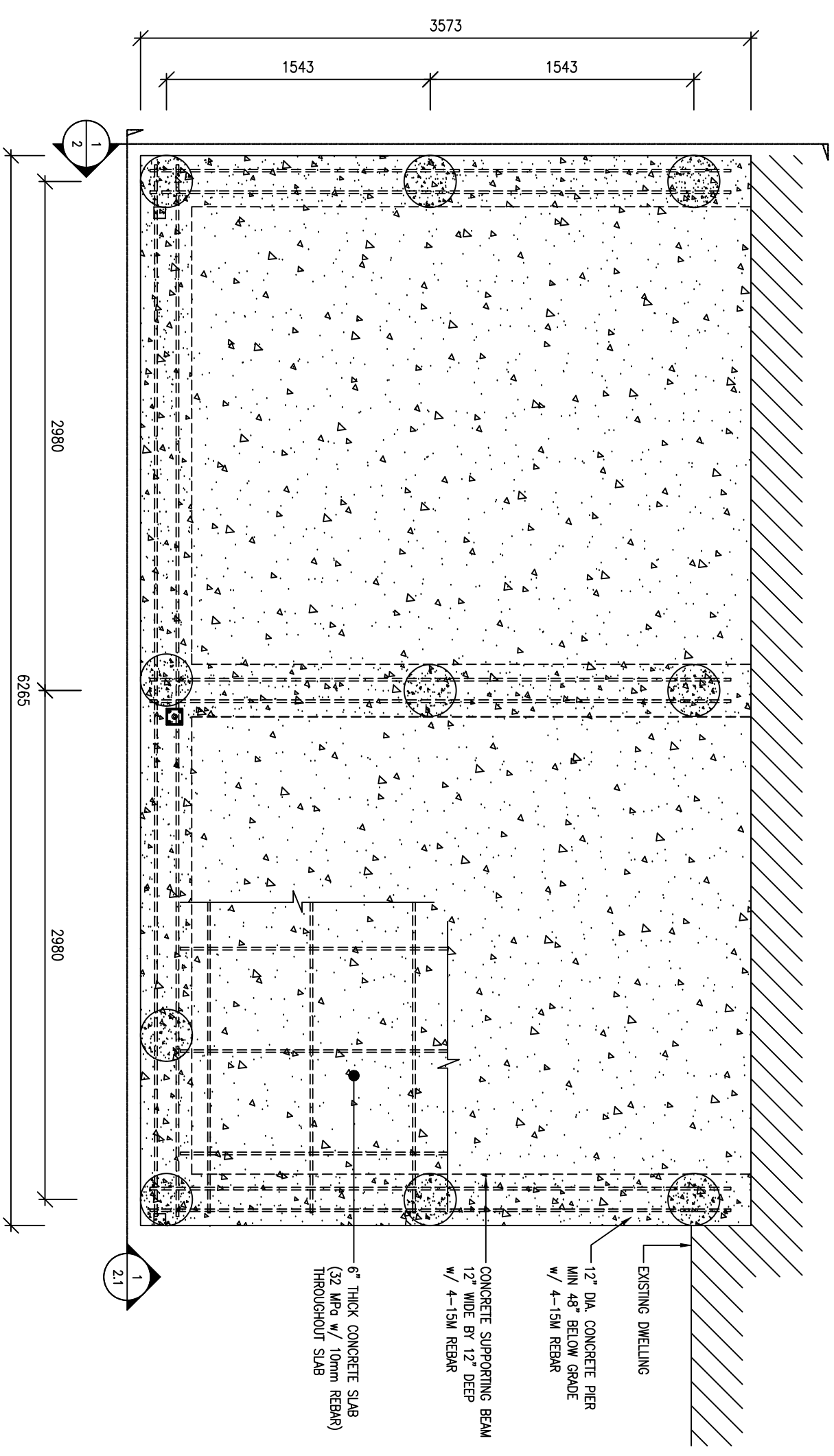
ENGINEER SEAL

REV. No.	REVISION	REDATE :
-	-	-

MIRODAN CONTRACTING
42 THOMAS HENRY RD

TITLE

PROJECT No.	50483001
DATE :	17 SEP 2021
DRAWN BY :	RH
DRAWING :	T



1 DECK LAYOUT
 1 SCALE: 1:30



October 28, 2021

ENGINEER SEAL

REV. No.	REVISION	REVDATE :
1	SIZE HAS BEEN REDUCED	28 OCT 2021

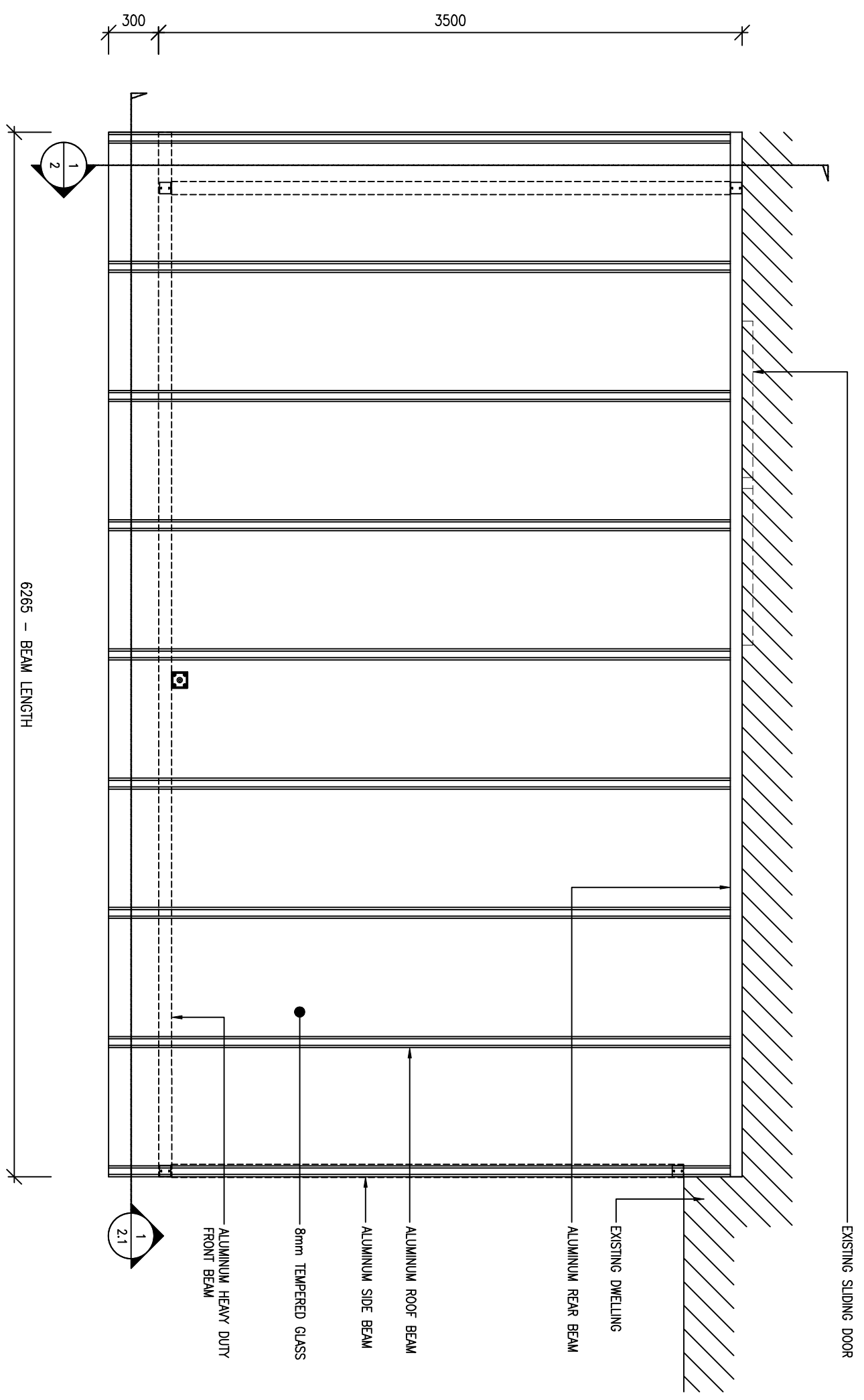
MIRODAN CONTRACTING
 42 THOMAS HENRY RD

DECK LAYOUT

PROJECT No. 50483001

DATE : 17 SEP 2021

DRAWN BY : RH
 DRAWING : 1



1
 PATIO COVER LAYOUT
 1.1 SCALE: 1:30



October 28, 2021

ENGINEER SEAL

REV. No.	REVISION	REV/DATE :
1	SIZE HAS BEEN REDUCED	28 OCT 2021

