

ITEM #: 6.14	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A259/22 57 Madoc Place, Woodbridge
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<i>*Please see Schedule D for a copy of the Decisions listed below</i>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A259/22
57 Madoc Place, Woodbridge

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.14	CITY WARD #: 3
APPLICANT:	Nadejda Zimina and Sameh Ibrahim
AGENT:	TenHouse Building Workshop (Matthew Fratarcangeli)
PROPERTY:	57 Madoc Place, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the existing covered deck.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3, Third Density Residential Zone subject to the provisions of Exception 14.1117 under By-law 001-2021 as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum encroachment of 2.4m into the rear yard is permitted for the proposed deck and access stairs. [Table 4-1]	To permit a maximum rear yard encroachment of 3.16m for the proposed deck and access stairs.
2	A minimum interior side yard setback of 2.4m is required to the proposed accessory structure. [4.1.2.1.b]	To permit a minimum side yard setback of 1.39m to the proposed accessory structure.
3	A maximum building height of 3.0m is permitted for the proposed accessory structure. [4.1.4.1]	To permit a maximum building height of 3.21m for the proposed accessory structure.

The subject lands are zoned RD3 – Residential Detached Zone Three and subject to the provisions of Exception 9(1291) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A maximum encroachment of 1.8m into the rear yard is permitted for the proposed deck and exterior stairways. [3.14]	To permit a maximum rear yard encroachment of 4.66m for the proposed deck and exterior stairways.
5	A minimum rear yard setback of 7.5m is required to the proposed accessory structure. [Schedule A]	To permit a minimum rear yard setback of 3.75m to the proposed accessory structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, November 17, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	November 3, 2022	
Date Applicant Confirmed Posting of Sign:	November 8, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Existing Structure	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering (DE) has reviewed the most recent grading permit dated July 25th, 2016, and have not found any drainage conflicts with the construction of the proposed deck.	
The Development Engineering Department does not object to the Minor Variance application A259/22	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

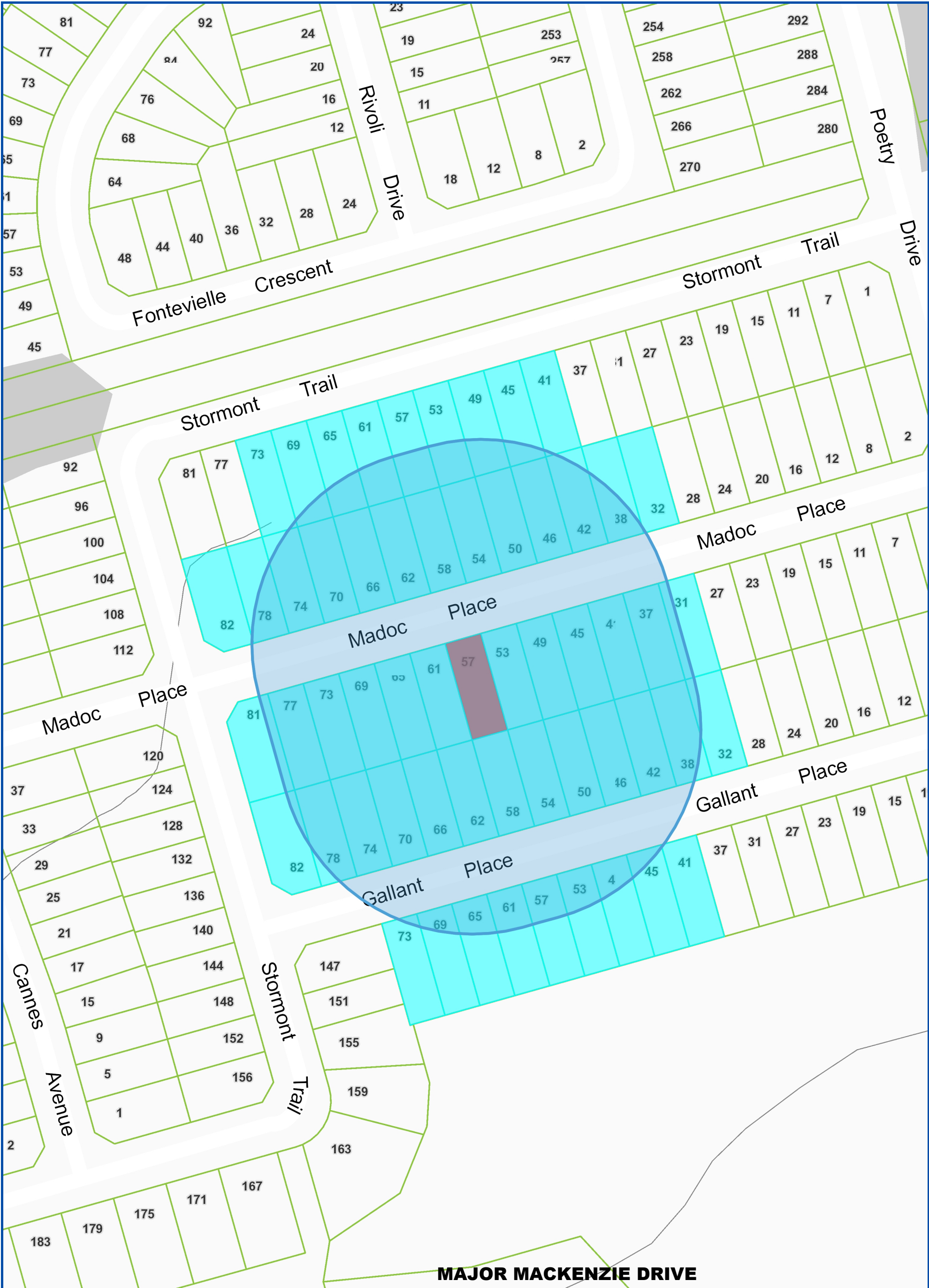
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

