

ITEM #: 6.2

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A177/22
492 Napa Valley Ave Woodbridge**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B		X		General Comments
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Cover Letter submitted with application
Public	Stephanie Fanutti	478 Napa Valley Ave	05/02/2022	Letter of Support
Public	Tejinder Singh	496 Napa Valley Ave	05/02/2022	Letter of Support

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

Public	Fiorina Chiappetta	151 Via Carmine Ave	09/15/2022	Letter of Objection / Photos
--------	--------------------	---------------------	------------	---------------------------------

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
------	--



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A177/22
492 Napa Valley Ave Woodbridge**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.2	CITY WARD #: 2
APPLICANT:	Patrizia and Alfred Wieser
AGENT:	Raia Realty Inc.
PROPERTY:	492 Napa Valley Ave Woodbridge ON L4H 1Z9
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the existing shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3A(EN), Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.663 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard 1.2 m is required. [4.1.2]	To permit a minimum northerly interior side yard of 0.6 m from the northerly lot line to an accessory residential structure (shed with roof overhang).
2	A minimum rear yard of 0.6 m is required. [4.1.2]	To permit a minimum rear yard of 0.6 m from the rear lot line to an accessory residential structure (shed with roof overhang).

The subject lands are zoned RV3, Residential Urban Village Zone Three and subject to the provisions of Exception 9(988) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum interior side yard of 1.2 m is required. [Schedule A1 and 4.1.1]	To permit a minimum northerly interior side yard of 0.6 m from the northerly lot line to an accessory structure (shed with roof overhang).
4	A minimum rear yard of 7.5 m is required. [Schedule A1 and 4.1.1]	To permit a minimum rear yard of 0.6 m from the rear line to an accessory structure (shed with roof overhang).

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022
Date Applicant Confirmed Posting of Sign:	November 23, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	By using the existing concrete pad, the shed is bigger than allowed.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
---	------

DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	None
---	------

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed shed area in the subject property is over 10m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached).

The Development Engineering (DE) Department does not object to variance application A177/22 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.
--	---

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
--	------

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
--	-----

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
--	-----

FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
--	-----

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
---	---------------------	--------------------------

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca .
---	---	--

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

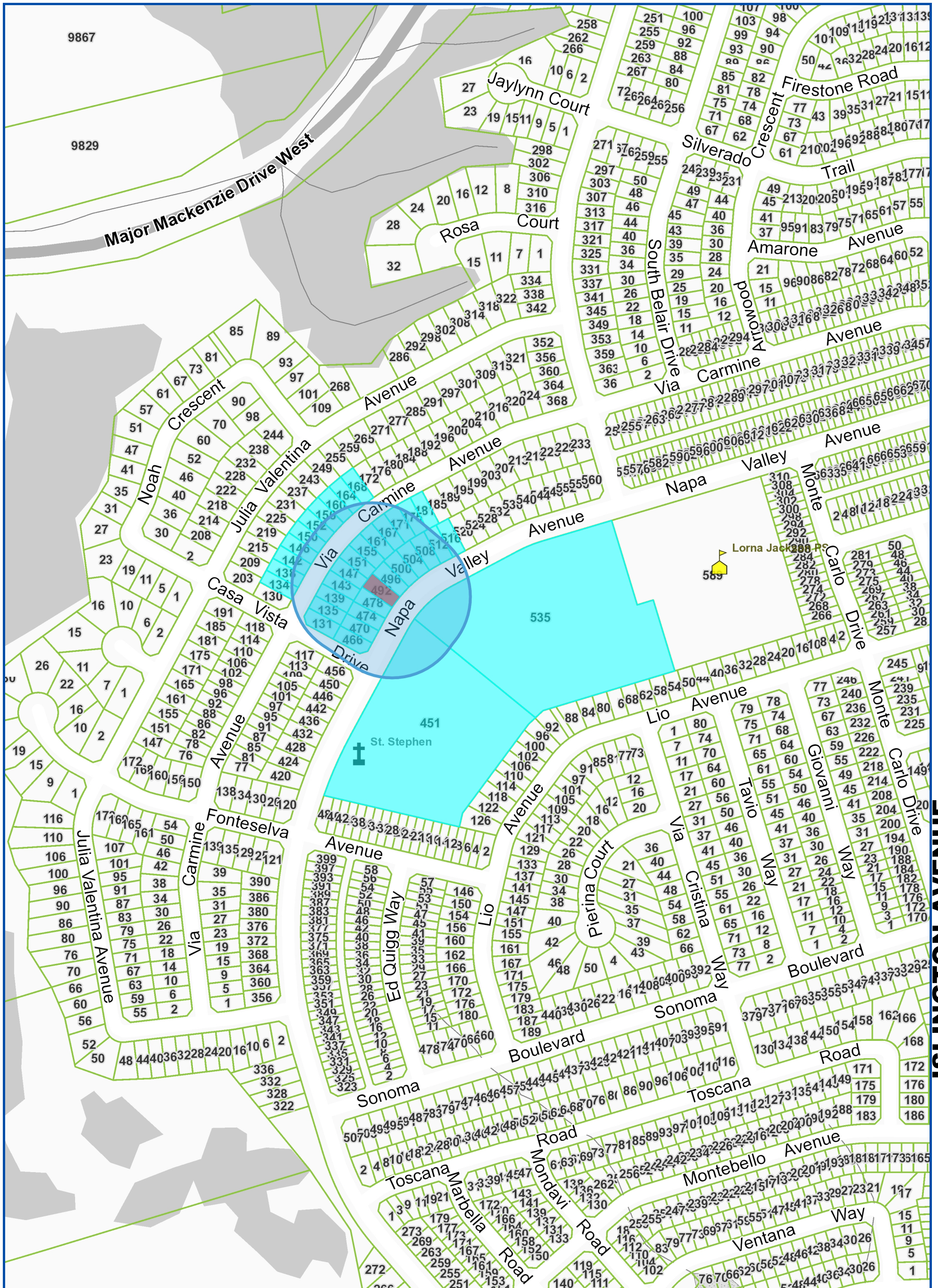
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

