

## **HERITAGE IMPACT ASSESSMENT (REVISED)**

### **27 MAIN STREET**

**Kleinburg, Ontario**

March 23, 2022



**Prepared by:**



**Martindale Planning Services**  
23 Elizabeth Street  
Ajax, Ontario L1T 2X1  
Tel: (905) 427-7574 Fax: (905) 427-2328  
E-mail: [martplan@sympatico.ca](mailto:martplan@sympatico.ca)

**in association with**



**BARRY BRYAN ASSOCIATES**  
Architects, Engineers, Project Managers

250 Water Street  
Suite 201  
Whitby, Ontario  
Canada  
L1N 0G5

Telephone: 905 666-5252  
Toronto: 905 427-4495  
Fax: 905 666-5256  
Email: [bba@bba-archeng.com](mailto:bba@bba-archeng.com)  
Web Site: [www.bba-archeng.com](http://www.bba-archeng.com)

TABLE OF CONTENTS

1.0 INTRODUCTION..... 1

2.0 HISTORY AND DEVELOPMENT OF KLEINBURG ..... 2

3.0 THE KLEINBURG – NASHVILLE HERITAGE CONSERVATION DISTRICT PLAN..... 4

3.1 BACKGROUND AND ORIGIN OF THE PLAN ..... 4

3.2 APPLICABLE DISTRICT PLAN PROVISIONS ..... 4

4.0 DESCRIPTION OF CULTURAL HERITAGE RESOURCES ON SUBJECT PROPERTY ..... 7

5.0 DESCRIPTION OF PROPOSED DEVELOPMENT ..... 8

6.0 CONFORMITY OF DEVELOPMENT PROPOSAL TO THE DISTRICT GUIDELINES ..... 9

7.0 CONCLUSIONS AND RECOMMENDATIONS ..... 10

7.1 CONCLUSIONS..... 10

7.2 RECOMMENDATIONS..... 10

FIGURES

- 1 – LOCATION MAP
- 2 – SURVEY
- 3 – PARCEL FABRIC
- 4 – PROPOSED DRAWINGS
- 5 – PROPOSED RENDERINGS
- 7A– PHOTOS OF SUBJECT PROPERTY – EXTERIOR
- 7B– PHOTOS OF SUBJECT PROPERTY - INTERIO
- 8 – PHOTOS OF SURROUNDING PROPERTIES

## **1.0 Introduction**

On September 19, 2017 Martindale Planning Services in conjunction with Barry-Bryan Associates prepared a Cultural Heritage Impact Assessment for 27 Main Street, Kleinburg on behalf of Ian Robertson Design, consultants for the purchasers of the subject property. The proposal at the time was to demolish the existing bungalow and build two new dwellings on the site. The current proposal, submitted by Contempo Studio on behalf of Stonebrooke Homes, involves a renovation with the rear portion of the dwelling being retained, along with a front and partial second-storey addition. Because the properties are located within the Kleinburg-Nashville heritage conservation district, any alterations or new construction on the property must be approved by Council.

In accordance with its Official Plan and applicable provincial policy, the City of Vaughan requires the submission of a cultural heritage impact assessment to evaluate the project in the context of the surrounding heritage resources and assess the proposal's conformity to the design guidelines outlined in the District Plan.

This report has been prepared in accordance with the City's "Guidelines for Cultural Heritage Impact Assessments" as well as the guidelines contained in the Ontario Heritage Tool Kit.

## **2.0 History and Development of Kleinburg**

The origins of Kleinburg go back to the development of a sawmill and a gristmill located on the Humber River in Lot 24, Concession 9 that was built in 1847 by John N. Kline, an immigrant from Alsace-Lorraine. Some accounts state that the name “Kleinburg” was derived from a combination of two German words, “klein”, meaning “little” or “small” and “berg” meaning “hill” or “mountain”, while other accounts indicate that the settlement was named Kleinsberg after the mill owner whose name was also spelled “Klein”. The village on the top of the hill to the east was known as Mount Vernon; by 1850 the two had grown together and the community was called Kleinburg. A subdivision map from 1848 shows lots on both sides of the King Road (now Islington Avenue) extending from 230 feet south of Stegman’s Mill Road to the intersection of Kline’s Mill Road (now Nashville Road) on both sides of Kline’s Mill Road, and on both sides of Napier Street as far as Kellam Street. The same map also shows a second sawmill across town on the East Humber River.

In 1852 the mill was sold to H.S. and W.P. Howland. Together with their brother Fred they owned four mills – at Lambton, Waterdown, St. Catharines and Kleinburg. The Howland family came from Cape Vincent, New York (opposite Kingston). Henry Stark Howland started his career as the first Postmaster in the village, then went into politics, being elected Reeve of Vaughan Township in 1864 and Warden of York County in 1865. His business pursuits included Vice-President of the Canadian Bank of Commerce and the first President of the Imperial Bank of Canada. After he moved to Toronto his sons, Thomas and William, ran the mill in Kleinburg. William Pearce Howland was equally successful and held numerous prestigious positions in his lifetime: a minister in the first Dominion Cabinet of Canada; the Lieutenant-Governor of Ontario from 1868 to 1873, and Postmaster General of Canada in 1867. Both of his sons held the position of Mayor in Toronto – William Holmes from 1886 to 1887 and Oliver A. from 1901 to 1902.

The flour mill was very successful and remained in the Howland family as long as it was operated, being the largest mill between Barrie and Toronto with a grinding capacity of 200 barrels a day. Soon other industries associated with the mill were established nearby (cooperage, stave factory, planing mill) as well as those found in most 19th century Ontario villages – carriage-making shops, blacksmiths, tannery, etc. In 1852 the first postmaster, H.S. Howland, was appointed and served for 18 years.

To encourage improvement in the transportation network, the government began to encourage the incorporation of road companies in the mid-1800s. The Vaughan Road Co. was formed in 1850, establishing the roadway known today as Islington Avenue and eventually becoming Hwy. 27 north of Kleinburg. In 1868 the Toronto, Grey and Bruce Railway was organized and the line from Toronto, through Woodbridge and Orangeville to Mount Forest was opened in 1871. (This is now part of the Canadian Pacific Railway main line to Sudbury.). A train station serving both Nashville and Kleinburg was built in 1870 near Nashville Road and subsequently replaced in 1907. The importance of the railway to the prosperity of Kleinburg’s mills created an important connection between these two communities. After passenger service was discontinued on this line the station was moved in 1976 to Islington Avenue just north of Kleinburg Public School and used for several years by the local Scout group, then a soccer club.



In 1860 Kleinburg housed a drugstore, three merchants, a tanner and currier, two hotels, a boot and shoemaker, tailor, carriage maker, doctor, saddler and harness maker. By 1870 a few more occupations were added – chemist and druggist, cabinet maker, insurance agent, butcher, justice of the peace, tinsmith and milliner. Kleinburg also boasted a school and two churches.

In 1890 Charles Shaw Jr., the local distributor of binder twine, announced a Binder Twine Night when the twine used to tie up their sheaves of wheat arrived. The event grew into a sizeable community festival, including games, refreshments and entertainment. Around this time Kleinburg was at its prosperous height. The population topped 350; half a dozen manufacturing industries produced farm implements, furniture, harnesses, clothes and carriages.

Ironically, the basic elements of the village's success contributed to its decline. As the lands were cleared, the sawmills steadily consumed the timber that was responsible for their creation. Although the railways initially helped the mills get their product to market, they also allowed larger firms in the cities to expand their markets over wider areas, to the detriment of smaller local businesses. New technologies also contributed to the decline: electrification came to Kleinburg later than other communities in Vaughan and the water-powered mills were put at a competitive disadvantage. The coming of the automobile eliminated the village's role as a stopping place on the way to the city. The construction of Hwy. 27 in the 1930's sealed its fate by bypassing Kleinburg.

By the end of the second World War, the village had lost more than 2/3 of its population, but the postwar housing shortage resulted in a moderate surge of growth as returning veterans looking for affordable housing began to see Kleinburg as a good place to raise a family. "Starter" homes were built on Napier Street and the Windrush Co-operative was established at the end of Stegman's Mill Road.

Kleinburg's renewal was interrupted by Hurricane Hazel in October 1954. The swollen Humber River swept away the village's bridges and wreaked havoc in Toronto. However, the positive outcome of the hurricane was the establishment of the Metropolitan Toronto and Region Conservation Authority which took on the responsibility of conserving and managing the 7 watersheds in the Toronto area. As the authors of the Kleinburg-Nashville Heritage Conservation District Study noted, "public ownership of the floodplain and public stewardship of the valleys have been instrumental in restoring the valley ecosystems and preserving the character of Kleinburg's setting."

