

43 Muzich Place

Consent Application (B015/22)

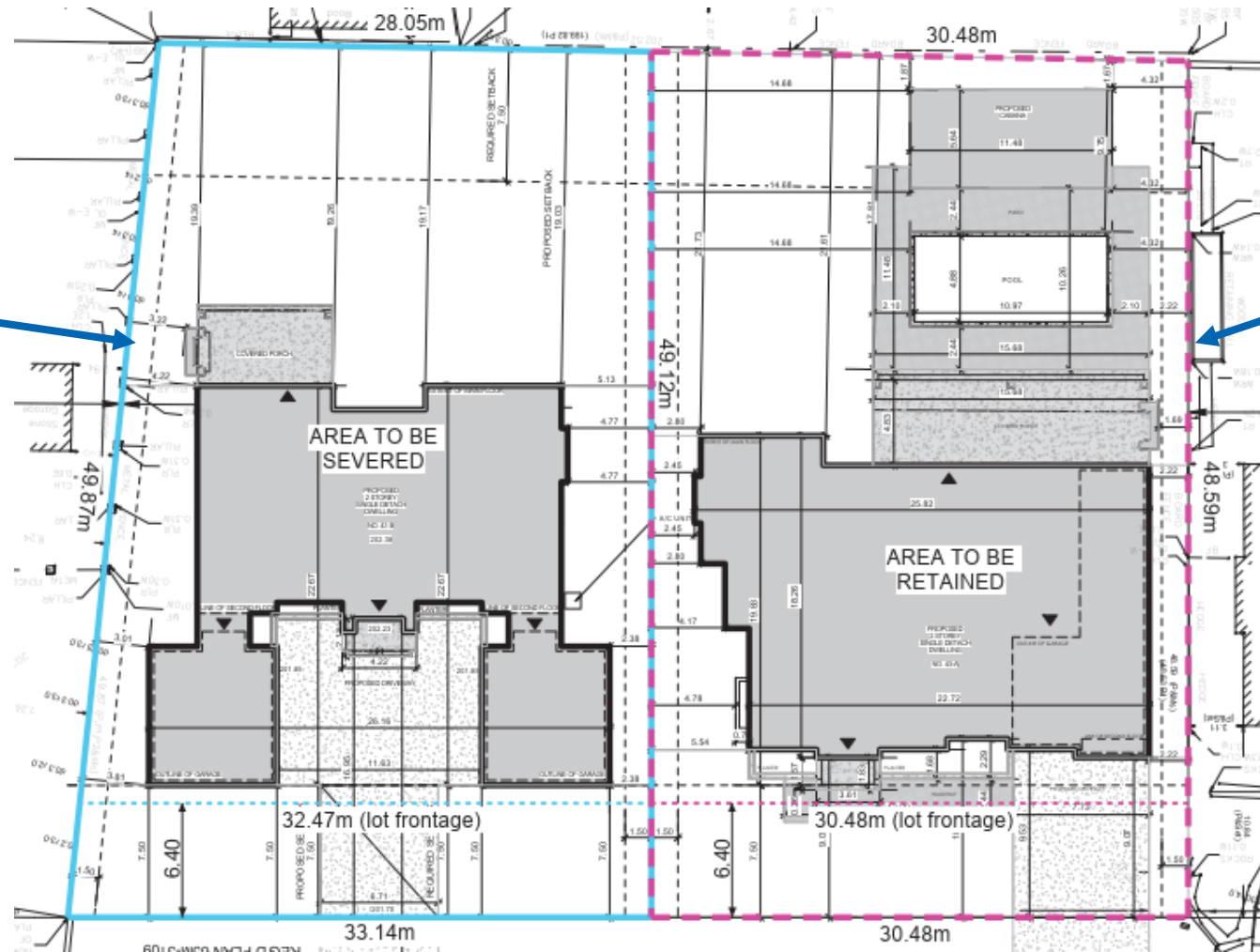
Minor Variance Applications (A236/22) and A237/22)