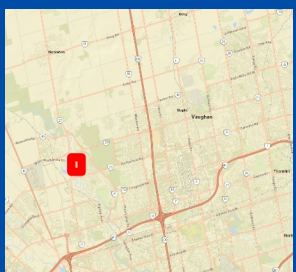
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



ISLINGTON AVENUE

Map Information:



Title:

492 Napa Valley Avenue, Woodbridge

NOTIFICATION MAP - A177/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



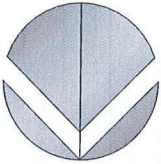
Created By:

Infrastructure Delivery
Department
June 13, 2022 6:19 PM

Projection:

NAD 83
UTM Zone
17N

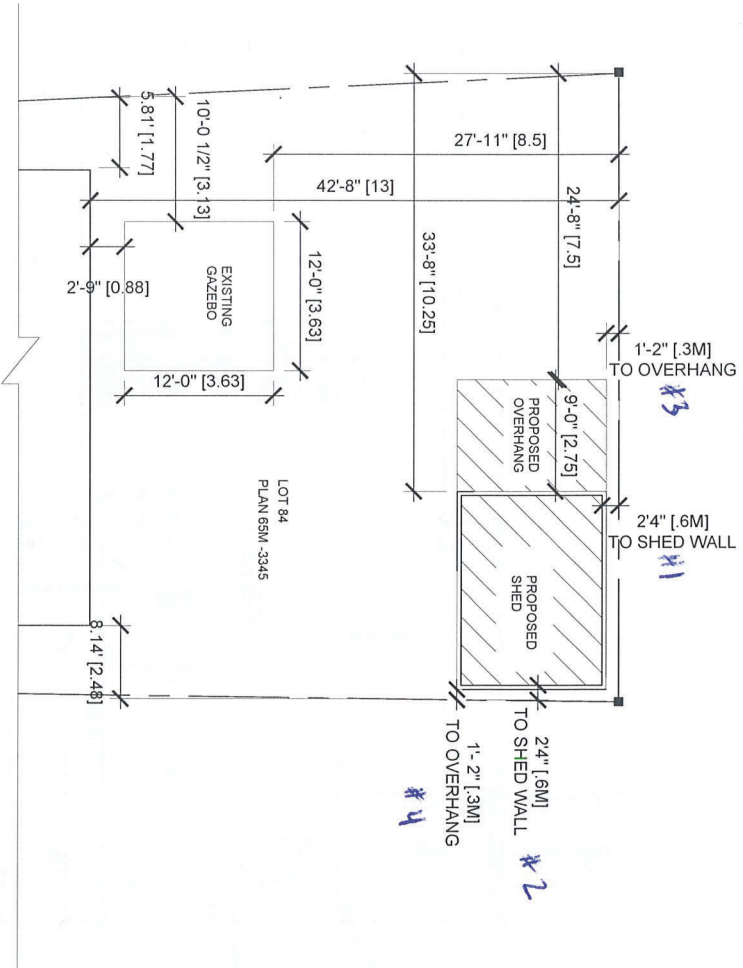
Received
November 22, 2022



Orientation:	
1	09/09/19 COMMENCE HARDLINE DRAWINGS
