

ITEM #: 6.12

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A274/22
78 Schuster Lane, Thornhill**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A274/22
78 Schuster Lane, Thornhill**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.12	CITY WARD #: 4
APPLICANT:	Mark & Andrea Rosin
AGENT:	CR Interior Design Inc.
PROPERTY:	78 Schuster Ln Thornhill ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested permit the construction of a proposed one storey canopy addition to the existing dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum setback from an OS4 Open Space Woodlot Zone for all buildings, structures and pools shall be 10.0 metres. [Exception 14.729 T-114, Note 18]	To permit a minimum setback of 5.99 metres from an OS4 Open Space Woodlot Zone to a canopy.

The subject lands are zoned RV3 – Residential Urban Village Zone Three and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The minimum setback from an OS4 Open Space Woodlot Zone for all buildings, structures and pools shall be 10.0 metres. [Exception 9(1063) T-114, Note 18]	To permit a minimum setback of 5.99 metres from an OS4 Open Space Woodlot Zone to a canopy.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022
Date Applicant Confirmed Posting of Sign:	November 21, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To expand outdoor living space by the addition of this one storey canopy and all the while keeping in function with the existing lot layout and existing house location and outdoor amenity setup as well as orientation, the design presented is the best option to respect all parties and zones as best to our ability.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed canopy in the subject property 43.78m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering Department does not object to the Minor Variance application A274/22, Subject to the following Condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comments at this time

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

		<p>of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.</p>
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IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

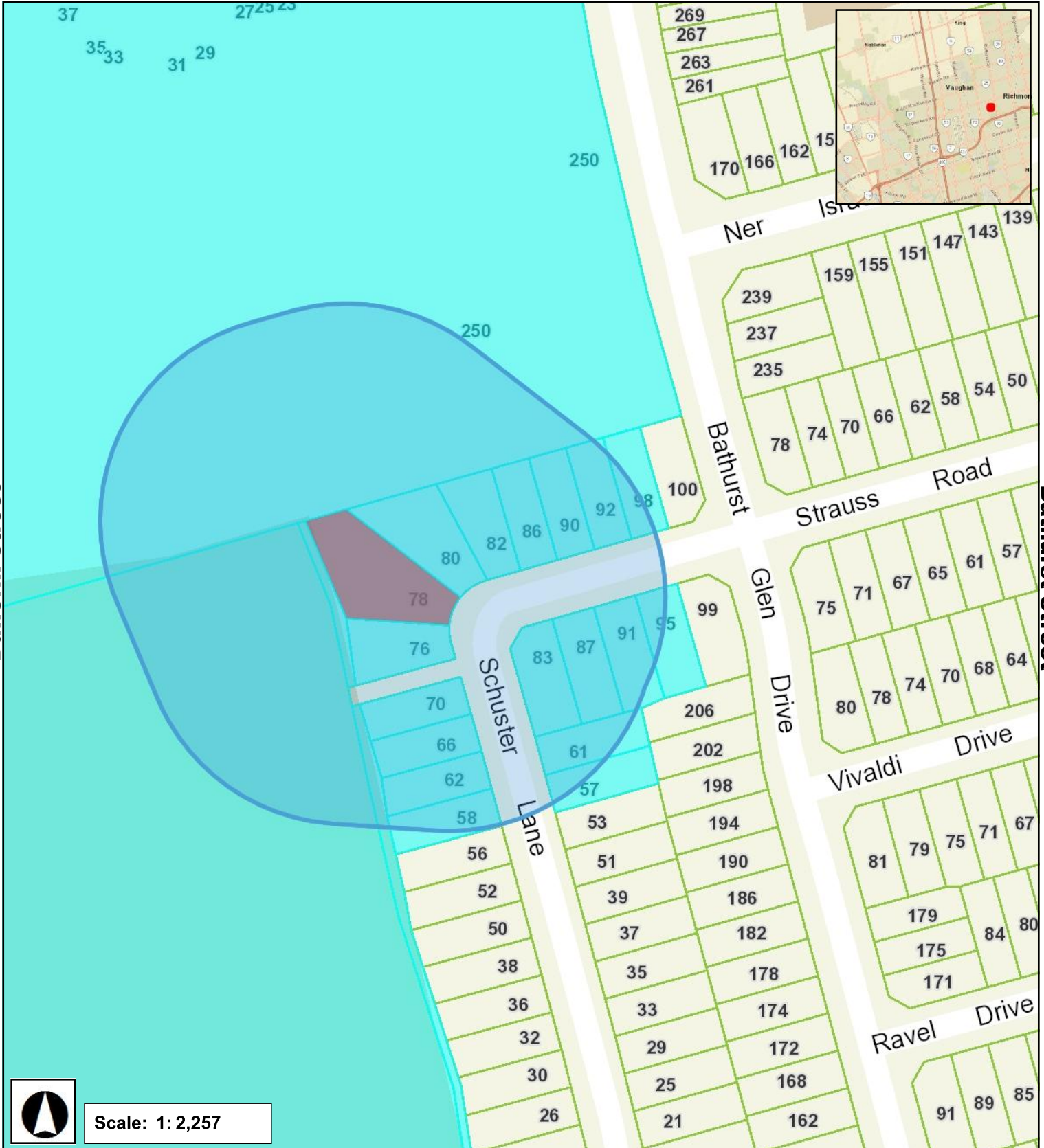
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A274/22

78 SCHUSTER LANE, THORNHILL

Rutherford Road



Scale: 1: 2,257

Langstaff Road

November 18, 2022 12:41 PM

**ZONING INFORMATION
SITE STATISTICS**

EXISTING LOT AREA	BYLAW	SQ. FT.	SQM	%
EXISTING BUILDING FOOTPRINT	315 M2 MIN.	3,250.13	990.64	100%
PROPOSED 1 STOREY ACCESSORY STRUCTURE	10% OR 67 M2	417.24	43.78	4.41%
DENSITY	0.75 (75%)	2,391.09	222.14	22.42%

**BYLAW REQUIREMENTS & PROVISIONS MADE FOR
ACCESSORY STRUCTURES - SECTION 4.0**

Zoning By-Law No. 001-2021	REQUIRED	PROVIDED
MIN. LOT FRONTAGE	12 M	9.514 M (EX)
MIN. LOT AREA	315 SQM	990.64 SQM (EX)
MIN. FRONT YARD	4.5 M	NA
MIN. REAR YARD	6.0 M	19.80 M
MIN. SIDE YARD (NORTH)	1.2 M	9.70 M
MIN. SIDE YARD (SOUTH)	1.2 M	5.99 M
MAX. LOT COVERAGE	10%	4.41%
MAX. BUILDING HEIGHT	3.0 M	5.11 M
PERMITTED ENCROACHMENTS (TABLE 4-1) AWNING AND CANOPIES ATTACHED (PERMANENT) ANY REQUIRED YARD	0.6 M	5.99 M

**ANY PORTION OF A YARD
PROPOSED SOFT LANDSCAPING (BYLAW REQUIREMENTS)**

REQUIRED	PROVIDED M2
SITE AREA	990.64
BUILDING FOOTPRINT	178.36
POOL DECK LANDSCAPING (POOL AREA EXCLUDED)	130.97
DRIVEWAY	30.63
PROPOSED COVERED CANOPY (NEW AREA)	25.28
TOTAL	365.24 (36.86%)

