

ITEM #: 6.13

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A277/22
46 Centre Street, Thornhill**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X	X	Recommend Approval w/Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B		X		General Comments
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B		X		General Comments
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A277/22
46 Centre Street, Thornhill**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.13	CITY WARD #: 5
APPLICANT:	1840657 Ontario Inc.
AGENT:	Michael Scott Architect Inc.
PROPERTY:	46 Centre St Thornhill ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	DA.19.024
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an addition to the rear of the existing heritage house (Building A on the plan provided with the application) and the construction of a second building on the site (Building B on the plan provided with the application). Relief is also required to facilitate related Site Plan Application DA.19.024

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A – First Density Residential Zone and subject to the provisions of Exception 14.189 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	All buildings or structures shall be located within the area shown as Building Envelopes A and B on Figure E-357, save and except accessory buildings with an area of less than 6.0 m ² [14.189.2 f)].	To permit Building B to not be located within the building envelope shown on Figure E-357 as shown on the site plan.
2	A maximum eave and gutter encroachment of 0.5 metres is required [Table 4-1].	To permit a maximum eave and gutter encroachment of 0.62 metres.
3	A maximum canopy encroachment of 0.5 metres is required [Table 4-1].	To permit a maximum encroachment of 1.25 metres into the rear yard for a canopy.
4	In the R1A zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape [Section 4.19.1.1].	To permit a minimum of 44.3% of the area of the rear yard in excess of 135 m ² to be soft landscaping.

The subject lands are zoned R1, Residential Zone, and subject to the provisions of Exception 9(345) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	All buildings or structures shall be located within the area shown as Building Envelopes A and B on Figure E-357, save and except accessory buildings with an area of less than 6.0 m ² [9(345 ei)].	To permit Building B to not be located within the building envelope shown on Figure E-357 as shown on the site plan.
6	A maximum eave and gutter encroachment of 0.5 metres is required [Section 3.14].	To permit a maximum eave and gutter encroachment of 0.62 metres.
7	A maximum canopy encroachment of 0.5 metres is required [Section 3.14].	To permit a maximum encroachment of 1.25 metres into the rear yard for a canopy.

	Zoning By-law 1-88	Variance requested
8	In an R1 zone, where the area of a rear yard of a lot is greater than 135m2, a minimum 60% of that portion of the rear yard in excess of 135 m2 shall be composed of soft landscaping [Section 4.1.2 b)].	To permit a minimum of 44.3% of the area of the rear yard in excess of 135 m2 to be soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022
Date Applicant Confirmed Posting of Sign:	November 20, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Variances are as a result of requests from Vaughan Heritage Committee
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application DA.19.024 be addressed to the satisfaction of the Development Planning Department
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

This application is related to the Development Application DA.19.024, that is currently being reviewed by the Development Engineering (DE) Department.

The Applicant is implementing a preamble paver driveway design, as an alternative to mitigate surface runoff caused by the increased hardscape.

The Development Engineering Department does not object to the Minor Variance application A277/22, Subject to the following Condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall obtain approval for the related Site Development Application (DA.19.024) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry is currently working with development planning for this project. Forestry has no comments in relation to the minor variance application.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

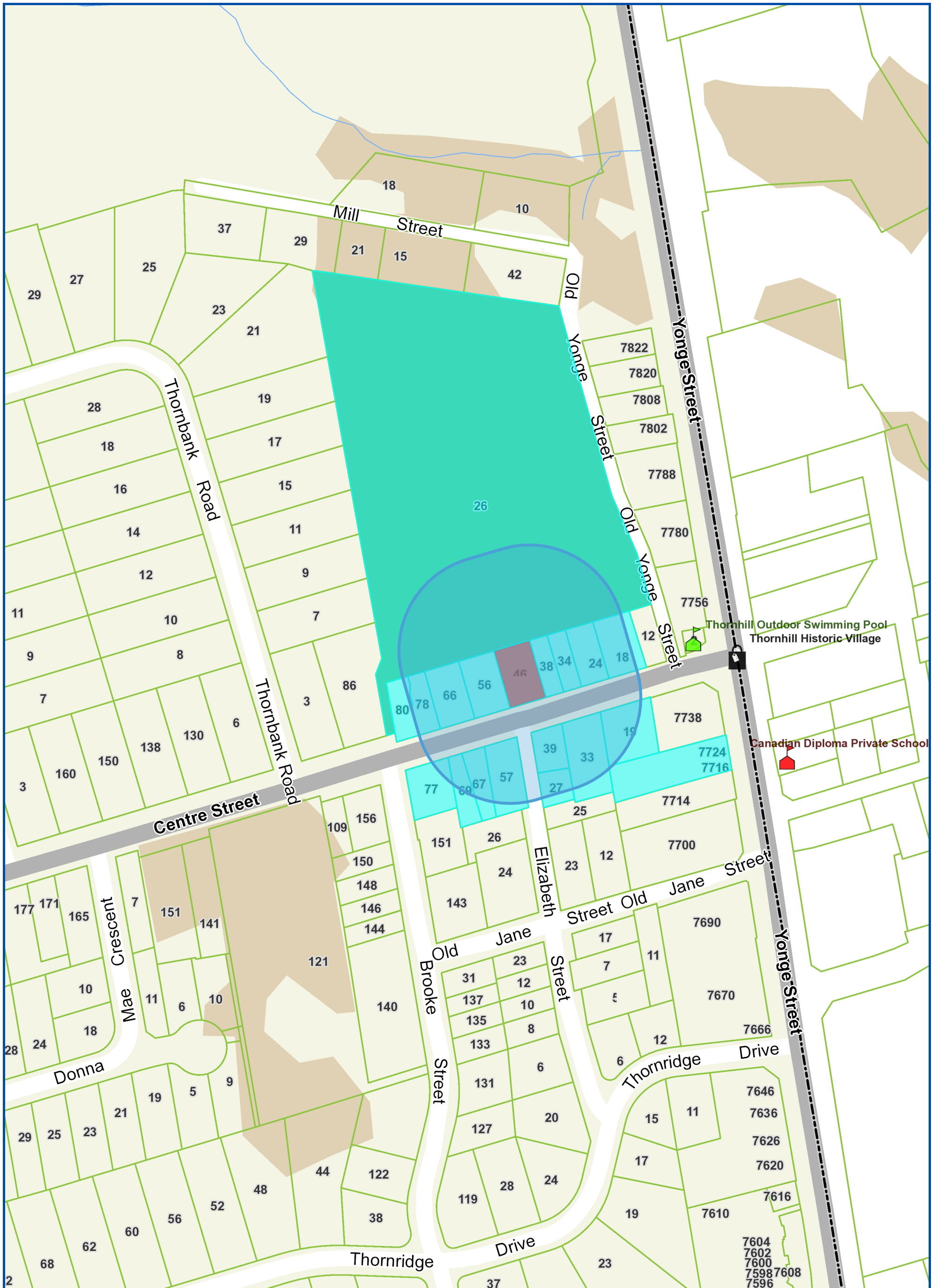
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

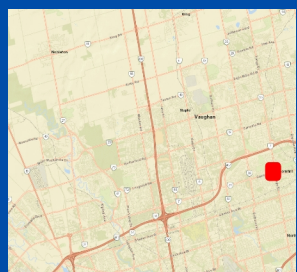
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.19.024 be addressed to the satisfaction of the Development Planning Department
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.19.024) from the Development Engineering (DE) Department.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **46 Centre Street, Thornhill**

NOTIFICATION MAP A277/22

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1:3,341**
 0 0.05 km



Created By:
 Infrastructure Delivery
 Department
 November 22, 2022 7:12 AM

Projection:
 NAD 83
 UTM Zone
 17N

A277/22

Received

November 22, 2022

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

GENERAL NOTES:

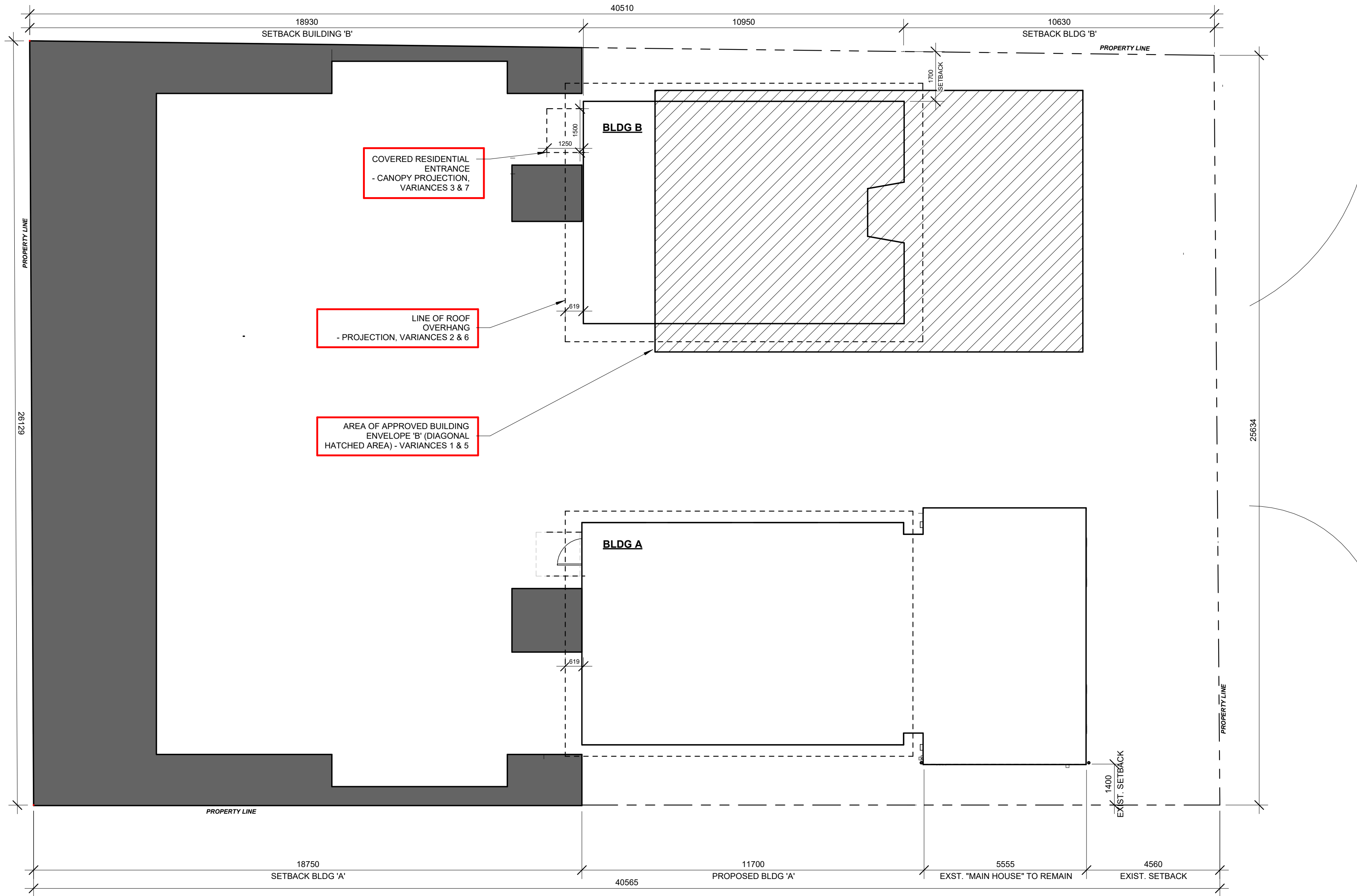
- 1) SITE PLAN DRAWINGS TO BE REVIEWED IN COMBINATION WITH LANDSCAPE AND CIVIL DRAWINGS
- 2) STANDARD DRAWINGS OF CITY OF VAUGHAN CONSTITUTE PART OF SITE PLAN DRAWINGS(S).
- 3) LANDSCAPING DESIGN SHALL NOT ENCOACH, NOR SHALL GRADES BE ALTERED ON BOULEVARD OF CENTRE STREET, ADJACENT PROPERTIES AND PARKLAND.
- 4) THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND WHERE SHOWN ON THE DRAWING(S) THE ACCURACY OF THE LOCATION OF UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED.
- 5) THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY INCLUDING THOSE ASSOCIATED WITH THE CHANGES TO CURB CUT LOCATION

LEGEND:

- REAR YARD SOFT LANDSCAPING (157.5 SM) - VARIANCES 4 & 8
- PAVERS (OTHER)
- SNOW STORAGE AREA (21.0 SM - 2% OF SITE AREA)
- EXST. TREE TO BE REMOVED
- EXST. TREE TO BE RETAINED
- REPLACEMENT TREE



② KEY PLAN
1 : 2000



① LEVEL 1/SITE PLAN
1 : 100

ISSUED

ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22
RE-ISSUED FOR COA	28-10-22
RE-ISSUED FOR COA	22-11-22

REVISED

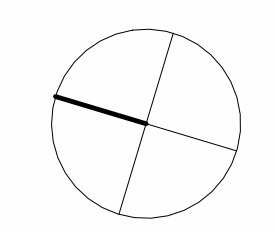


- GENERAL NOTES:**
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 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
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DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET
Thornhill, ON L4J 1E9 (City of Vaughan)
1846057 Ontario Inc
Architect:
Michael Scott Architect Inc.