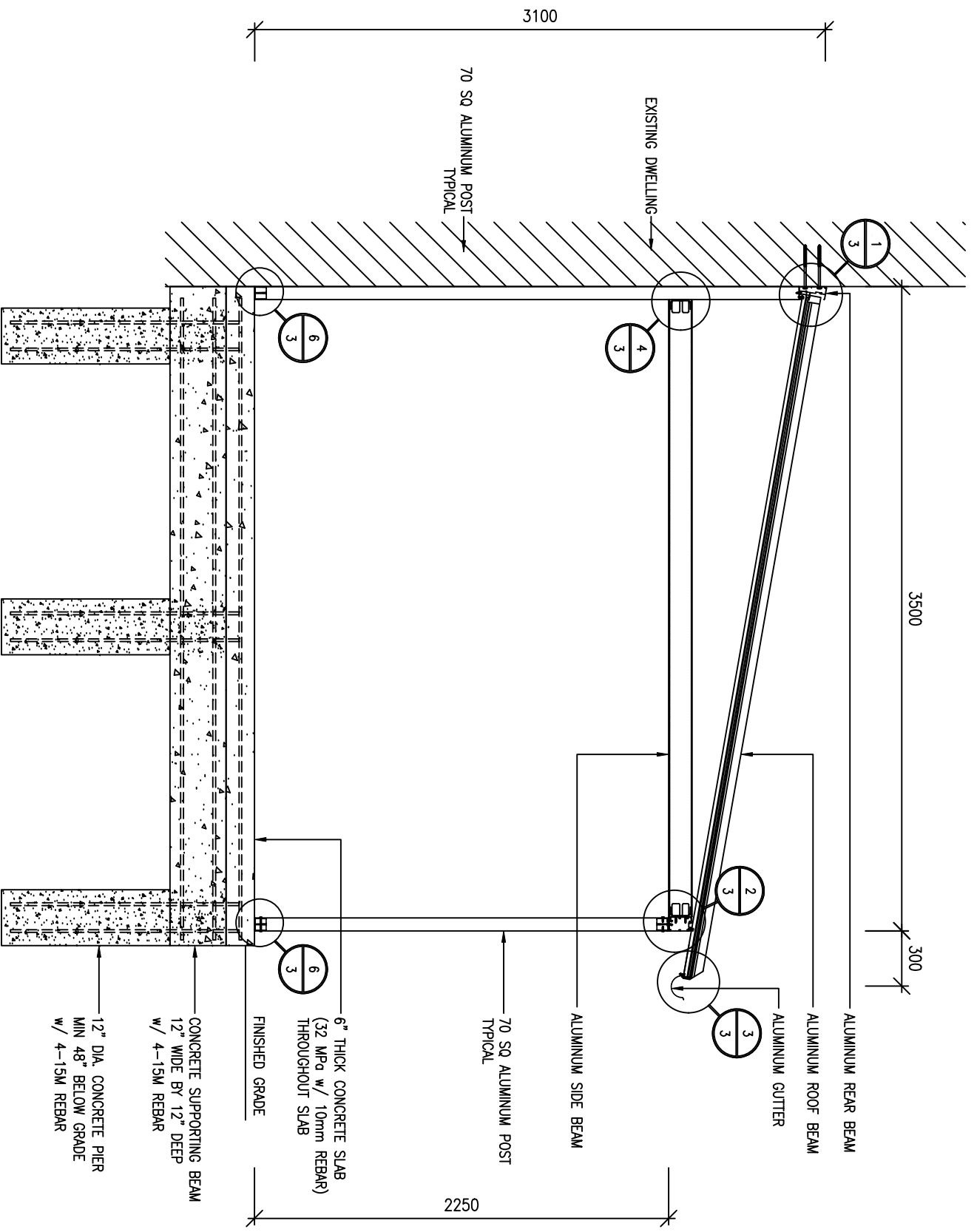
MIRODAN CONTRACTING
 42 THOMAS HENRY RD

PATIO COVER LAYOUT


PROJECT No. **50483001**

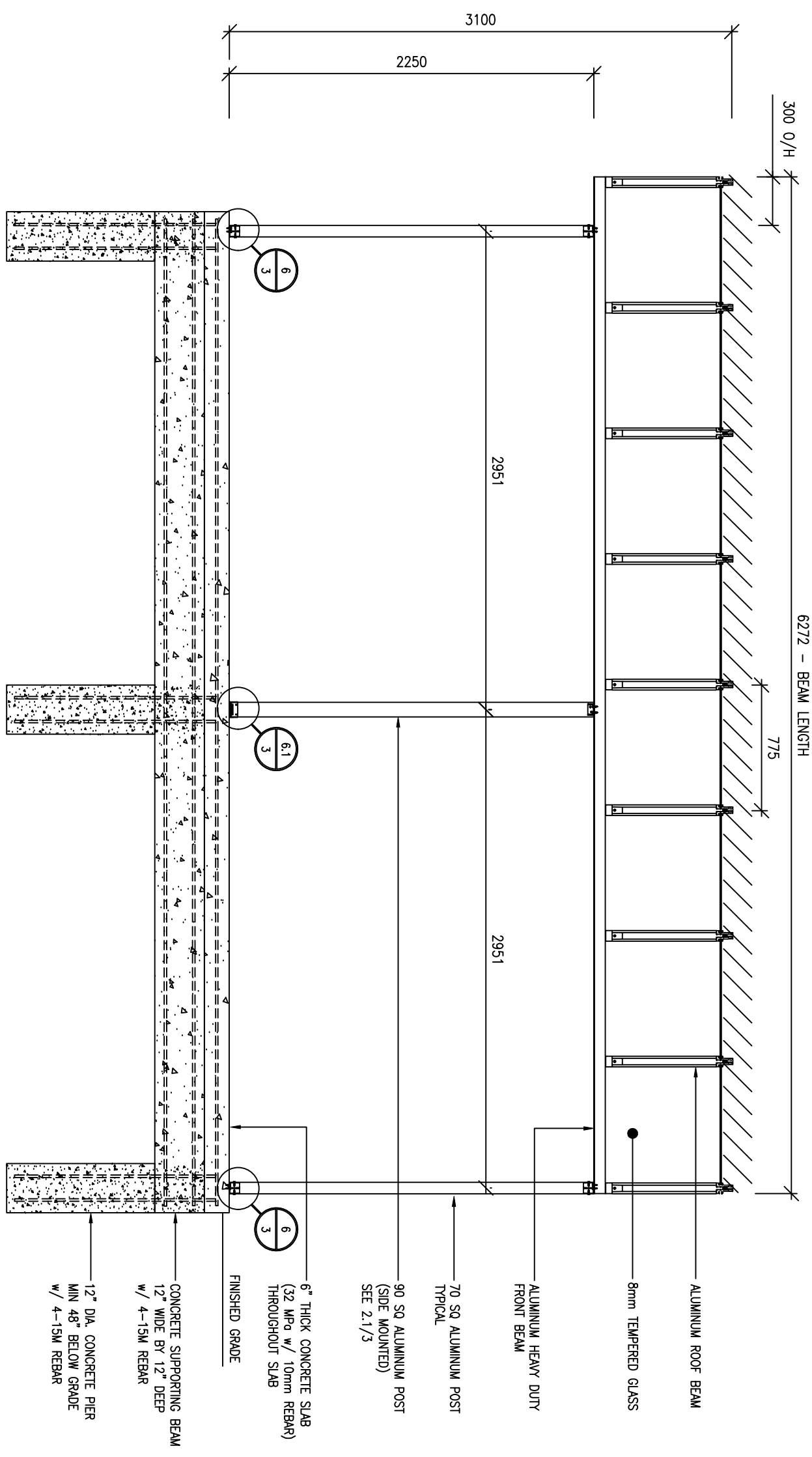
DATE : 17 SEP 2021

DRAWN BY : RH
 DRAWING : 1.1



1 CROSS SECTION
 2 SCALE: 1:30

 October 28, 2021 ENGINEER SEAL	MIRODAN CONTRACTING 42 THOMAS HENRY RD	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">REV. No.</td> <td style="width: 30%;">REVISION</td> <td style="width: 20%;">REVDATE :</td> </tr> <tr> <td>1</td> <td>SIZE HAS BEEN REDUCED</td> <td>28 OCT 2021</td> </tr> </table> <p style="text-align: center;">CROSS SECTION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">PROJECT No.</td> <td style="width: 50%;">50483001</td> </tr> <tr> <td style="width: 50%;">DATE :</td> <td style="width: 50%;">17 SEP 2021</td> </tr> <tr> <td style="width: 50%;">DRAWN BY :</td> <td style="width: 50%;">RH</td> </tr> <tr> <td style="width: 50%;">DRAWING :</td> <td style="width: 50%;">2</td> </tr> </table>	REV. No.	REVISION	REVDATE :	1	SIZE HAS BEEN REDUCED	28 OCT 2021	PROJECT No.	50483001	DATE :	17 SEP 2021	DRAWN BY :	RH	DRAWING :	2
REV. No.	REVISION	REVDATE :														
1	SIZE HAS BEEN REDUCED	28 OCT 2021														
PROJECT No.	50483001															
DATE :	17 SEP 2021															
DRAWN BY :	RH															
DRAWING :	2															