NOTE: SITE GRADING TO REMAIN AS IS UNLESS OTHERWISE NOTED

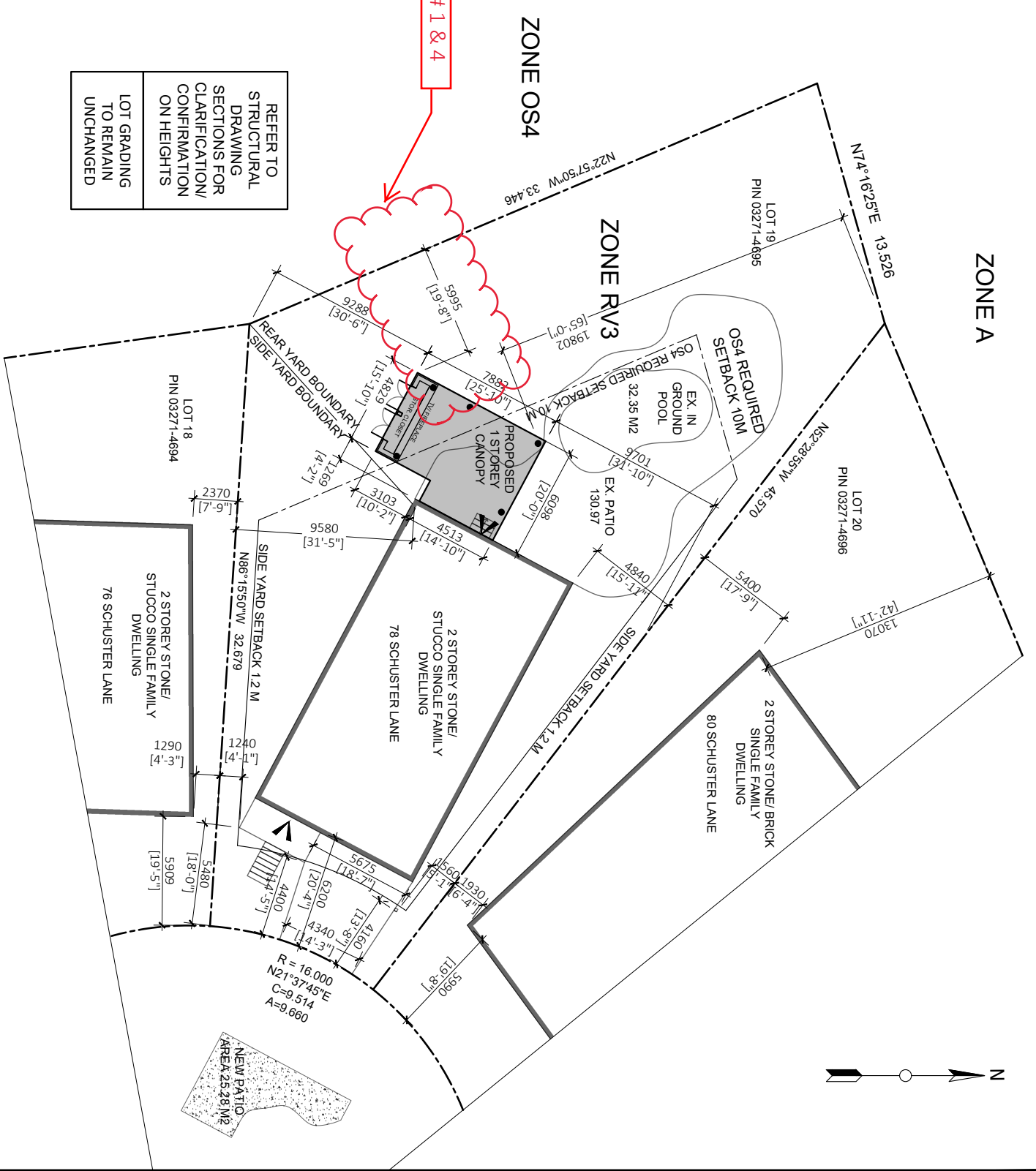
- DRAWING LIST**
- 1.0 KEY PLAN, SITE PLAN & STATISTICS
 - 1.1 PLAN, SCHEDULES AND DETAILS
 - 1.2 OBC MATRIX
 - 1.3 GENERAL NOTES
 - 1.4 - 1.9 GENERAL NOTES CONTINUED
 - 8 STRUCTURAL DRAWINGS



SITE KEY PLAN
SCALE: NTS

RECEIVED
By RECEIVED at 9:50 am, Oct 31, 2022

A274/22



REFER TO
STRUCTURAL
DRAWING
SECTIONS FOR
CLARIFICATION/
CONFIRMATION
ON HEIGHTS

LOT GRADING
TO REMAIN
UNCHANGED

NO. ISSUED FOR DATE

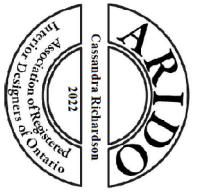
1	CLIENT REVIEW	22/06/29
2	CLIENT REVIEW	22/07/07
3	PERMIT	22/09/14

GENERAL NOTES:

D O N O T S C A L E D R A W I N G S .
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO
CURRENT 2012 ONTARIO BUILDING CODE INCLUDING ALL LOCAL AND MUNICIPAL
B Y L A W S A N D R E G U L A T I O N S .
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK
A N D T O R E P O R T A N Y D I S C R E P A N C I E S T O T H E D E S I G N E R .
ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE
REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CR Interior Design

1498 Pasadena Drive
Schomberg, ON L0G1T0
(416) 420-5956
www.crinterfordesign.ca



The undersigned has reviewed and takes responsibility for this design, and has the authority to seal and issue this drawing out in the Ontario Building Code to the designer. OBC REGISTRATION INFORMATION:
Required unless design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code

CASSANDRA RICHARDSON
NAME SIGNATURE BEN
REGISTRATION INFORMATION
OBC REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code
CR INTERIOR DESIGNS 3860
FINN HAYES

PROJECT NAME

78 SCHUSTER LANE
VAUGHAN ONTARIO
L4J 8Z4

DRAWING TITLE

KEY PLAN,
SITE PLAN,
&
STATISTICS

PROJECT NO.