LEVEL 1/SITE PLAN/LANDSCAPE
Dwg. Title :
DATE : 2022-05-10
SCALE : As Indicated
DRAWN :
CHECKED :
PROJECT NO. : 2124
Dwg. No. :
A101



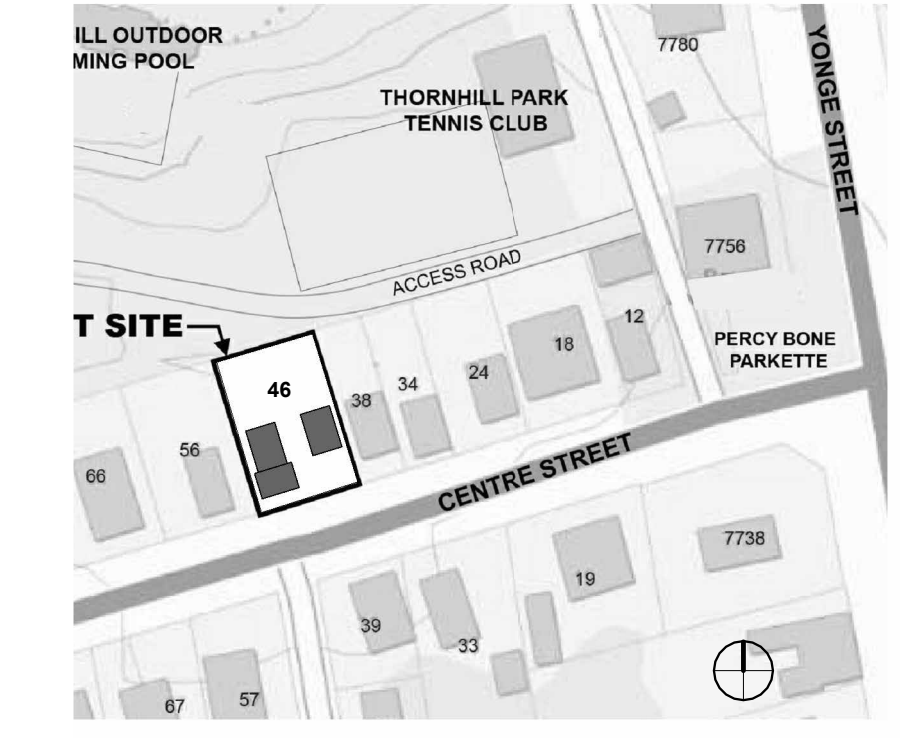
Received
October 28, 2022

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

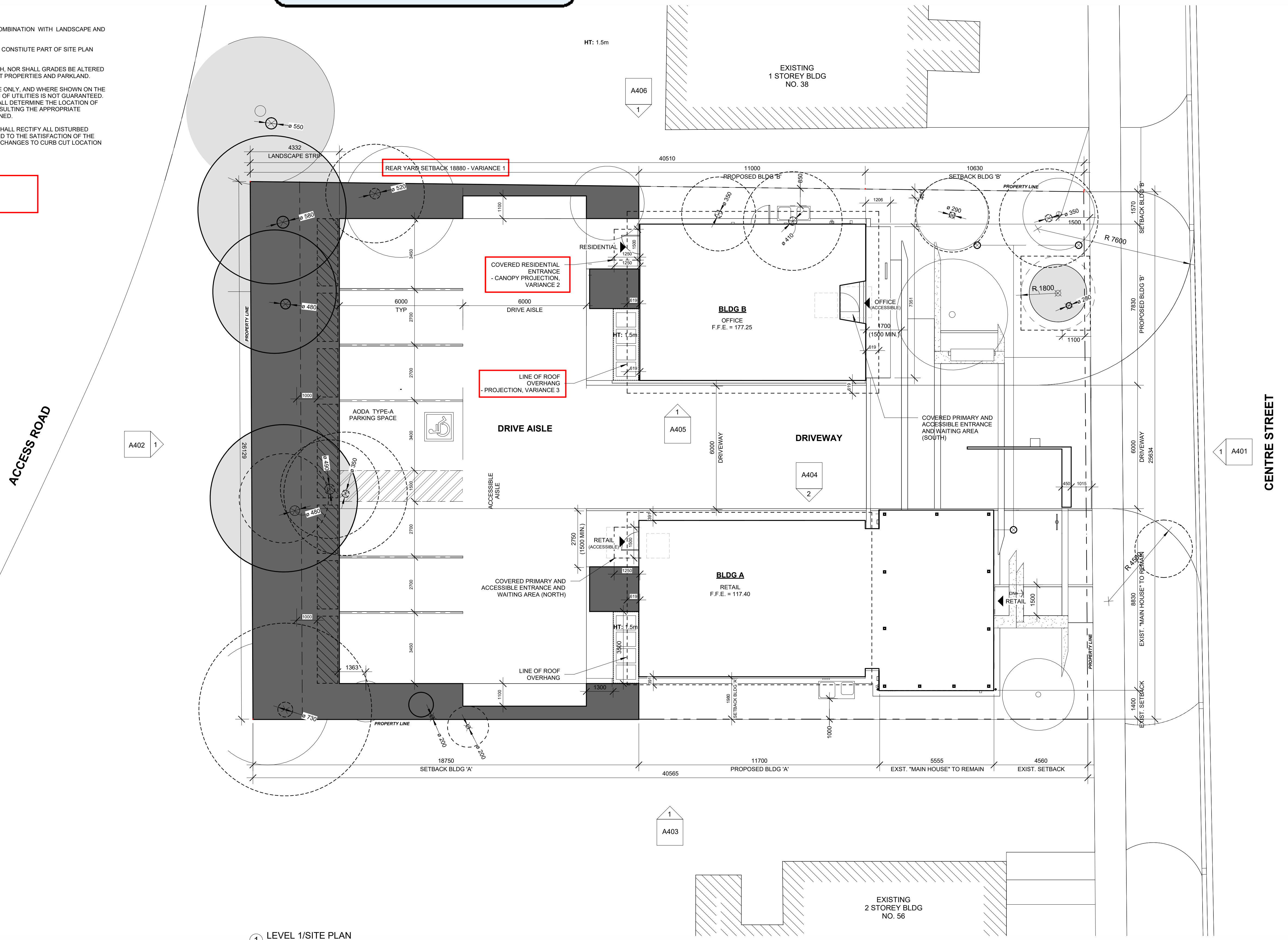
A277/22

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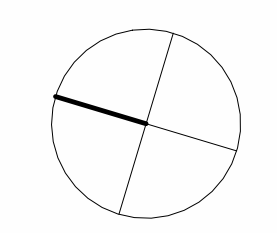
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REVISED