CONSENT APPLICATION – B015/22

Lot B

Area: 1510m²
Frontage: 32m



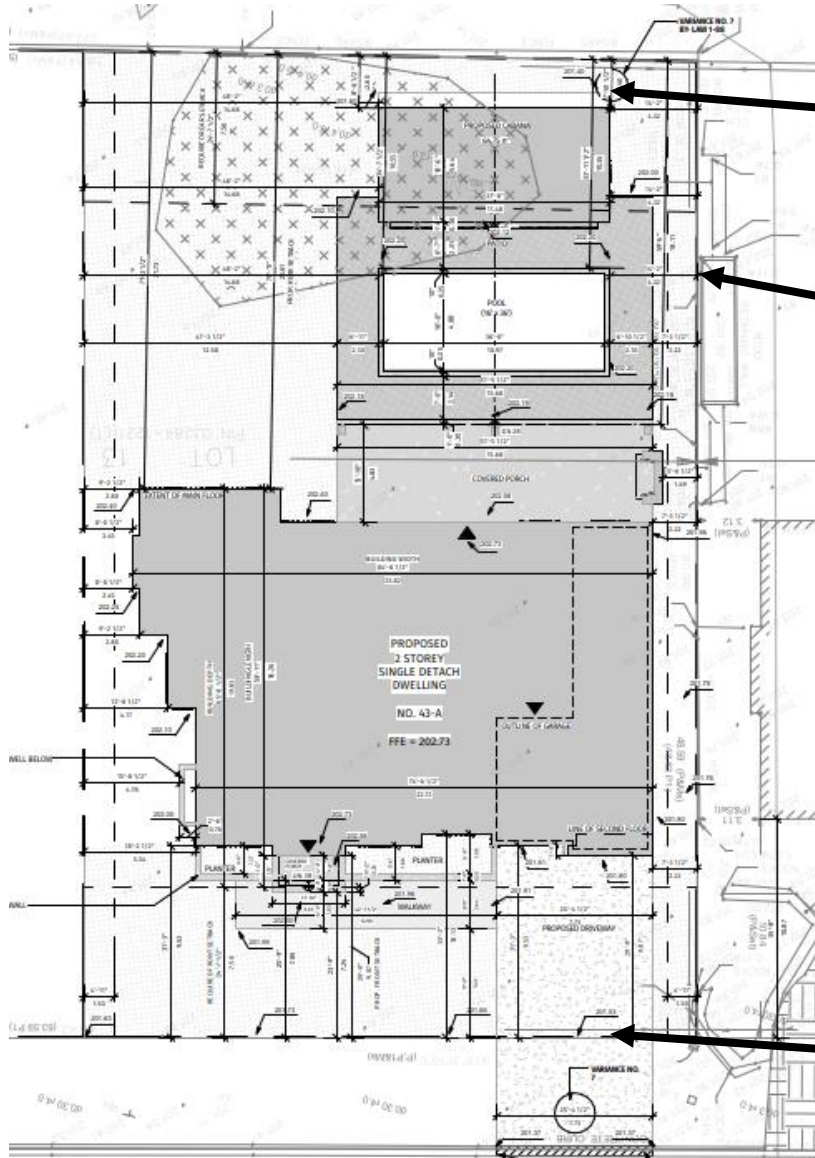
Lot A

Area: 1490m²
Frontage: 30m

MINOR VARIANCES (A236/22 & A237/22)

BY-LAW PROVISION	BY-LAW 1-88	BY-LAW 01-2021	PROPOSED LOT A (A237/22)	PROPOSED LOT B (A236/22)
Building Height	9.5 m	9.5 m	10 m	10 m
Lot Area	3000 m ²	3000 m ²	1490 m ²	1510 m ²
Height of Accessory Structure	4.5 m	3 m	4.5 m	N/A
Lot Coverage	35%	40%	37.5%	28.4%
Driveway Width Maximum	9 m	9 m	7.7 m	11.6 m
Driveway Width at Curb Cut Maximum	6 m	9 m	7.73 m	6.7 m
Rear Yard Setback for Accessory Structure	7.5 m	2.4 m	2.4 m	N/A
Height of Accessory Structure to Roof	3 m	-	3.45 m	N/A