22-08

DRAWN BY

CR

SCALE

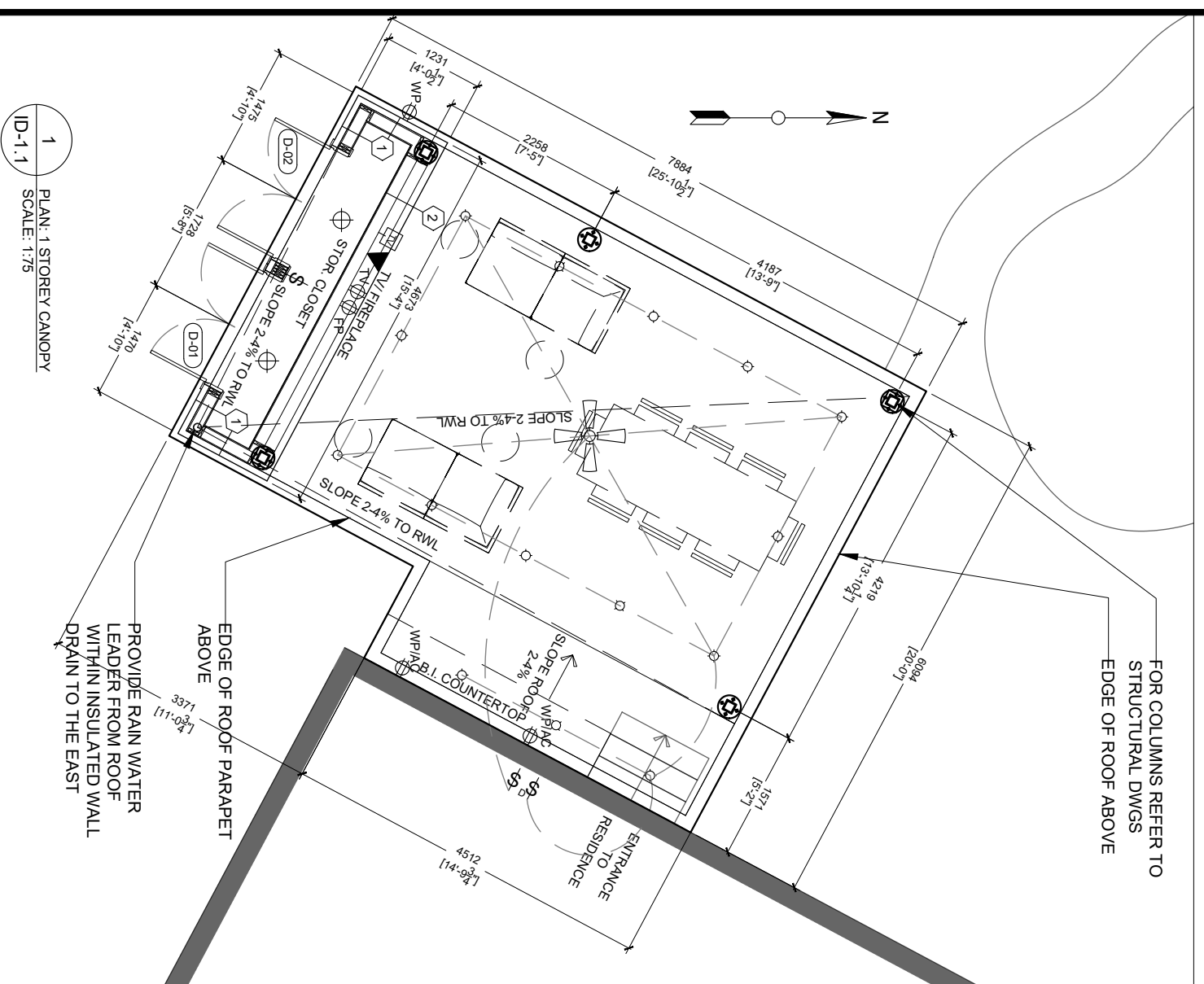
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PLOTTED DATE

22/09/14

DRAWING NO.

1.0

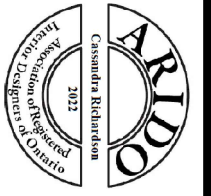


1 PLAN: 1 STOREY CANOPY
ID-1.1 SCALE: 1:75

NO.	ISSUED FOR	DATE
1	CLIENT REVIEW	22/06/29
2	CLIENT REVIEW	22/07/07
3	PERMIT	22/09/14

GENERAL NOTES:
 D O N O T S C A L E D R A W I N G S .
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO CURRENT 2012 ONTARIO BUILDING CODE INCLUDING ALL LOCAL AND MUNICIPAL B Y L A W S A N D R E G U L A T I O N S .
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK A N D T O R E P O R T A N Y D I S C R E P A N C I E S T O T H E D E S I G N E R .
 ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

198 Roselena Drive
 Schomberg, ON L0G1T0
 (416) 420-5956
 crinteriordesign.ca
 www.crinteriordesign.ca



The undersigned has reviewed and takes responsibility for this design, and has the authority to seal and issue drawings prepared by me or under my direct supervision and control in the Ontario Building Code to the designer. QUALIFICATION INFORMATION:
 C - 324.1, of the 2012 Ontario Building Code
 CASSANDRA RICHARDSON
 ARCHITECTURAL DESIGNER
 REGISTRATION INFORMATION:
 C - 324.1, of the 2012 Ontario Building Code
 CASSANDRA RICHARDSON
 ARCHITECTURAL DESIGNER
 REGISTRATION INFORMATION:
 C - 324.1, of the 2012 Ontario Building Code
 CR INTERIOR DESIGNS
 3860
 BRN

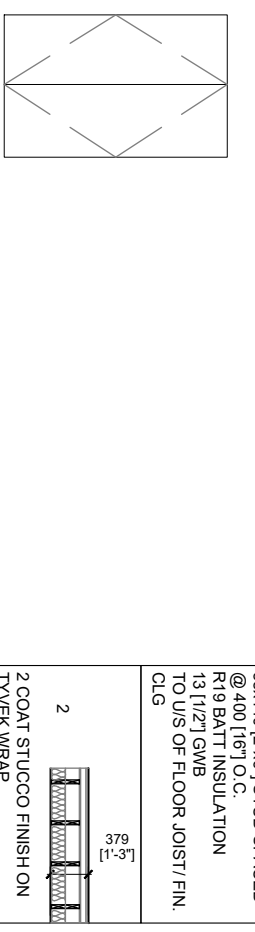
PROJECT NAME
 78 SCHUSTER LANE
 VAUGHAN ONTARIO
 L4J 8Z4

DRAWING TITLE
 PLAN,
 SCHEDULES AND
 DETAILS

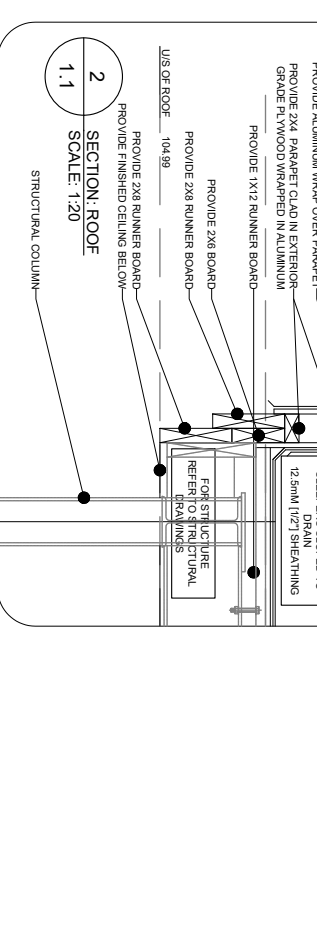
PROJECT NO.
 22-08
 DRAWN BY
 CR
 SCALE
 1/75
 PLOTTED DATE
 22/09/14
 DRAWING NO.
 1.1

DOOR SCHEDULE	DOOR	FRAME	HARDWARE
	DOOR #	SIZE	TYPE
	D-201	2-760 [30"] W x 2435 [96"] H	A
	D-201	2-760 [30"] W x 2435 [96"] H	A
			EXISTING
			NEW
			MATERIAL
			FINISH
			TYPE
			EXISTING
			NEW
			MATERIAL
			FINISH
			EXISTING
			LOCKSET
			PRIVACY SET
			PASSAGE SET
			DUMMY SET
			SLIDING DOOR TRACK
			POCKET DOOR