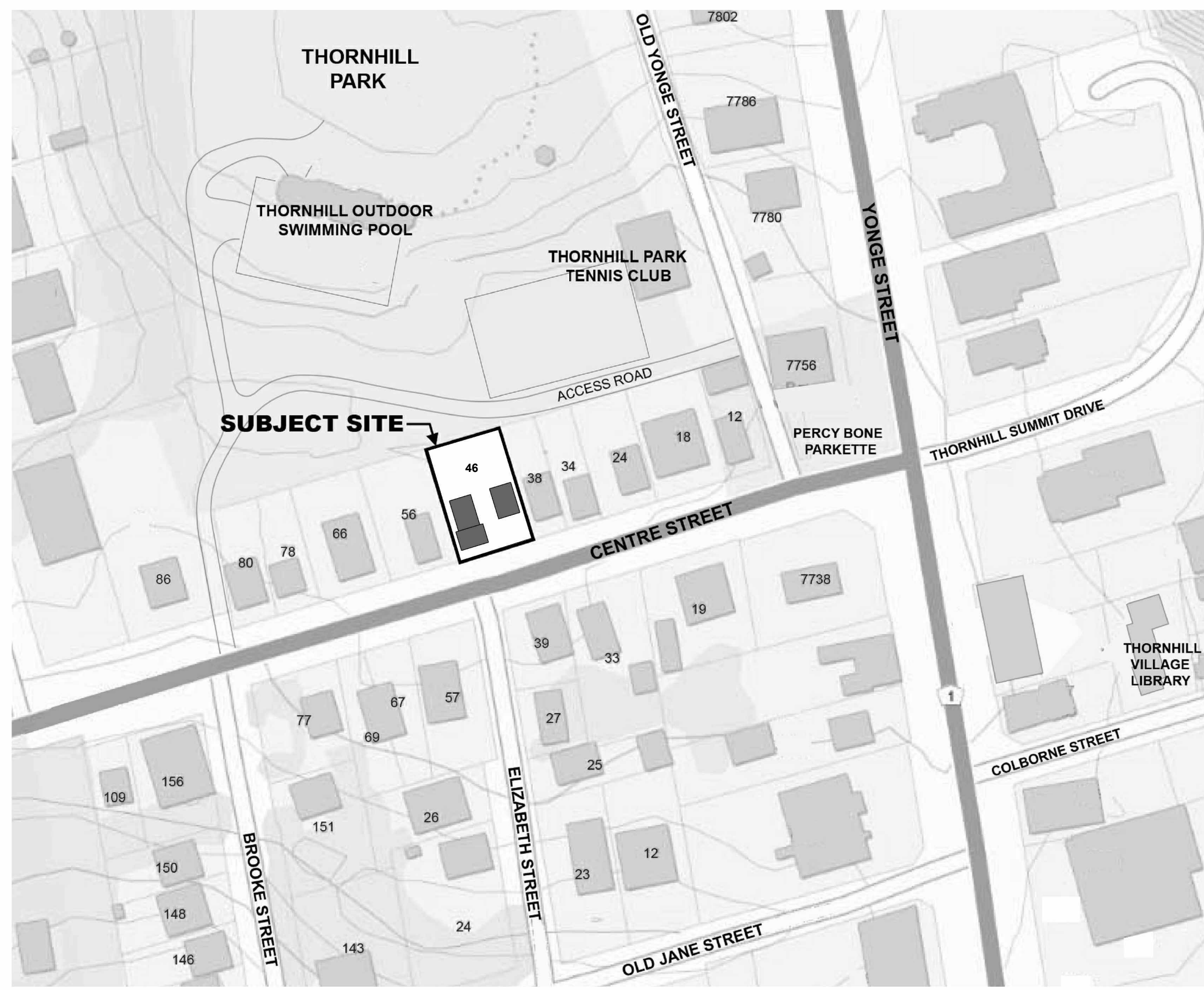
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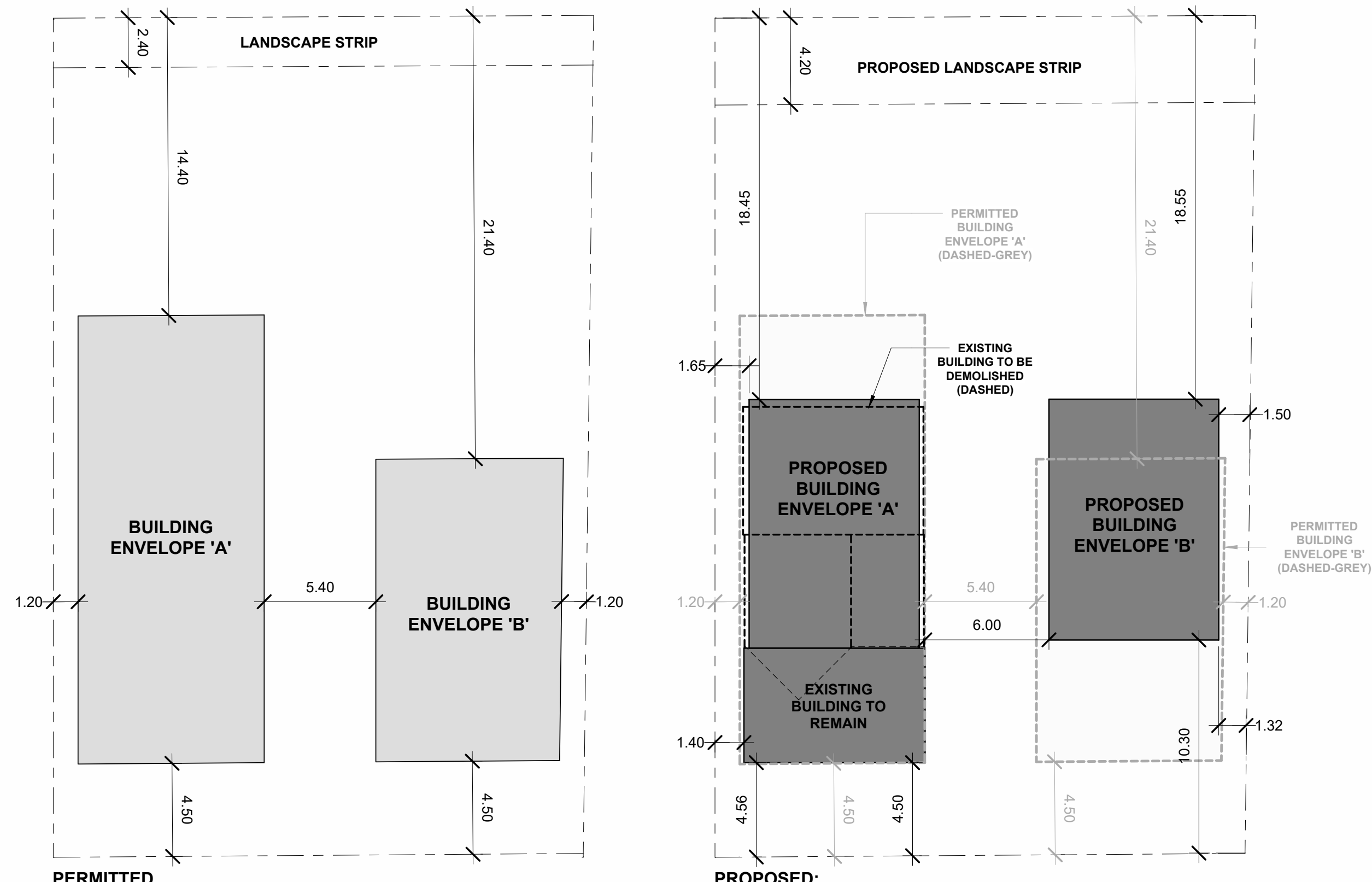
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LEVEL 1/SITE PLAN/LANDSCAPE
Dwg. Title :
DATE : 2022-05-10
SCALE : As Indicated
DRAWN :
CHECKED :
PROJECT NO. : 2124
Dwg. No. :
A101

DRAWINGS NOT FOR CONSTRUCTION



3 CONTEXT PLAN
1 : 1500



S.S. 0345; Schedule E-357 d) A strip of land having a minimum width of 2.4m adjacent to the north property line, in the area shown as "Landscape Strip" on Schedule E-357 shall only be used for landscaping; e) All buildings or structures shall be located within the area shown as Building Envelopes 'A' and 'B' on Schedule E-357, save and except accessory buildings with an area of less than 6 sq.m.

1 BUILDING ENVELOPE E-0357
1 : 200

PROJECT DATA:

ZONING:
R1 ZONING; CITY OF VAUGHAN ZONING BY-LAW 1-88,
SITE SPECIFIC (SS) EXCEPTIONS 0345 & BUILDING ENVELOPE E-0357

LOT AREA: 1,049.1 m²
LOT FRONTAGE: 25.63 m
LOT DEPTH: 40.56 m

REQUIRED / PERMITTED:
SINGLE FAMILY DETACHED DWELLING, RETAIL STORE,
BUSINESS OR PROFESSIONAL OFFICE, RESIDENTIAL
332.1 m² *Refer to S.S. 0345; Schedule E-357; e))

PROPOSED:
RETAIL STORE, BUSINESS OR
PROFESSIONAL OFFICE, RESIDENTIAL
220.3m²
828.8m²
0.21
304.1 m²
0.30 FAR
1 UNIT (EXISTING UNIT TO BE REPLACED)
BLDG "A": 5.7m / BLDG "B": 8.3m

USES:

BUILDING AREA: -
LANDSCAPED AREA: -
LOT COVERAGE: 0.32 *Area from S.S. 0345; Schedule E-357; e) Building Envelope
GROSS FLOOR AREA: -
DENSITY: -
DWELLING UNITS: 2 UNITS (1 UNIT PER BUILDING)
MAXIMUM BUILDING HEIGHT: 9.5 m

By-law 1-88: 2.0 DEFINITIONS: OFFICE, BUSINESS OR PROFESSIONAL - Means the use of a building or part of building in which one or more persons are employed in the administration, direction or management of a business, agency, brokerage or organization, or by professionally qualified persons and their support staff, and shall include but not be limited to an office of a regulated health professional: lawyer, dentist, architect, engineer, stock broker, accountant, real estate or insurance agency, veterinarian or a similar professional person's office but shall not include a veterinary clinic.
STORE, RETAIL - Means a building or part of a building where goods, wares, merchandise, substances, articles or things are offered or kept for sale directly to the public, at retail and includes a convenience retail store, but does not include a supermarket or an automotive retail store.
DWELLING UNIT - Means a room or a suite of two (2) or more rooms, designed or intended for use by a family, in which sanitary conveniences are provided and in which facilities are provided for cooking or the installation of cooking equipment.
*S.S. 0345; Schedule E-357: d)ii) The following maximum floor areas shall be permitted on the Subject Lands:
all combinations of retail commercial, office commercial and residential uses shall be permitted to maximum area determined by the parking standard for all uses provided on the subject lands as set out in b) above.
*S.S. 0345; Schedule E-357: e) All buildings or structures shall be located within the area shown as Building Envelopes 'A' and 'B' on Schedule E-357, save and except accessory buildings with an area of less than 6 sq.m.
By-law 1-88: ZONE REQUIREMENT TABLE, SCHEDULE 'A' TO BY-LAW 1-88, R1: MAXIMUM BUILDING HEIGHT: 9.5M
By-law 1-88: ZONE REQUIREMENT TABLE, SCHEDULE 'A' TO BY-LAW 1-88, R1: PERMITTED USE: SINGLE FAMILY DETACHED DWELLING

GROSS FLOOR AREA (GFA):

By-law 1-88: 2.0 DEFINITIONS: FLOOR AREA, GROSS (G.F.A.) - Means the aggregate of the floor areas of all stories of a building, measured to the exterior of the outside walls, but not including the areas of any cellar, or car parking area above or below grade within the building or within a separate structure. CELLAR - Means that portion of a building below the lowest storey which has more than one half of its height from the floor to the underside of floor joists below the finished grade.

EXISTING:	BUILDING 'A'	BUILDING 'B'	
	RETAIL (NON-RESIDENTIAL)	RESIDENTIAL	
LEVEL 1	150.7 m ²	-	-
LEVEL 2	-	48.2 m ²	-
TOTAL	150.7 m ²	48.2 m ²	198.9 m ²

RETAINED AND PROPOSED NEW:	BUILDING 'A'	BUILDING 'B'		
	RETAIL (NON-RESIDENTIAL)	OFFICE (NON-RESIDENTIAL)	RESIDENTIAL	
LEVEL 1	136.5 m ²	78.1 m ²	5.8 m ²	-
LEVEL 2	-	-	83.6 m ²	-
TOTAL	136.5 m ²	78.1 m ²	89.4 m ²	304.1 m ²

PARKING & LOADING:

S.S. 0345; Schedule E-357: b) Net office commercial or retail commercial floor area shall be defined as the Commercial Floor Area, as defined in By-law 1-88, that is devoted to these uses.
S.S. 0345; Schedule E-357: dvi) Commercial uses shall be permitted in a basement or cellar subject to parking being provided, for such uses at the applicable standard.

COMMERCIAL FLOOR AREA:

By-law 1-88: 2.0 DEFINITIONS: FLOOR AREA, COMMERCIAL - Means the total floor area of a commercial building excluding any basement or cellar, the exterior walls of the building, fire and exit corridors, any furnace room, waste disposal, laundry room, or other maintenance spaces; any mezzanine, atrium, administration or management offices, elevator and machine rooms, electrical and mechanical vaults and rooms and facilities related thereto, vertical transportation facilities, public washrooms, loading dock, truck receiving and delivery facilities, any public circulation area which constitutes an enclosed mall, court or arcade, any car parking area above or below grade including parking structures.

	BUILDING 'A'	BUILDING 'B'		
	RETAIL	OFFICE	RESIDENTIAL	
LEVEL-1 (BASEMENT)	N/A - SERVICE	*S.S. 0345; Schedule E-357: div)	N/A - SERVICE	-
LEVEL 1 (GROUND)	-	57.9 m ²	-	-
MEZZANINE / LEVEL 2	-	-	-	-
TOTAL	105.0 m ²	57.9 m ²	-	162.9 m ²

PARKING REQUIREMENTS:

By-law 1-88: 2.0 DEFINITIONS: PARKING SPACE - 2.7mx6.0m / PARKING SPACE, HANDICAPPED - 3.9mx6.0m
S.S. 0345; Schedule E-357: a) The minimum area for a parking space shall be 2.7m by 5.5m, provided that the exception shall apply only to a maximum of two (2) parking spaces adjacent to the westerly lot line.
By-law 1-88: 2.0 PARKING REQUIREMENTS: d) If the number of parking spaces required by this By-law equals or exceeds ten (10), these parking spaces shall be provided for the use of the handicapped in accordance with the provisions set out below. These spaces shall be appropriately identified and located as close as possible to the access point(s) and to the building and/or designed in such a way as to provide for wheelchair access to the building. Minimum Number of Parking Spaces: 10 - 100; Minimum Number of Parking Spaces for Handicapped: 1 space
S.S. 0345; Schedule E-357: b) The minimum number of parking spaces required shall be as follows:
Business or Professional Office: 3.0 parking spaces per 100 m² of net office commercial floor area
Retail Store: 3.0 parking spaces per 100 m² of net retail commercial floor area
Residential: 1.0 parking spaces per dwelling unit
*Provided that if the application of these standards in total results in part of a space being required, no additional space shall be required.
S.S. 0345; Schedule E-357: c) The minimum width of the joint ingress and egress driveway shall be 4.5m.