1 CROSS SECTION
 SCALE: 1:30
2.1

- ALUMINUM ROOF BEAM
- 8mm TEMPERED GLASS
- ALUMINUM HEAVY DUTY FRONT BEAM
- 70 SQ ALUMINUM POST TYPICAL
- 90 SQ ALUMINUM POST (SIDE MOUNTED) SEE 2.1/3
- 6" THICK CONCRETE SLAB (32 MPa w/ 10mm REBAR) THROUGHOUT SLAB
- FINISHED GRADE
- CONCRETE SUPPORTING BEAM 12" WIDE BY 12" DEEP w/ 4-15M REBAR
- 12" DIA. CONCRETE PIER MIN 48" BELOW GRADE w/ 4-15M REBAR



October 28, 2021

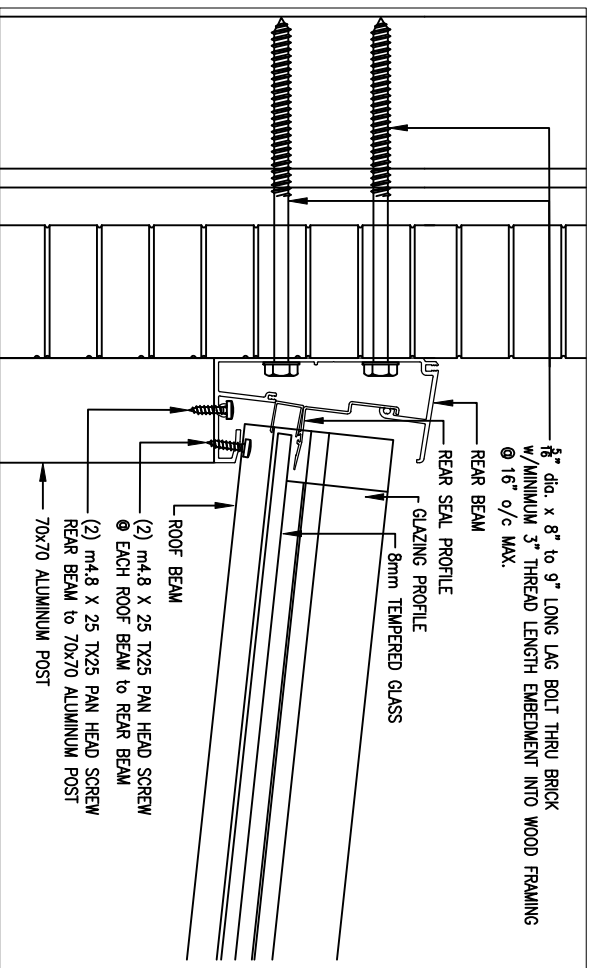
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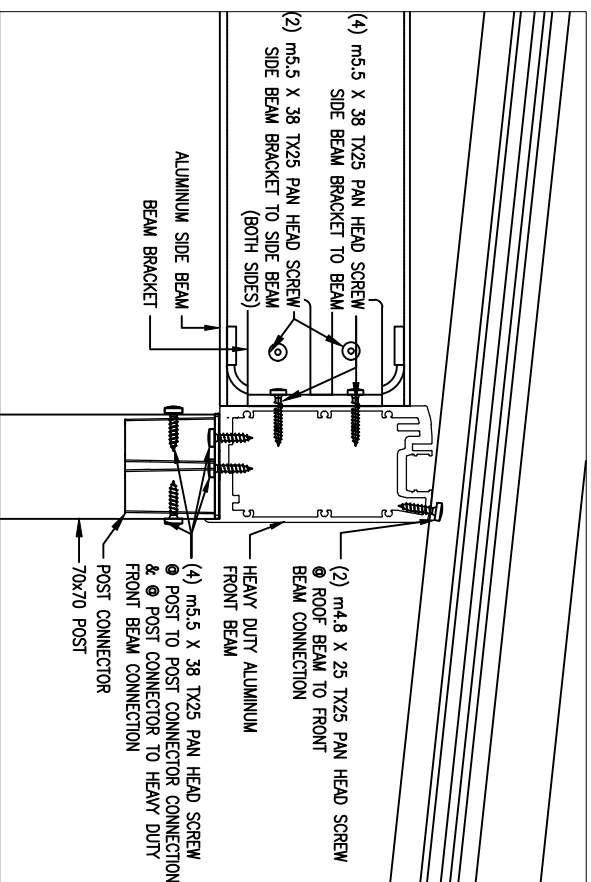
MIRODAN CONTRACTING
 42 THOMAS HENRY RD

CROSS SECTION

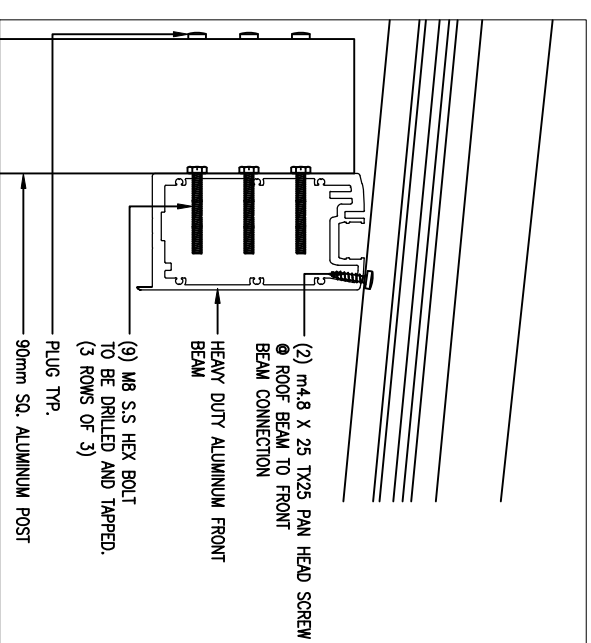
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DATE :	17 SEP 2021
DRAWN BY :	RH
DRAWING :	2.1