Three well-known educational and/or entertainment venues are located in or near Kleinburg. The McMichael Canadian Art Collection, founded by Robert and Signe McMichael in the 1950s and since donated to the Province of Ontario, now attracts 125,000 visitors a year. The 40-acre property contains a small cemetery where the original members of the Group of Seven are buried. South of Major Mackenzie Drive is the Kortright Centre, an environmental education facility operated by the Toronto Region Conservation Authority, which has attracted over a million visitors since it opened in 1979. Finally, the Doctor's House on Nashville Road started out as a modest tea room in 1967 and has since grown into a full-service restaurant, banquet facilities and a chapel, now the largest private attraction in Kleinburg – hosting banquets, conventions and weddings.

In 1967 the Binder Twine Festival was revived under the leadership of Mr. Vic Ryder and has been an annual event ever since, now considered one of the highlights of village life. The funds it generates have contributed to parks, building and storefront restoration, school trips, fireworks displays and countless other community projects.

## 3.0 The Kleinburg – Nashville Heritage Conservation District Plan

### 3.1 Background and Origin of the Plan

Due to concerns over the rapid growth in the commercial core of Kleinburg expressed in the 1980's, Vaughan Council started the process of studying the feasibility of a Heritage Conservation District in 1985 with the passing of By-law No. 257-85, which authorized staff to investigate the potential benefits of such a District. A preliminary study was carried out by Loredana Margiotta in April 1993 and a study area was identified which encompassed both sides of the Islington Avenue commercial district, Napier Road, John Street, Kellam Street, Main Street, Centre Street and portions of Stegman's Mill Road and Nashville Rd. Subsequently, a Community Plan was prepared for Kleinburg – Nashville and adopted by Council on Sept. 25, 2000 in the form of Amendment 601 to the Official Plan.

As a result of recommendations contained in the Community Plan, Council decided in July 2000 to undertake the necessary steps to commence a Heritage Conservation District Study. Following consultation with Heritage Vaughan, in November 2001 Council approved a by-law (no. 468-2001) defining an area to be examined for future designation as a Heritage Conservation District. A consultant was retained in August 2002 and the Plan was completed in early 2003. The Kleinburg - Nashville Heritage Conservation District Plan was adopted through the passing of By-law no. 183-2003 (see Appendix 2) on June 23, 2003.

### 3.2 Applicable District Plan Provisions

#### 3.2.1 Overall Goal

The overall goal of the Kleinburg-Nashville District Plan is, as stated on section 5.1 of the document, "to ensure the retention of the District's heritage resources and to guide change so that it contributes to and does not detract from the District's architectural, historical, and contextual character."

#### 3.2.2 Objectives of the Plan

Section 9.1, Overview, explains that the intent of the Guidelines is *"to preserve the heritage character of the District. The objective is not to prevent change, but to ensure that change is complementary to the heritage character of the District and enhance, rather than harm it."*

#### 3.2.3 Future development in the District

Two objectives for future development are set out in section 5.2.5 of the Plan:

*To encourage new development that will enhance the heritage character of the District as infill construction on vacant lands and replacement construction or alterations to non-heritage buildings.*

*To guide new development so it can provide for contemporary needs, and to ensure its design will be compatible with and complimentary to the character of the District and the heritage resources within.*

Section 6.3 incorporates policies for new development, which is intended to "complement and enhance the heritage character of the District":

*New development should be limited to vacant sites or to sites currently occupied by unsympathetic buildings.*

*New development within the District should be consistent with the Guidelines in Section 9.5.*

### 3.2.4 Design Guidelines for new Development

A discussion on Architectural Styles found in section 9.2 of the Plan contains the advice that “new developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid one ...Recent designs have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or chateau style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the District.

The section then continues with sketches showing the characteristics of the local architectural style, as follows:

- (a) Vernacular “loyalist” cottage – 1800 – 1850
- (b) Victorian Gothic Revival – 1850 – 1880
- (c) Victorian Vernacular – 1850 – 1880
- (d) Georgian Neo-Classical – 1800 – 1830
- (e) Regency Cottage – 1810 – 1840
- (f) Italianate – 1850 – 1870
- (g) Edwardian – 1900 – 1920
- (h) Split-level Ranch – 1955 – 1985
- (i) Modern Movement – 1930’s – 1970

It should be noted that the latter two categories are classified as “non-heritage” styles in the District Plan. The existing bungalow on the subject property doesn’t fit into any of these styles.

Section 9.5 of the Plan provides detailed guidelines for new development in the District. In the Overview of this section the Plan states:

*New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail.*

Most of the guidelines in the Plan pertain to Islington Avenue, the main commercial corridor of the village. In fact, Main Street is rarely mentioned in the District Plan.

Section 9.2.2 outlines examples of non-heritage styles of residential architecture:

- Vernacular Cape Cod cottage
- Ranch house
- Split-level ranch
- Modern movement

It further goes on to explain the basic characteristics of modern domestic styles:

- Strong horizontal emphasis
- Flat roofs with overhangs
- Large chimney(s)
- Natural materials – stone, brick, wood
- Large windows

## 4.0 Description of Cultural Heritage Resources on Subject Property

The existing building at 27 Main Street, Kleinburg is a one storey residence with a partial basement, constructed in the 1960's, with various additions over the years.

The building is a series of pitched shingle roofs with vertical board and batten siding, with single glazed windows in wooden frames. There is an existing artificial stone fireplace near the main entrance. An addition to the east of the entrance is composed of artificial stone base and wood windows, with a single vehicle garage.

There are wooden decks at the north and west sides of the building with views to the valley below.

The interior exposes the sloped wood roof structure above the kitchen and living areas. Adjacent to the stone fireplace at the entrance are stained glass windows.

The property has no important heritage value.



## 5.0 Description of Proposed Development

The proposed development to replace the existing **single-family** residence at 27 Main Street, Kleinburg consists of a combination of retaining part of the existing home and adding a new two storey addition along the front.

It includes exterior and interior renovations to the existing home and a new addition with various level flat roofs, and an outdoor terrace on the second floor. Exterior materials include cut rough stone, horizontal wood siding and metal fascias at the horizontal roof lines.

The proposed home is reminiscent of the Usonian homes of Frank Lloyd Wright, which include the characteristics of flat roofs, large overhangs, natural lighting through vertical and clerestorey windows, and natural materials.

A two-vehicle garage replaces the single vehicle garage at the southeast corner of the building. The existing deck of the original home is to be retained, with new railings added.

## 6.0 Conformity of Development Proposal to the District Guidelines

The proposed development at 27 Main Street, Kleinburg is external and internal renovations to the existing home, in combination with a new two storey addition along the front of the building.

The neighbourhood is an eclectic mix of one storey and two storey homes with various exterior materials used including, brick, stone, and wood siding. The proposed home uses cut rough stone and horizontal wood siding, which are complimentary with the existing neighbourhood materials.

The proposed home is modern in style with a combination of simple shapes and various level flat roofs. Exterior materials include cut rough stone, horizontal wood siding and metal fascia siding at the roof lines. Windows are a combination of individual and grouped rectangular openings. It includes elements of the Usonian style homes of Frank Lloyd Wright with overhangs, clerestorey windows and natural materials. The garage doors blend well with the horizontal wood siding of the home.

The proposed home is complimentary to the existing mix of residential styles in the neighbourhood.

## 7.0 Conclusions and Recommendations

### 7.1 Conclusions

The development as currently proposed involves a renovation in which the rear portion of the bungalow would be retained and an addition being constructed at the front, part of which would be two storeys. Because the property is located within the Kleinburg-Nashville Heritage Conservation District, any alterations to the property must be approved by Council.

Section 9.2 of the District Plan outlines the existing architectural styles present in Kleinburg, including “non-heritage styles” in section 9.2.2. The Modern Movement style, revived around 1990, generally features a one-storey, very informal plan which fits into the landscape, with floor levels following the contours of the lot. It has a strong horizontal emphasis and features flat roofs with large overhangs; roofs often overlap and vary in height. Natural materials are normally used, i.e. fieldstone, brick and wood. Large windows along with a very large chimney are common.

The proposed design is clearly Modern with elements of Usonian style homes and has most of the characteristics of this architectural style as described in the District Plan. Although it would appear to be the largest dwelling on the block, it is located on a very wide lot and would therefore not dominate the streetscape of Main Street. The rear of the house takes good advantage of the outstanding view of the Humber River to the north, but at the same time the proposed dwelling has a pleasing façade facing onto the street.

In our view, the proposed design is in keeping with the policies and design guidelines of the Kleinburg-Nashville District Plan.

### 7.2 Recommendations

It is recommended that a heritage permit be issued for the proposed development at 27 Main Street. We do not consider it necessary to require measured drawings of the existing bungalow, as it is not considered to have heritage significance. By the same token, we do not feel it would be appropriate to install a commemorative plaque on the property.

