

ITEM #6.18:	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A265/22 120 Klein Mills Rd Kleinburg
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>				
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Chetan Patel	8 John Henry Street	09/09/2022	Letter of Support
Public	Farhad Habib	167 Pierre Berton Blvd	09/09/2022	Letter of Support
Public	Abishri Trivedi	124 Klein Mills Road	09/09/2022	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A265/22
120 Klein Mills Rd Kleinburg**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.18	CITY WARD #: 1
APPLICANT:	Kernjit Singh
AGENT:	Ella Agranov
PROPERTY:	120 Klein Mills Rd Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential I," Volume 2, Section 11.8 North Kleinburg-Nashville Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing gazebo located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1, First Density Residential Zone, and subject to the provisions of Exception 14.1040 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.4 m is required for a residential accessory structure. [4.1.2]	To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (gazebo).
2	A minimum rear yard setback of 2.4 m is required for a residential accessory structure. [4.1.2]	To permit a minimum rear yard setback of 0.61 m for a residential accessory structure (gazebo).

The subject lands are zoned RD1, Residential Detached Zone One, and subject to the provisions of Exception 9(1413) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum interior side yard setback of 1.2 m is required for an accessory structure. [Schedule A3]	To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (gazebo).
4	A minimum rear yard setback of 7.5 m is required for an accessory structure. [4.1.1, Schedule A3]	To permit a minimum rear yard setback of 0.61 m for an accessory structure (gazebo).

HEARING INFORMATION

DATE OF MEETING: Thursday , November 17, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION	
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	November 3, 2022
Date Applicant Confirmed Posting of Sign:	November 3, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The gazebo's side yard setback of 0.91 meters encroaches to the minimum required interior side yard setback of 2.4 meters. [Zoning By-law 001-2021, as amended, Section 4.1.2] The rear yard setback of 0.76 meters encroaches into the minimum required rear yard setback of 2.4 meters. [Zoning By-law 001-2021, as amended, Section 4.1.2] The interior side yard setback of 0.91 meters encroaches into the minimum required interior yard setback of 1.2 meters. [Zoning By-law 1-88, as amended, Section 4.1.1] The rear yard setback of 0.76 meters encroaches into the minimum required rear yard setback of 7.5 meters. [Zoning By-law 1-88, as amended, Section 4.1.1, in accordance with Schedule A3]
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The property is located within an unassumed subdivision. In October 2021 lot grading certification was issued from The Development Engineering (DE) Department. Since the proposed work is being conducted in the backyard, developer input is not required as the site is already certified.</p> <p>As the proposed dwelling in the subject property is 25.33m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City’s Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The Development Engineering (DE) Department does not object to the variance application A265/22.</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.</p>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
None	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
NOne	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.

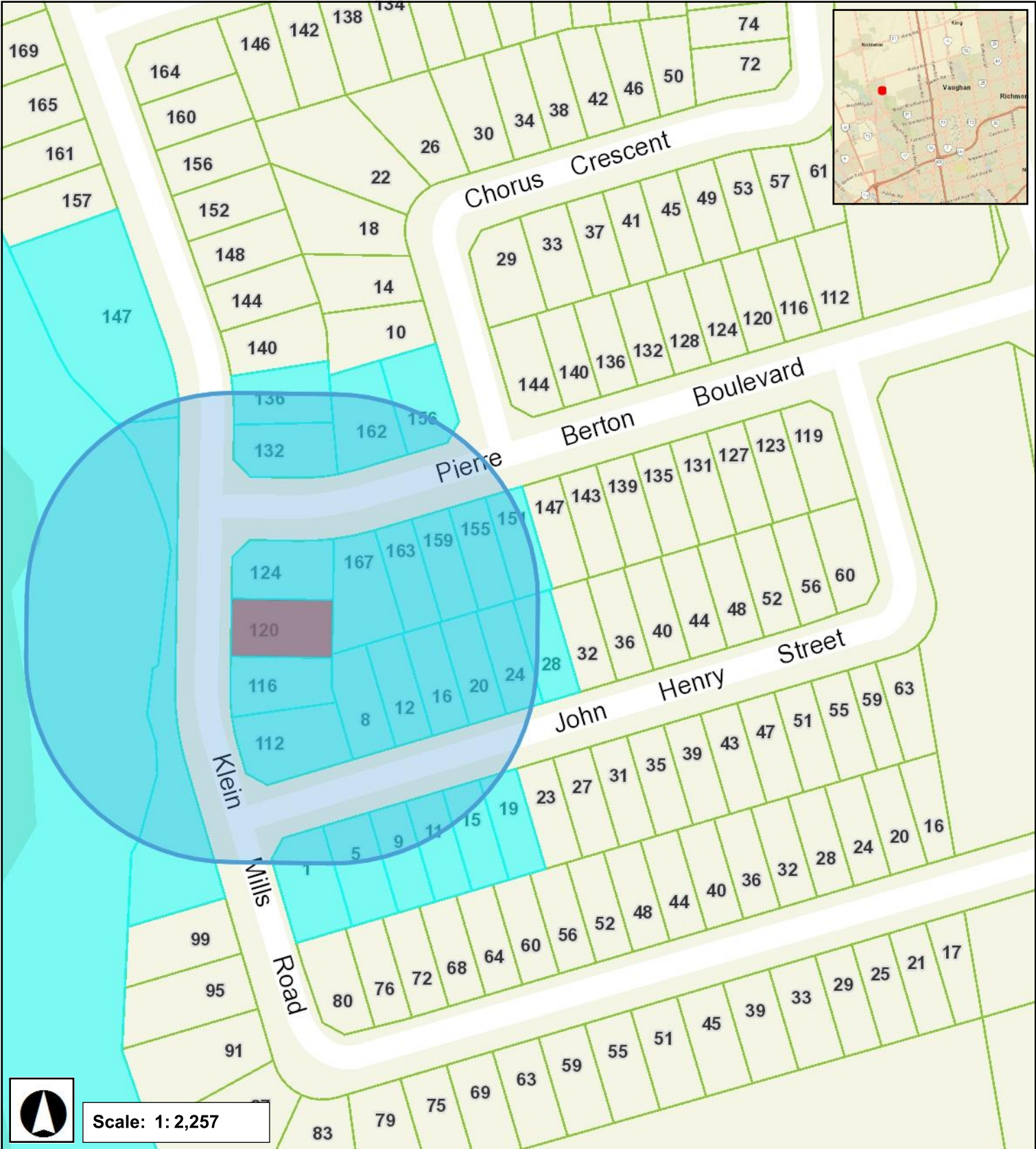
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A265/22

120 KLEIN MILLS ROAD, KLEINBURG

KIRBY ROAD



NASHVILLE ROAD

November 1, 2022 10:15 AM

SCOPE OF WORK:

REAR YARD GAZEBO

ADDRESS:

120 KLEIN MILLS RD., ON L4H3N5, CANADA

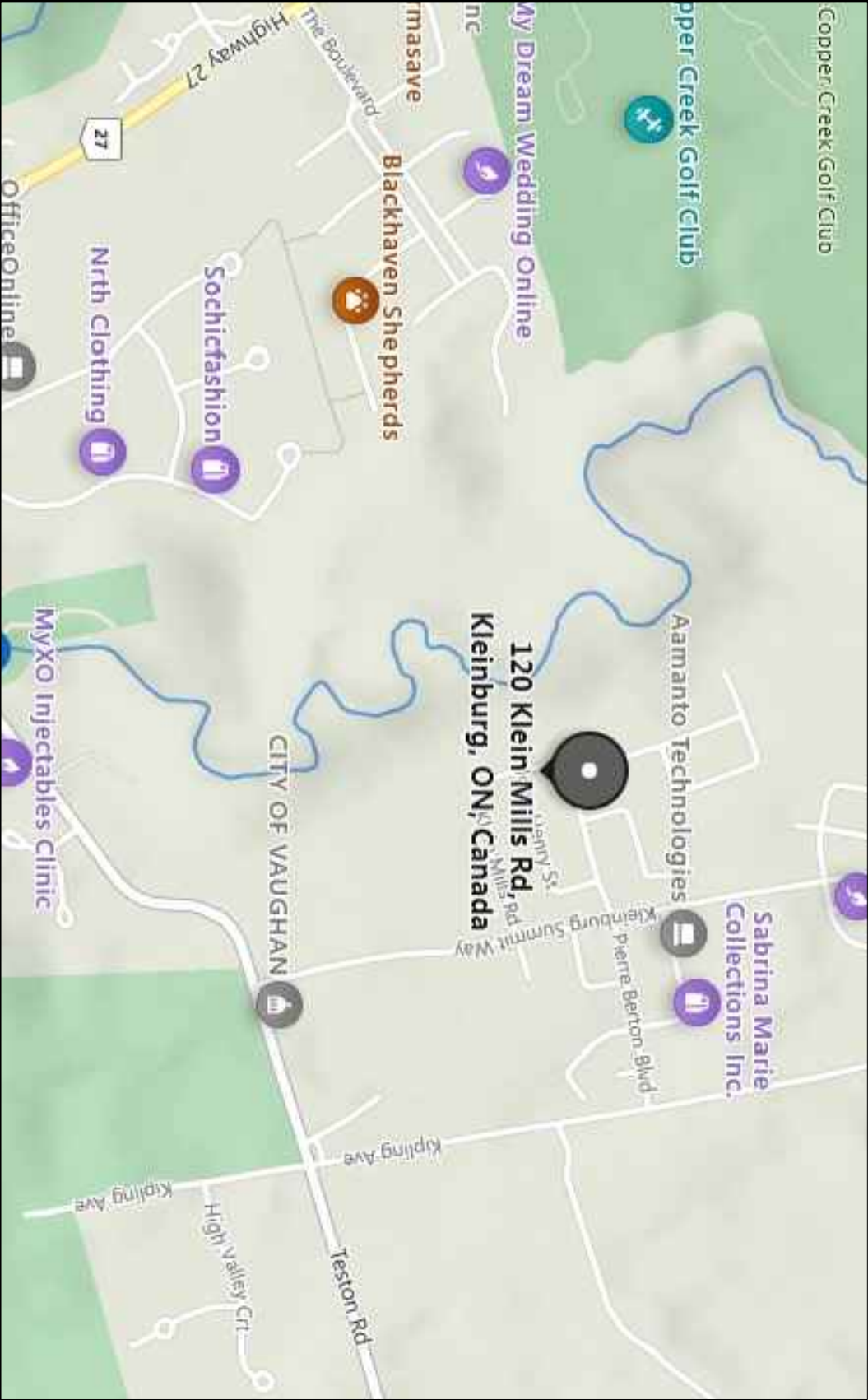
GENERAL:

1. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS. CHECK ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
2. DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE SHOWN. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION. ALL LOADS GIVEN ARE UNFACTORED (WORKING) LOADS.
3. CONFORM TO THE REQUIREMENTS OF THE (ONTARIO BUILDING CODE), (MOST RECENT EDITION), ANY APPLICABLE LOCAL BUILDING BY-LAWS.
4. THE BUILDING IS DESIGNED FOR THE LOAD SHOWN ON THE DRAWINGS AND THOSE LOADS SPECIFIED IN THE RELEVANT PORTIONS OF THE CODE AS N.B.C PARTS 4 AND 9,(OR EQUIVALENT PROVINCIAL OR CITY CODE). IT IS TO BE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THE GENERAL LAYOUT PLANS AND DETAIL DRAWING & ANY OTHER SPECIFICATIONS SUPPLIED WITH THE CONTRACT DOCUMENTS. NO PORTIONS OF THE BUILDING SHALL BE CHANGED OR MODIFIED. UNLESS THE WORK INVOLVED IS EXECUTED UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER, WRITTEN NOTICE AND DETAILS OF ANY SUCH CHANGES OR MODIFICATIONS SHALL BE GIVEN TO THE ENGINEER PRIOR TO SUCH WORK BEING EXECUTED.
5. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND DETAILS IN FIELD AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES AND INCOMPATIBILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL TEMPORARY SUPPORTS, FORMWORK AND ALL SAFETY ASPECTS OF THE CONSTRUCTION.
6. DO NOT CUT OR DRILL INTO ANY STRUCTURAL MEMBERS OR CUT REBAR PROJECTIONS WITHOUT THE ENGINEER'S APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR LABOUR, MATERIALS & EQUIPMENT FOR THE EXECUTION AND QUALITY CONTROL OF THE WORK SHOWN IN THE CONTRACT DOCUMENTS, INCLUDING ALL WORK OF SUB-CONTRACTORS. FIELD REVIEWS SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR THE PROPER PERFORMANCE. OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ANY ERRORS AND/OR OMISSIONS IN THE WORK SHALL BE REPORTED TO THE ENGINEER FOR REVIEW.
7. CONSTRUCTION SHALL NOT EXCEED THE SPECIFIED DESIGN LOADS. OTHER LOADING AS REQUIRED, FOR TEMPORARY CONDITIONS OF CONSTRUCTION MUST BE DESIGNED UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.

RECEIVED OCTOBER 17, 2022

A265/22

KEY PLAN/ SITE PLAN:

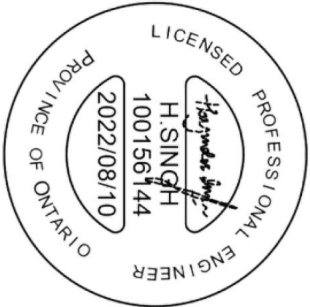


INDEX:

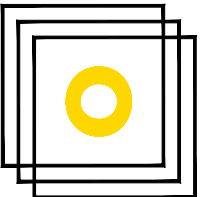
- A0 - COVER SHEET
- A1 - SITE PLAN
- A2 - PROPOSED GAZEBO ROOF PLAN
- A3 - PROPOSED GAZEBO NORTH ELEVATION
- A4 - PROPOSED GAZEBO SOUTH ELEVATION
- A5 - PROPOSED GAZEBO EAST ELEVATION
- A6 - PROPOSED GAZEBO WEST ELEVATION
- A7 - PROPOSED GAZEBO SECTION-1
- A8 - PROPOSED GAZEBO SECTION-1

SEAL:

DO NOT SCALE
CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



B	SUBMITTED FOR PERMIT	AC	15.10.2022
A	SUBMITTED FOR PERMIT	AC	01.09.2022
REV.	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



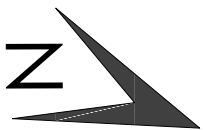
ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

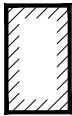
SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: COVER SHEET

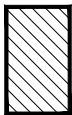
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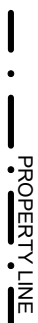
LEGEND :



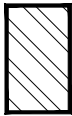
EXISTING BUILDING



SOD



PROPERTY LINE

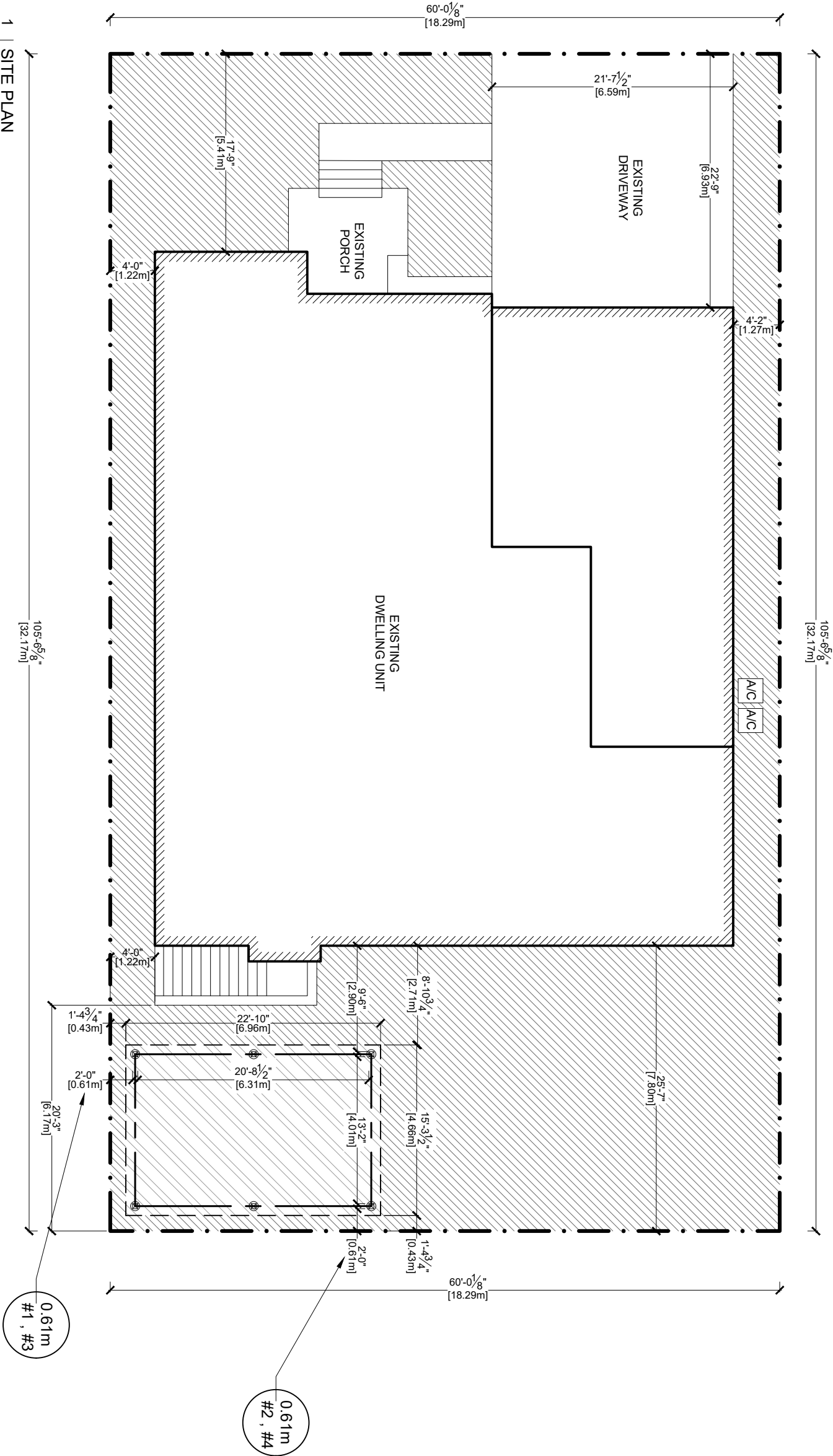


PROPOSED GAZEBO

SITE STATISTICS				
DESCRIPTION	AREAS		SETBACKS	
	IMPERIAL	METRIC	%	DIST.
LOT AREA	6333	588.4		5.41m
REAR YARD AREA	1526	141.8		0.43m
GAZEBO AREA	349	32.4	22.9	1.27m
SOD AREA	1108	102.9	72.6	0.43m

# ZONING BY LAW 001-2021 VARIANCE REQUESTED	
1	To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (gazebo).
2	To permit a minimum rear yard setback of 0.61 m for a residential accessory structure (gazebo).
# ZONING BY LAW 1-88 VARIANCE REQUESTED	
3	To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (gazebo).
4	To permit a minimum rear yard setback of 0.61 m for an accessory structure (gazebo).