	REQUIRED/PERMITTED:	PROVIDED:
RETAIL STORE:	5.2	
BUSINESS OR PROFESSIONAL OFFICE:	1.7	
RESIDENTIAL:	1.0	
TOTAL:	7.9 (*7.9 - Refer to S.S. 0345 b) "Part of a space")	7.0
HANDICAPPED SPACES (3.9mx6.0m)	1.0	1.0
REGULAR SPACES (2.7mx6.0m)	-	6.0
REDUCED SIZE SPACES (2.7mx5.5m)	2.0	0.0
DRIVEWAY (JOINT INGRESS / EGRESS)	5.4m	6.0m
DRIVE AISLE (AT REAR PARKING)	6.0m	6.0m
BICYCLE PARKING SPACES	2	2

LOADING REQUIREMENTS:	NO LOADING SPACE	NO LOADING SPACE PROVIDED
By-law 1-88: 3.9 LOADING SPACE REQUIREMENTS: a) Industrial/Commercial Floor Area 500 m ² or less:		

SETBACKS/BUILDING ENVELOPE:

REFER TO ABOVE DRAW 1
S.S. 0345; Schedule E-357: d) A strip of land having a minimum width of 2.4m adjacent to the north property line, in the area shown as "Landscape Strip" on Schedule E-357 shall only be used for landscaping. All buildings or structures shall be located within the area shown as Building Envelopes 'A' and 'B' on Schedule E-357, save and except accessory buildings with an area of less than 6 sq.m.

LANDSCAPE:

By-law 1-88: 2.0 DEFINITIONS: LANDSCAPING OR LANDSCAPED AREA - Means an area of land comprising trees, shrubs, flowers, grass or other horticultural elements. Landscaping may include paths, patios, walkways, decorative stonework or other architectural elements designed to enhance the visual amenity of a property but does not include open storage display areas, parking or loading areas, or areas covered by driveways.
LANDSCAPING, SOFT - Means an area of land comprising trees, shrubs, flowers, grass or other horticultural elements.
LANDSCAPING, HARD - Means an area of land surfaced by materials such as unit pavers, patio stones, concrete, decorative stonework or other architectural elements designed to enhance the visual amenity of a property but does not include areas devoted to vehicular or pedestrian use such as parking or loading areas or driveways.
By-law 1-88: 3.13 MINIMUM LANDSCAPED AREA - Unless otherwise provided in this By-law, a minimum of ten percent (10%) of the area of every lot on which a building or structure is erected shall be used for no other purpose than landscaping. Where an Institutional Use abuts the boundary of lands zoned Open Space or Residential, a strip of land not less than 2.4 metres in width, contained wholly on the lot on which the Institutional Use is located and abutting the boundary of the Open Space or Residential Zone, shall be used for no other purpose than landscaping. Such landscaped area shall not be included in the computing of the minimum landscaping requirements as set out above. In addition, a strip of land not less than 6.0 metres in width shall be provided along a lot line which abuts a street line, and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip.
By-law 1-88: 4.12 MINIMUM SOFT LANDSCAPED AREA
a) In an R1V, R1, R2, R3, R4, R5, R10V, R10V(2), R10V(3), R10V(4), R10V(5), R10V(6), R10V(7), R10V(8), R10V(9), R10V(10), R10V(11), R10V(12), R10V(13), R10V(14), R10V(15), R10V(16), R10V(17), R10V(18), R10V(19), R10V(20), R10V(21), R10V(22), R10V(23), R10V(24), R10V(25), R10V(26), R10V(27) Zone, where the area of a year-round lot is greater than 135 sq. m., a minimum of sixty percent (60%) of the portion of the rear yard in excess of 135 sq. m. shall be composed of soft landscaping.
b) In an R1V, R1, R2, R3, R4, R5, R10V, R10V(2), R10V(3), R10V(4), R10V(5), R10V(6), R10V(7), R10V(8), R10V(9), R10V(10), R10V(11), R10V(12), R10V(13), R10V(14), R10V(15), R10V(16), R10V(17), R10V(18), R10V(19), R10V(20), R10V(21), R10V(22), R10V(23), R10V(24), R10V(25), R10V(26), R10V(27) Zone, where the area of a year-round lot is greater than 135 sq. m., a minimum of sixty percent (60%) of the Minimum Landscaped Front or Exterior side yard shall be soft landscaping in accordance with Paragraph 4.1.2.

TOTAL LANDSCAPING:	REQUIRED/PERMITTED:	PROVIDED:
TOTAL LANDSCAPING:	104.91 m ² (10%) *By-law 1-88: 3.13	315.2 m ²
FRONT YARD:	-	174.5 m ²
FRONT YARD LANDSCAPING:	87.20 m ² (50% of Front Yard)	149.8 m ²
FRONT YARD SOFT LANDSCAPING:	52.32 m ² (60% of Front Yard Landscaping)	101.7 m ²
REAR YARD:	-	489.8 m ²
REAR YARD IN EXCESS OF 135m ²	-	354.8 m ²
REAR YARD SOFT LANDSCAPING:	212.9 m ² (60% of Rear Yard in excess of 135m ²)	157.5 m ² (44%)

ISSUED

ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	18-06-05
ISSUED FOR COORDINATION	18-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-07
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22
RE-ISSUED FOR COA	26-10-22

DRAWINGS NOT FOR CONSTRUCTION

REVISED



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46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

CONTEXT PLAN & PROJECT DATA

Dwg. Title : _____

DATE : 2022-05-10
SCALE : As Indicated
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. : _____

A001

46 CENTRE STREET

THORNHILL (VAUGHAN), ONTARIO

ISSUED FOR COMMITTEE OF ADJUSTEMENT

OCTOBER 3rd, 2022

DRAWING LIST:

A000	COVER & DRAWING LIST
A001	CONTEXT PLAN & PROJECT DATA
A002	SURVEY
A100	LEVEL -1 PLAN
A101	LEVEL 1/SITE PLAN/LANDSCAPE
A102	LEVEL 2
A103	ROOF PLAN
A401	SOUTH ELEVATION
A402	NORTH ELEVATION
A403	WEST ELEVATION
A404	EAST ELEVATION (BLDG A)
A405	WEST ELEVATION (BLDG B)
A406	EAST ELEVATION

ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-08
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

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REVISED	



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Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

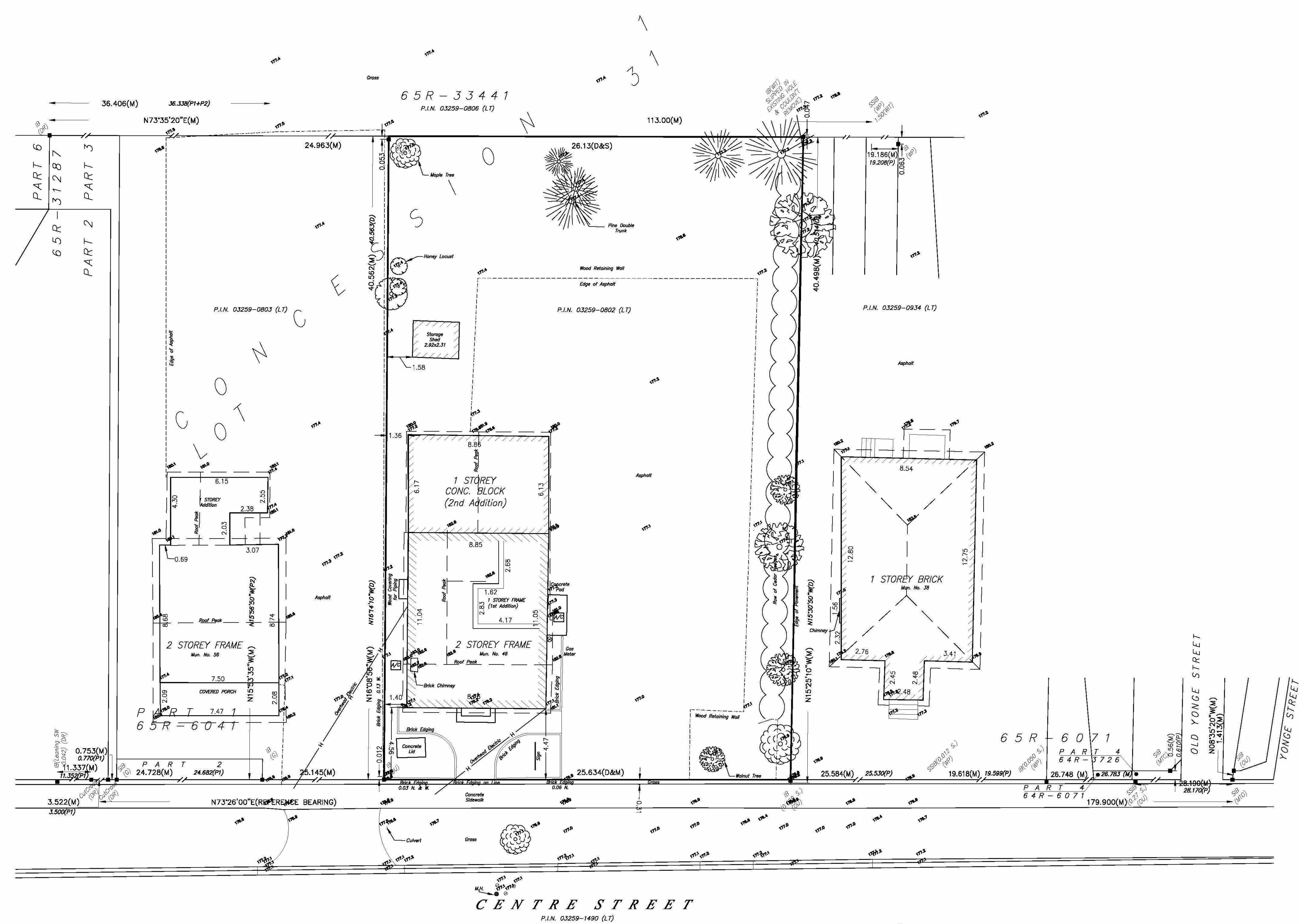
COVER & DRAWING LIST

Dwg. Title :

DATE : 2022-05-10
SCALE :
DRAWN :
CHECKED :
PROJECT NO. : 2124

Dwg. No. :
A000

SURVEYOR'S REAL PROPERTY REPORT PART 1



PLAN OF SURVEY
 OF
 PART OF LOT 31, CONCESSION 1
 (IN THE GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF
 YORK) IN THE
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

© TOTAL TECH SURVEYING INC.

PART 2 THIS PLAN MUST BE READ IN CONJUNCTION WITH
 THE REPORTING LETTER DATED JANUARY 20, 2017.

"THIS PLAN WAS PREPARED FOR SAM KASEMEINIK"



BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF CENTRE STREET AND HAVING A BEARING OF N73°26'00"E AS SHOWN ON PLAN 65R-3726.

"METRIC" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- SIB DENOTES 25 mm X 25 mm X 1.22 m STANDARD IRON BAR
- SSIB DENOTES 25 mm X 25 mm X 0.61 m SHORT STANDARD IRON BAR
- IB DENOTES 16 mm X 16 mm X 0.61 m IRON BAR
- IBØ DENOTES 19 mm DIAMETER X 0.61 m ROUND IRON BAR
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET AND MARKED 185B
- WIT. DENOTES WITNESS
- (S) DENOTES SET
- (PROF) DENOTES SET PROPORTIONALLY
- (N.T.S.) DENOTES NOT TO SCALE
- (OU) DENOTES ORIGIN UNKNOWN
- (D) DENOTES DEED Inst. No. 361902
- (P) DENOTES PLAN 65R-6071
- (P2) DENOTES PLAN 65R-6041
- (MTO) DENOTES MINISTRY OF TRANSPORTATION, ONTARIO
- (SVN) DENOTES SPEIGHT AND VAN NOSTRAND LTD., O.L.S.
- (DR) DENOTES DONALD E. ROBERTS, O.L.S.
- (WP) DENOTES WILLIAM J. PLAXTON, O.L.S.
- (G) DENOTES W.S. GIBBON AND SONS LTD., O.L.S.
- ⊥ DENOTES PERPENDICULAR
- (M) DENOTES MEASURED
- (C) DENOTES CALCULATED
- #- DENOTES NOT TO SCALE
- (LT) DENOTES LAND TITLES
- #- DENOTES SET BY INTERSECTION
- (P1) DENOTES PLAN 65R-31287

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 20th DAY OF JANUARY, 2017

DATE: JULY 19, 2017

BLOSS J. SUTHERLAND
 ONTARIO LAND SURVEYOR
 for TOTAL TECH SURVEYING INC.