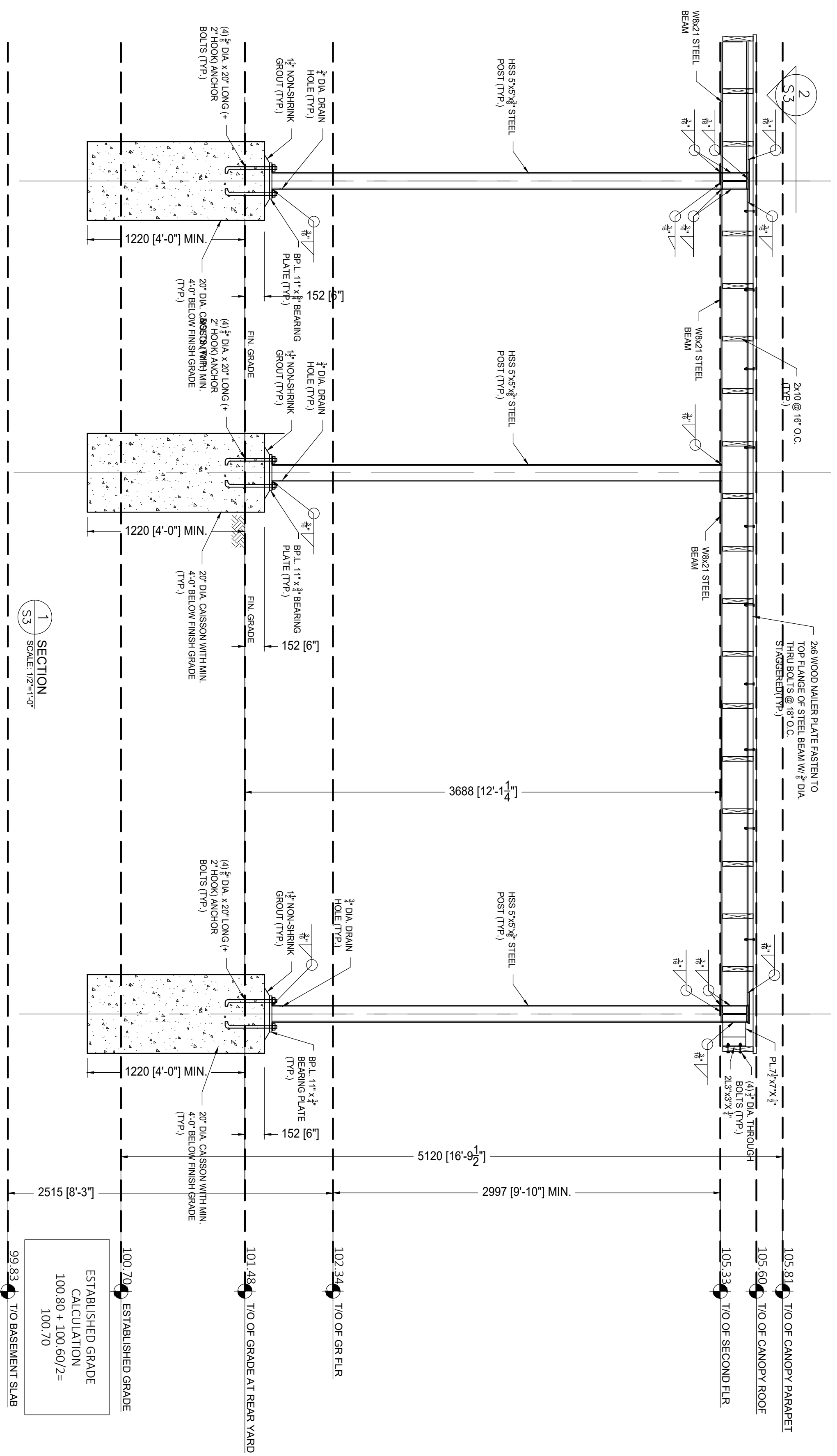
FRAME TYPE	ABBREVIATIONS
FRAME F1 NEW HOLLOW METAL FRAME	SC SOLID CORE WD WOOD PT PAINTED GL GLASS AL ALUMINUM VL VINYL HM HOLLOW METAL INS INSULATED



PARTITION SCHEDULE
1 2 COAT STUCCO FINISH ON TYVEK WRAP 50MM [2"] THK [5 c.l.] VALUE INSULATION BOARD 12.7mm SHEATHING 2-38x140 [2'x6"] STUD SPACED @ 400 [16"] O.C. R19 BATT INSULATION 13 1/2" GWB TO US OF FLOOR JOIST/ FIN. CLG
2 2 COAT STUCCO FINISH ON TYVEK WRAP 50MM [2"] THK [5 c.l.] VALUE INSULATION BOARD 12.7mm SHEATHING 2-38x140 [2'x6"] STUD SPACED @ 400 [16"] O.C. R19 BATT INSULATION 13 1/2" GWB TO US OF FLOOR JOIST/ FIN. CLG