A265/22



PLANS PREPARED BY APPLICANT

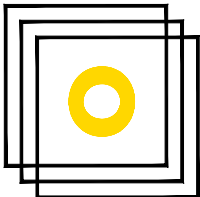
1	SITE PLAN
A1	3/32"=1'-0"

SEAL:

"DO NOT SCALE"
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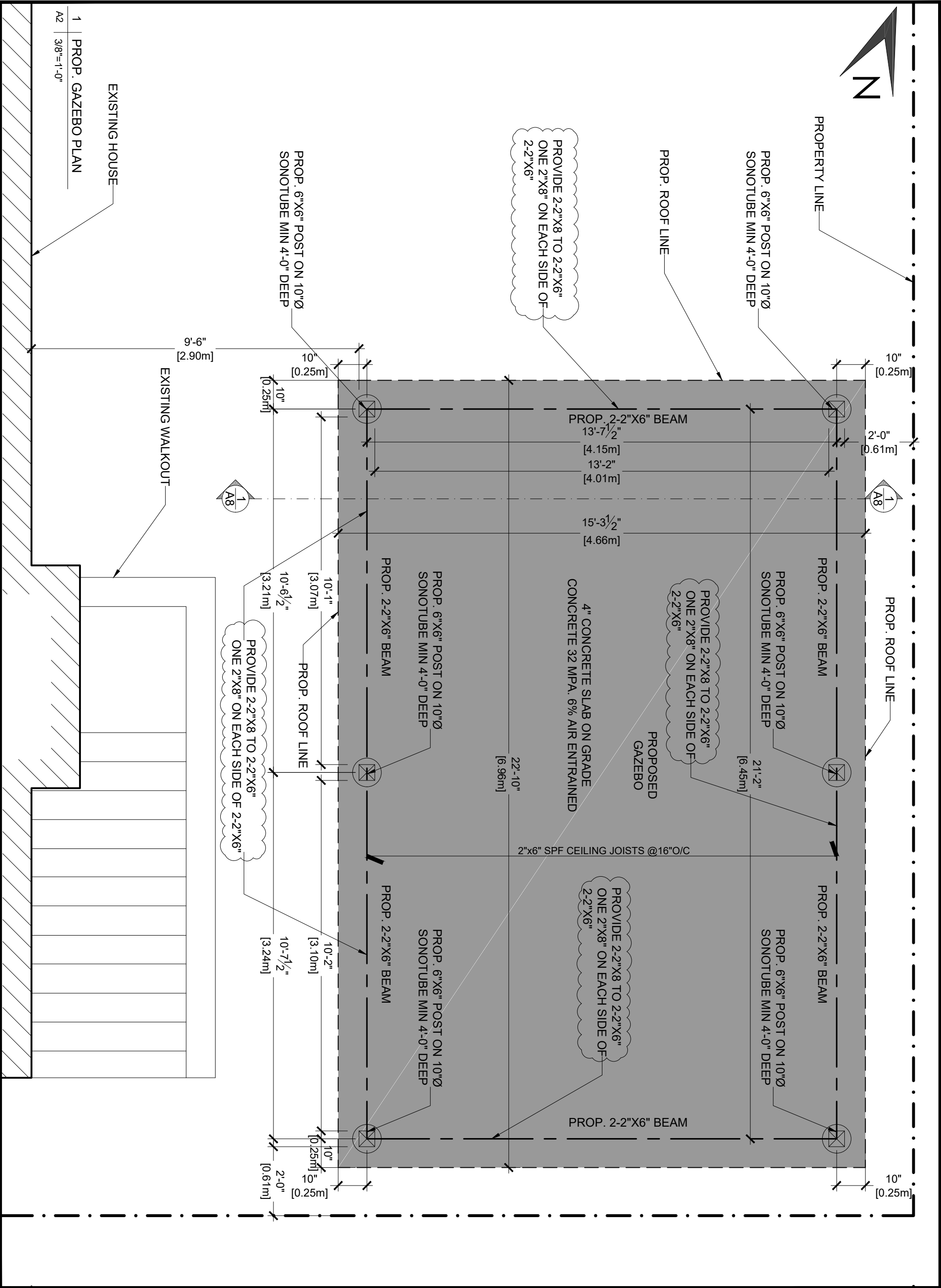
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A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: SITE PLAN

SCALE: 1/4"=1'-0"	DATE: 15.10.2022	DRAWN: AC	CHECKED: DS
PROJECT NO: 22-60B	DRAWING NO: A1	REVISION: B	



SEAL:

PROFESSIONAL ENGINEER

H. SINGH
100156144
2022/08/10

PROVINCE OF ONTARIO

B	SUBMITTED FOR PERMIT	AC	15.10.2022
A	SUBMITTED FOR PERMIT	AC	01.09.2022
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			

ORANA

DRAFTING

A DIVISION OF ORANA INC.

KEN SINGH

CLIENT:

120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

SITE:

PROPOSED GAZEBO PLAN

TITLE:

3/8"=1'-0"

SCALE: 1/4"=1'-0"

PROJECT NO:

22-60B

DATE: 15.10.2022

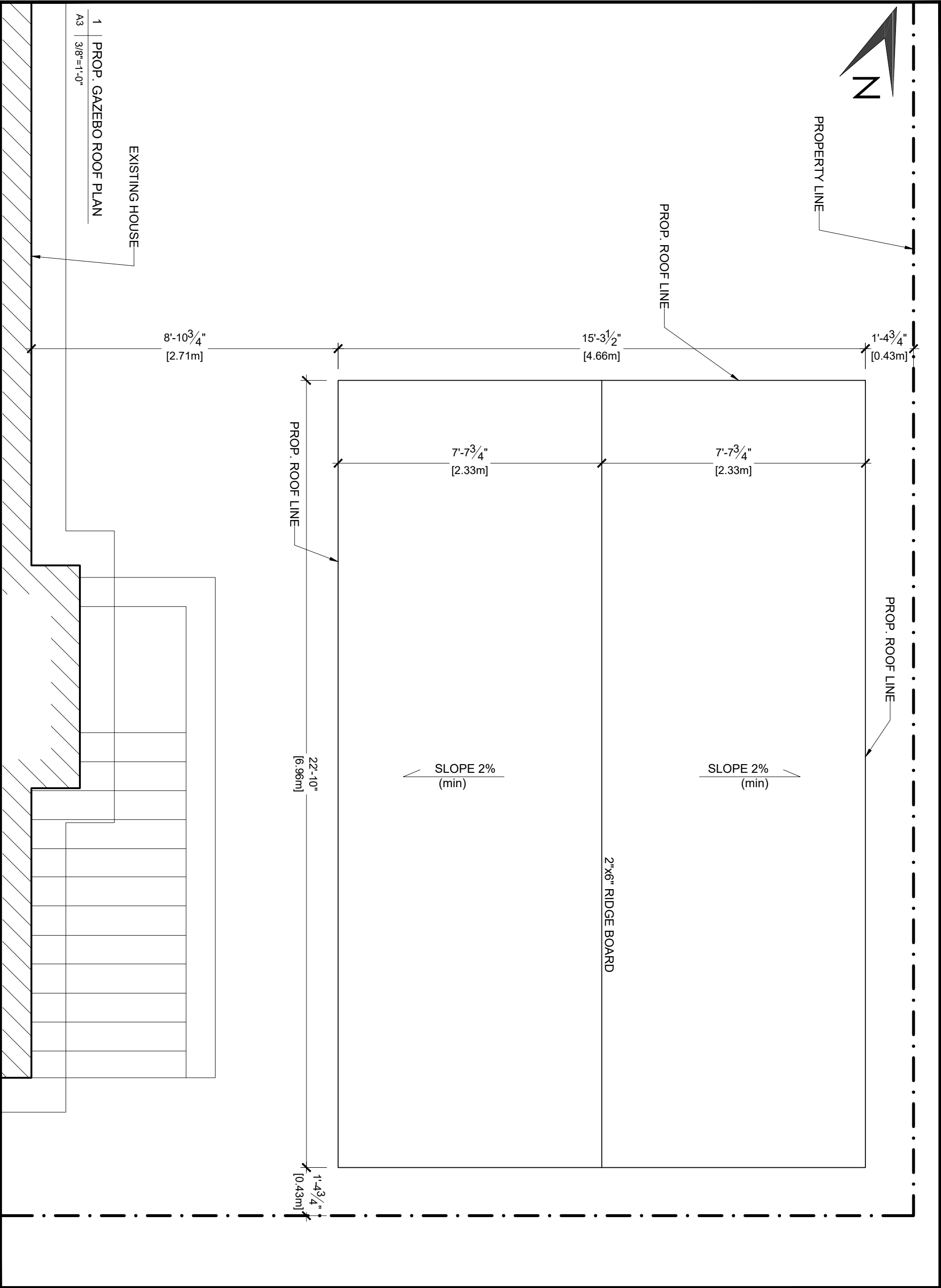
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A2

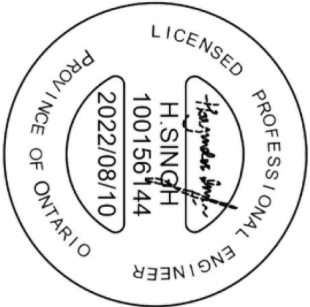
REVISION

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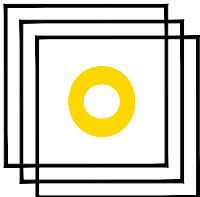


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ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: PROPOSED GAZEBO ROOF PLAN

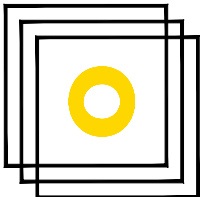
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PROJECT NO: 22-60B	DRAWING NO: A3	REVISION: B	

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REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			