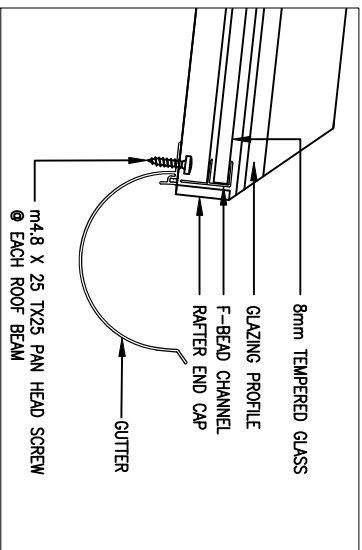
1 REAR BEAM DETAIL
SCALE: 1:5



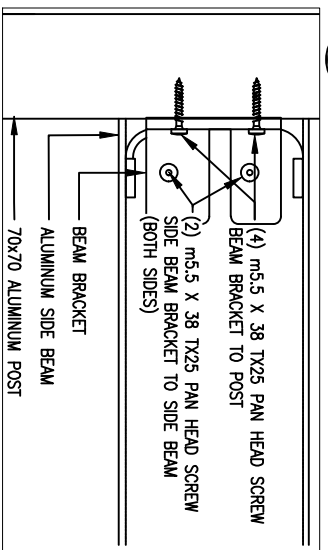
2 FRONT BEAM/POST DETAIL
SCALE: 1:5



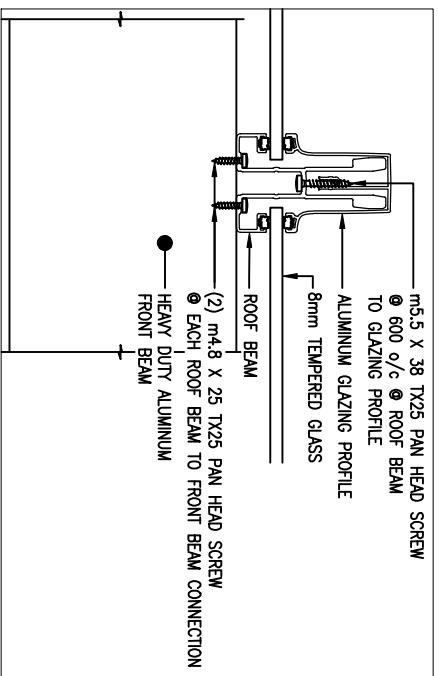
2.1 FRONT BEAM/SIDE MOUNTED POST DETAIL
SCALE: 1:5