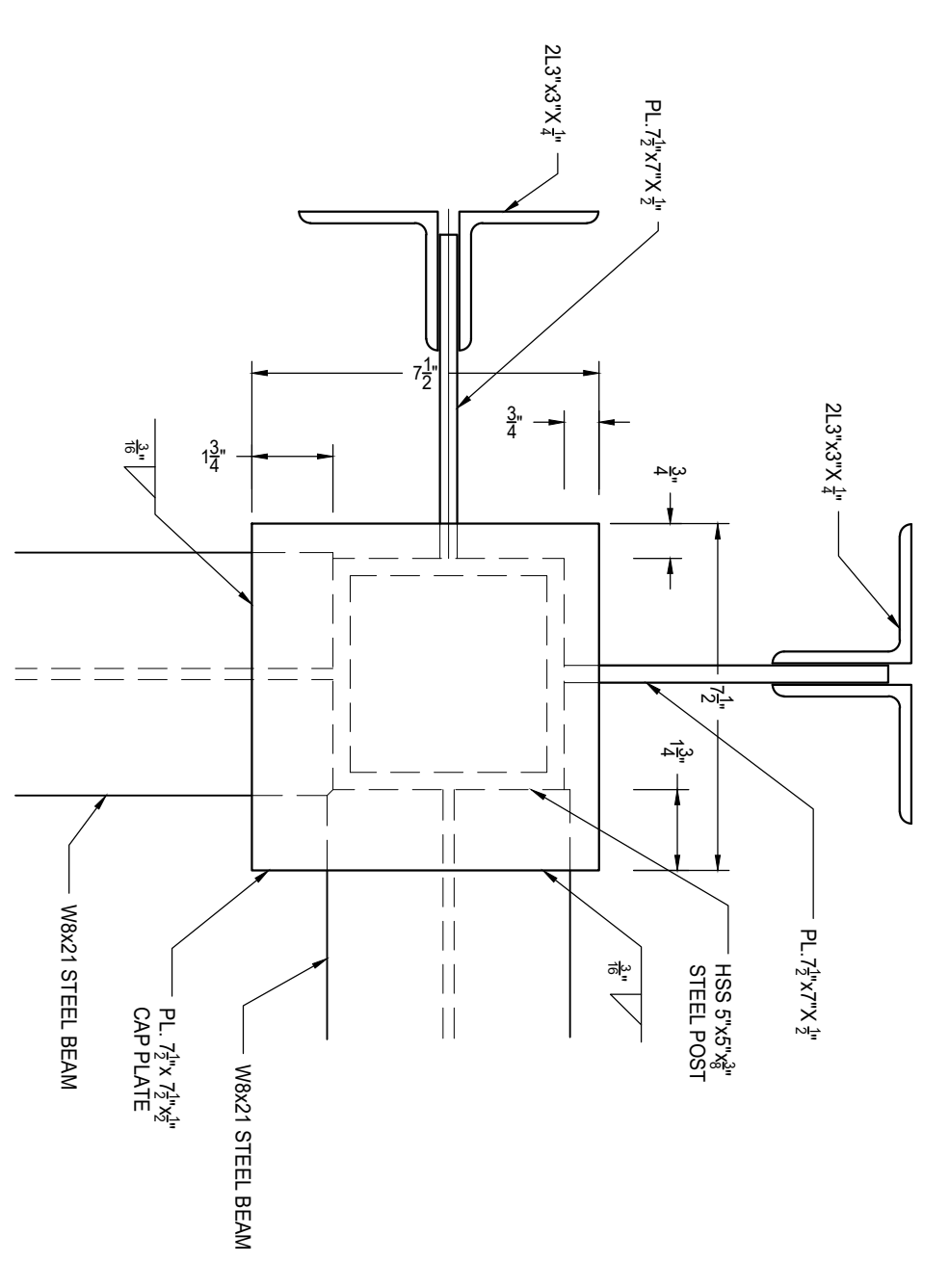


SYMBOL	DESCRIPTION	
⊕	DUPLEX RECEPTACLE OUTLET INSTALL AT 12" O.C. AFF VERTICALLY UNLESS NOTED OTHERWISE	⊕ CEILING MOUNTED LIGHT FIXTURE
⊕GFI	GROUND FAULT DUPLEX RECEPTACLE OUTLET - PROVIDE GROUND FAULT PROTECTION ON OUTLET TYPE IDENTIFIED	⊕ PULL CHAIN SWITCH LIGHT FIXTURE
⊕WP	WEATHER PROTECTED DUPLEX RECEPTACLE OUTLET - PROVIDE GROUND FAULT PROTECTION ON OUTLET TYPE IDENTIFIED	⊕ CEILING MOUNTED FAN W/ LIGHT FIXTURE
▲	DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	▬ STRIP LIGHT FIXTURE
▲	VOICE RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	▬ LED TAPE LIGHT
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	○ WALL MOUNTED LIGHT
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ SINGLE POLE SWITCH
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ SINGLE POLE SWITCH W/ DIMMER FOR LUMINAIRE TYPE NOTED OTHERWISE
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ 3 OR 4 WAY SWITCH
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ FAN WITH TIMER SWITCH
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ CEILING INSTALLED EXHAUST FAN
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ CARBON MONOXIDE & SMOKE DETECTOR
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ ABOVE COUNTER
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ BELOW COUNTER
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ UNDER CABINET LIGHT
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ GARAGE DOOR OPENER POWER BUTTON
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ GAS
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ INTERIOR WATER LINE
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ EXTERIOR HOSE BIBB @24" ABOVE GRADE
▲	VOICE + DATA RECEPTACLE WALL OUTLET INSTALL AT 12" O.C. AFF UNLESS NOTED OTHERWISE	⌘ RECESSED DOWN LIGHT

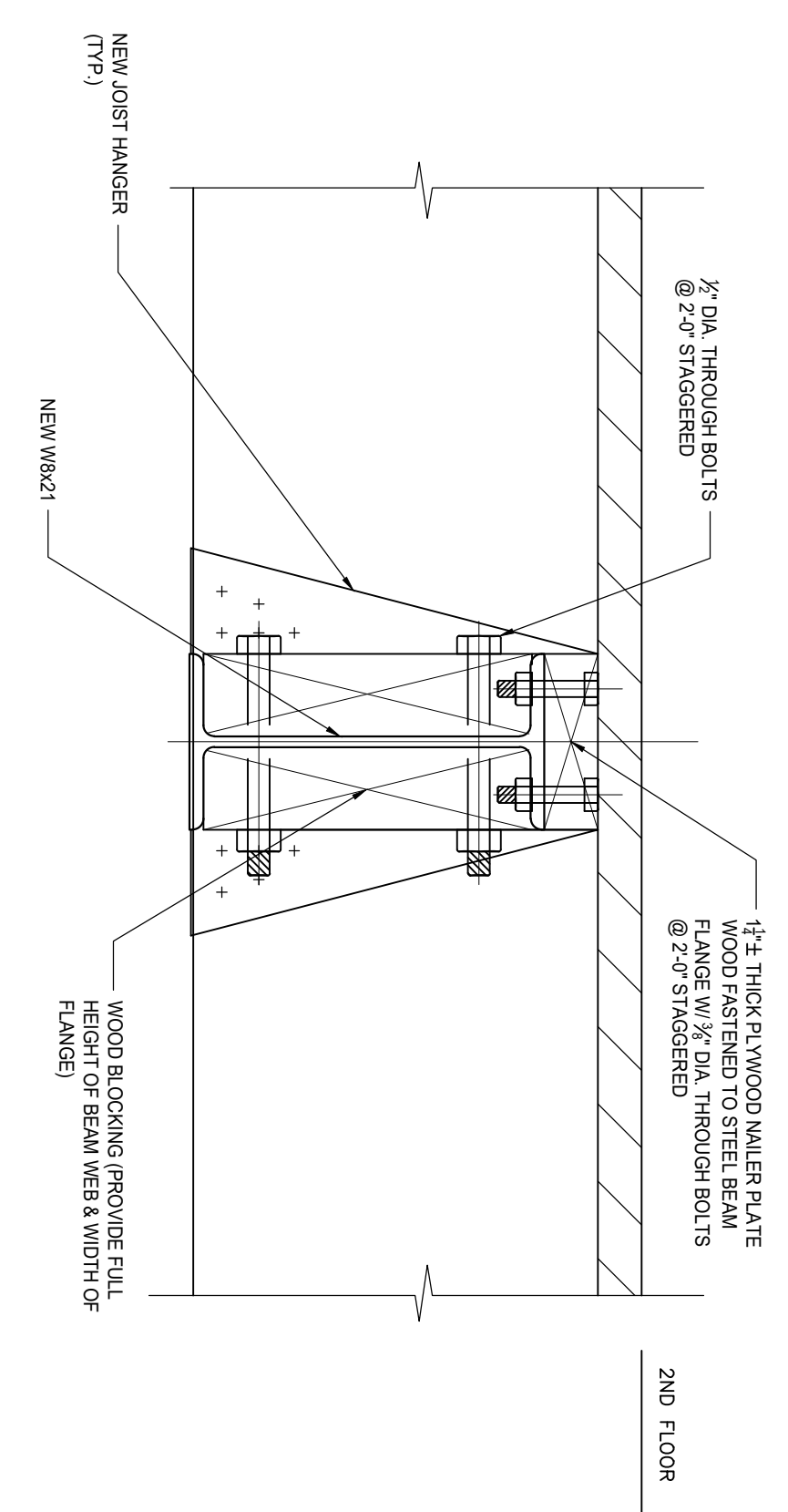


1 SECTION
SCALE: 1/2"=1'-0"

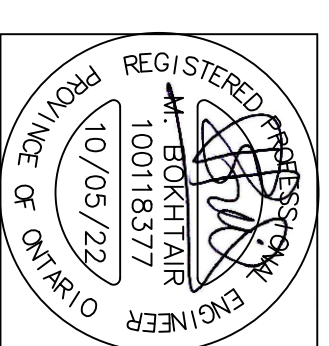
ESTABLISHED GRADE
CALCULATION
100.80 + 100.60/2 =
100.70