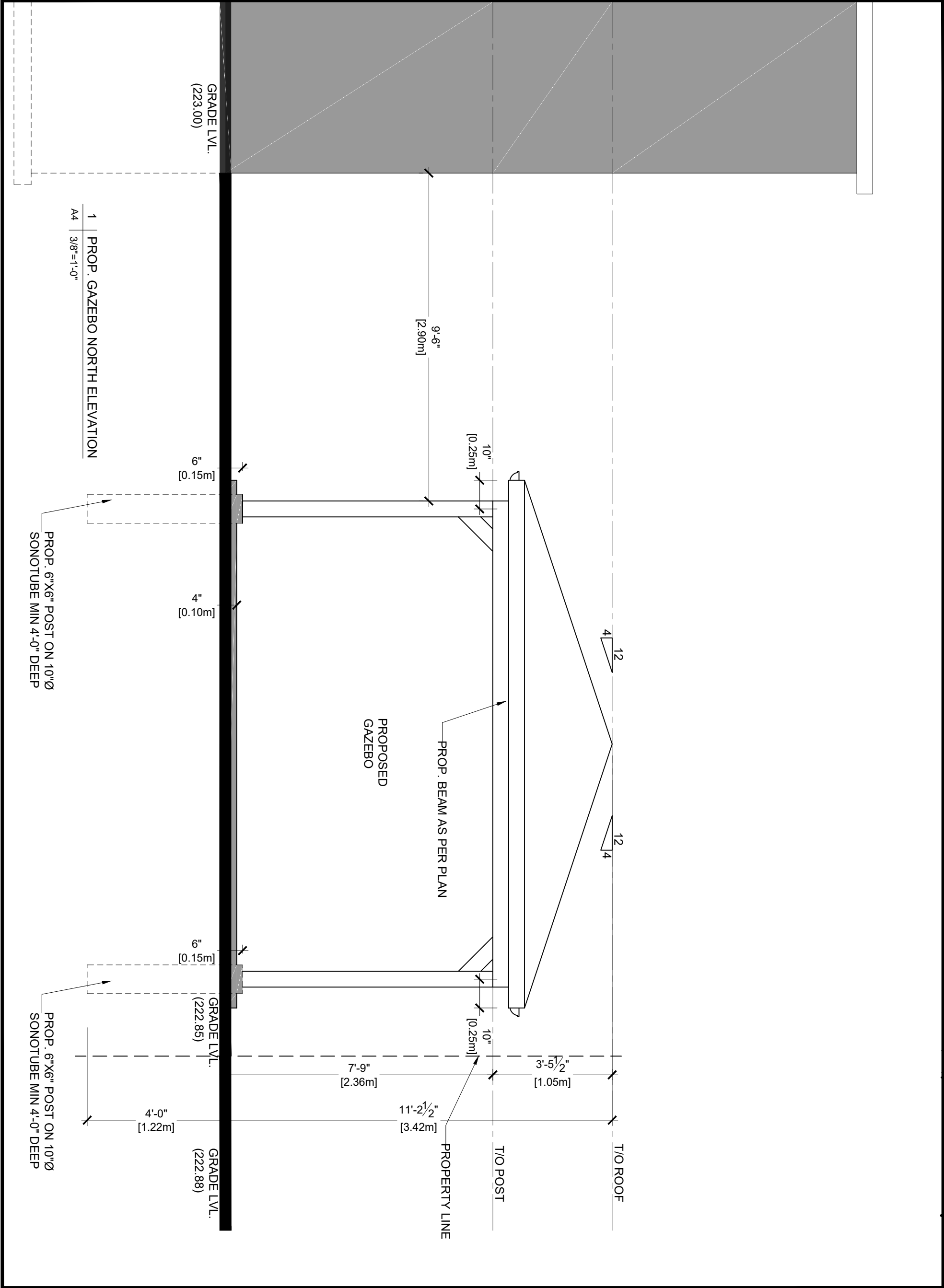


ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: PROP. GAZEBO NORTH ELEVATION			
SCALE: 1/4" = 1'-0"	DATE: 15.10.2022	DRAWN: AC	CHECKED: DS
PROJECT NO: 22-60B	DRAWING NO: A4	REVISION: B	

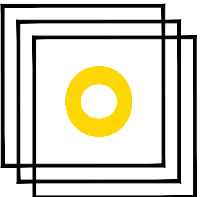


SEAL:

DO NOT SCALE
CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA, INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



B	SUBMITTED FOR PERMIT	AC	15.10.2022
A	SUBMITTED FOR PERMIT	AC	01.09.2022
REV.	DESCRIPTION	BY:	DATE:
STATUS: SUBMITTED FOR PERMIT			



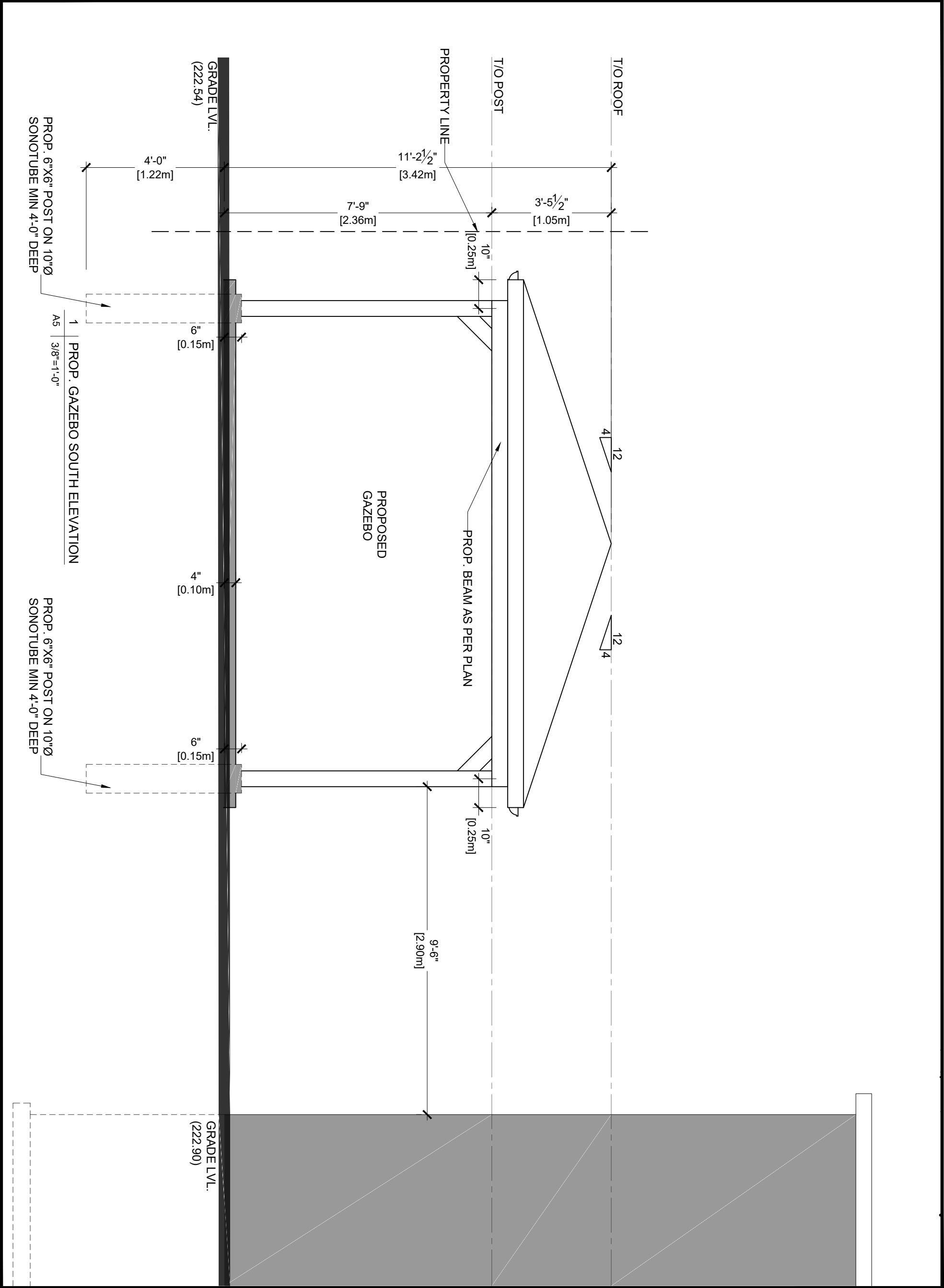
ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: PROP. GAZEBO SOUTH ELEVATION

SCALE: 1/4" = 1'-0"	DATE: 15.10.2022	DRAWN: AC	CHECKED: DS
PROJECT NO: 22-60B	DRAWING NO: A5	REVISION: B	

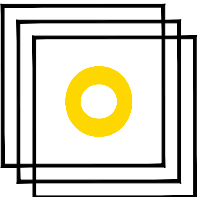


SEAL:

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CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA, INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



B	SUBMITTED FOR PERMIT	AC	15.10.2022
A	SUBMITTED FOR PERMIT	AC	01.09.2022
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