Respectfully submitted,



*Robert A. Martindale, MCIP, RPP, CAHP*  
**Martindale Planning Services**

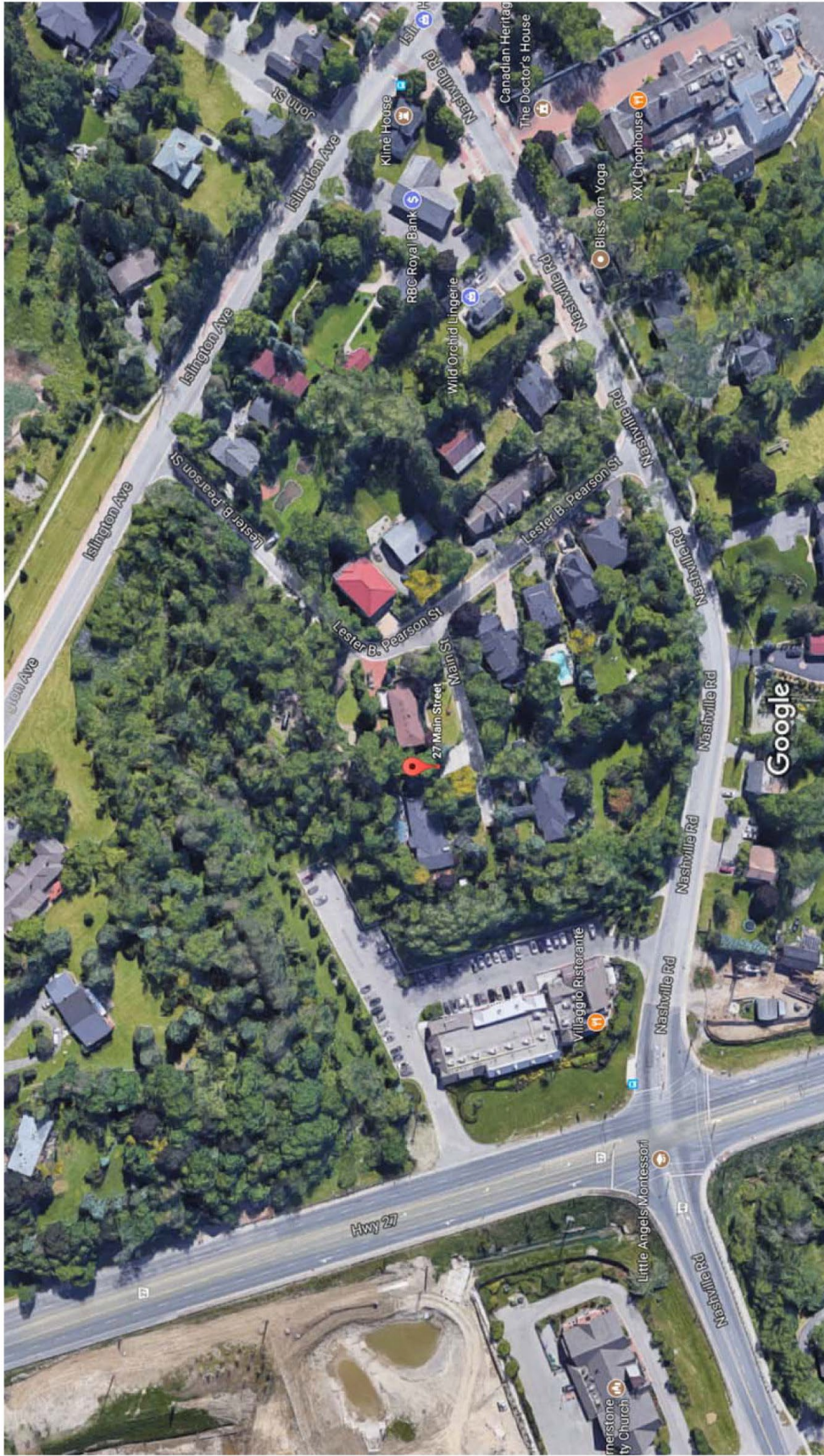


*D.L. Bryan, P. Eng., OAA, MRAIC, CAHP*  
**Barry Bryan Associates**

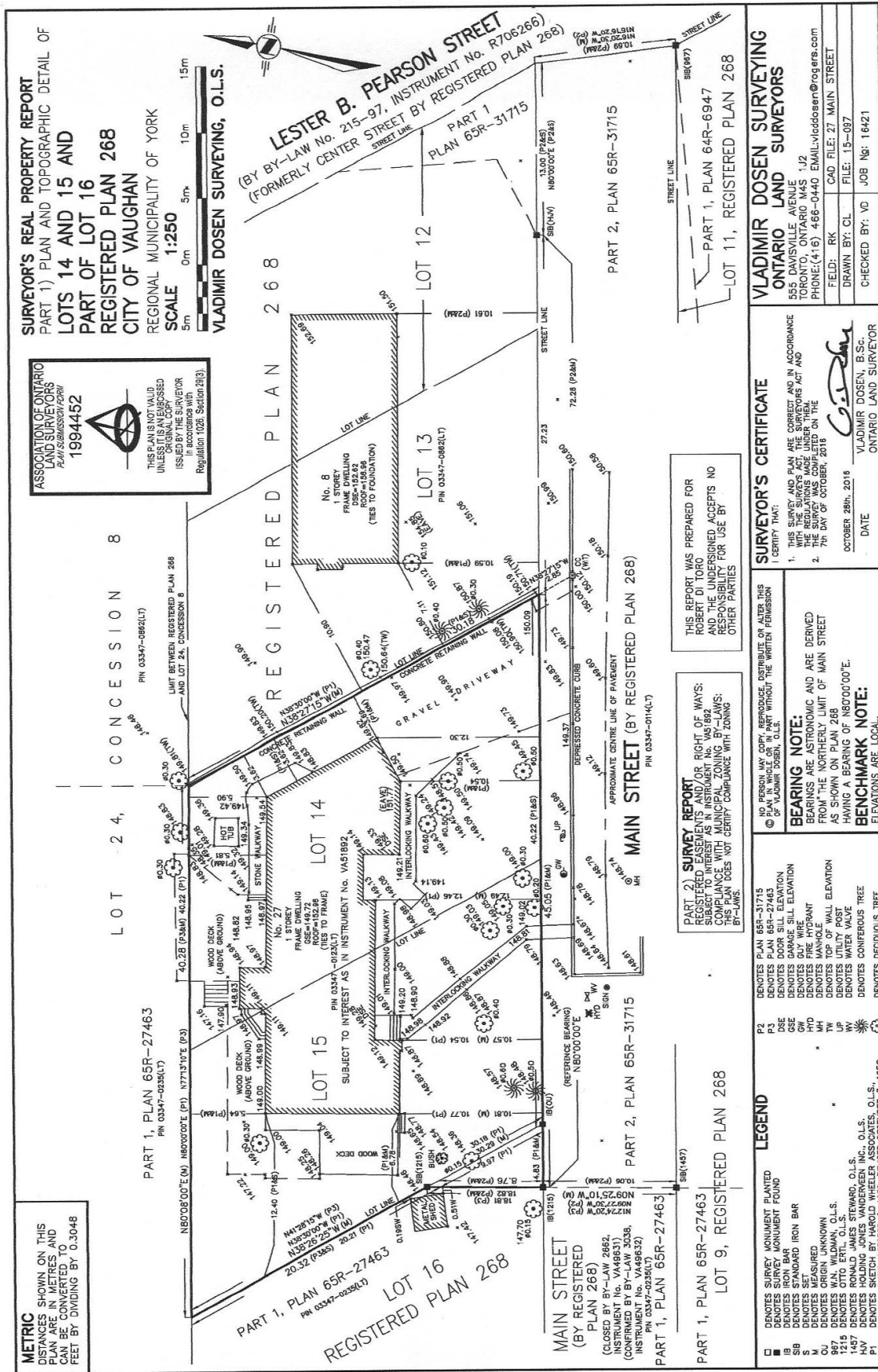
## FIGURES

## 1 – Location Map

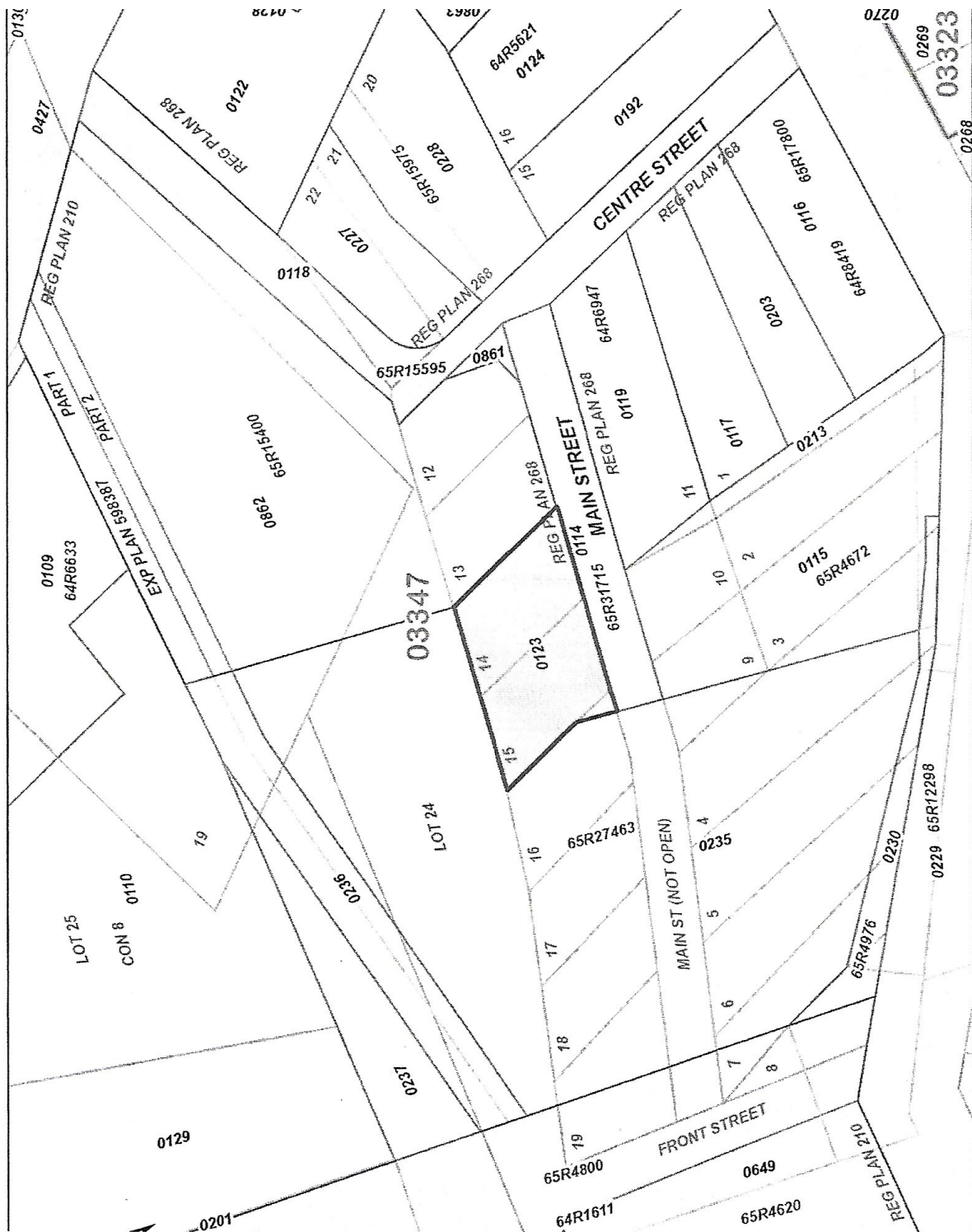
Google Maps 27 Main St







### 3 – Parcel Fabric



A-O



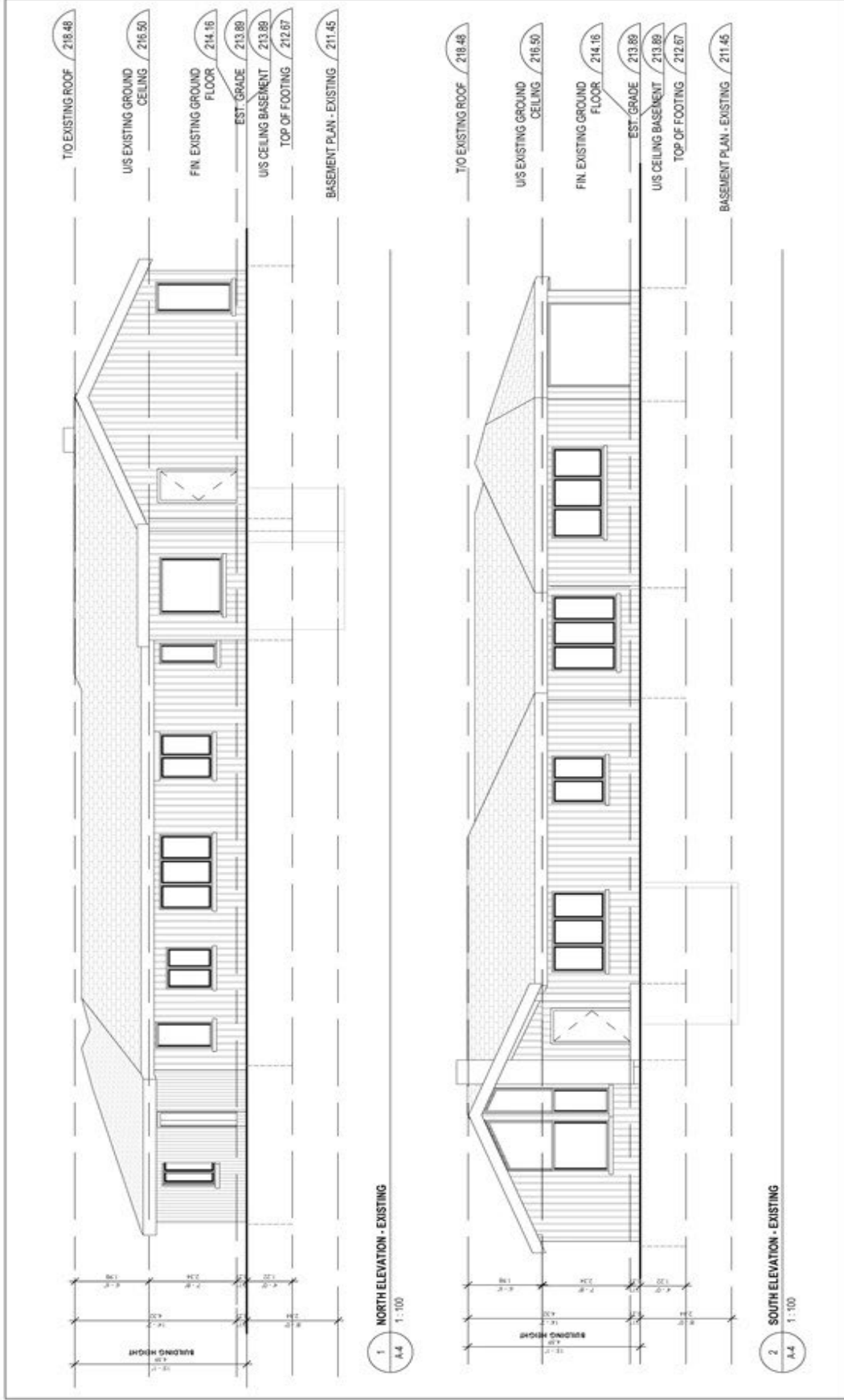












**contempstudio**

1140 THE QUEENSWAY  
Toronto, Ontario M8Z 1P7  
info@contempstudio.ca  
w. contempstudio.ca  
T (416) 775-5151  
F (416) 642-1891

The undersigned has reviewed and takes responsibility for this drawing and its use in accordance with the Ontario Building Code and the Ontario Building Code Regulations. The undersigned is a registered professional engineer under the Ontario Building Code Act and the Ontario Building Code Regulations. The undersigned is a registered professional engineer under the Ontario Building Code Act and the Ontario Building Code Regulations. The undersigned is a registered professional engineer under the Ontario Building Code Act and the Ontario Building Code Regulations.