2 SECTION
SCALE: 3/4"=1'-0"



3 SECTION
SCALE: 3/4"=1'-0"



DRAWING TITLE:
**ROOF FRAMING PLAN
& SECTIONS**

CANADA ENGINEERING SERVICES INC.
39 DAVENBROOK BOULEVARD
SCARBOROUGH, ON M1T 2H6
Ph: 416 492 4000 Fax: 416 492 4001
E-Mail: cesi@cesi.ca



PROJECT:
PROPOSED GAZEBO
78 SCHUSTER LN,
VAUGHAN, ONTARIO.

CLIENT:
ESTABLISHED GRADE
CALCULATION
100.80 + 100.60/2 =
100.70

Consultant's signature: _____

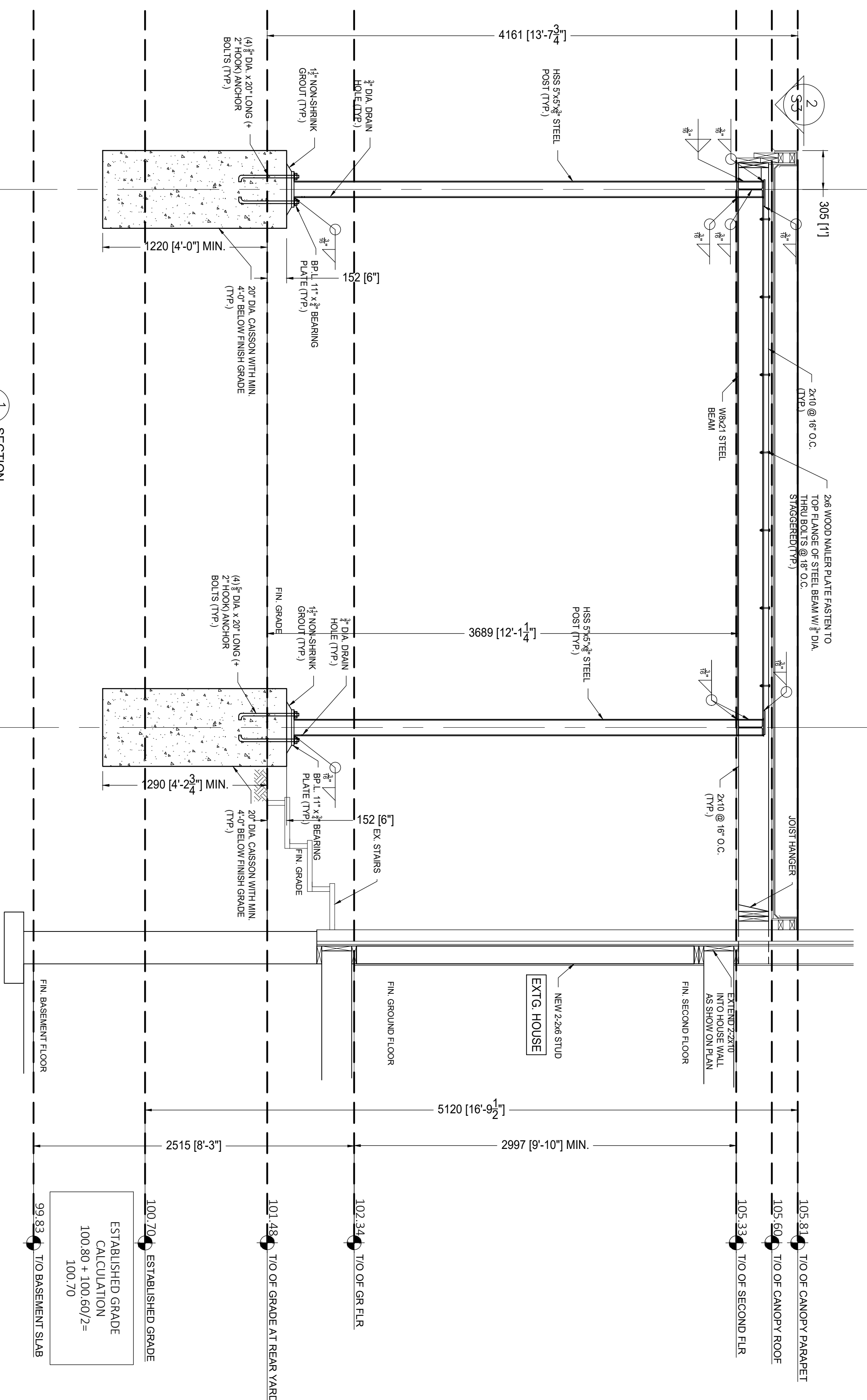
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of the consultant and may not be reproduced without his permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by the consultant.

REVISIONS:

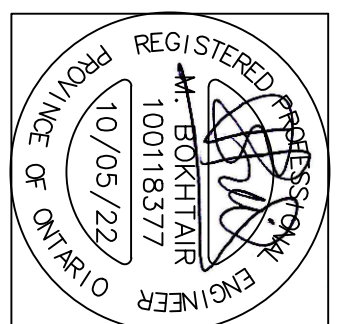
NO.	DESCRIPTION	BY

SCALE: AS SHOWN
DRAWING NO: **S3**

DRAWN: M.B. DESIGN: M.B. CHECKED: R.J.
PROJECT NO: 210225 DATE: DEC. 2021



1 SECTION
SCALE: 1/2"=1'-0"



REVISIONS:		
NO.	DESCRIPTION	BY

The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of the consultant and may not be reproduced without his permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by the consultant.