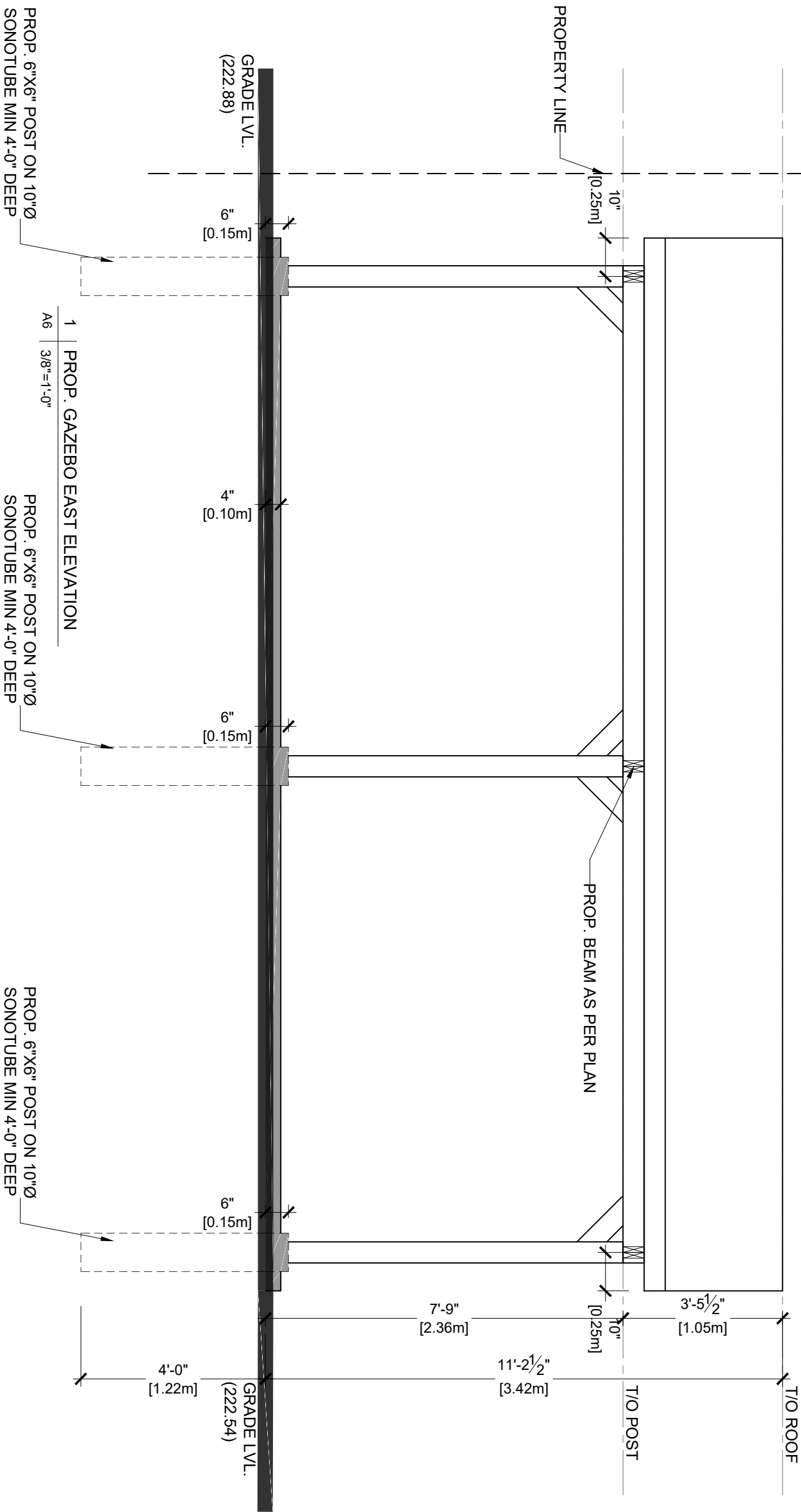
ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

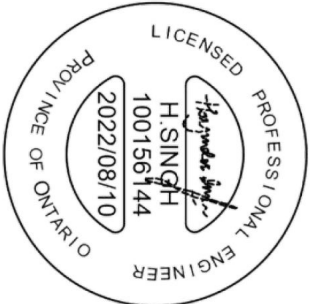
TITLE: PROP. GAZEBO EAST ELEVATION

SCALE: 1/4" = 1'-0"	DATE: 15.10.2022	DRAWN: AC	CHECKED: DS
PROJECT NO: 22-60B	DRAWING NO: A6	REVISION: B	

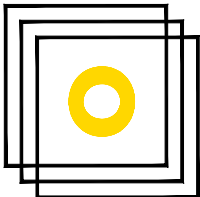


SEAL:

DO NOT SCALE
CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA, INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



B	SUBMITTED FOR PERMIT	AC	15.10.2022
A	SUBMITTED FOR PERMIT	AC	01.09.2022
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



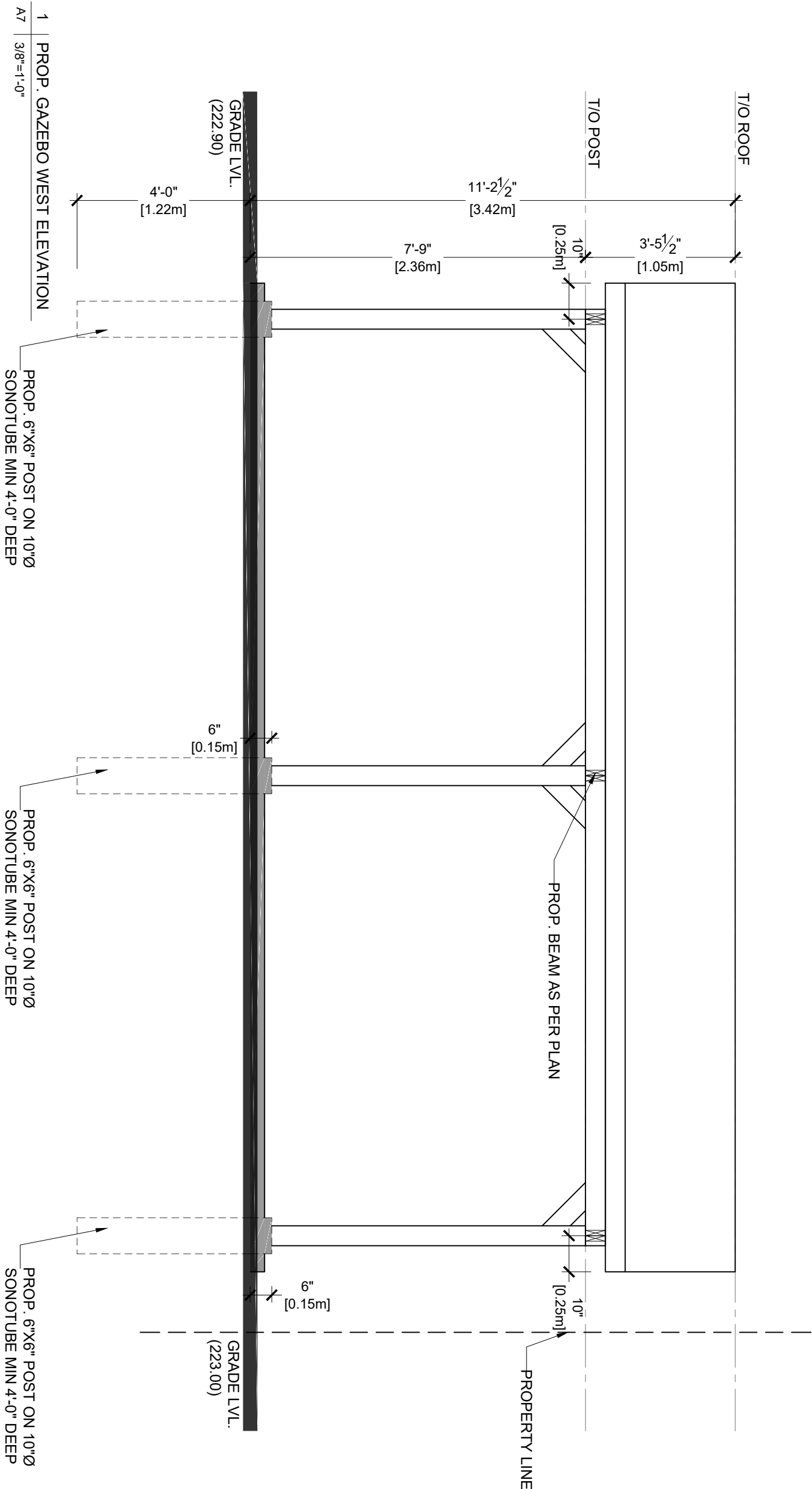
ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: PROP. GAZEBO WEST ELEVATION

SCALE: 1/4" = 1'-0"	DATE: 15.10.2022	DRAWN: AC	CHECKED: DS
PROJECT NO: 22-60B	DRAWING NO: A7	REVISION: B	

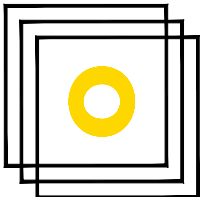


SEAL:

"DO NOT SCALE"
CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA, INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



B	SUBMITTED FOR PERMIT	AC	15.10.2022
A	SUBMITTED FOR PERMIT	AC	01.09.2022
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