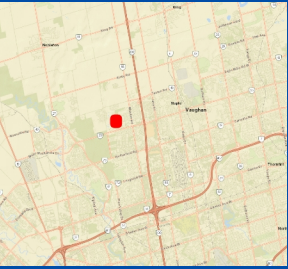
IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS

PINE VALLEY DRIVE



Map Information:



Title:

57 Madoc Place, Woodbridge

NOTIFICATION MAP - A259/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 1,643

0 0.03 km



Created By:
Infrastructure Delivery
Department
October 26, 2022 7:28 PM

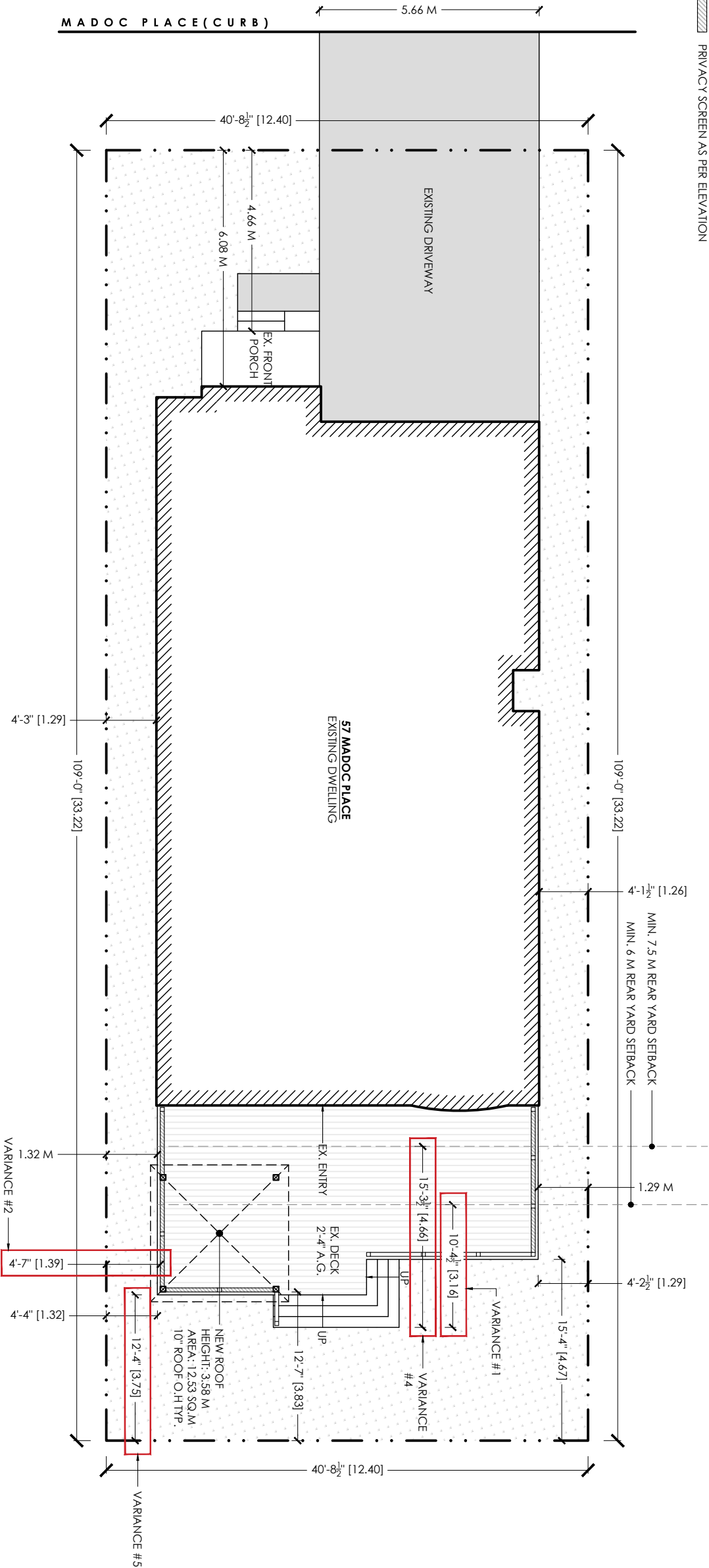
Projection:
NAD 83
UTM Zone
17N

Received

September 26, 2022

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT

- LEGEND:
- EXISTING SOFTSCAPE
 - EXISTING HARDSCAPE
 - DECK
 - POST
 - PRIVACY SCREEN AS PER ELEVATION



GENERAL SITE PLAN NOTES:

- LOT LINE AND HOUSE FOOTPRINT DATA IS TAKEN FROM A CERTIFIED OLS SURVEY. THIS DATA HAS BEEN SUBMITTED WITH THE PERMIT APPLICATION.
- ONLY SITE WORK RELATED TO THE CONSTRUCTION OF THE SUBJECT REAR DECK YARD TO BE CARRIED OUT.
- EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED - GRADES TO MATCH
- ALL DOWNSPOUTS ON SITES DRAINS DIRECTLY INTO SOFT LANDING. NO DOWNSPOUTS ARE TO CROSS WALKWAYS OR PATIOS OR DRAIN ONTO/ACROSS WALKWAYS OR PATIOS.

LOT STATS:

LOT AREA:	4433.86	SQ. FT.	[411.92	SQ. M.]
HOUSE	1899.83	SQ. FT.	[176.50	SQ. M.]
REAR YARD DECK	468.66	SQ. FT.	[43.54	SQ. M.]
COVERED DECK	99.13	SQ. FT.	[9.21	SQ. M.]

1 PROPOSED SITE PLAN
SP1.01 3/32" - 1'-0"



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#: 44839
REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#: 112916

NO.	DATE	REVISION/ISSUE
0	09-15-22	FOR PERMIT APP.

PROJECT:

LEGALIZE EXISTING REAR YARD DECK
AT 57 MADOC PLACE
HAMILTON, ONTARIO

DRAWN: J.T. APPROVED: M.D.F.

FILE NO: 2022-023 CHECKED: M.D.F.