Consultant's signature: _____

CLIENT:

PROJECT:
PROPOSED GAZEBO

78 SCHUSTER LN,
VAUGHAN, ONTARIO.



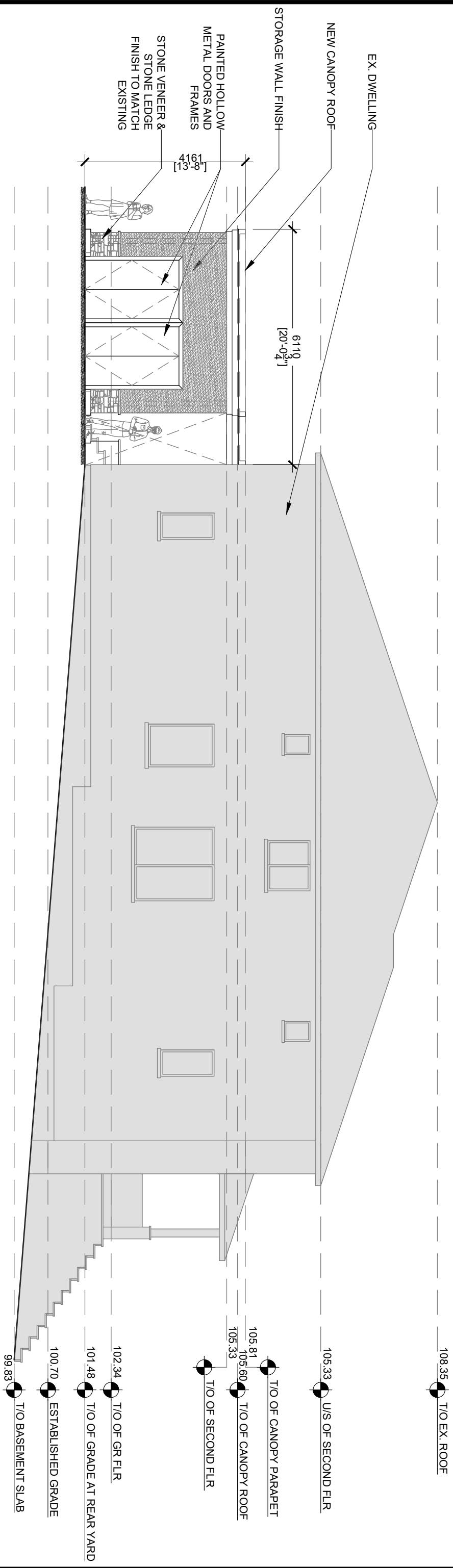
CANADA ENGINEERING SERVICES INC.

39 DAVISBROOK BOULEVARD
SCARBOROUGH, ON M1T 2H6
Ph: 416 492 4000 Fax: 416 492 4001
E-Mail: cesi@cesinc.ca

DRAWING TITLE:
SECTIONS

SCALE: AS SHOWN

DRAWN: M.B.	DESIGN: M.B.	CHECKED: R.J.
PROJECT NO: 210225	DATE: DEC. 2021	DRAWING NO: S4



NO.	ISSUED FOR	DATE
1.	CLIENT REVIEW	22/06/29
2.	CLIENT REVIEW	22/07/07
3.	PERMIT	22/09/14
4.	COA	22/10/19

GENERAL NOTES:

D O N O T S C A L E D R A W I N G S .

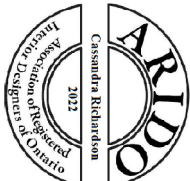
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO CURRENT 2012 ONTARIO BUILDING CODE INCLUDING ALL LOCAL AND MUNICIPAL B Y L A W S A N D R E G U L A T I O N S .

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK A N D T O R E P O R T A N Y D I S C R E P A N C I E S T O T H E D E S I G N E R .

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

cr interior design

199 Pasadena Drive
 Schomberg, ON L0G1T0
 (416) 420-3956
 cr@crinteriordesign.ca
 www.crinteriordesign.ca



Cassandra Richardson

The undersigned has reviewed and takes responsibility for this design, and has the authority to seal and issue drawings on my own behalf, in the Ontario Building Code to the designer. QUALIFICATION INFORMATION: Required unless design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code

CASSANDRA RICHARDSON SIGNATURE: *CR* BEN: 32905

REGISTRATION INFORMATION: Required unless design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code OR INTERIOR DESIGN 3860

FIRM NAME: BEN

PROJECT NAME: 78 SCHUSTER LANE VAUGHAN ONTARIO L4J 8Z4

DRAWING TITLE: SOUTH ELEVATION

PROJECT NO.: 22-08

DRAWN BY: CR

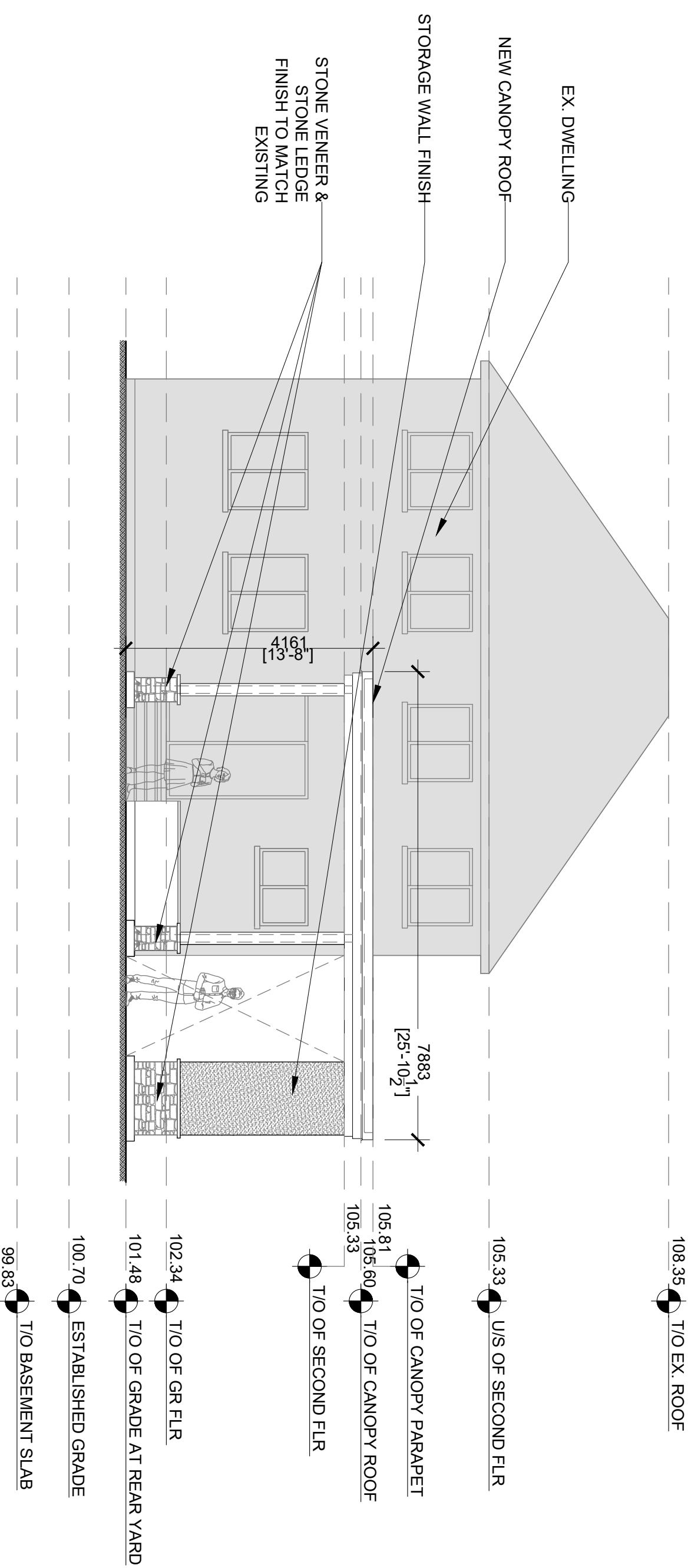
SCALE: 1:100

PLOTTED DATE: 22/10/19

DRAWING NO.: 2.0

A274/22

RECEIVED
By RECEIVED at 9:34 am, Oct 20, 2022

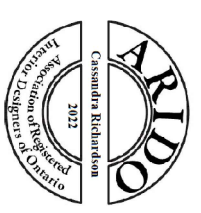


NO.	ISSUED FOR	DATE
1	CLIENT REVIEW	22/06/29
2	CLIENT REVIEW	22/07/07
3	PERMIT	22/09/14
4	COA	22/10/19

GENERAL NOTES:
 D O N O T S C A L E D R A W I N G S .
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO CURRENT 2012 ONTARIO BUILDING CODE INCLUDING ALL LOCAL AND MUNICIPAL B Y L A W S A N D R E G U L A T I O N S .
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.
 ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