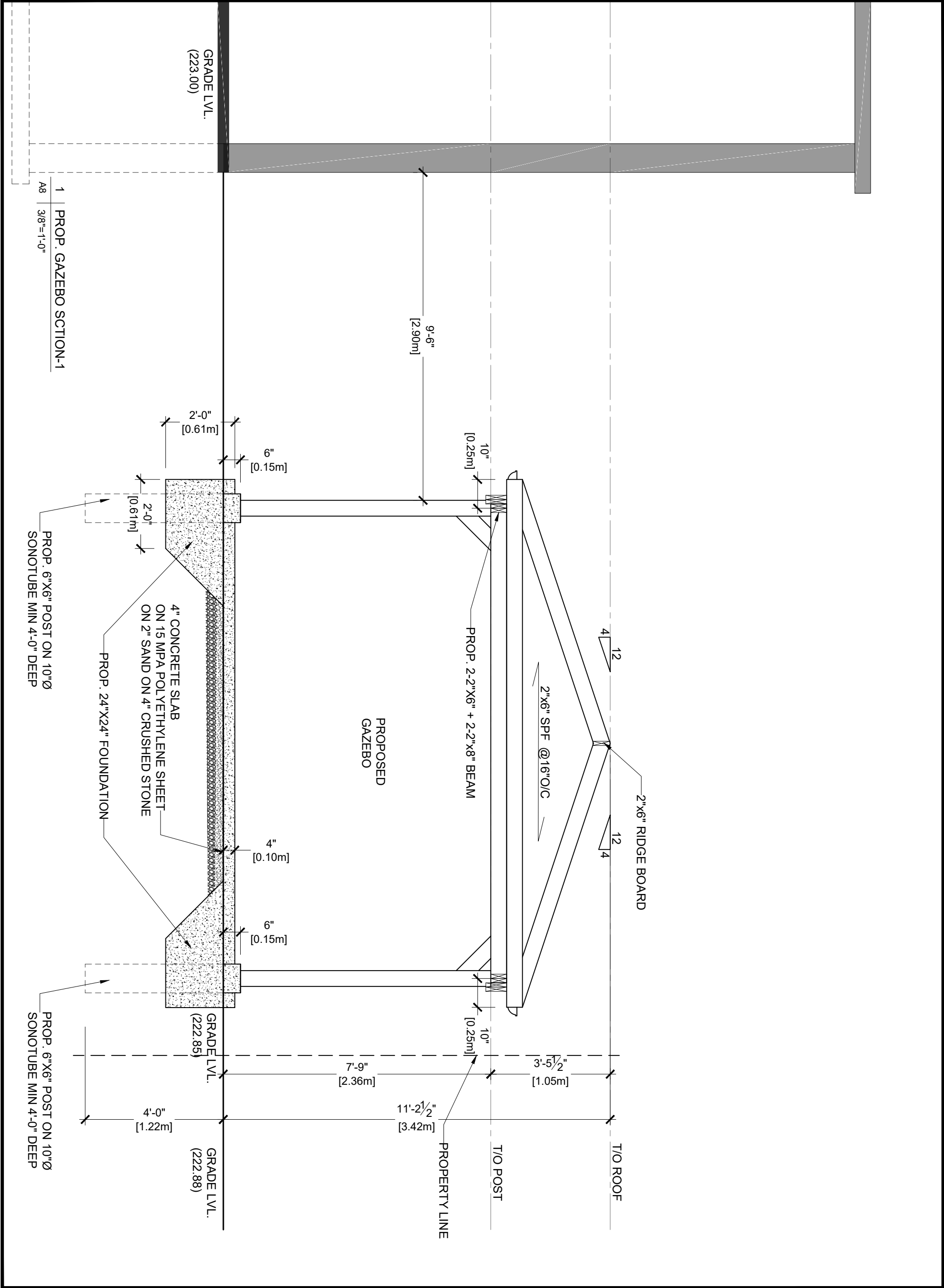
ORANA
D R A F T I N G
A DIVISION OF ORANA INC.

CLIENT: KEN SINGH

SITE: 120 KLEIN MILLS RD.
VAUGHAN, ON L4H3N5

TITLE: PROP. GAZEBO SECTION-1

SCALE: 1/4" = 1'-0"	DATE: 15.10.2022	DRAWN: AC	CHECKED: DS
PROJECT NO: 22-60B	DRAWING NO: A8	REVISION: B	



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: November 9, 2022

Name of Owner: Kernjit Singh

Location: 120 Klein Mills Road

File No.(s): A265/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (gazebo).
2. To permit a minimum rear yard setback of 0.61 m for a residential accessory structure (gazebo).

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard setback of 2.4 m is required for a residential accessory structure.
2. A minimum rear yard setback of 2.4 m is required for a residential accessory structure.

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (gazebo).
4. To permit a minimum rear yard setback of 0.61 m for an accessory structure (gazebo).

By-Law Requirement(s) (By-law 1-88):

3. A minimum interior side yard setback of 1.2 m is required for an accessory structure.
4. A minimum rear yard setback of 7.5 m is required for an accessory structure.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential I," Volume 2, Section 11.8 North Kleinburg-Nashville Secondary Plan

Comments:

The Owner is requesting relief to permit the construction of the proposed gazebo with the above noted variances.

The Development Planning Department has no objection to the proposed variances for the gazebo. The gazebo complies with the height requirements of both Zoning By-laws. The reductions to the rear yard setback and interior side yard setback are not anticipated to have adverse impacts to the neighbouring properties as the building proposes no walls and the height requirement is met. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I

David Harding, Senior Planner

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: October 21, 2022
Applicant: Kernjit Singh
Location: 120 Klein Mills Rd
PLAN 65M4608 Lot 70
File No.(s): A265/22

Zoning Classification:

The subject lands are zoned R1, First Density Residential Zone, and subject to the provisions of Exception 14.1040 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.4 m is required for a residential accessory structure. [4.1.2]	To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (gazebo).
2	A minimum rear yard setback of 2.4 m is required for a residential accessory structure. [4.1.2]	To permit a minimum rear yard setback of 0.61 m for a residential accessory structure (gazebo).

The subject lands are zoned RD1, Residential Detached Zone One, and subject to the provisions of Exception 9(1413) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum interior side yard setback of 1.2 m is required for an accessory structure. [Schedule A3]	To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (gazebo).
4	A minimum rear yard setback of 7.5 m is required for an accessory structure. [4.1.1, Schedule A3]	To permit a minimum rear yard setback of 0.61 m for an accessory structure (gazebo).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 2022 126771 has been submitted for a gazebo.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

Date: October 18th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A265-22**

Related Files:

Applicant Singh Kernjit

Location 120 Klein Mills Rd

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A265/22 (120 KLEIN MILLS ROAD) - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: October-19-22 1:46 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A265/22 (120 KLEIN MILLS ROAD) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A265/22) and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Chetan Patel	8 John Henry Street	09/09/2022	Letter of Support
Public	Farhad Habib	167 Pierre Berton Blvd	09/09/2022	Letter of Support
Public	Abishri Trivedi	124 Klein Mills Road	09/09/2022	Letter of Support

Date: Sept 9/22

To the Committee of Adjustment, City of Vaughan.

Re: 120 Klein Mills Road, Kleinburg ON L4H 4W3

My Name is Chetan Patel, and I am the property owner(s) of 8 John Henry, I am Mr. Singh's rear neighbour.

I am writing to the Committee of Adjustment to voice my support to Kernjit (Ken) Singh's proposed variances at 120 Klein Mills Road with respect to an existing Gazebo.

As I understand it, he is completing a Gazebo for his father who had a catastrophic stroke and is now paralyzed on the right side and cannot speak and requires a wheelchair. He knows his father enjoys sitting out in the sun, but the Gazebo would also provide him with shade and a place of serenity.

The Gazebo built thus far is a beautiful structure and adds character to the neighbourhood. It does not block the light or view of any of the other neighbours. He is maintaining the same charm and character of other Gazebos in the area that were also approved by the Committee of Adjustment.

After that, I would say the house would be an excellent example of a single family detached house, well maintained in our neighbourhood.

I encourage the Committee to rule favourable and hold no objections to the minor variances submitted for approval.

Please do not hesitate to contact the undersigned if you have any further questions.

Sincerely,

Signature 

Name: Chetan Patel

Email:

Phone:

Address: 8 John Henry St., Kleinburg, ON, L4H 4W1

Date: Sept 9th / 22

To the Committee of Adjustment, City of Vaughan.

Re: 120 Klein Mills Road, Kleinburg ON L4H 4W3

My Name is FARHAD HABIB, and I am the property owner(s) of 167 Pierre Burton Blvd., I am Mr. Singh's rear neighbour.

I am writing to the Committee of Adjustment to voice my support to Kernjit (Ken) Singh's proposed variances at 120 Klein Mills Road with respect to an existing Gazebo.

As I understand it, he is building a Gazebo for his father who had a catastrophic stroke and is now paralyzed on the right side and cannot speak and requires a wheelchair. He knows his father enjoys sitting out in the sun, but the Gazebo would also provide him with shade and a place of serenity.

He is maintaining the same charm and character of other Gazebos in the area that were also approved by the Committee of Adjustment.

After that, I would say the house would be an excellent example of a single family detached house, well maintained in our neighbourhood.

I encourage the Committee to rule favourable and hold no objections to the minor variances submitted for approval.

Please do not hesitate to contact the undersigned if you have any further questions.

Sincerely,

Signature

Name: FARHAD HABIB

Email:

Phone:

Address:

167 Pierre Burton Blvd

Date: September 9, 2022

To,
The Committee of Adjustment,
City of Vaughan

RE: 120 Klein Mills Road,
Kleinburg ON
L4H 4W3

My name is Abhishri (Abhi) Trivedi, and I am the property owner of 124 Klein Mills Road which is adjacent to Mr. Singh's property.

Mr. Singh, I understand has proposed a variance with respect to an existing gazebo. I would like to confirm that I have no objection to that.

Please do not hesitate to contact me if you have any questions. I can be reached directly at 647-889-3107 or emailed at homeandcondo123@yahoo.ca

Sincerely,



Abhishri (Abhi) Trivedi

NOTICE OF DECISION
Minor Variance Application A033/21
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, April 29, 2021
Applicant: Andrew Conti
Agent DM Design and Engineering Inc.
Property: 39 Silver Sterling Cr Woodbridge
Zoning: The subject lands are zoned RD1 Residential Detached Zone One, 9(1288) and subject to the provisions of Exception No. 9(1288) under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required to the accessory building (cabana).	1. To permit a minimum rear yard setback of 2.0 metres to the accessory building (cabana).
2. A maximum floor area of the accessory building (cabana) shall not exceed 67m ² .	2. To permit a maximum floor area of 75.0m ² for the accessory building (cabana).
3. Where the area of the rear yard of a lot is greater than 135m ² , a minimum of 60% of that portion of the rear yard in excess of 135m ² , shall be composed of soft landscaping.	3. To permit a minimum rear yard soft landscaping of 42.5%.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A033/21 on behalf of Andrew Conti be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	1) The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2) The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 60% to 42.5% in order to mitigate potential impacts on the municipal storm water system.