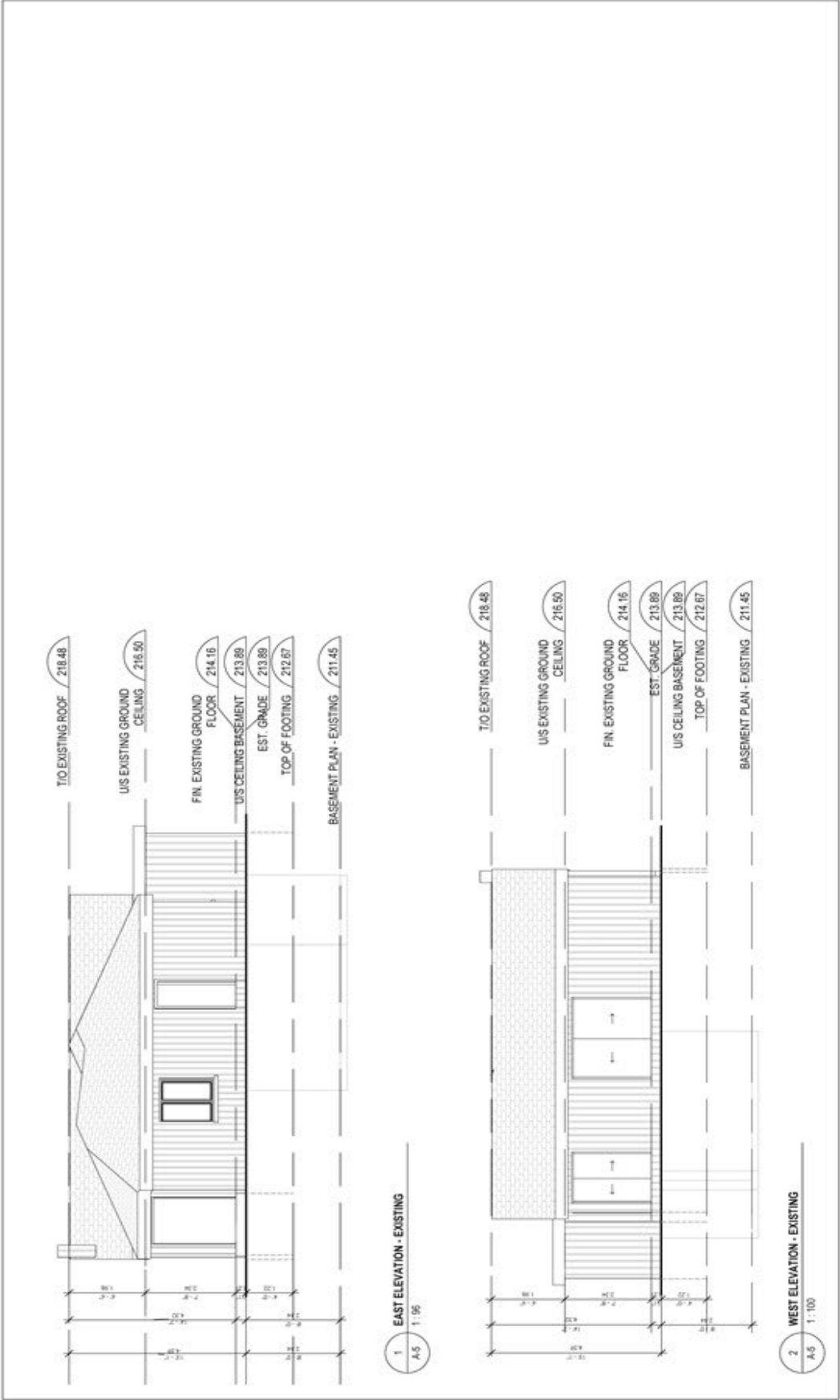
NAME: *[Signature]* REGISTRATION NUMBER: 45328  
 TITLE: *[Signature]* REGISTRATION NUMBER: 45328  
 REQUIRED unless design is exempt under 3.2.7. Division C of the Ontario Building Code.

Do not scale drawings.  
 This drawing is for informational purposes only. It is not to be used for construction or other purposes without the written permission of the architect.  
 All parts and specifications are the property of Contempstudio. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without written permission.

PROPOSED RENOVATION  
 AT  
 27 MAIN ST

Project Number: 2020-41  
 Drawing: EXISTING ELEVATIONS - 1  
 Scale: 1:100  
 Date: 03/08/2021  
 Drawn by: M.J.  
 Approved by: M.J.  
 Drawing Number:

**A-4**



**contempostudio**

1140 THE QUINCYWAY  
Evanston, Illinois 60201  
info@contempostudio.co  
w. contempostudio.co  
t. (416) 770-0071  
f. (416) 643-1691

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on this drawing. I am a member of the Ontario Association of Architects (OAA) and am duly licensed to practice in the Province of Ontario. I am duly licensed under the Ontario Building Code Act, R.S.O. 1990, c. B.14, s. 12(1) and I am duly licensed under the Ontario Building Code Act, R.S.O. 1990, c. B.14, s. 12(1) and I am duly licensed under the Ontario Building Code Act, R.S.O. 1990, c. B.14, s. 12(1).

Required unless design is exempt under 3.2.4.3.2. Division C of the Ontario Building Code, R.S.O. 1990, c. B.14, s. 12(1) and I am duly licensed under the Ontario Building Code Act, R.S.O. 1990, c. B.14, s. 12(1).

Signature: *[Signature]*  
Name: JAMES J. JONES  
Title: ARCHITECT  
Firm: JAMES J. JONES ARCHITECTS  
Address: 1140 THE QUINCYWAY, EVANSTON, IL 60201  
Phone: (416) 770-0071  
Fax: (416) 643-1691  
E-mail: info@contempostudio.co  
Web: contempostudio.co

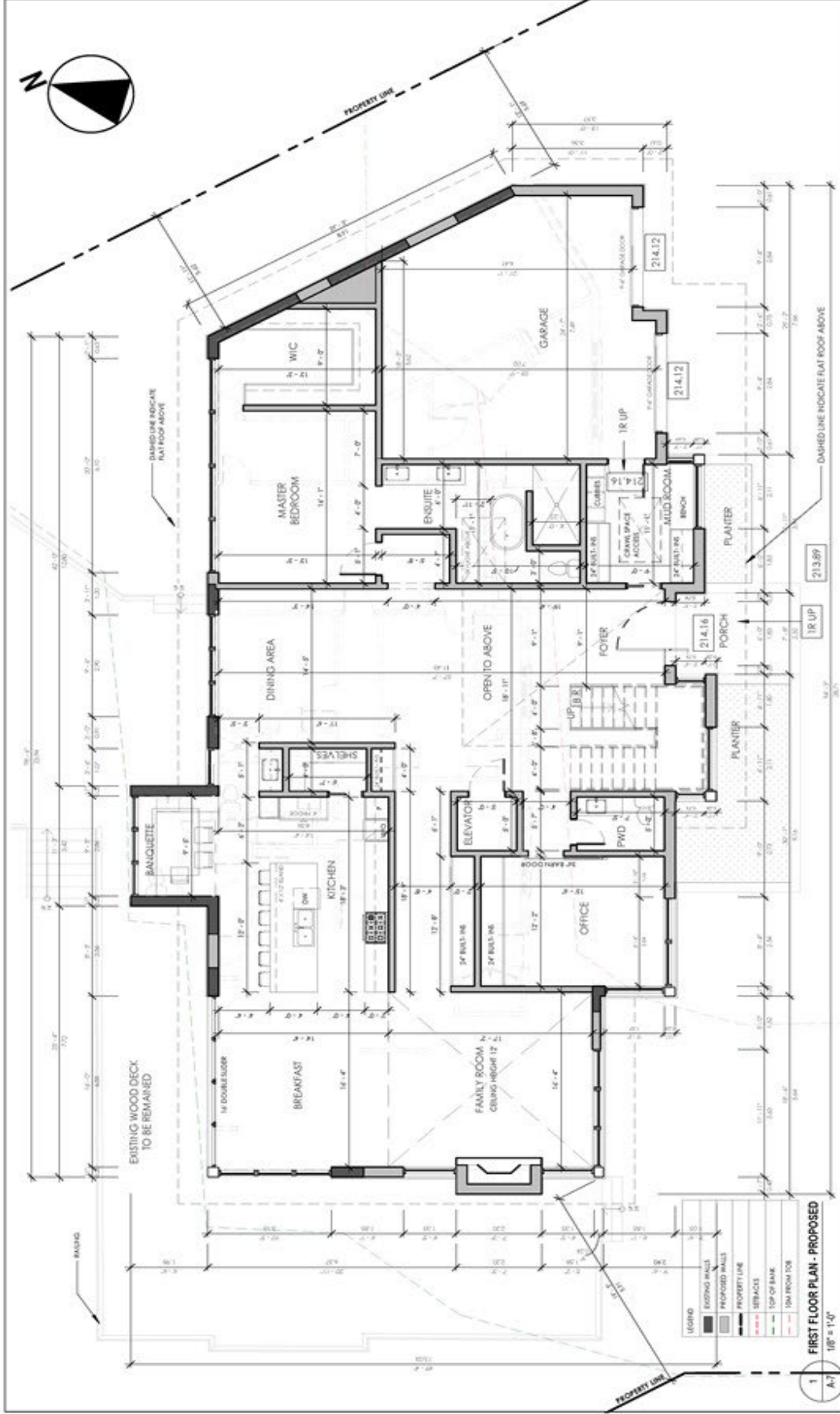
Do not scale drawings.  
Contractor shall check and verify all dimensions and report any errors or discrepancies to Contempostudio before construction begins.  
All points and specifications are the property of Contempostudio and shall not be copied, in part or whole, without prior written permission.  
PROPOSED RENOVATION  
AT  
27 MAIN ST

Project Number: 2020-01  
Drawing Number: A-5  
Scale: 1:96  
Date: 10/10/2020  
Approved By: [Signature]  
Approved For: [Signature]

**A-5**







**contempstudio**

1140 THE QUEENSWAY  
TORONTO, ONTARIO M8E 1P7  
info@contempstudio.co  
T: (416) 770-0071  
F: (416) 642-1491

The undersigned has reviewed and hereby certifies that the design, with this qualification and seal, meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Required unless design is exempt under 3.3.4.3.2. Division C of the Ontario Building Code.

NAME: MAHDI MEZIAN SIGNATURE: [Signature] REGISTRATION NUMBER: 43258  
REGISTRATION TYPE: BC2N  
Required unless design is exempt under 3.3.4.3.2. Division C of the Ontario Building Code.