Total Tech Surveying Inc.
 341 Talbot St. N.
 Units 2 & 3
 Essex, ON N8M 2W3
 (519) 776-9887

Drawn by: N.E.B. Checked by: B.J.S. Job No: 2017-013 Plan File No: D-227

ISSUED	REVISED
ISSUED FOR PREAPPLICATION CONSULTATION (PAC) 19-06-05	
ISSUED FOR COORDINATION 19-11-08	
ISSUED FOR SITE DEVELOPMENT APPROVAL 19-04-07	
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL 20-01-22	
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL 20-07-10	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT 21-09-07	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT 22-05-10	
RE-ISSUED FOR SPA 22-09-19	
ISSUED FOR COA 03-10-22	

DRAWINGS NOT FOR CONSTRUCTION



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46 CENTRE STREET SURVEY

Thornhill, ON L4J 1E9 (City of Vaughan)

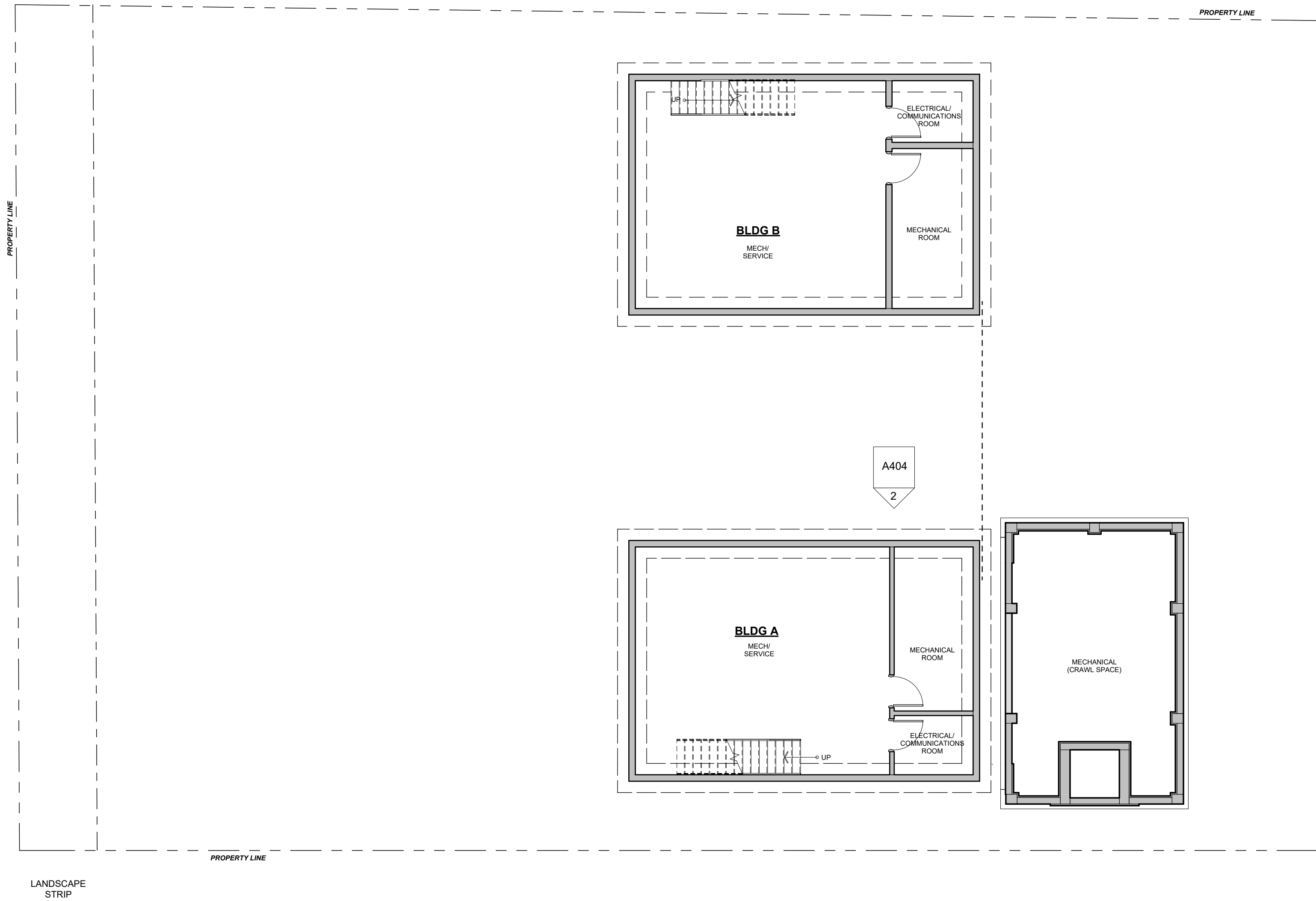
1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

Dwg. Title : _____

DATE: 2022-05-10
 SCALE: 1:175
 DRAWN: -
 CHECKED: -
 PROJECT NO.: 2124

Dwg. No.: **A002**

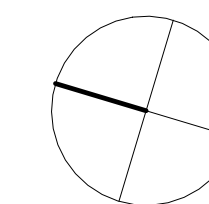


ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	18-06-05
ISSUED FOR COORDINATION	18-11-08
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-07
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

REVISED	



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46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

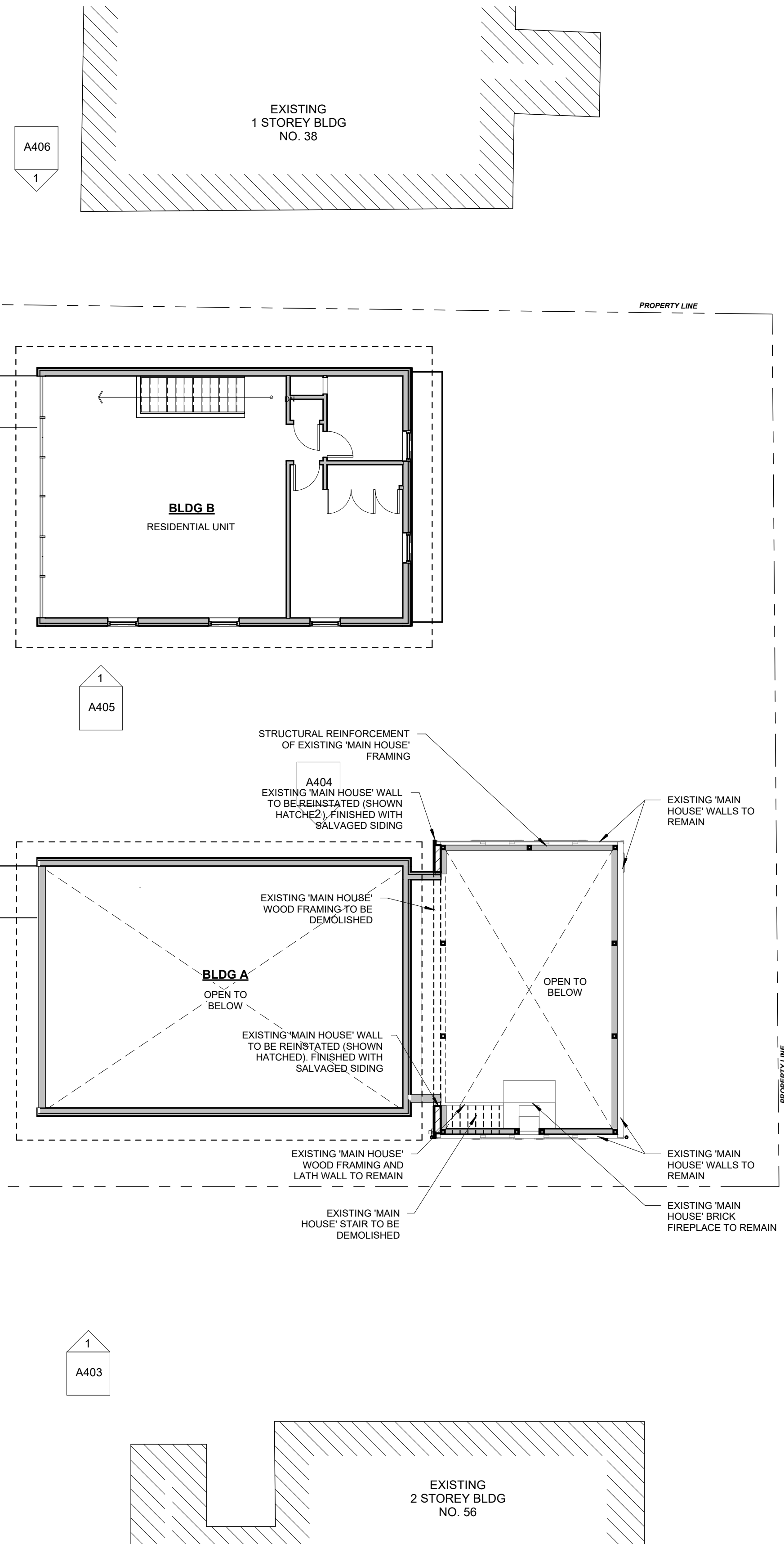
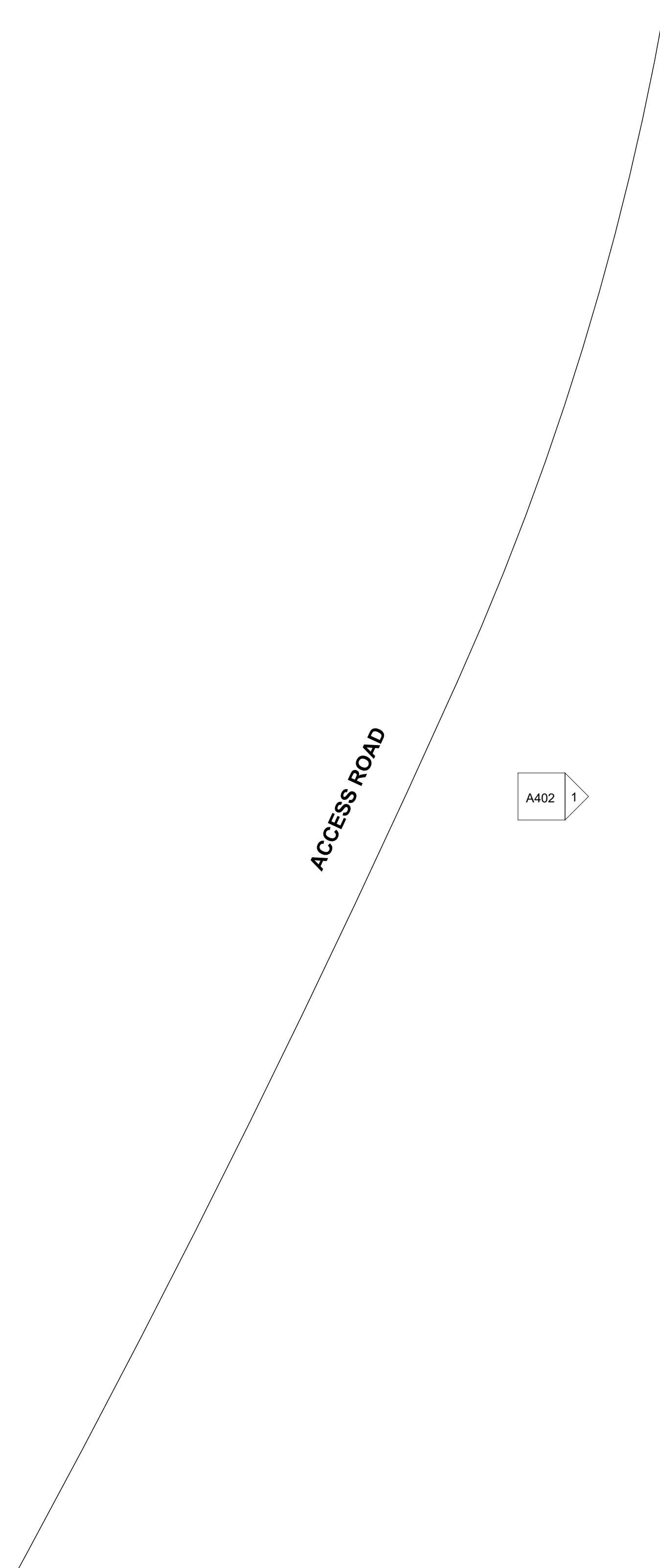
LEVEL -1 PLAN