	Department/Agency	Condition
		3) Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of the Thursday, April 29, 2021 meeting for submission details.
None	Name: Jaswant Dass Address: 331 Greenbrooke Drive, Woodbridge

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	April 29, 2021
DATE OF NOTICE:	May 7, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	May 19, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.eto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

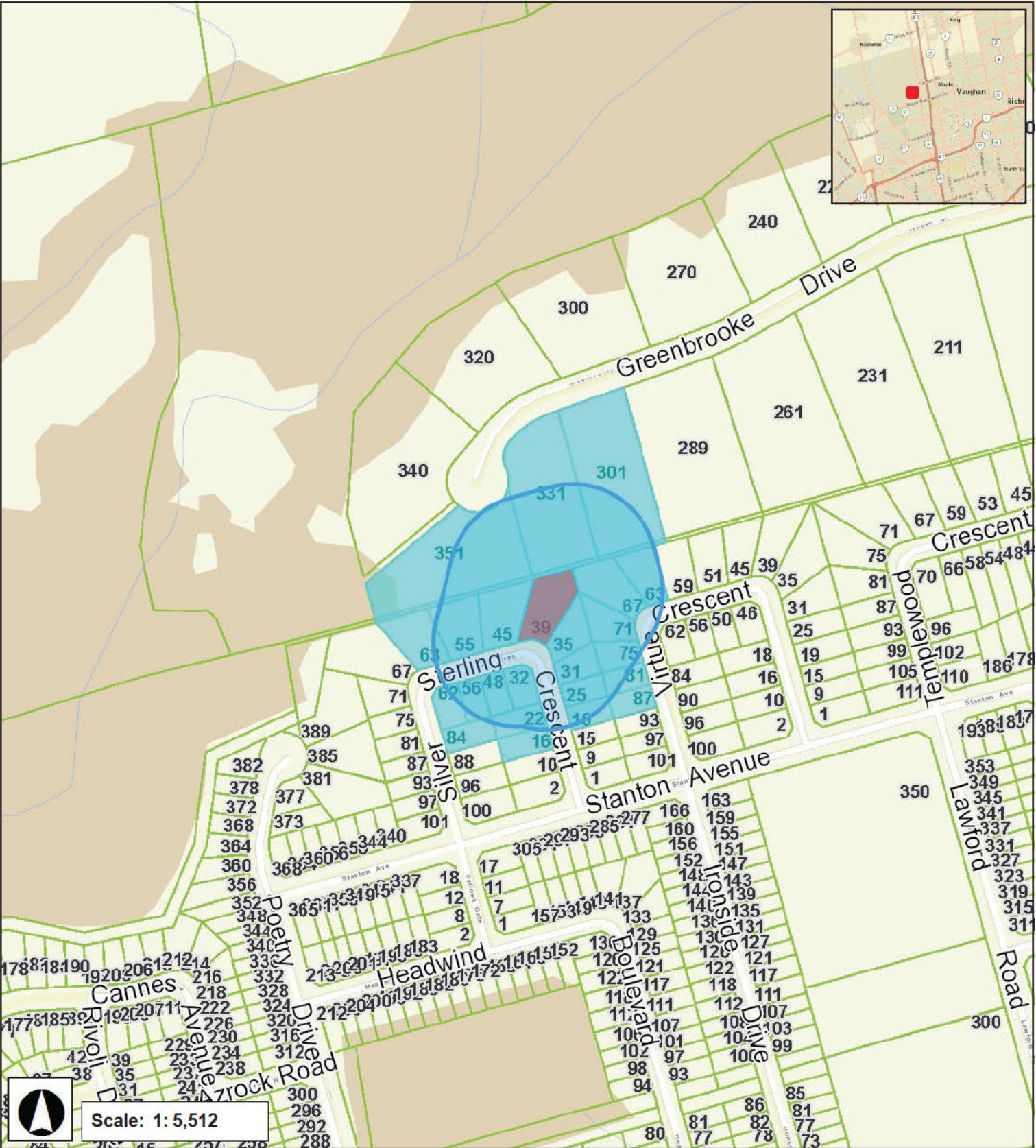
City of Vaughan LPAT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



LOCATION MAP - A033/21

39 SILVER STERLING CRESCENT, WOODBRIDGE



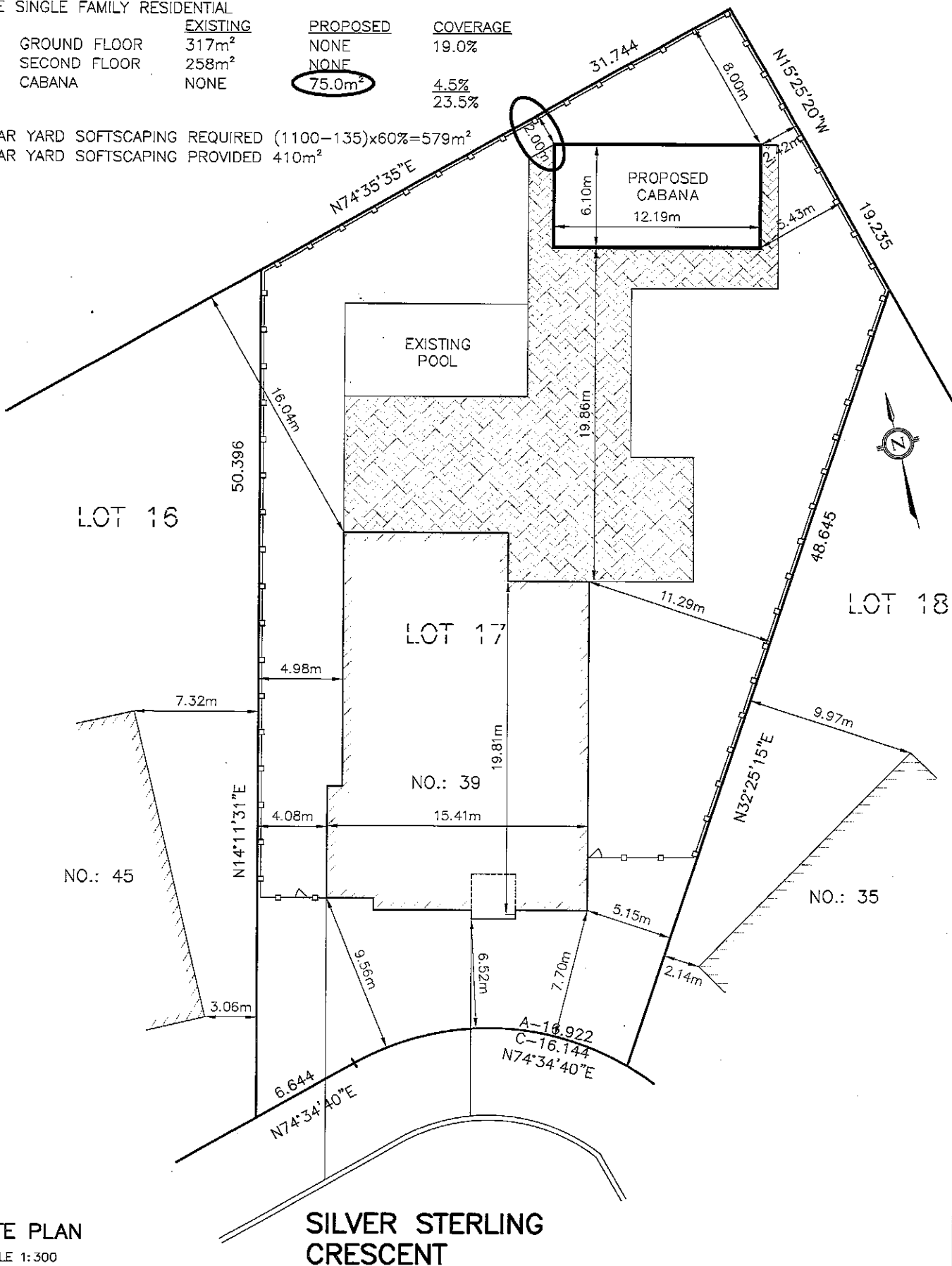
LOT 17 PLAN 65M-4359
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SITE DATA:
LOT AREA: 1671.5m²
BACKYARD AREA: 1100m²
USE SINGLE FAMILY RESIDENTIAL

	EXISTING	PROPOSED	COVERAGE
1. GROUND FLOOR	317m ²	NONE	19.0%
2. SECOND FLOOR	258m ²	NONE	
3. CABANA	NONE	75.0m ²	4.5%
			23.5%

REAR YARD SOFTSCAPING REQUIRED (1100-135)x60%=579m²
REAR YARD SOFTSCAPING PROVIDED 410m²

NO.	DESCRIPTION	DATE
1		
2		
3		
4		



SITE PLAN
SCALE 1:300

SILVER STERLING
CRESCENT



DM DESIGN AND ENGINEERING INC.
140 RUSHWORTH CRESCENT, KLEINBURG, ONTARIO,
L0J 1C0, T(647)524-5593, INFO.DMDE@GMAIL.COM

PROPOSED REAR CABANA
39 Silver Sterling Cres
Woodbridge, ON L4H 4C5

DRAWN BY: AP	CHECKED BY: JF	SHEET: SP-1
DATE: JAN. 27/21	SCALE: 1:300	FILE: 20-101

NOTICE OF DECISION
Minor Variance Application A008/21
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, April 29, 2021
Applicant: Ivana Garito
Agent None
Property: 259 Bourbon Street, Woodbridge
Zoning: The subject lands are zoned R2, Residential and subject to the provisions of Exception No.'s 9(382)(438) under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required to an accessory structure (cabana). [Subsection 4.1.1 c].	1. To permit a minimum rear yard setback of 1.5 metres to an accessory structure (cabana).
2. A minimum exterior side yard setback of 4.5 metres is required to an accessory structure (cabana). [Subsection 4.1.1. c]	2. To permit a minimum exterior side yard setback of 1.0 metres to an accessory structure (cabana).