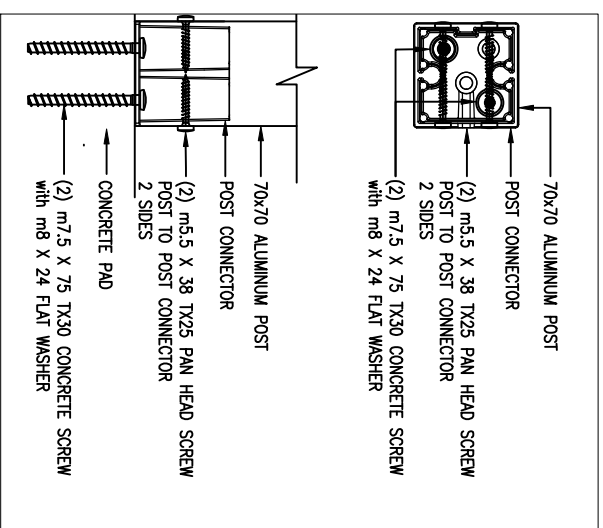
3 GUTTER DETAIL
SCALE: 1:5



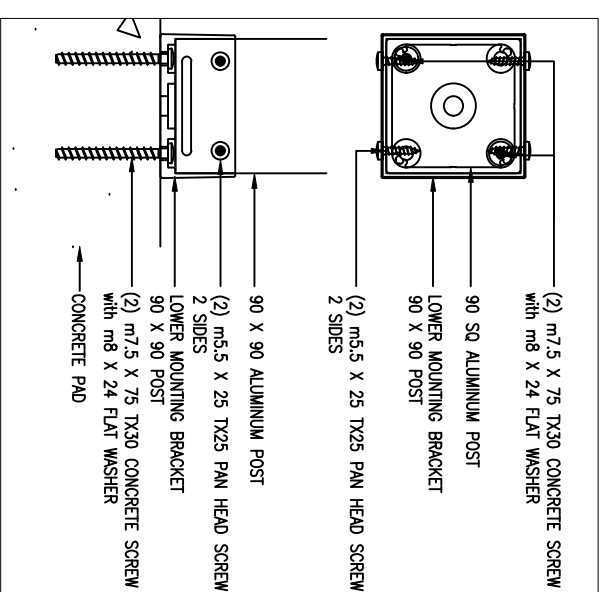
4 SIDE BEAM DETAIL
SCALE: 1:5



5 ROOF BEAM DETAIL
SCALE: 1:5



6 POST BASE DETAIL
SCALE: 1:5



6.1 POST BASE DETAIL
SCALE: 1:5



October 28, 2021

ENGINEER SEAL

REV. No.	REVISION	REVDATE :
1	SIZE HAS BEEN REDUCED	28 OCT 2021

MIRODAN CONTRACTING
42 THOMAS HENRY RD

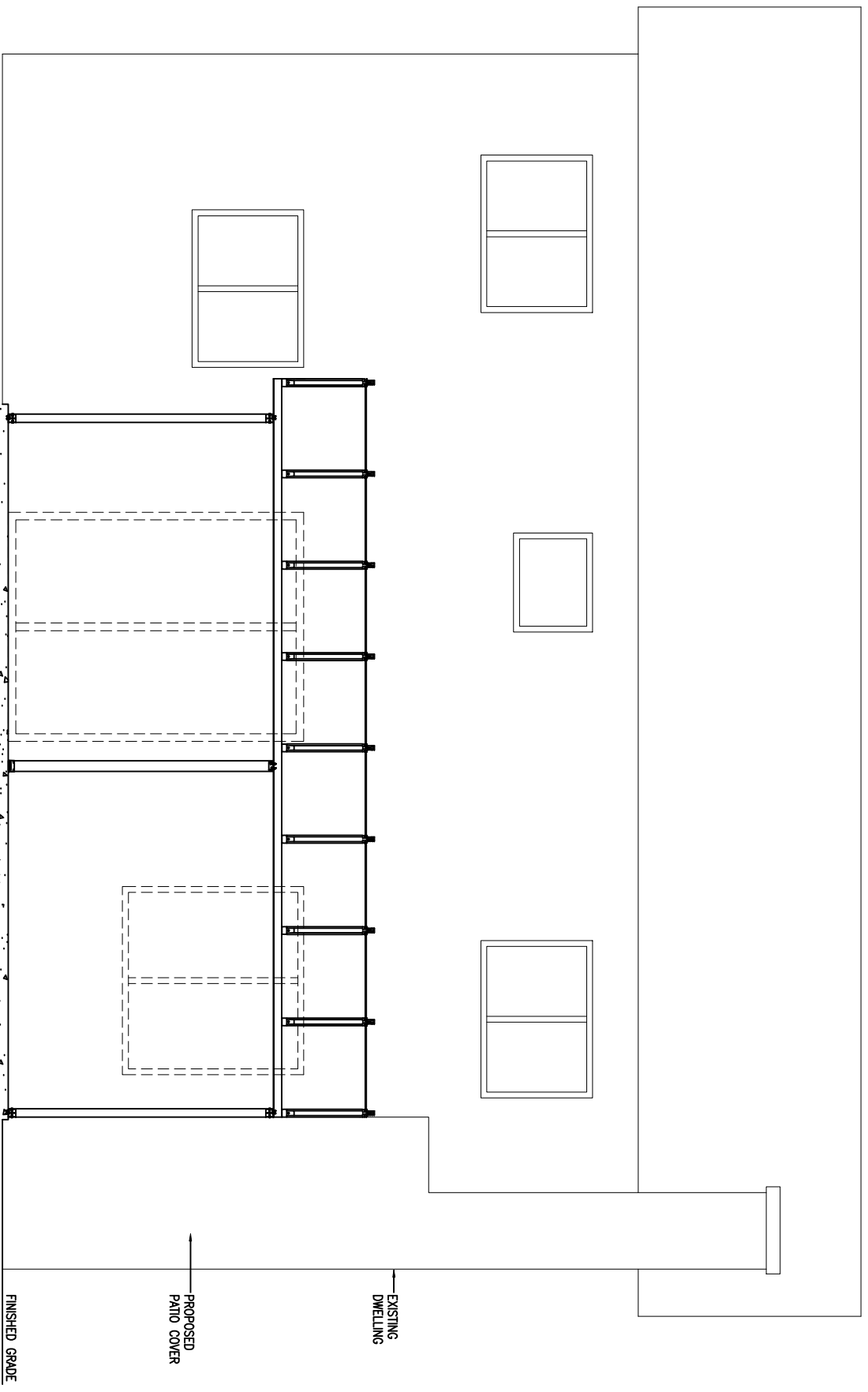
DETAILS

PROJECT No. 50483001


DATE : 17 SEP 2021

DRAWN BY : RH

DRAWING : 3



1 BUILDING ELEVATION
 SCALE: 1:50
4

 October 28, 2021 ENGINEER SEAL	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">REV. No.</td> <td style="width: 60%;">REVISION</td> <td style="width: 30%;">REVDATE :</td> </tr> <tr> <td>1</td> <td>SIZE HAS BEEN REDUCED</td> <td>28 OCT 2021</td> </tr> </table>	REV. No.	REVISION	REVDATE :	1	SIZE HAS BEEN REDUCED	28 OCT 2021	MIRODAN CONTRACTING 42 THOMAS HENRY RD	ELEVATION PROJECT No. 50483001 DATE : 17 SEP 2021 DRAWN BY : RH DRAWING : 4
REV. No.	REVISION	REVDATE :							
1	SIZE HAS BEEN REDUCED	28 OCT 2021							

BUILDING LOCATION SURVEY OF LOTS 228, 229 AND 230, PLAN 65M-2299 TOWN OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