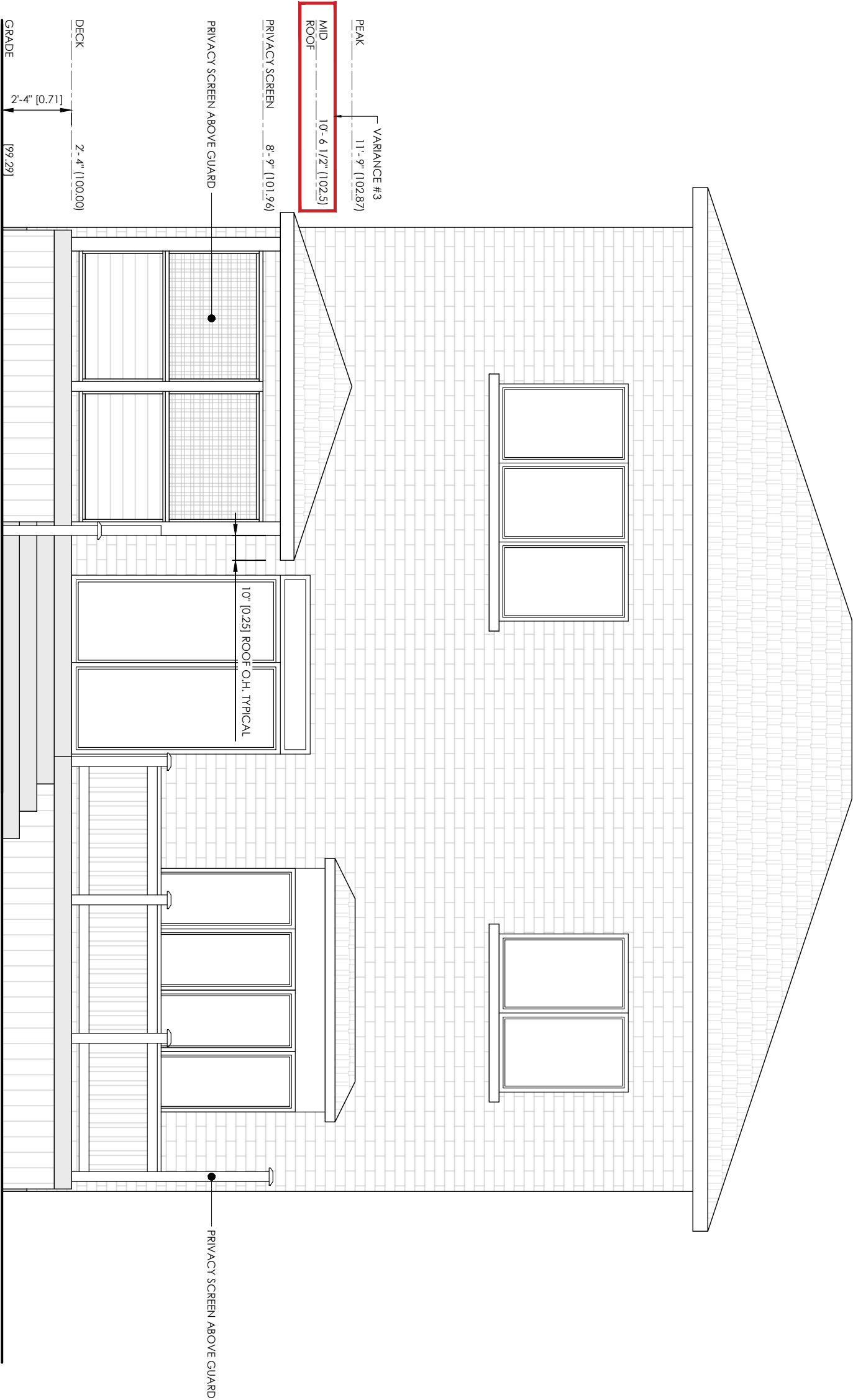
REVISION: 0 DATE: 09-15-2022

PROPOSED SITE PLAN
SP1.01

Received

September 26, 2022

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT



1
A2.01
REAR ELEVATION
1/4" = 1'-0"



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#: 44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#: 112916

NO.	DATE	REVISION/ISSUE
0	09-15-22	FOR PERMIT APP.