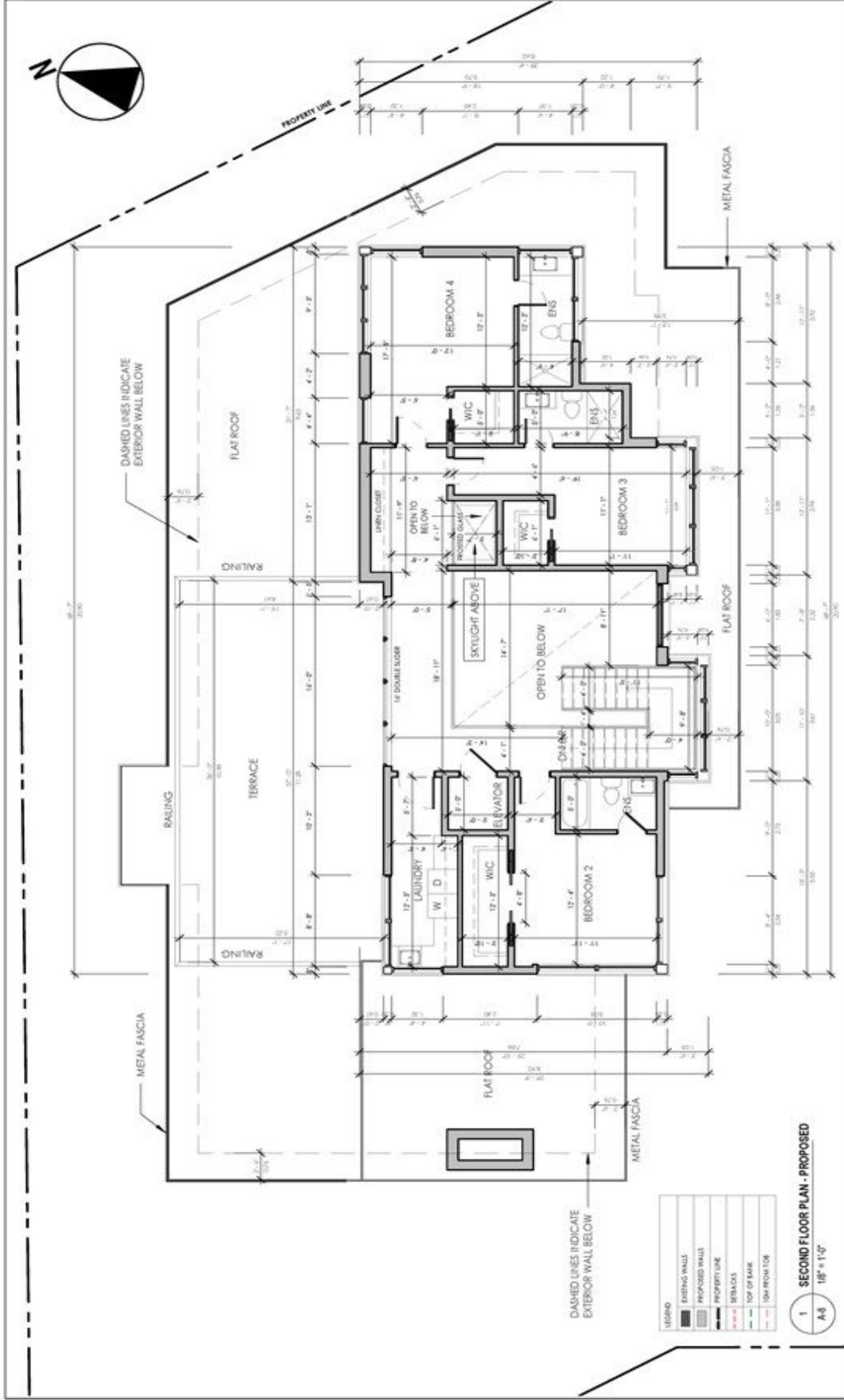
CONTAMPO STUDIO  
Firm Name: BC2N

Do not scale drawings.  
Contractor and owner to verify all dimensions and report any omissions or discrepancies to Contempstudio before proceeding with work.  
Drawings are the property of Contempstudio and shall not be copied, in part or whole, without prior written permission.

PROPOSED RENOVATION  
AT  
27 MAIN ST

Project Number: 2020-41  
Drawing: PROPOSED FIRST FLOOR  
Date: 02/04/2021  
Drawn by: M.M.  
Approved by: M.M.  
Drawing number:

**A-7**



contempstudio

1140 THE QUEENSWAY  
TORONTO, ONTARIO M8E 1P7  
PH: 416 462-1697  
WWW.CONTEMPSTUDIO.CO  
1 (416) 770-0207  
1 (416) 442-1697

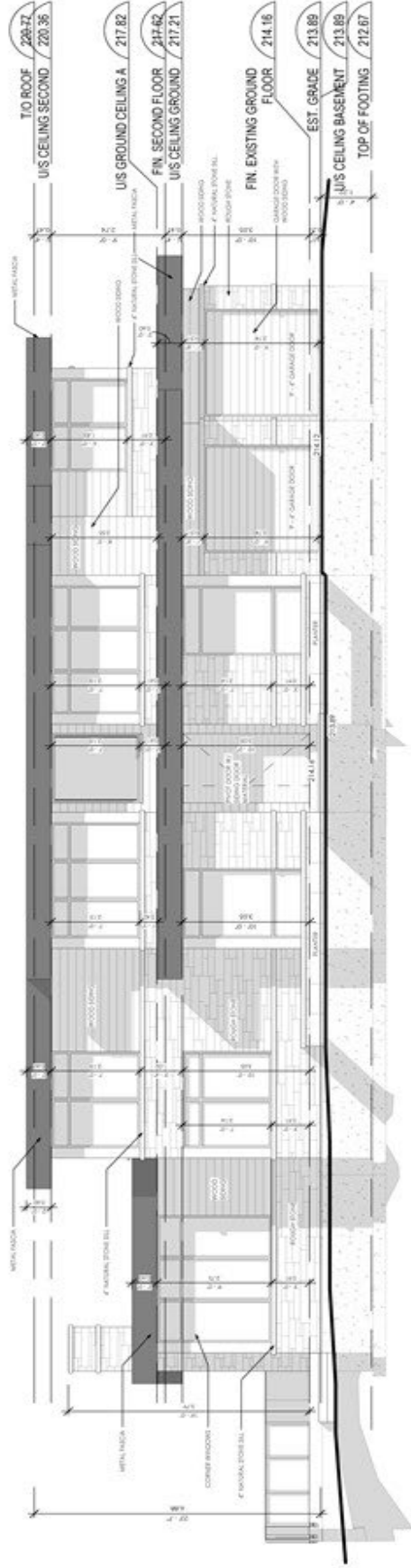
The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents. I am a duly licensed professional under the Ontario Building Code, and I am not providing this design as a consultant or subcontractor to another professional. I am not providing this design as a consultant or subcontractor to another professional. I am not providing this design as a consultant or subcontractor to another professional.

NAME: MAHDI MANSOUR  
SIGNATURE: [Signature]  
REGISTRATION NO.: 43250  
REGISTRATION EXPIRATION DATE: 2024  
Required under 3.3.4.7. Division C of the Ontario Building Code.  
CONTEMPSTUDIO  
FIRM NAME: [Blank]  
BCIN: [Blank]

Do not scale drawings.  
Contractor and owner must verify all dimensions and report any omissions or discrepancies to Contempstudio before proceeding with work.  
This drawing is the property of Contempstudio. It is not to be copied, in part or whole, without prior written permission.

PROPOSED RENOVATION  
AT  
27 MAIN ST

2020-41  
PROJECT NO: 2020-41  
DRAWING NO: 2020-41-01  
DATE: 02/04/2021  
DRAWN BY: [Blank]  
CHECKED BY: [Blank]  
APPROVED BY: [Blank]  
DRAWING NUMBER: A-8



1 SOUTH ELEVATION - PROPOSED  
A-9 1:100

**contempstudio**

1140 THE QUEENSWAY  
TORONTO, ONTARIO M8S 1P7  
info@contempstudio.ca  
www.contempstudio.ca  
t: (416) 770-0071  
f: (416) 442-1891

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meet the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 12.4.1.3.1.3. Division C of the Ontario Building Code.  
NAME: MARTIN J. LARSEN DESIGNATION: ARCHITECT REGISTRATION NUMBER: 10001

**REVISION INFORMATION**  
Required unless design is exempt under 12.4.1.3.1.3. Division C of the Ontario Building Code.  
DATE: 2020-10-20 BY: ML REVISION: REVISED SOUTH ELEVATION

Do not scale drawings.  
Contractor shall check and verify all dimensions and report any variations or discrepancies to Contempstudio before construction.  
All prints and specifications are the property of Contempstudio and shall not be copied, in part or whole without prior written permission.

**PROPOSED RENOVATION**  
AT  
27 MAIN ST

Project number:  
Drawing number:  
Scale:  
Date:  
Approved for:  
Drawing number:

2020-10-20  
PROPOSED SOUTH ELEVATION  
DATE: 2020-10-20  
BY: ML

**A-9**





1 EAST ELEVATION - PROPOSED  
A-11  
1/8" = 1'-0"

**contempostudio**

1140 THE QUEENSWAY  
TORONTO, ONTARIO M8S 1P7  
info@contempostudio.ca  
www.contempostudio.ca  
t: (416) 770-0071  
f: (416) 642-1891

The undersigned has reviewed and taken responsibility for the design and the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3.1.3. Division C of the Ontario Building Code.