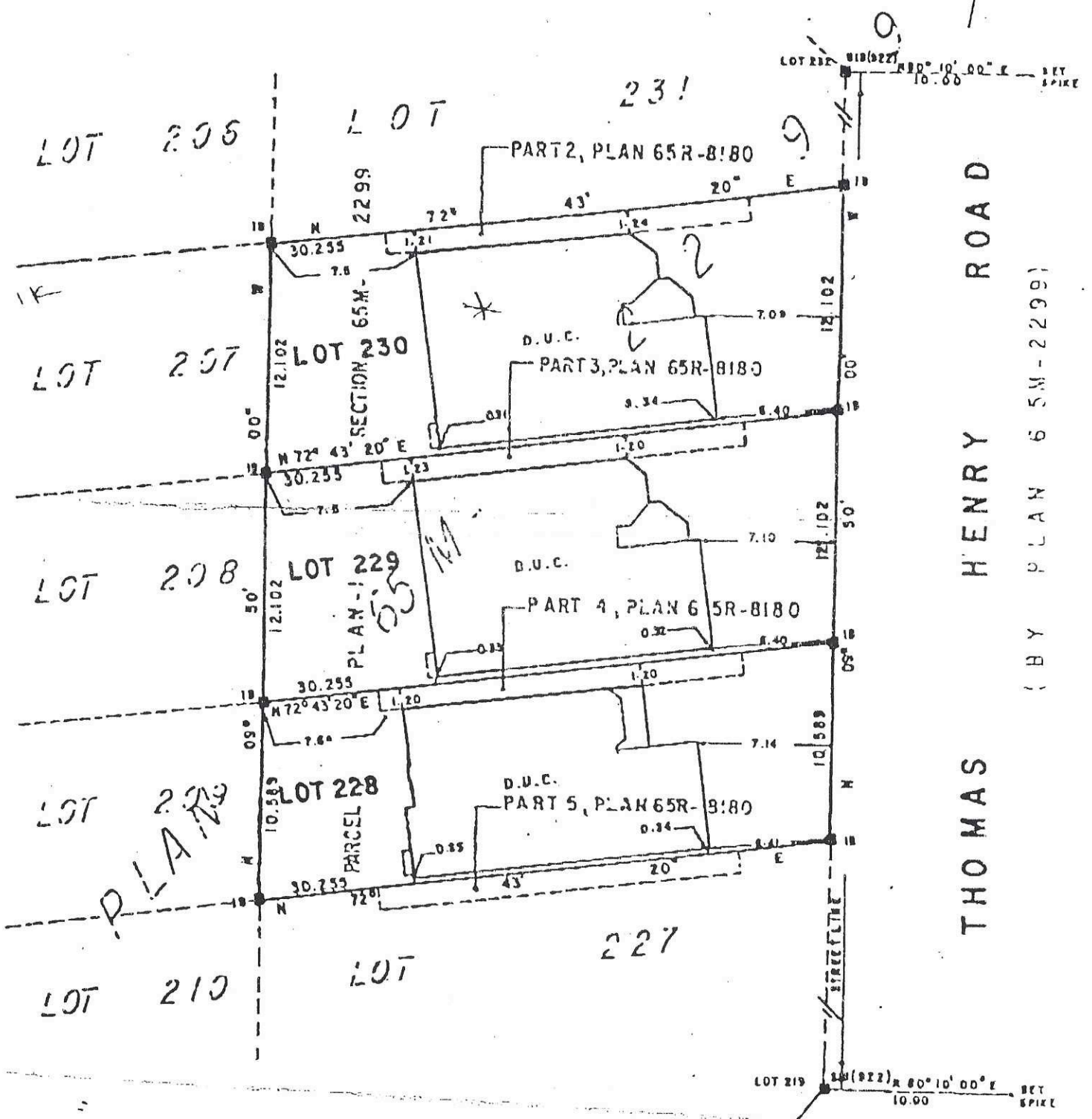
SCALE 1:300



C.P. EDWARD O.L.S. 1985

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



NOTE
 D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
 BIB DENOTES STANDARD IRON BAR
 IB DENOTES IRON BAR
 ■ DENOTES MONUMENT FOUND
 B22 DENOTES SCHAEFFER & REINTHALER LTD, O.L.S.
 ALL FOUND MONUMENTS BY JOSEPH RADY-PENTEK LTD, O.L.S.
 UNLESS NOTED OTHERWISE

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
 COMPLETED ON THE 24 DAY OF MAY, 1985
 DATE JULY 4, 1985

C.P. Edward
 C.P. EDWARD
 ONTARIO LAND SURVEYOR

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIMIT OF THOMAS HENRY ROAD AS SHOWN ON PLAN 65M-2299

RD JOSEPH RADY-PENTEK LTD.
 ONTARIO LAND SURVEYORS

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: November 3rd , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A238-22**

Related Files:

Applicant Kim Andes & Allan Friedman

Location 42 Thomas Henry Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

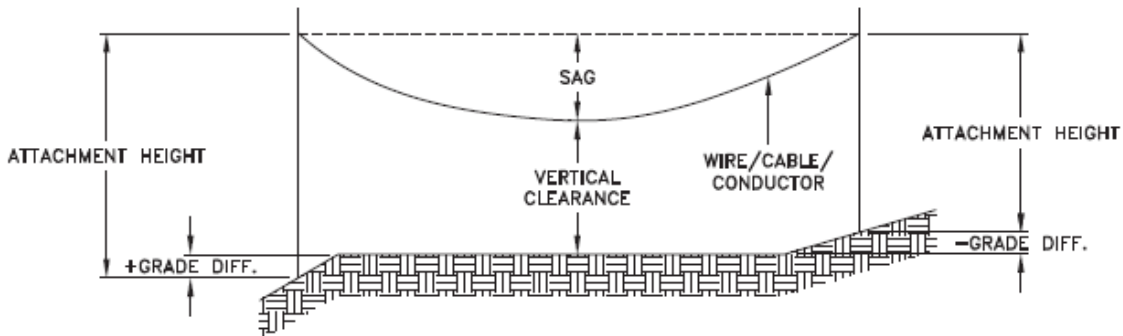
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

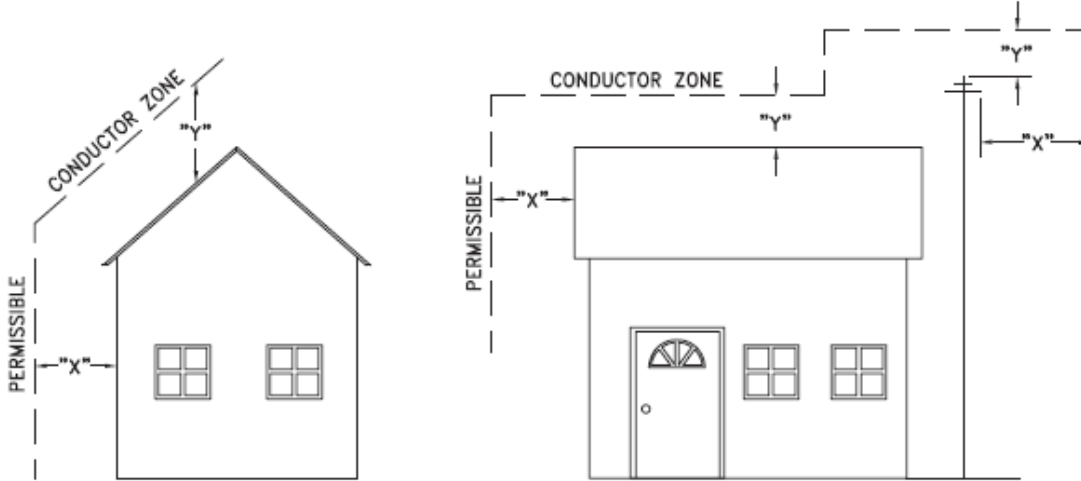
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: October 27, 2022
Applicant: Kim Andes & Allan Friedman
Location: 42 Thomas Henry Road
 PLAN 65M2299 Lot 230
File No.(s): A238/22

Zoning Classification:

The subject lands are zoned R4(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.291 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum encroachment into the minimum required rear yard shall be 2.0 metres for a porch [Section 4.13, Table 4-1].	To permit a maximum encroachment of 3.14 metres into the minimum required rear yard for a porch.