PROJECT:

LEGALIZE EXISTING REAR YARD DECK
AT 57 MADOC PLACE
HAMILTON, ONTARIO

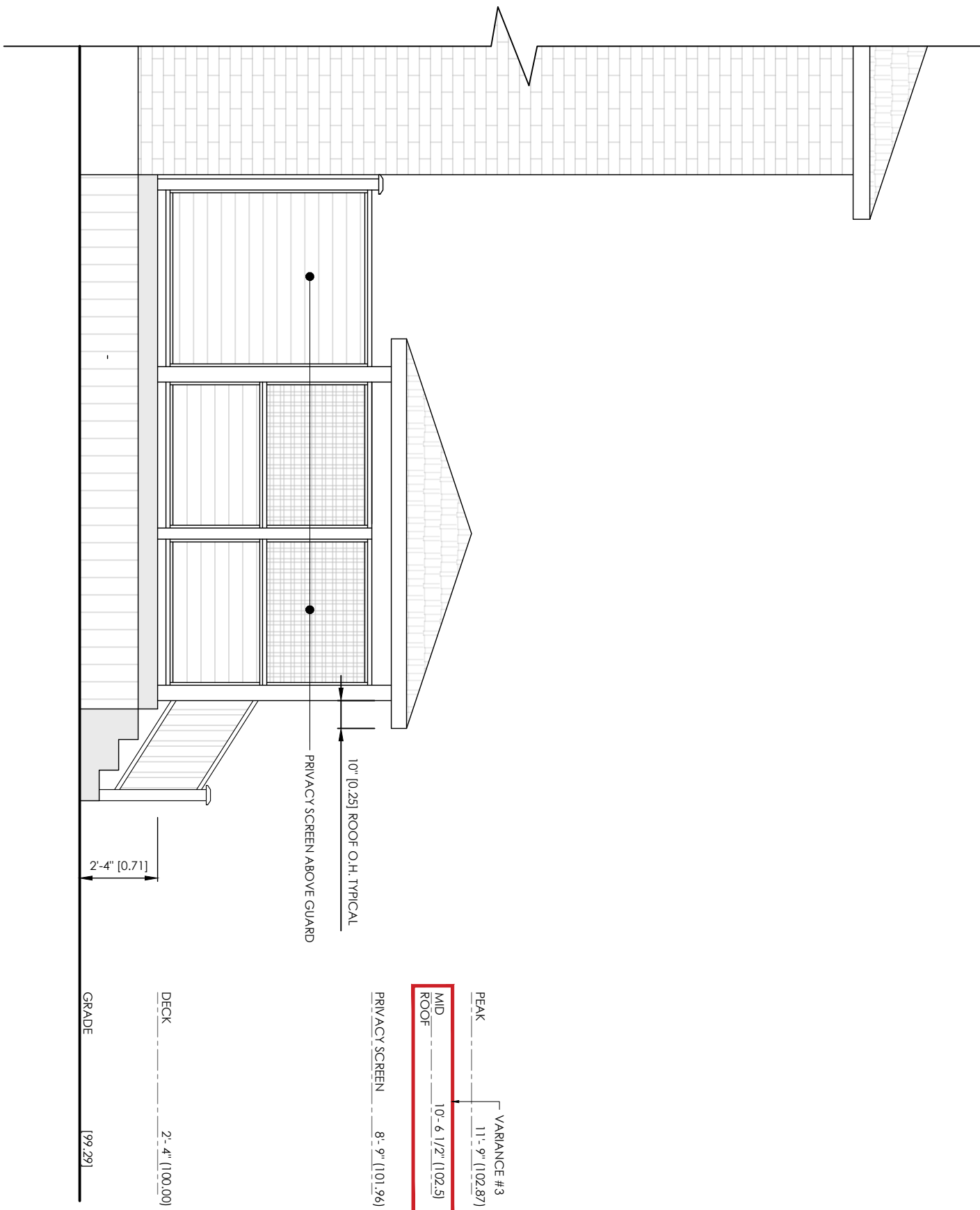
DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2022-023	CHECKED: M.D.F
REVISION: 0	DATE: 09-15-2022

REAR ELEVATION
A2.01

Received

September 26, 2022

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT



1 SIDE ELEVATION
A2.01
1/4" = 1'-0"

TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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BCIN#: 44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#: 112916

NO.	DATE	REVISION/ISSUE
0	09-15-22	FOR PERMIT APP.