NAME: Michael A. Azzam DESIGN: ARCH SIGN: [Signature] DATE: 2021

RECIPIENT INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

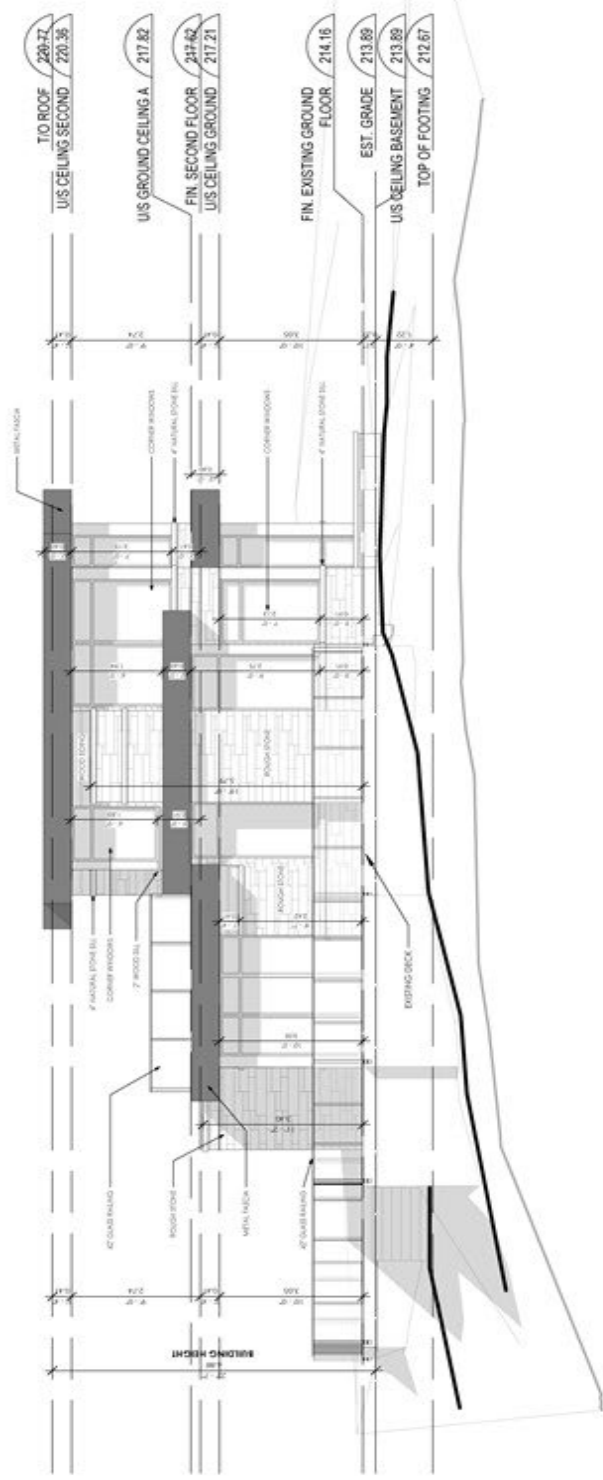
PROJECT NAME: PROPOSED RENOVATION DRAWING NUMBER: A-11

Do not scale drawings.  
Contractor shall check and verify all dimensions and report any discrepancies to the architect prior to construction.  
Proceeding with work without verification is at the contractor's risk.  
All prints and specifications are the property of Contempostudio and shall not be copied, in part or whole, without prior written permission.

PROPOSED RENOVATION  
AT  
27 MAIN ST

Project Number: 2021-01  
Drawing: PROPOSED ELEVATION  
Scale: 1/8" = 1'-0"  
Date: 22 NOVEMBER 2021  
Approved By: M.A.  
Drawing Number: A-11





1 WEST ELEVATION - PROPOSED  
A-12 1:100

**contempstudio**

1140 THE QUEENSWAY  
CHICAGO, ILLINOIS 60605  
www.contempstudio.co  
T: (416) 770-0071  
F: (416) 642-1691

The undersigned has reviewed and taken responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3.5 (Division C of the Ontario Building Code)

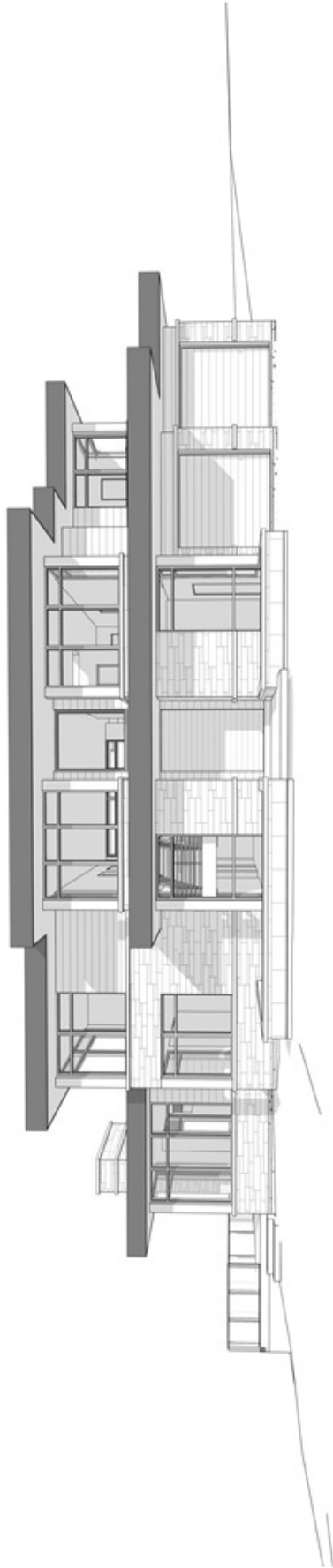
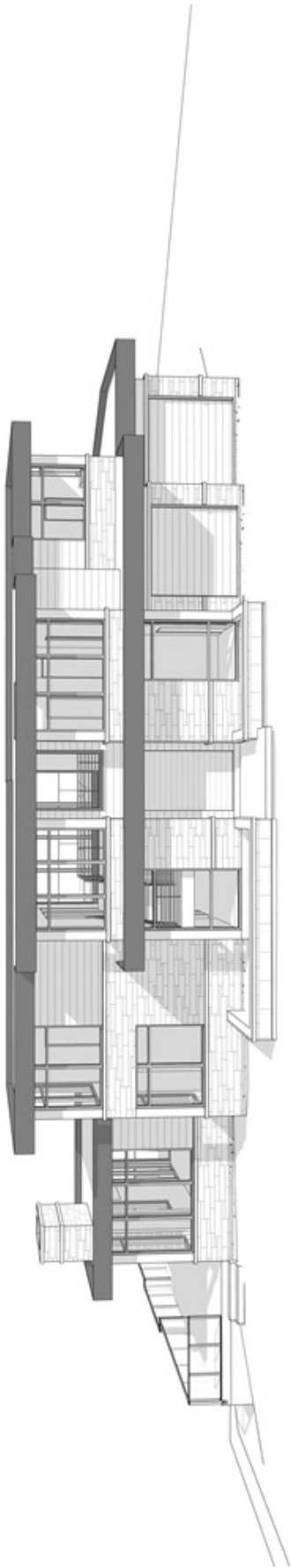
NAME: Michael J. Gaudin REGISTRATION NUMBER: 44522 BCIN  
NAME: Michael J. Gaudin REGISTRATION NUMBER: 44522 BCIN  
Required unless design is exempt under 3.2.4.3.5 (Division C of the Ontario Building Code)