2	COORDINATE ENGINEERING COMMENTS
3	
4	
5	
6	
7	
8	

REAR YARD AREA
 PROPOSED ACCESSORY STRUCTURE
 PROPOSED ACCESSORY STRUCTURE INC. COVERED ROOF
 COMBINED AREA ACCESSORY STRUCTURE AND GAZEBO
 PROPOSED REAR YARD GREEN SPACE

2107 SQ.FT. 195.75 SQ.M 100%
 192 SQ.FT. 17.84 SQ.M 9.11%
 330 SQ.FT. 30.67 SQ.M 15.65%
 443 SQ.FT. 41.16 SQ.M 21.25%
 1662 SQ.FT. 107.95 SQ.M 78.89%



AS BUILT SHED

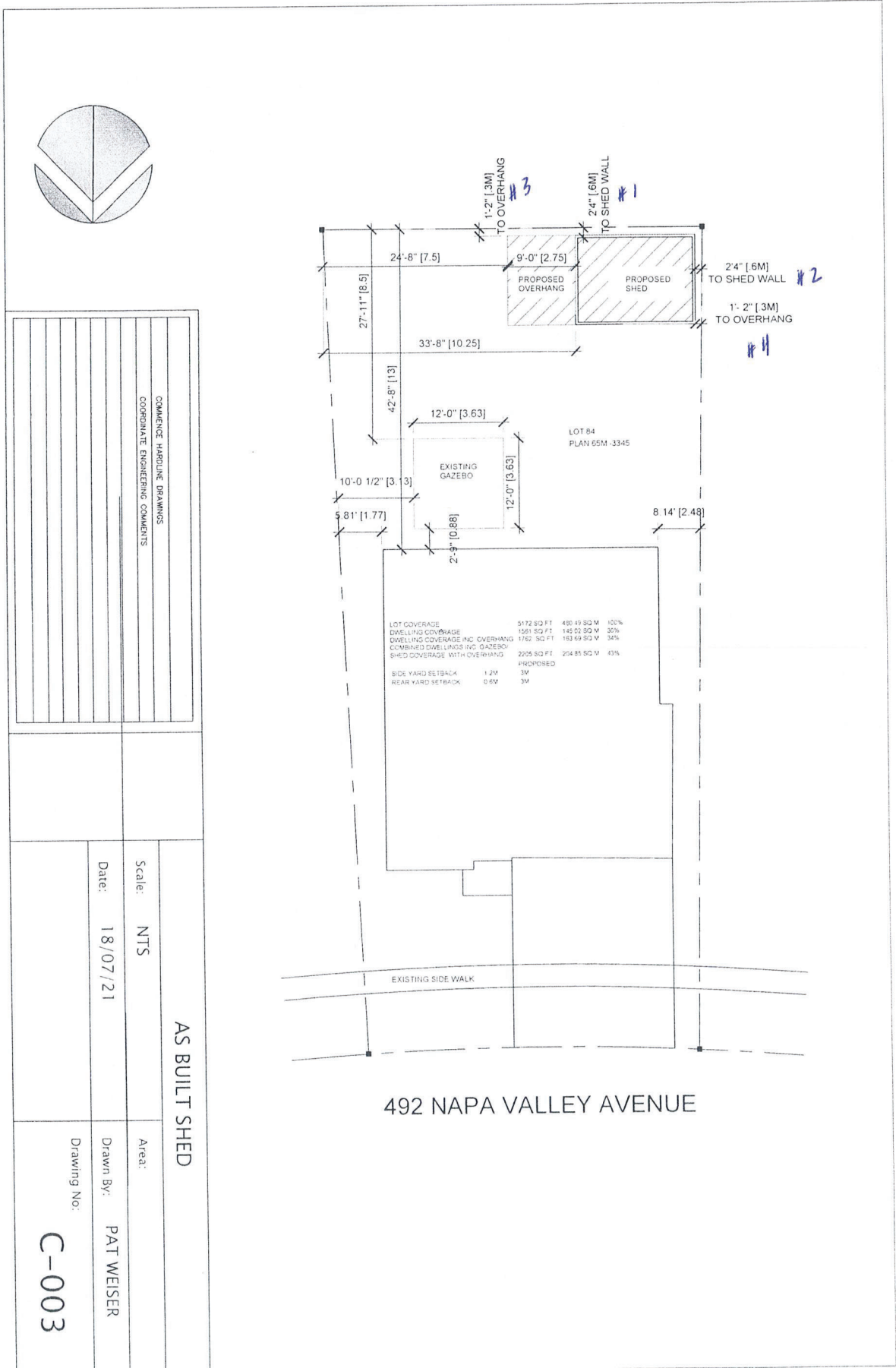
Scale:	3/16" = 1'-0"	Area:	
Date:	18/07/21	Drawn By:	PAT WEISER
		Drawing No.:	C-004