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 100
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A100

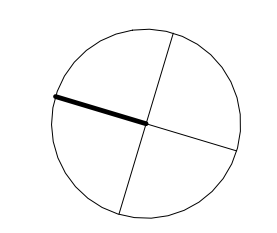


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ISSUED FOR COA	03-10-22

REVISED	



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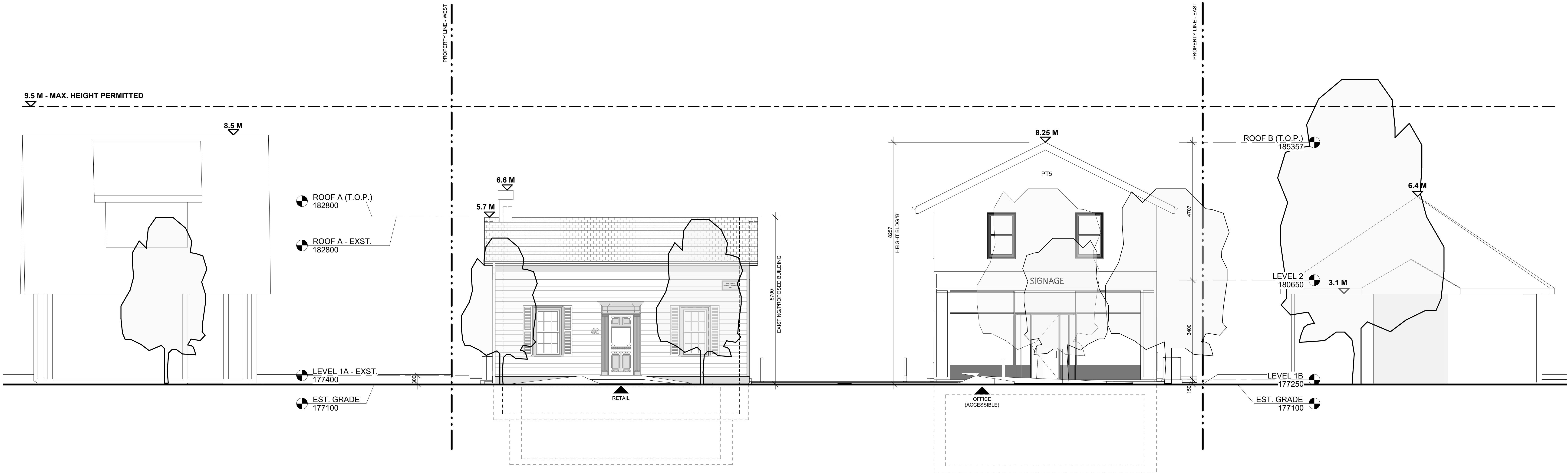


DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET
 Thornhill, ON L4J 1E9 (City of Vaughan)
 1846057 Ontario Inc.
 Architect:
Michael Scott Architect Inc.

LEVEL 2
 Dwg. Title : _____
 DATE : 2022-05-10
 SCALE : 1 : 100
 DRAWN : -
 CHECKED : -
 PROJECT NO. : 2124
 Dwg. No. :
A102

9.5 M - MAX. HEIGHT PERMITTED



ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-08
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
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RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



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46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

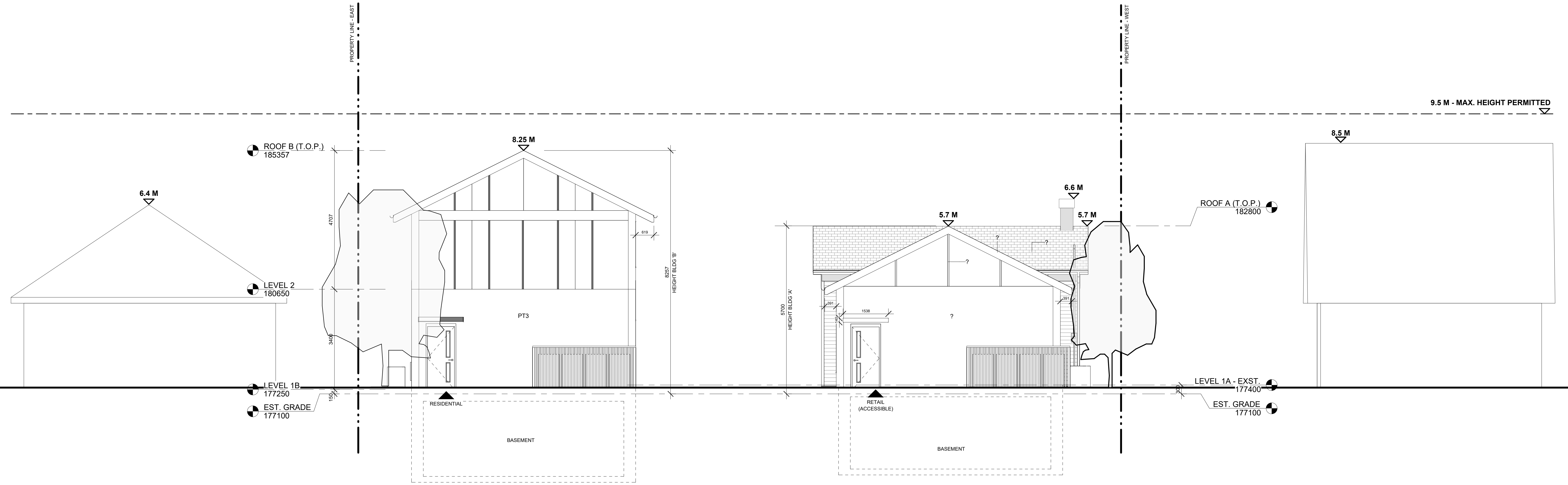
Architect:
Michael Scott Architect Inc.

SOUTH ELEVATION

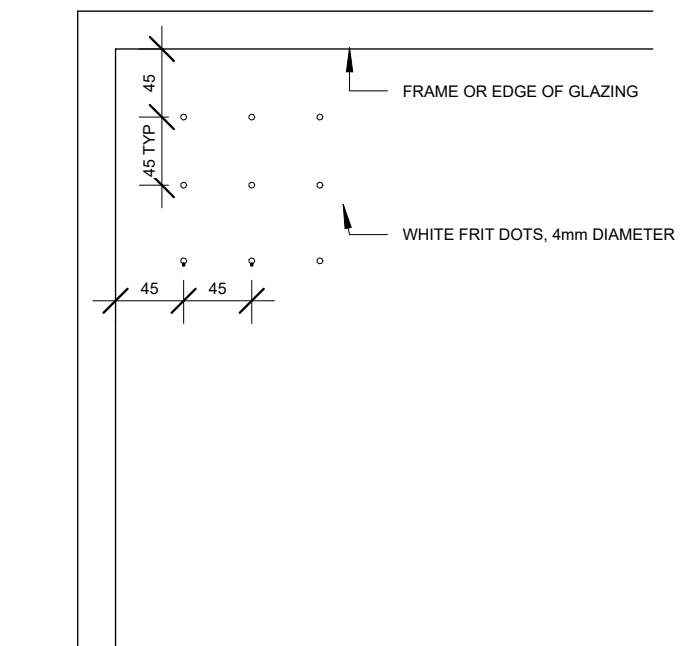
Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :
A401



1 NORTH ELEVATION
1 : 60



2 Typical Bird-Friendly Window Treatment
1 : 5

BIRD FRIENDLY CHECKLIST
MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS

At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area. If each panel is greater than 2m² and within 15m from finished grade.

Roof Landscape Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area. If each panel is greater than 2m² and within 15m from finished grade.
- Development contains no glass panel with 15m from roof level finished grade.

Patterns (check to confirm one or more of the below are applied)

- Stripes
Horizontal strip spacing is less than 5cm on centre; vertical strip spacing is less than 10cm on centre; horizontal stripes width are greater than 3.1mm; and vertical stripes width are greater than 6.1mm.
- Dots
Dot size is larger than 5mm; horizontal strip spacing is less than 5cm on centre; and vertical strip spacing is less than 10cm on centre.

Specifications (check to confirm one or more of the below is applied)

- Pattern is applied as fitting or etching of glass, and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to background.

ISSUED

ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	18-06-05
ISSUED FOR COORDINATION	18-11-08
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

REVISED



- GENERAL NOTES:**
- ALL DIMENSIONS IN MILLIMETRES (MM)
 - DO NOT SCALE DRAWINGS
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46 CENTRE STREET
Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

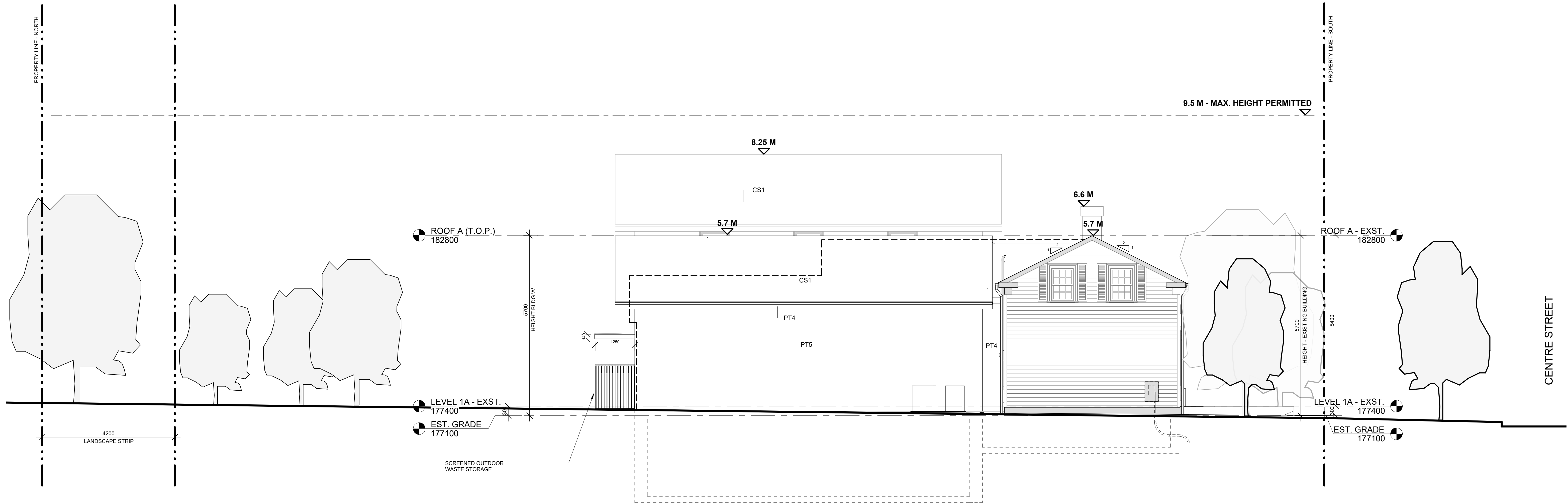
NORTH ELEVATION

Dwg. Title :