PROJECT:

LEGALIZE EXISTING REAR YARD DECK
AT 57 MADOC PLACE
HAMILTON, ONTARIO

DRAWN: J.T.	APPROVED: M.D.F.
FILE NO: 2022-023	CHECKED: M.D.F.
REVISION: 0	DATE: 09-15-2022

A2.01

SIDE ELEVATION

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: November 9, 2022

Name of Owners: Sameh Ibrahim and Nadejda Zimina

Location: 57 Madoc Place

File No.(s): A259/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum rear yard encroachment of 3.16 m for the proposed deck and access stairs.
2. To permit a minimum side yard setback of 1.39 m to the proposed accessory structure.
3. To permit a maximum building height of 3.21 m for the proposed accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum encroachment of 2.4 m into the rear yard is permitted for the proposed deck and access stairs.
2. A minimum interior side yard setback of 2.4 m is required to the proposed accessory structure.
3. A maximum building height of 3.0 m is permitted for the proposed accessory structure.

Proposed Variance(s) (By-law 1-88):

4. To permit a maximum rear yard encroachment of 4.66 m for the proposed deck and exterior stairways.
5. To permit a minimum rear yard setback of 3.75 m to the proposed accessory structure.

By-Law Requirement(s) (By-law 1-88):

4. A maximum encroachment of 1.8 m into the rear yard is permitted for the proposed deck and exterior stairways.
5. A minimum rear yard setback of 7.5 m is required to the proposed accessory structure.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing deck, access stairs and accessory structure in the rear yard with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 4 for the rear yard encroachment of the deck and access stairs. The full extent of the relief is proposed to be utilized by the stairs located in the middle of the deck's southerly extent. The stairs project further into the rear yard than the deck. The steps are wider through a combination of design and low deck height and represent less than a third of the deck's length. The shallower portion of the deck east of the stairs is stepped back about 0.91 m from the deeper portion of the deck west of the stairs. Therefore, the greatest projection into the rear yard for portions of the deck is 2.25 m which complies with Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the development will not pose any adverse visual impact to the abutting residential properties.

The Development Planning Department has no objection to Variances 2, 3 and 5 for the accessory structure. The shelter structure is proposed upon the southeastern corner of the deck. The increase in height for the structure is minor in nature and will not pose adverse visual impacts to the neighbouring properties. The reduction to the rear yard

setback is in line with previous approvals in the neighbourhood and maintains an appropriate area for maintenance access and drainage.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I

David Harding, Senior Planner

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: October 24, 2022
Applicant: Nadejda Zimina and Sameh Ibrahim
Location: 57 Madoc Place
PLAN 65M4360 Lot 56
File No.(s): A259/22

Zoning Classification:

The subject lands are zoned R3, Third Density Residential Zone subject to the provisions of Exception 14.1117 under By-law 001-2021 as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum encroachment of 2.4m into the rear yard is permitted for the proposed deck and access stairs. [Table 4-1]	To permit a maximum rear yard encroachment of 3.16m for the proposed deck and access stairs.
2	A minimum interior side yard setback of 2.4m is required to the proposed accessory structure. [4.1.2.1.b]	To permit a minimum side yard setback of 1.39m to the proposed accessory structure.
3	A maximum building height of 3.0m is permitted for the proposed accessory structure. [4.1.4.1]	To permit a maximum building height of 3.21m for the proposed accessory structure.

The subject lands are zoned RD3 – Residential Detached Zone Three and subject to the provisions of Exception 9(1291) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A maximum encroachment of 1.8m into the rear yard is permitted for the proposed deck and exterior stairways. [3.14]	To permit a maximum rear yard encroachment of 4.66m for the proposed deck and exterior stairways.
5	A minimum rear yard setback of 7.5m is required to the proposed accessory structure. [Schedule A]	To permit a minimum rear yard setback of 3.75m to the proposed accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-129680 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: October 24th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A259-22**

Related Files:

Applicant Nadejda Zimina and Sameh Ibrahim

Location 57 Madoc Place

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Lenore Providence

Subject: FW: [External] RE: A259/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentservices@york.ca>

Sent: October-26-22 3:31 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A259/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance (A259/22) and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None