MINOR VARIANCE APPLICATION – A237/22 LOT A



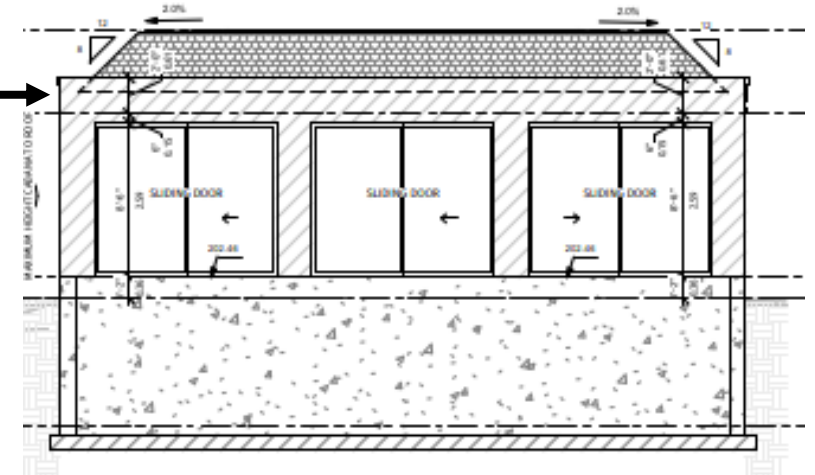
Rear Yard Setback for
an Accessory Structure

Lot Area & Lot
Coverage

Building Height

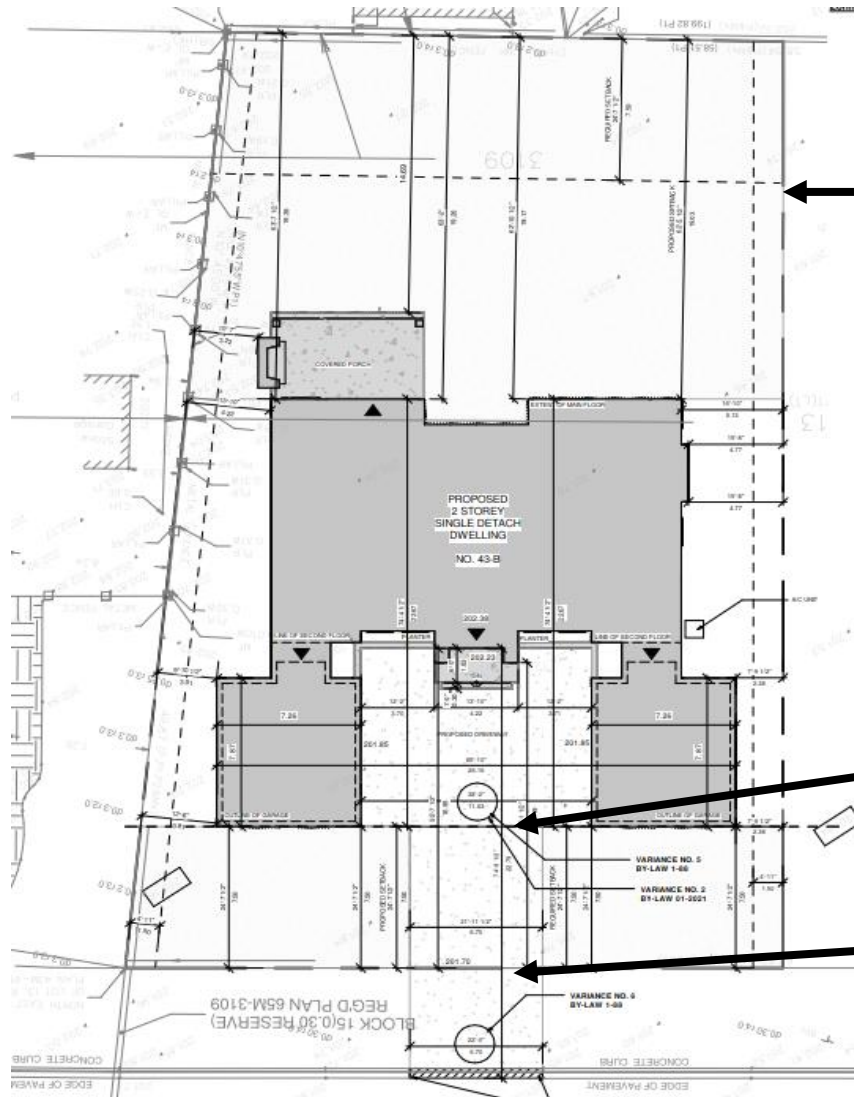


Height of Accessory
Structure and Height
of Accessory
Structure to the Roof



Driveway Width
at Curb Cut

MINOR VARIANCE APPLICATION – A236/22 LOT B



Lot Area

Building Height

Driveway Width

Driveway Width
at Curb Cut



FOUR TESTS FOR MINOR VARIANCE

1. *Maintains the General Intent and Purpose of the Official Plan.*
2. *Maintains the General Intent and Purpose of the Zoning By-law.*
3. *Desirable for the Appropriate Use of Land.*
4. *Minor in Nature.*