DATE : 2022-05-10
SCALE : As Indicated
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :
A402

DRAWINGS NOT FOR CONSTRUCTION



ISSUED	REVISION
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-08
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-04-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

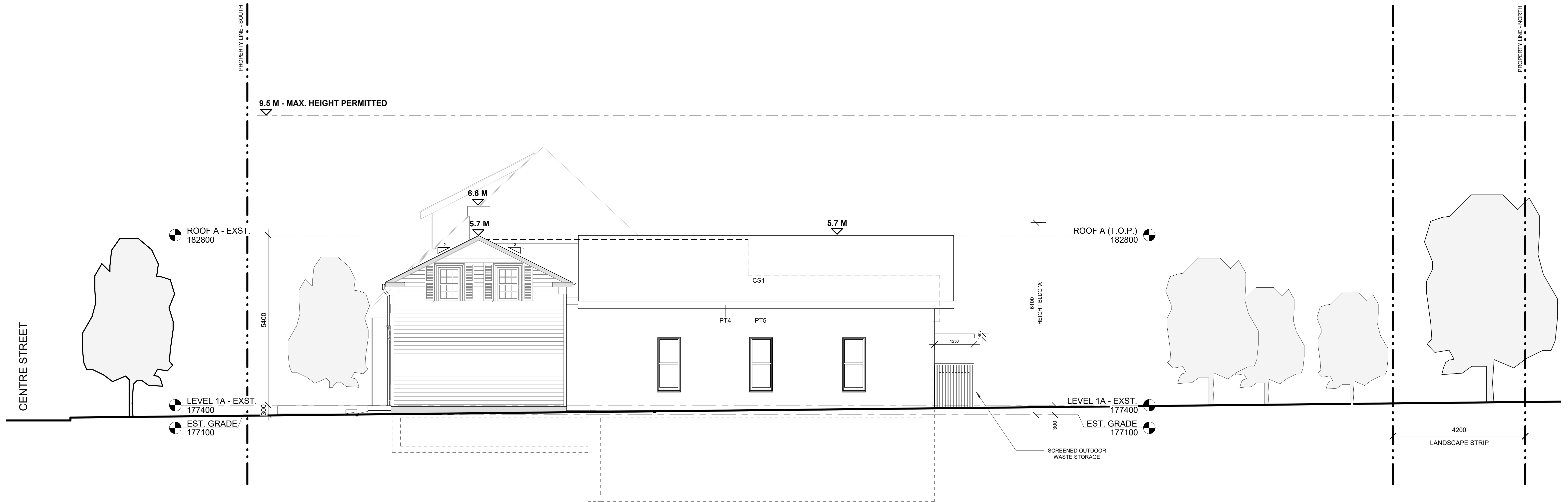
REVISED



- GENERAL NOTES:**
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 2. DO NOT SCALE DRAWINGS
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<p>46 CENTRE STREET</p> <p>Thornhill, ON L4J 1E9 (City of Vaughan)</p> <p>1846057 Ontario Inc</p> <p>Architect: Michael Scott Architect Inc.</p>	<p>WEST ELEVATION</p> <p>Dwg. Title :</p> <p>DATE : 2022-05-10 SCALE : 1 : 60 DRAWN : - CHECKED : - PROJECT NO. : 2124</p> <p>Dwg. No. : A403</p>
---	---

DRAWINGS NOT FOR CONSTRUCTION



ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

REVISED	



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DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

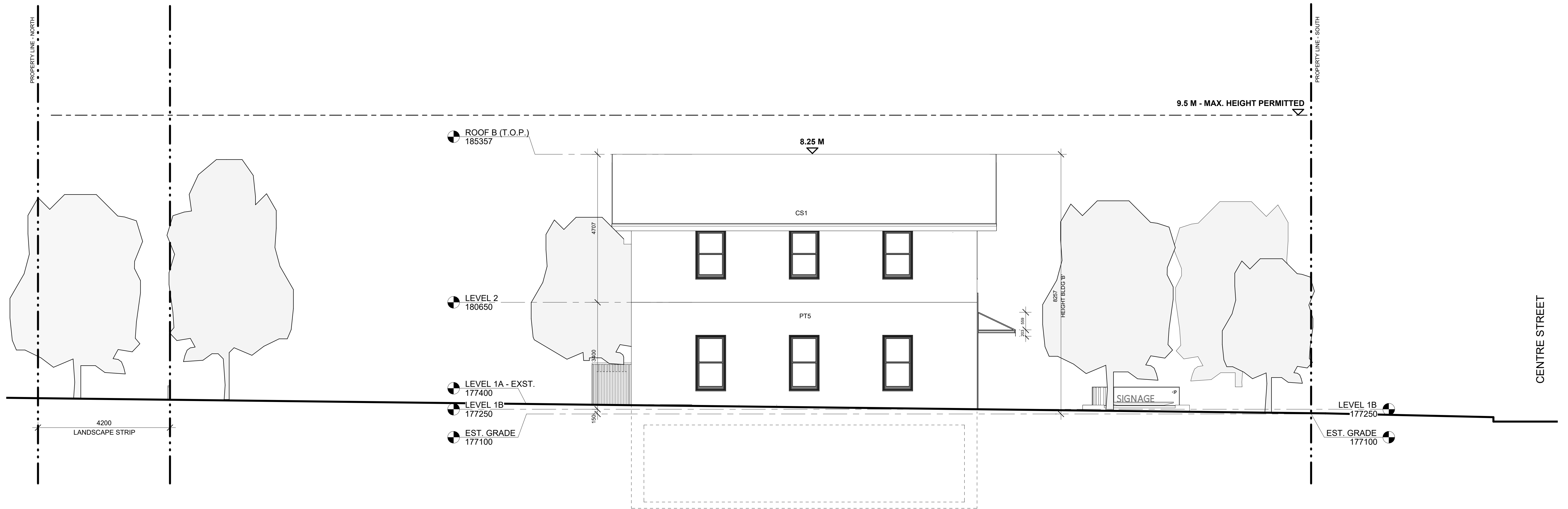
EAST ELEVATION (BLDG A)

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A404

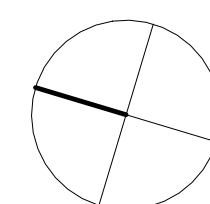


ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

REVISED	



- GENERAL NOTES:**
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 2. DO NOT SCALE DRAWINGS
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46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

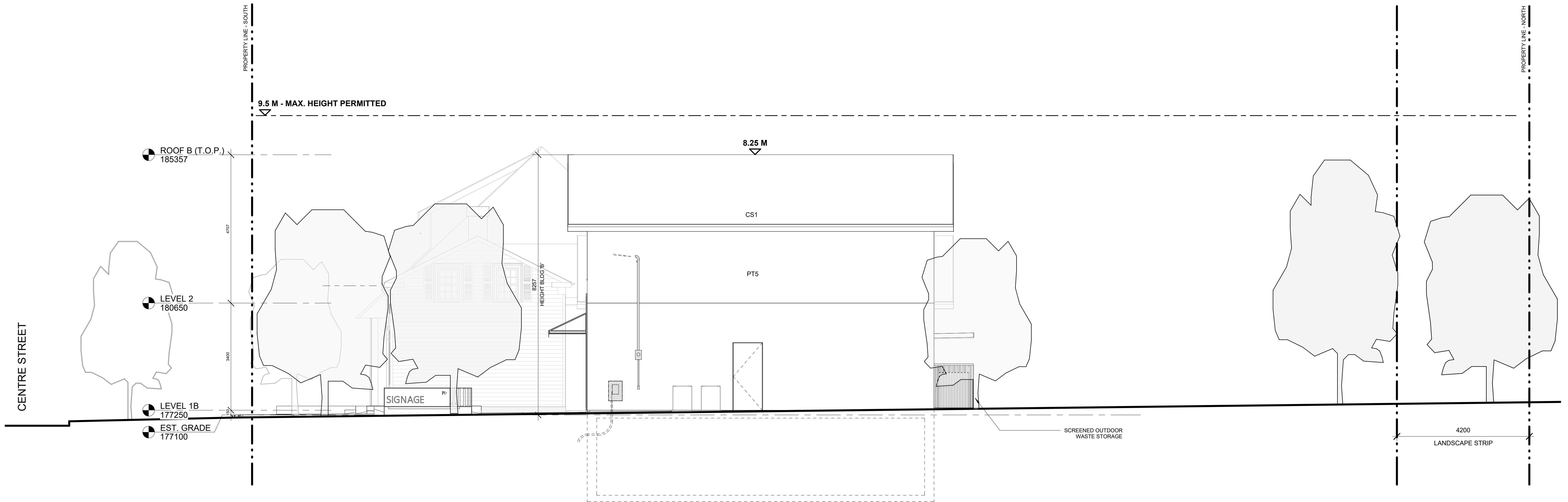
WEST ELEVATION (BLDG B)

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A405



ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-08
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10
RE-ISSUED FOR SPA	22-09-19
ISSUED FOR COA	03-10-22

REVISED	



GENERAL NOTES:

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2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
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DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET		EAST ELEVATION	
Thornhill, ON L4J 1E9 (City of Vaughan)		Dwg. Title :	
1846057 Ontario Inc		DATE : 2022-05-10	
Architect:		SCALE : 1 : 60	
Michael Scott Architect Inc.		DRAWN : -	
		CHECKED : -	
		PROJECT NO. : 2124	
		Dwg. No. : A406	

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B		X		General Comments
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B		X		General Comments
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/with
Building Standards (Zoning)	X	X		General Comments

Date: November 3rd , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A277-22**

Related Files:

Applicant 1840657 Ontario Inc.

Location 46 Centre Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

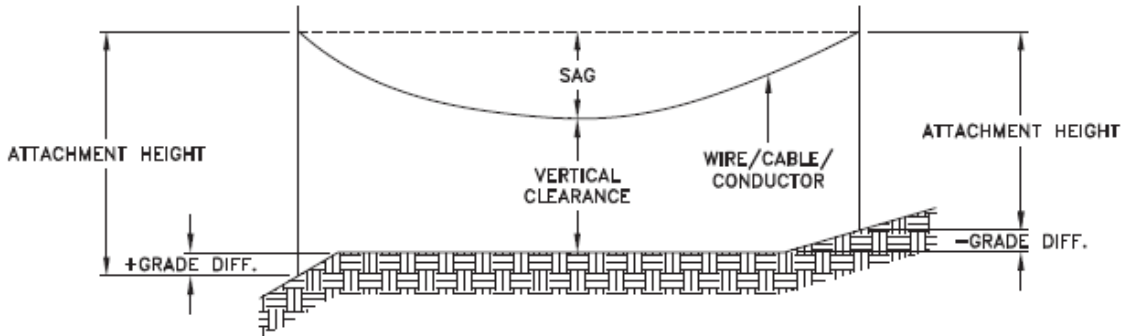
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