cr interior design

198 Pasadena Drive
 Schomberg, ON L0G1T0
 (416) 420-3956
 cr@crinteriordesign.ca
 www.crinteriordesign.ca



The undersigned has reviewed and takes responsibility for this design, and has the right to be held out in the Ontario Building Code to be a designer. OVAL REGISTRATION INFORMATION:
 Required unless design is exempt under Division C - 32.4.1. of the 2012 Ontario Building Code
 CASSANDRA RICHARDSON SIGNATURE *CR* BEN 32905
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 32.4.1. of the 2012 Ontario Building Code
 CR INTERIOR DESIGN 3860
 FIRM NAME BEN

PROJECT NAME

78 SCHUSTER LANE
 VAUGHAN ONTARIO
 L4J 8Z4

DRAWING TITLE

WEST
 ELEVATION

PROJECT NO.

22-08

DRAWN BY

CR

SCALE

1/75

PLOTTED DATE

22/10/19

DRAWING NO.

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: November 1st, 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A274-22**

Related Files:

Applicant Mark & Andrea Rosin

Location 78 Schuster Lane



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

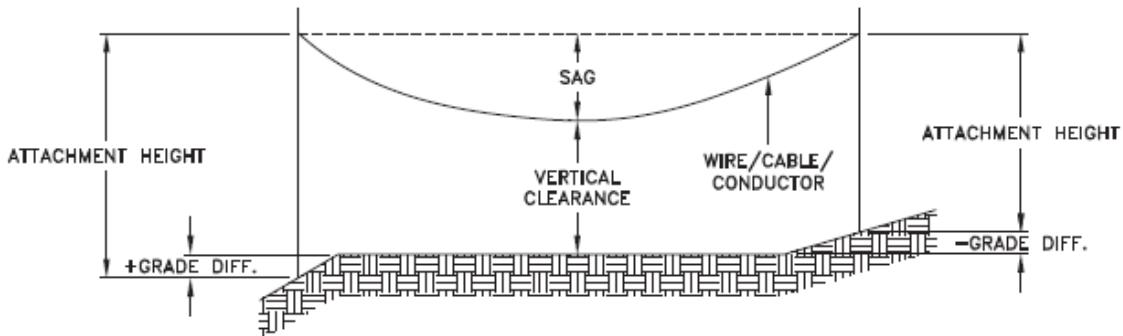
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

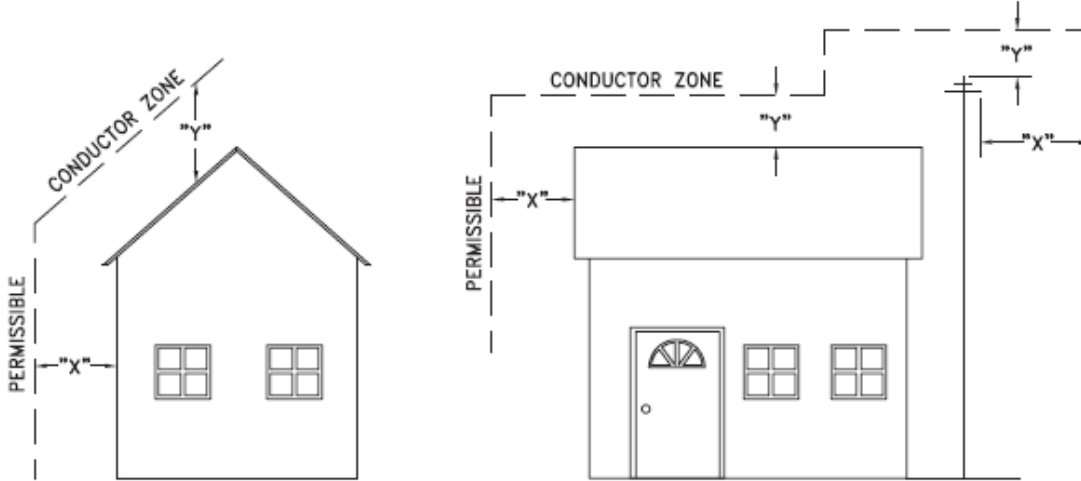
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: October 20, 2022
Applicant: Mark & Andrea Rosin
Location: 78 Schuster Lane
 PLAN 65M3777 Lot 19
File No.(s): A274/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum setback from an OS4 Open Space Woodlot Zone for all buildings, structures and pools shall be 10.0 metres. [Exception 14.729 T-114, Note 18]	To permit a minimum setback of 5.99 metres from an OS4 Open Space Woodlot Zone to a canopy.

The subject lands are zoned RV3 – Residential Urban Village Zone Three and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
4	The minimum setback from an OS4 Open Space Woodlot Zone for all buildings, structures and pools shall be 10.0 metres. [Exception 9(1063) T-114, Note 18]	To permit a minimum setback of 5.99 metres from an OS4 Open Space Woodlot Zone to a canopy.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-133544 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 1, 2022
Name of Owners: Mark and Andrea Rosin
Location: 78 Schuster Lane
File No.(s): A274/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum setback of 5.99 m from an OS4 Open Space Woodlot Zone to a canopy.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum setback from an OS4 Open Space Woodlot Zone for all buildings, structures and pools shall be 10.0 m.

Proposed Variance(s) (By-law 1-88):

2. To permit a minimum setback of 5.99 m from an OS4 Open Space Woodlot Zone to a canopy.

By-Law Requirement(s) (By-law 1-88):

2. The minimum setback from an OS4 Open Space Woodlot Zone for all buildings, structures and pools shall be 10.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a proposed one-storey canopy with the above noted variances. The canopy is to abut the rear of the dwelling.

The Development Planning Department has no objection to the proposed variances for the canopy. The reduced rear yard depth is measured between the corner of the canopy and the rear lot line. The lot is pie shaped with the rear lot line running at an angle to the dwelling. As a result, it is a corner of the canopy that would utilize the full extent of the requested relief. Most of the rear yard space is located behind the canopy. The canopy complies with all side yard setback requirements and will not pose a significant visual impact to the neighbouring properties. The property also abuts significant woodland features to the rear. In accordance with the VOP 2010, these features are identified as "Core Features" of the Natural Heritage Network (NHN) and are subject to the relevant policies within Chapter 3. Environmental Planning staff have reviewed the materials provided and determined that no natural heritage features will be impacted because of the minor variance. Therefore, the reduction in rear yard setback maintains an appropriate distance to prevent any adverse impacts to the neighbouring property.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A274/22 (78 Schuster Lane) - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>

Sent: November-03-22 2:41 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A274/22 (78 Schuster Lane) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A274/22) and has no comment.

Many thanks,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None