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A177/22

Received

November 22, 2022



COMMENCE HARDLINE DRAWINGS
COORDINATE ENGINEERING COMMENTS

AS BUILT SHED	
Scale:	NTS
Date:	18/07/21
Area:	
Drawn By:	PAT WEISER
Drawing No:	C-003

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B		X		General Comments
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: November 8th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A177-22**

Related Files:

Applicant Patrizia and Alfred Wieser

Location 492 Napa Valley Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

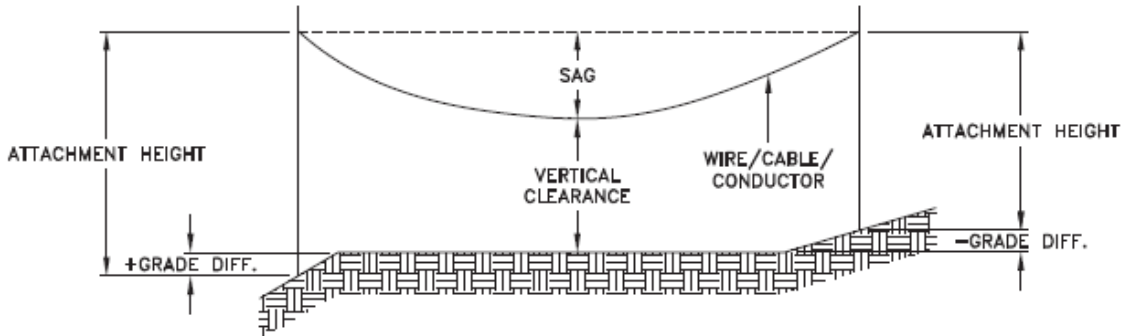
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

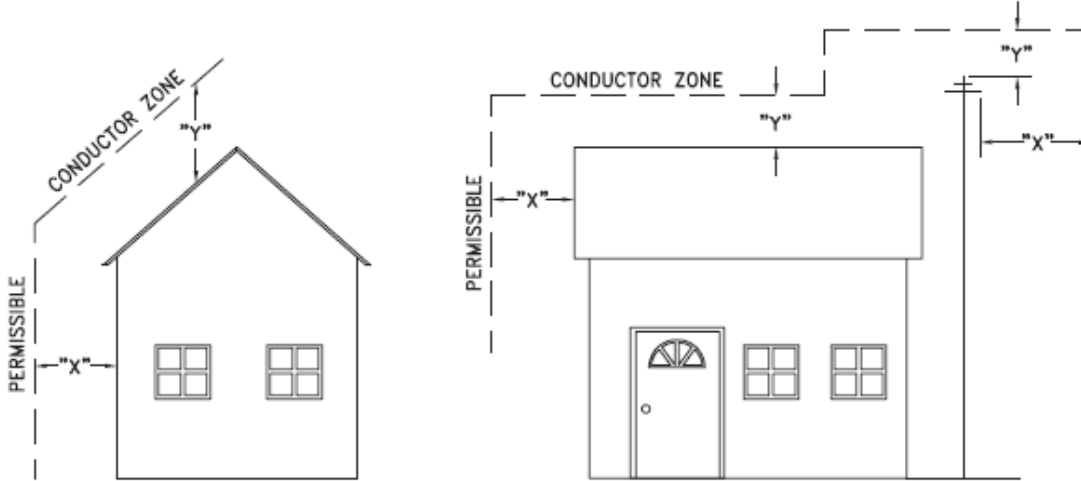
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: November 4, 2022
Applicant: Patrizia and Alfred Wieser
Location: 492 Napa Valley Avenue
 PLAN 65M3345 Lot 84
File No.(s): A177/22

Zoning Classification:

The subject lands are zoned R3A(EN), Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.663 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard 1.2 m is required. [4.1.2]	To permit a minimum northerly interior side yard of 0.6 m from the northerly lot line to an accessory residential structure (shed with roof overhang).
2	A minimum rear yard of 0.6 m is required. [4.1.2]	To permit a minimum rear yard of 0.6 m from the rear lot line to an accessory residential structure (shed with roof overhang).