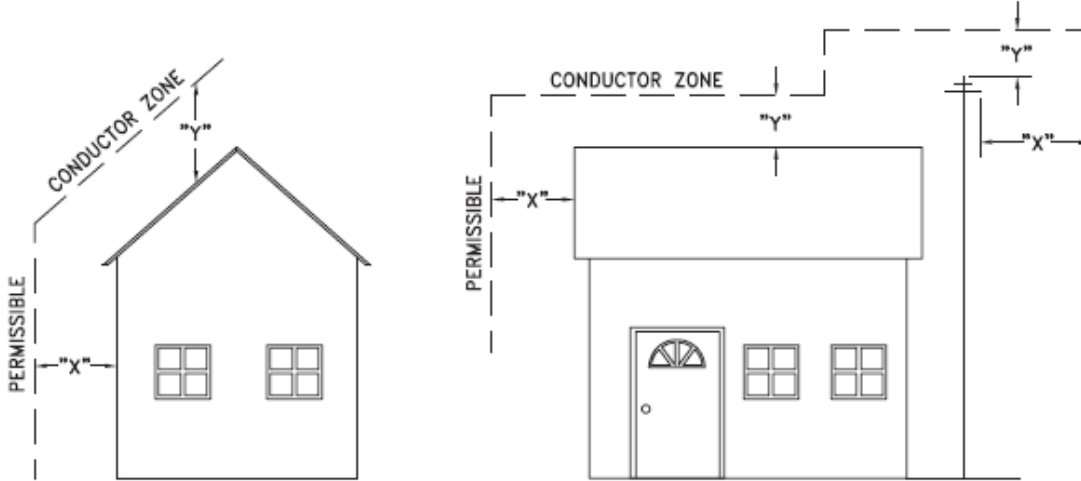
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: October 28, 2022
Applicant: 1840657 Ontario Inc.
Location: CONC 1 Part of Lot 31 municipally known as 46 Centre Street
File No.(s): A277/22

Zoning Classification:

The subject lands are zoned R1A – First Density Residential Zone and subject to the provisions of Exception 14.189 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	All buildings or structures shall be located within the area shown as Building Envelopes A and B on Figure E-357, save and except accessory buildings with an area of less than 6.0 m ² [14.189.2 f)].	To permit Building B to not be located within the building envelope shown on Figure E-357 as shown on the site plan.
2	A maximum eave and gutter encroachment of 0.5 metres is required [Table 4-1].	To permit a maximum eave and gutter encroachment of 0.62 metres.
3	A maximum canopy encroachment of 0.5 metres is required [Table 4-1].	To permit a maximum encroachment of 1.25 metres into the rear yard for a canopy.
4	In the R1A zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape [Section 4.19.1.1].	To permit a minimum of 44.3% of the area of the rear yard in excess of 135 m ² to be soft landscaping.

The subject lands are zoned R1, Residential Zone, and subject to the provisions of Exception 9(345) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	All buildings or structures shall be located within the area shown as Building Envelopes A and B on Figure E-357, save and except accessory buildings with an area of less than 6.0 m ² [9(345 ei)].	To permit Building B to not be located within the building envelope shown on Figure E-357 as shown on the site plan.
6	A maximum eave and gutter encroachment of 0.5 metres is required [Section 3.14].	To permit a maximum eave and gutter encroachment of 0.62 metres.
7	A maximum canopy encroachment of 0.5 metres is required [Section 3.14].	To permit a maximum encroachment of 1.25 metres into the rear yard for a canopy.
8	In an R1 zone, where the area of a rear yard of a lot is greater than 135m ² , a minimum 60% of that portion of the rear yard in excess of 135 m ² shall be composed of soft landscaping [Section 4.1.2 b)].	To permit a minimum of 44.3% of the area of the rear yard in excess of 135 m ² to be soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments

1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
---	--

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Proximity](#)
To: [Christine Vigneault](#)
Subject: [External] RE: A277-22 - 46 Centre Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, November 2, 2022 8:24:31 PM
Attachments: [image001.png](#)

Hello Christine,

Thank you for circulating CN the proposed project mentioned in subject. CN Rail does not have any comments concerning this application.

Best regards

Ashkan Matlabi, Urb. OUQ. MBA

Urbaniste sénior / Senior Planner (CN Proximity)
Planning, Landscape Architecture and Urban Design
Urbanisme, architecture de paysage et design urbain



E : proximity@cn.ca
T : 1-438-459-9190
1600, René-Lévesque Ouest, 11e étage
Montréal (Québec)
H3H 1P9 CANADA
wsp.com

From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: Wednesday, November 02, 2022 3:42 PM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca; engineeringadmin@powerstream.ca; TCenergy@mhbcpplan.com
Cc: CP Rail: <CP_Proximity-Ontario@cpr.ca>; Proximity <proximity@cn.ca>; cameron.blaney@ontario.ca; Development.Coordinator@Metrolinx.com; Lenore Providence <Lenore.Providence@vaughan.ca>
Subject: A277-22 - 46 Centre Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Importance: High

CAUTION: This email originated from outside CN: DO NOT click links or open attachments unless you recognize the sender AND KNOW the content is safe.

AVERTISSEMENT : ce courriel provient d'une source externe au CN : NE CLIQUEZ SUR AUCUN lien ou pièce jointe à moins de reconnaître l'expéditeur et d'avoir VÉRIFIÉ la sécurité du contenu.

From: [Kelvin Ng](#)
To: [Christine Vigneault](#)
Cc: [Lorraine Santos](#)
Subject: [External] RE: A277-22 - 46 Centre Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, November 15, 2022 4:00:38 PM
Attachments: [image001.png](#)

Hello Christine,

Metrolinx has reviewed the subject minor variance application and our comments are set out below:

- No objections to the subject minor variance application.
- Please be advised that this property is located within the project study area and footprint of the Yonge North Subway Extension. An Environmental Project Report has been completed to assess how existing environmental conditions may be affected and controlled as a result of the project, including but not limited to noise and vibration, traffic and transportation, and the natural environment. To learn more about potential project outcomes in relation to your property, please refer to:
 - The Environmental Project Report Addendum – Yonge North Subway Extension, available at (<https://www.metrolinxengage.com/en/content/yonge-north-subway-extension-environmental-project-report-overview>)
 - The Yonge North Subway Extension project webpage, at (<https://www.metrolinx.com/en/greaterregion/projects/yonge-subway-extension.aspx>)
- The Owner shall acknowledge that Metrolinx is contemplating the Yonge North Subway Extension project (the “Yonge North Subway Extension”) in the vicinity of the Owner’s Land. Should the Lieutenant Governor in Council, by an Order in Council, designate the Yonge North Subway Extension as a transit corridor under the *Building Transit Faster Act, 2020*, and, if and to the extent that the Owner’s Lands are affected by the Yonge North Subway Extension, Metrolinx may therefore require the Developer to obtain any reasonably required permit(s), including those required by law from Metrolinx, and/or enter into further agreements with Metrolinx to the extent reasonably required by Metrolinx pursuant to Part II of the *Building Transit Faster Act, 2020*. Should such permits and/or agreements be required, as authorized by the *Building Transit Faster Act, 2020*, the Owner shall apply for such permit(s) from Metrolinx and/or enter into such further agreements with Metrolinx, including without limitation a Metrolinx engineering review and such agreements and/or Metrolinx engineering review may entail additional fees, to be paid by the Owner to Metrolinx.
- Should construction of the proposed development start before the YNSE construction is complete, detailed coordination of construction activities will be required.

It is kindly requested that Metrolinx be circulated revisions of the subject application for review and commenting purposes. Should you have any questions regarding the above, please contact me at 416-202-0267 or email me at Kelvin.Ng1@metrolinx.com.

Best regards,

KELVIN NG, M.E.S.

Project Manager

Third Party Projects Review, Transit Oriented Development (TOD)

Metrolinx | 20 Bay Street | Suite 600 | Toronto | Ontario | M5J 2W3

T: 416.202.0267 C: 416.903.5203



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 1, 2022
Name of Owner: 1840657 Ontario Inc.
Location: 46 Centre Street
File No.(s): A277/22

Proposed Variance(s) (By-law 001-2021):

1. To permit Building B to not be located within the building envelope shown on Figure E-357 as shown on the site plan.
2. To permit a maximum eave and gutter encroachment of 0.62 m.
3. To permit a maximum encroachment of 1.25 m into the rear yard for a canopy.
4. To permit a minimum of 44.3% of the area of the rear yard in excess of 135 m² to be soft landscaping.

By-Law Requirement(s) (By-law 001-2021):

1. All buildings or structures shall be located within the area shown as Building Envelopes A and B on Figure E-357, save and except accessory buildings with an area of less than 6.0 m².
2. A maximum eave and gutter encroachment of 0.5 m is required.
3. A maximum canopy encroachment of 0.5 m is required.
4. In the R1A zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.

Proposed Variance(s) (By-law 1-88):

5. To permit Building B to not be located within the building envelope shown on Figure E-357 as shown on the site plan.
6. To permit a maximum eave and gutter encroachment of 0.62 m.
7. To permit a maximum encroachment of 1.25 m into the rear yard for a canopy.
8. To permit a minimum of 44.3% of the area of the rear yard in excess of 135 m² to be soft landscaping.

By-Law Requirement(s) (By-law 1-88):

5. All buildings or structures shall be located within the area shown as Building Envelopes A and B on Figure E-357, save and except accessory buildings with an area of less than 6.0 m².
6. A maximum eave and gutter encroachment of 0.5 m is required.
7. A maximum canopy encroachment of 0.5 m is required.
8. In an R1 zone, where the area of a rear yard of a lot is greater than 135m², a minimum 60% of that portion of the rear yard in excess of 135 m² shall be composed of soft landscaping.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of a two-storey mixed-use building and addition to the existing heritage building, with the above noted variances. The mixed-use building will contain commercial uses at grade and residential uses on the second floor. The Owner has submitted Site Development Application file DA.19.024 to facilitate the development, which is currently under review.

The Development Planning Department has no objection to Variances 1 and 5 for the proposed location of the building footprint. The original design for the site had the proposed building located within the building envelope. However, the Heritage Vaughan Committee made the request to move the building further back on site to make clear its subordinate relationship to the existing heritage building. The current design has been reviewed by the Heritage Vaughan Committee and its recommendation to permit the development was approved by Council on July 20, 2022.

The Development Planning Department has no objection to Variances 2, 3, 6 and 7 for the eaves and canopy encroachments. The canopy encroachment is solely situated over the rear entrance of the new building, projecting into the rear parking lot area. The canopy will provide access to the residential component of the building. As such, the canopy encroachment will not have adverse impacts to the neighbouring properties and is considered minor in nature.

The Development Planning Department has no objection to Variances 4 and 8 for the proposed reduction to the rear yard soft landscaping. The amount of rear yard soft landscaping has been reviewed through the Site Development Application process and is considered adequate to maintain an appropriate balance of soft landscaping to facilitate drainage and will not have adverse impacts the neighbouring properties.

In support of the application, the Owner has submitted an Arborist Report and Tree Protection Plan prepared by Central Tree Care Ltd., dated September 15, 2021. The report inventoried 16 trees, 10 of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application DA.19.024 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#); [Committee of Adjustment](#)
Subject: [External] RE: A277-22 - 46 Centre Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, November 10, 2022 5:57:00 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance (A277-22) and has no comment.

Many thanks,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

Christine Vigneault
Manager, Development Services
City of Vaughan
Office of the City Clerk
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

October 12th, 2022

Dear Ms. Vigneault,

Please find attached our application to the Committee of Adjustment for minor variances related to a development proposal for 46 Centre Street, Thornhill.

Our proposal is the result of extensive work with Vaughan to obtain heritage committee approval and site plan approval for development on the site, consisting of an addition to the rear of the existing heritage house and construction of a second two-storey building on the site.

Note that, owing to a site-specific by-law controlling development on the site, construction of a second building is permitted, but only within a specific building envelope. Our design originally showed a second building fitting within this envelope; however, we were requested by the Vaughan heritage committee to move the building back on the site to make clear its subordinate relationship to the existing heritage structure. This resulted in the requested minor variances.

The site plan approval for the project is nearly complete, file number DA-19.024. Heritage approval has already been agreed to by the heritage committee and confirmed by City Council.

The existing building at 46 Centre Street was originally residential, but has been used for retail in the recent past. Under our proposal the original (heritage) structure would continue to be used for retail; the new two-storey building will be used for commercial purposes at grade and residential on the second floor. Retail, commercial, and residential are all permitted uses of the property under current zoning.

Sincerely,

**Michael
Scott**

Digitally signed by
Michael Scott
Date: 2022.10.12
16:31:21 -04'00'

Michael Scott, OAA, CAHP, MRAIC
Principal, Michael Scott Architect Inc.