The subject lands are zoned R4, Residential Zone, and subject to the provisions of Exception 9(491) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	A minimum Rear yard of 7.5 metres is required to the porch roof [Schedule T-32].	To permit a minimum rear yard of 4.36 metres to the porch roof.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 21-133189 for Single Detached Dwelling - Alteration, Issue Date: Jan 21, 2022
 Building Permit No. 22-103839 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of revised drawings.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 30, 2022
Name of Owner: Kim Andes and Allan Friedman
Location: 42 Thomas Henry Road
File No.(s): A238/22

Proposed Variance(s) (By-law 01-2021):

1. To permit a maximum encroachment of 3.14 m into the minimum required rear yard for a porch.

By-Law Requirement(s) (By-law 01-2021):

1. A maximum encroachment into the minimum required rear yard shall be 2.0 m for the porch. [Section 4.13, Table 4-1]

Proposed Variance(s) (By-law 1-88):

2. To permit a minimum rear yard of 4.36 m to the porch roof.

By-Law Requirement(s) (By-law 1-88):

2. A minimum rear yard of 7.5 m is required to the porch. [Schedule T-32]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to construct a covered porch in the rear yard with the above noted variances.

The Development Planning Department has no objection to the variances, as the increased encroachment of 1.14 m resulting in a rear yard setback of 4.36 m will not cause adverse massing or drainage impacts to the abutting properties. The porch adheres to the maximum height and interior yard setback requirements of the By-laws, while remaining unenclosed and central to the dwelling's rear wall.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
David Harding, Senior Planner

From: [Rajevan, Niranjan](#)
To: [Pravina Attwala](#); [Committee of Adjustment](#)
Subject: [External] RE: A238/22 (42 THOMAS HENRY ROAD) - REQUEST FOR COMMENTS
Date: Friday, November 11, 2022 11:54:43 AM
Attachments: [image002.png](#)
[image004.png](#)

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A38/22) and has no comment.

Many thanks,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: Working together to serve our thriving communities – today and tomorrow

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			11/29/2022	Justification Letter
Public	Shyamal Ghosal	46 Thomas Henry Road	11/29/2022	Support Letter
Public	Leon Wiktorowicz	43 Ferne-Rachel Road	11/29/2022	Support Letter

Nov 29 2022

Kim and I wish to reassure the city and our neighbours that putting this patio cover into place will not create any privacy concerns whatsoever. We are not installing a raised desk, or any raised floor, and will therefore not infringe on any of our neighbours.

The purpose of this request is to have a protected area in our backyard so we have useable space even when it's raining (or snowing?) We'd like to enjoy our backyard to the utmost, and this installation will allow for that, especially as we near our 60s and spend less time away from home.

This will also provide a protected area to store (and use) our BBQ during the winter months.

We appreciate your consideration for the requested variance to the existing bylaw(s) so that we may fully enjoy and utilise our beautiful backyard and environment.

With kind regards,

The image shows two handwritten signatures in black ink. The signature on the left is 'Allan Friedman' and the signature on the right is 'Kim Ades'. Both signatures are written in a cursive, flowing style.

Allan Friedman & Kim Ades
42 Thomas Henry Rd.,
Thornhill, ON
L4J 6J3

June 1, 2022

Hi,

In case you don't know, we are your neighbours at 42 Thomas Henry Rd. Allan and I are planning on building an addition to the back of our home (basically a sunroom) so that we can enjoy being outside in all kinds of weather. The side and back walls will be retractable glass so it can remain open (like a deck) in the summertime, and when closed, it will allow us to use some of our backyard during the winter as well.

The construction will be fairly quick and easy – we dig out a foundation at the back of the house, and then the sunroom company sends in their team for quick assembly and installation. The sunroom will be attached to the back of the house – it's not freestanding.

You are receiving this letter because we'd love to have your approval in advance of submitting our plans. This makes it easier for the city to approve our permit, and will allow us to complete this project before winter.

Please print and sign your name, and include your address, so that we may send the city your support for our plan. You can drop the letter in the mailbox outside our front door if that's convenient.

We have enjoyed having you as our neighbours for many years and have appreciated that we all get along when any of us have had any requests (ie – sharing the costs for fence repair and rebuilding, tree maintenance and removal, etc). You are all good neighbours, and we love being a part of this community with you.

Please don't hesitate to let us know if you have any concerns...

With thanks and appreciation,
Kim and Allan
42 Thomas Henry Rd.

I, the undersigned, have no issue with the abovementioned plan to build a sunroom at 42 Thomas Henry Rd.

Full Address...

Street: 46 THOMAS HENRY ROAD
Town: THORNHILL
Province: ONTARIO
Postal Code: L4J 6J3

Signature:



Print Name:

SHYAMAL GHOSAL

June 1, 2022

Hi,

In case you don't know, we are your neighbours at 42 Thomas Henry Rd. Allan and I are planning on building an addition to the back of our home (basically a sunroom) so that we can enjoy being outside in all kinds of weather. The side and back walls will be retractable glass so it can remain open (like a deck) in the summertime, and when closed, it will allow us to use some of our backyard during the winter as well.

The construction will be fairly quick and easy – we dig out a foundation at the back of the house, and then the sunroom company sends in their team for quick assembly and installation. The sunroom will be attached to the back of the house – it's not freestanding.

You are receiving this letter because we'd love to have your approval in advance of submitting our plans. This makes it easier for the city to approve our permit, and will allow us to complete this project before winter.

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We have enjoyed having you as our neighbours for many years and have appreciated that we all get along when any of us have had any requests (ie – sharing the costs for fence repair and rebuilding, tree maintenance and removal, etc). You are all good neighbours, and we love being a part of this community with you.

Please don't hesitate to let us know if you have any concerns...

With thanks and appreciation,
Kim and Allan
42 Thomas Henry Rd.

I, the undersigned, have no issue with the abovementioned plan to build a sunroom at 42 Thomas Henry Rd.

Full Address...

Street: 43 Ferme - Rachel Rd.
Town: Thornhill
Province: Ontario
Postal Code: L4J 6J4

Signature:

Print Name:

Leon Wiktorowicz