The subject lands are zoned RV3, Residential Urban Village Zone Three and subject to the provisions of Exception 9(988) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	A minimum interior side yard of 1.2 m is required. [Schedule A1 and 4.1.1]	To permit a minimum northerly interior side yard of 0.6 m from the northerly lot line to an accessory structure (shed with roof overhang).
4	A minimum rear yard of 7.5 m is required. [Schedule A1 and 4.1.1]	To permit a minimum rear yard of 0.6 m from the rear line to an accessory structure (shed with roof overhang).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 2021 116587 000 01 D has been submitted for the construction of a shed with roof overhang.

A building permit may be required for the existing gazebo. Please contact the Building Standards Department at (905) 832-8510 for permit requirements.

Other Comments:

General Comments	
1	Architectural drawings have not been provided for the existing gazebo. On the Site Plan received October 13, 2022, the Applicant notes that the height of the structure is 3.048 m to the top of the peak. The Applicant shall be advised that the structure shall comply with Height, as defined in Section 3.0 of Zoning Bylaw 001-2021 and Building Height, as defined in Section 2.0 of Zoning Bylaw 1-88.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
3	The variance for hard landscape encroachment has been removed due to a recent amendment to Zoning Bylaw 001-2022.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 1, 2022
Name of Owners: Patrizia and Alfred Wieser
Location: 492 Napa Valley Avenue
File No.(s): A177/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum northerly interior side yard of 0.6 m from the northerly lot line to an accessory residential structure (shed with roof overhang).
2. To permit a minimum rear yard of 0.6 m from the rear lot line to an accessory residential structure (shed with roof overhang).

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard of 1.2 m is required.
2. A minimum rear yard of 0.6 m is required.

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum northerly interior side yard of 0.6 m from the northerly lot line to an accessory structure (shed with roof overhang).
4. To permit a minimum rear yard of 0.6 m from the rear line to an accessory structure (shed with roof overhang).

By-Law Requirement(s) (By-law 1-88):

3. A minimum interior side yard of 1.2 m is required.
4. A minimum rear yard of 7.5 m is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing shed with the above noted variances.

The Development Planning Department has no objection to the proposed variances as the shed complies with the height requirements under both Zoning By-laws, the reduction to the rear and interior side yard setbacks do not have adverse impacts to the neighbouring properties, and an appropriate space for maintenance access remains. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

From: [Karyn McAlpine-Tran](#)
To: [Christine Vigneault](#)
Subject: [External] Re: A177/22 (492 Napa Valley Avenue) - City of Vaughan, Request for Comments
Date: Wednesday, November 9, 2022 9:37:18 AM

Hi Christine,

Thank you for the opportunity to review the above referenced Committee of Adjustment application. YCDSB staff have reviewed the material provided and have no comments.

Thank you,
Karyn

Karyn McAlpine-Tran
Senior Planner
Planning Services
York Catholic District School Board

On Mon, Nov 7, 2022 at 10:23 AM 'Christine Vigneault' via DEVELOPMENT PLANNING - YCDSB <developmentplanning@ycdsb.ca> wrote:

From: [Development Services](#)
To: [Lenore Providence](#); [Committee of Adjustment](#)
Subject: [External] RE: A177/22 (492 Napa Valley Avenue) - City of Vaughan, Request for Comments
Date: Tuesday, November 29, 2022 2:41:27 PM
Attachments: [image002.png](#)
[image004.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Cover Letter submitted with application
Public	Stephanie Fanutti	478 Napa Valley Ave	05/02/2022	Letter of Support
Public	Tejinder Singh	496 Napa Valley Ave	05/02/2022	Letter of Support
Public	Fiorina Chiappetta	151 Via Carmine Ave	09/15/2022	Letter of Objection / Photos

MAY 2, 2022

COMMITTEE OF ADJUSTMENT

TO WHOM IT MAY CONERN,

We are applying to the COMMITTEE to accept our proposal of a rear yard shed. The Shed that was constructed was constructed on the existing concrete pad of the old shed that was taken down.