NAME: Michael J. Gaudin REGISTRATION NUMBER: 44522 BCIN

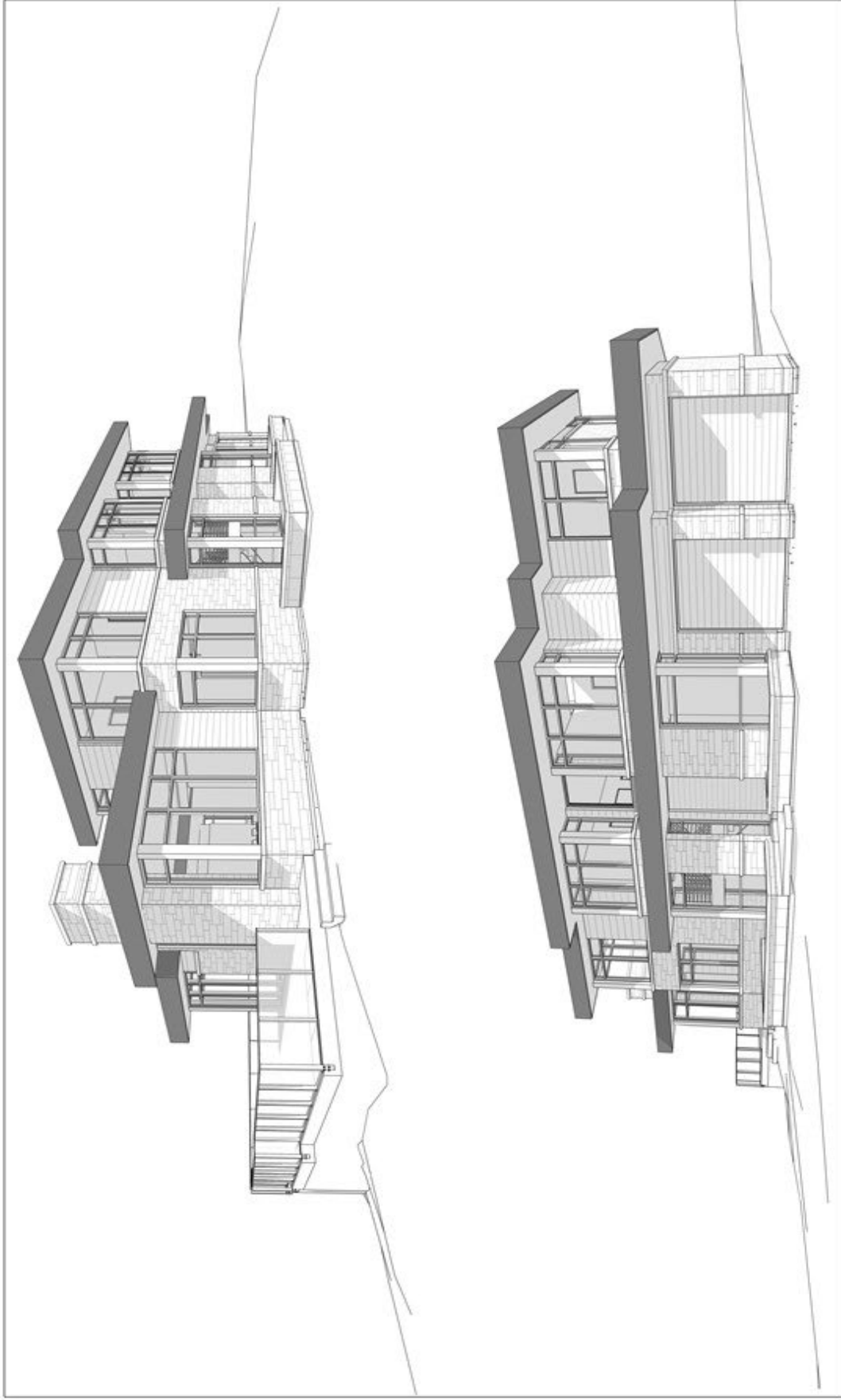
Do not scale drawings.  
Contractor and client check and verify all dimensions and report any omissions or discrepancies to Contempstudio before construction begins.  
All points and specifications are the property of Contempstudio and shall not be copied, in part or whole, without prior written permission.

PROPOSED RENOVATION  
AT  
27 MAIN ST

Project number: 2020-41  
Drawing title: WEST ELEVATION  
Scale: 1:100  
Date: DECEMBER 2021  
Approved by: M.J.  
Drawing number: A-12







**contempostudio**

1140 THE QUEENSWAY  
TORONTO, ONTARIO M8S 1P7  
info@contempostudio.co  
www.contempostudio.co  
t: (416) 770-0071  
f: (416) 642-1491

The undersigned has reviewed and taken responsibility for the design, and the qualifications and meet the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 12.4.3.13. Division C of the Ontario Building Code.

**DESIGNER INFORMATION**  
NAME: JESSICA JACOBSON  
FIRM: JESSICA JACOBSON ARCHITECTS

**REGISTERED INFORMATION**  
Required unless design is exempt under 12.4.7. Division C of the Ontario Building Code.

REGISTERED DESIGNER: JESSICA JACOBSON  
FIRM: JESSICA JACOBSON ARCHITECTS

Do not scale drawings.  
Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction.  
All prints and specifications are the property of Contempostudio and shall not be copied, in part or whole without prior written permission.

PROPOSED RENOVATION

AT  
27 MAIN ST

Project number:  
Drawing:  
Scale:  
Date:  
Approved by:  
Drawing number:

2024.41  
30.11.2025  
1:1  
1/27/2025  
M.F.

**A-14**



## 5 – Proposed Renderings























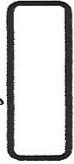
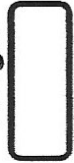
Kleinburg-Nashville  
Heritage Conservation District Study  
District Structure

Study  
Area

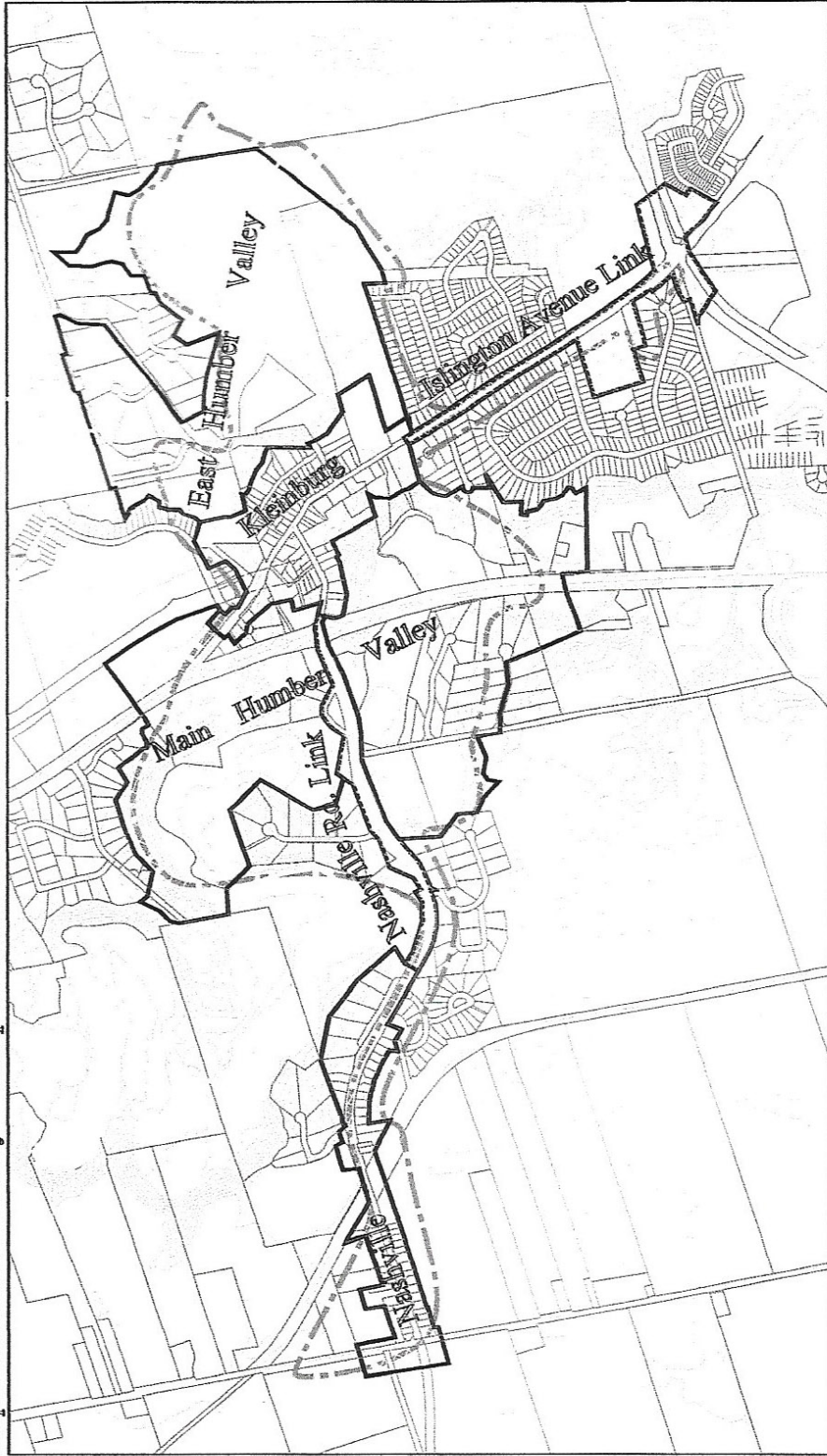


Elements of the District

Villages Road Links Valley Lands



Proposed District Boundary Phillip H. Carter Architect and Planner 21 March 2003





## 7A– Photos of Subject Property – Exterior



7B- Photos of Subject Property - Interior





## 8 – Photos of Surrounding Properties



Neighbour to East on Main Street



Neighbour to East on Main Street



Neighbour Across Street to South on Main Street



Neighbour two Homes East on Main Street



## 8 – Photos of Surrounding Properties



Lester B. Pearson Street



Lester B. Pearson Street



Neighbour to Southeast on Main Street



Lester B. Pearson Street