We understand that the rear and side yard setback are not in compliance with what is allotted, however it would of complied if the shed was smaller in statute. There are multiple sheds along Napa Valley, of which are also not in compliance. If our lot was bigger then we can fully understand moving it further off the property however the rear yard is small.

We reduced the height of the rear wall to compensate the height and installed a lean to roof sloped from rear to front, so that it would not be an eye sore to the neighbours to the rear. We are cladding the shed with a culture stone material to also make it as appeasing as possible to everyone. We have been Vaughan Residence on Napa Valley and are in good standings with our neighbours to the east and West of our property.

Please take our application into consideration so that we can complete our project and enjoy or backyard for years to come.

Thanking you in advance,

A handwritten signature in black ink, appearing to read 'Patrizia Weiser', written in a cursive style.

Patrizia Weiser

May 2nd 2022

To:

The Committee of Adjustments:

I am the owner of 496 Napa Valley Avenue. I understand that a building permit was issued for 492 Napa Valley Avenue. Building permit no: 21-116587. I further understand that the application has to go to committee of adjustments for minor variances due to size and location of the shed. I am in favour to the proposed changes and am in full support. The shed according to what has been built is astatically pleasing. The owners have shown me what they plan on finishing the shed with and we feel that the overall look of the shed will be an improvement to what was previously there.

Yours truly,

Tejinder Singh
TEJINDER SINGH

OWNER

496 Napa Valley Avenue


May 2nd 2022

To:

The Committee of Adjustments:

I am the owner of 478 Napa Valley Avenue. I understand that a building permit was issued for 492 Napa Valley Avenue. Building permit no: 21-116587. I further understand that the application has to go to committee of adjustments for minor variances due to size and location of the shed. I am in favour to the proposed changes and am in full support. The shed according to what has been built is astatically pleasing. The owners have shown me what they plan on finishing the shed with and we feel that the overall look of the shed will be an improvement to what was previously there.

Yours truly,


Stephanie Fanutti

OWNER

478 Napa Valley Avenue

September 15, 2022

THE CITY OF VAUGHAN
2141 Major Mackenzie Dr.
Vaughan, ON. L6A 1T1

ATTENTION: Committee of Adjustment

TO WHOM IT MAY CONCERN:

RE: Minor Variance File A177/22 - 492 Napa Valley Avenue

I am writing to you to express my concerns regarding the above-mentioned variance request. Kindly forward this letter to the attention of the committee considering the variance.

I am the owner of the property situated directly behind 492 Napa Valley Avenue. The owner of 492 Napa Valley erected a "shed" which did not comply with Zoning By-law 1-88, namely:

- The shed must be located in the rear yard and set back from the property line 0.6 metres (about two feet).
- The height of the shed must not exceed 2.5 metres (about eight feet), which includes the height of the pad it is constructed on. If there is more than one shed on the property, contact [Building Standards](#).

As it currently stands, the shed is less than two feet from the property line (fence) and exceeds 2.5 metres in height (inclusive of the pad) and was constructed *without* a valid permit.

I am a widowed senior citizen on a fixed income. After a very long Canadian winter stuck indoors, I very much look forward to the spring and summer months so that I may enjoy vegetable gardening as I have done for many years. Unfortunately, the construction of the oversized shed has impeded my enjoyment of my vegetable garden and use of my backyard.

I understand that the property owner has made a request for a variance. I am strongly opposed to his request as it raises the following concerns which affect my enjoyment of my property:

- 1) The current overhang of the oversized shed [see attached photo] causes rain / water run-off onto my wooden fence which will cause accelerated rotting and deterioration. This damage will cause me unnecessary costs for repair or replacement;
- 2) The current oversized structure causes more shading (blocking sunlight) onto my vegetable garden which has not thrived as in previous years [see attached photo].
- 3) The current oversized structure obstructs my view from my home through the properties onto the park blocking all sunlight (right to light) [see attached photo].

- 4) The current oversized structure is esthetically unpleasing [eyesore].
- 5) The current oversized structure may deter the future sale of my property to any potential buyers.

For the reasons stated above, I am strongly opposed to any request for a variance by the owner of 492 Napa Valley.

Yours truly,



Fiorina Chiappetta
151 Via Carmine Avenue
Woodbridge, ON L4H 1Z9

:lc
Encl. - photos













Received from 151 Via Carmine

September 28, 2022

A177/22



Received from 151 Via Carmine

September 28, 2022

A177/22



SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

COPY AND PASTE FROM SUMMARY CHART