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A008/21 on behalf of Ivana Garito be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/p/ermits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations Zachary Guizzetti 905-832-8585 x3614 Zachary.Guizzetti@vaughan.ca	The applicant/owner shall apply for a Private Tree Removal and Protection permit.

For the following reasons:

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:


Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , April 29, 2021 meeting for submission details.
None	Name: Sheila Embleton Address: 127 Fifth Avenue, Woodbridge

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	April 29, 2021
DATE OF NOTICE:	May 7, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	May 19, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

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2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

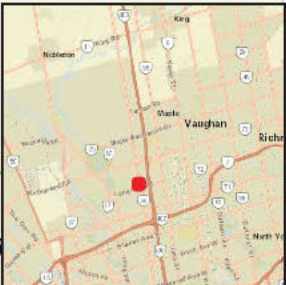
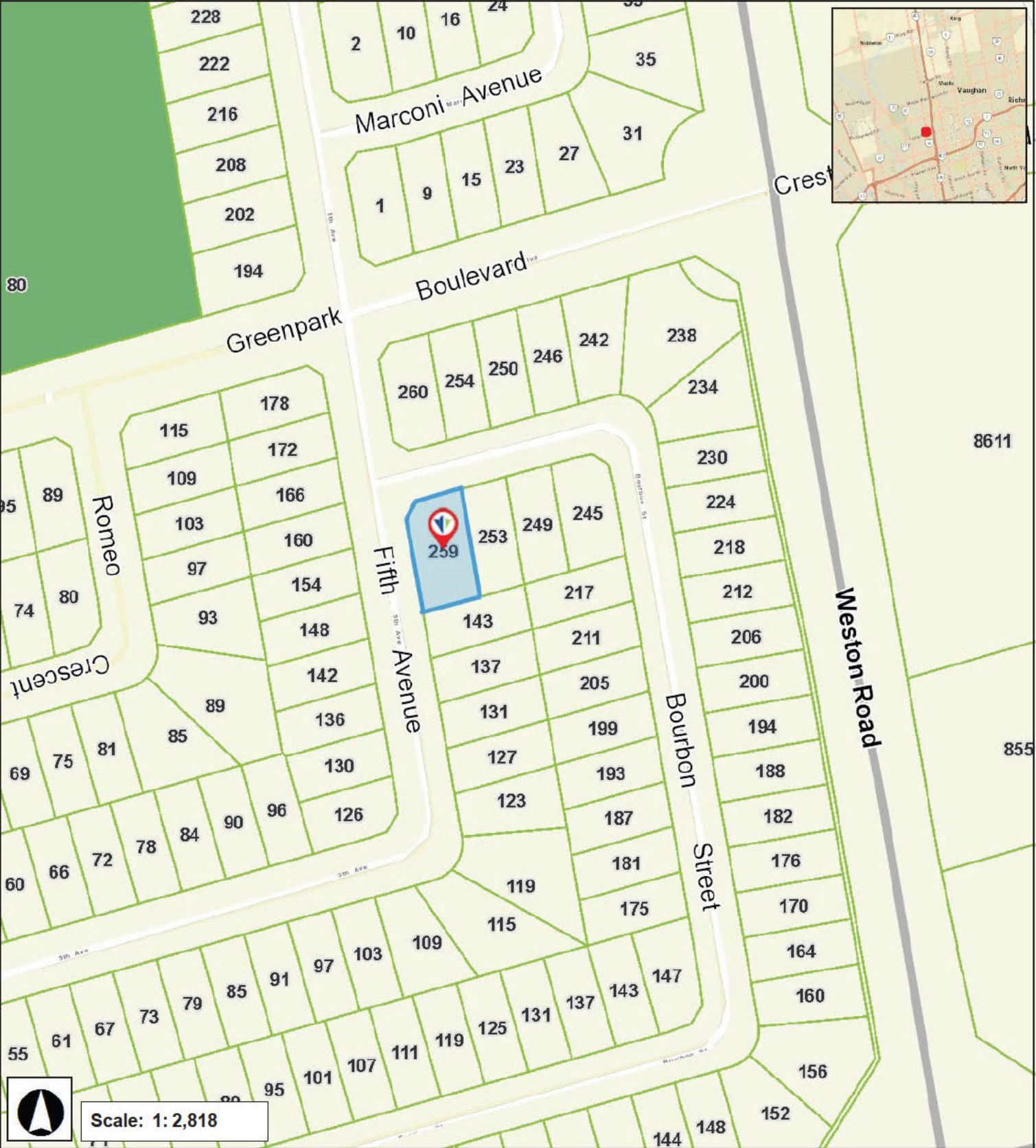
City of Vaughan LPAT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



A008/21 - Location Map

259 Bourbon Street, Woodbridge



Scale: 1: 2,818

1. DRAWINGS NOT TO BE USED FOR CONSTRUCTION OR BY OTHER PARTIES WITHOUT WRITTEN PERMISSION FROM ARCHITECT.
2. PRELIMINARY DESIGN ONLY, SUBJECT TO CHANGE UPON APPROVAL BY COMMITTEE OF ADJUSTMENT.
3. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.

TOTAL LOT AREA:
996.6 SM
(10,727 SF)

17.862m PROPERTY LINE

43.202m PROPERTY LINE

FIFTH AVENUE

EXISTING HALF WALL

EXISTING
FENCE

AREA FOR
POOL EQUIPMENT
ON A PAD,
UNCOVERED,
UNENCLOSED

EXISTING
FENCE

259 BOURBON ST
EXISTING 1 STOREY RESIDENCE
GROSS FLOOR AREA: 312 SM (3,358 SF)

37.938m PROPERTY LINE

PROPOSED CABANA
EXTERIOR SIDE YARD SETBACK

Y-LAW ACCESSORY STRUCTURE
EXTERIOR SIDE YARD SETBACK

1000
[21.217]4047
[13'-3"]

PROPOSED
CABANA
AREA: 32.5 SM
(350 SF)

6572
[24' 7"]

AREA OF REAR YARD
213 SM (2,292 SF)

PROPOSED POOL
AREA: 38.9 SM
(418.7 SF) PROPOSED
IN-GROUND POOL
REAR YARD SETBACK

GARDEN

TERIOR

EXIST NG
FENCE

1000
—
[2] 2

PROPOSED CABANA
YARD SETBACK

23.326m PROPERTY LINE

EXISTING
FENCE

ZONING BY-LAW 1-88 CITY OF VAUGHAN REQUIREMENTS:	
LOT COVERAGE %:	35 %
ACCESSORY STRUCTURE OVER 10sm SETBACKS: 7.5m FROM REAR PROPERTY LINE 1.2m FROM INTERIOR PROPERTY LINE 4.5m FROM FIFTH Ave. PROPERTY LINE 4.5m MAX HEIGHT 3.0m FROM FINISHED GRADE TO U/S OF FINISHED CEILING	
IN-GROUND POOL SETBACKS: MINIMUM 1.5 FROM REAR PROPERTY LINE MINIMUM 1.5 FROM INTERIOR PROPERTY LINE MINIMUM 4.5 FROM FIFTH Ave. PROPERTY LINE	

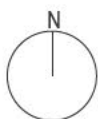
SITE STATISTICS:	
LOT AREA:	996.6 SM (10,727 SF)
EXISTING GROSS FLOOR AREA:	312 SM (3,358 SF)
EXISTING LOT COVERAGE %:	31.3%
EXISTING AREA OF REAR YARD:	213 SM (2,292 SF)

PROPOSED GROSS FLOOR AREA:	
CABANA STRUCTURE	32.5 SM (350 SF)
TOTAL PROPOSED G.F.A. 312 SM + 32.5 SM = 344.5 SM (3,708 SF)	
PROPOSED LOT COVERAGE %:	34.5%
PROPOSED SOFT REAR YARD LANDSCAPED AREA: 75.8 SM (816 SF)	
SOFT REAR YARD LANDSCAPED AREA : 35.5%	

bau & ós studio

703-330 Spadina Rd Toronto ON M5R 2V9
t: 416-602-3381 e: info@bauandcos.com
w: www.bauandcos.com

PROJECT NORTH



PROJECT NAME

259 Bourbon St.
Private Residence
Accessory Structures

SHEET NAME

Proposed Site Plan

DATE _____

MAR - 18 - 2021

SCALE

1:150

DRAWING NO.

A-1.1

NOTICE OF DECISION
Minor Variance Application A026/21
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, April 29, 2021
Applicant: Ibtisam Shamoon
Agent: None
Property: 59 Via Piani Woodbridge
Zoning: The subject lands are zoned RD3 and subject to the provisions of Exception 9(1285) under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed swimming pool to be located in the rear yard. Relief is also being requested to permit the existing gazebo.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 1.5m is required to the proposed pool. (4.1.1.i)	1. To permit a rear yard setback of 1.06m to the proposed pool.
2. A minimum rear yard setback of 7.5m is required for the existing accessory structure (Gazebo). (Schedule A3)	2. To permit a rear yard setback of 0.3m to the existing accessory structure (Gazebo).
3. A minimum exterior side yard setback of 3.5m is required for the existing accessory structure (Gazebo). (Exception 1285.ai)	3. To permit an exterior yard setback of 0.3m to the existing accessory structure (Gazebo).

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A026/21 on behalf of Ibtisam Shamoon be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96).

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:


Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , April 29, 2021 meeting for submission details.
None	None

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	April 29, 2021
DATE OF NOTICE:	May 7, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	May 19, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

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If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elfto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

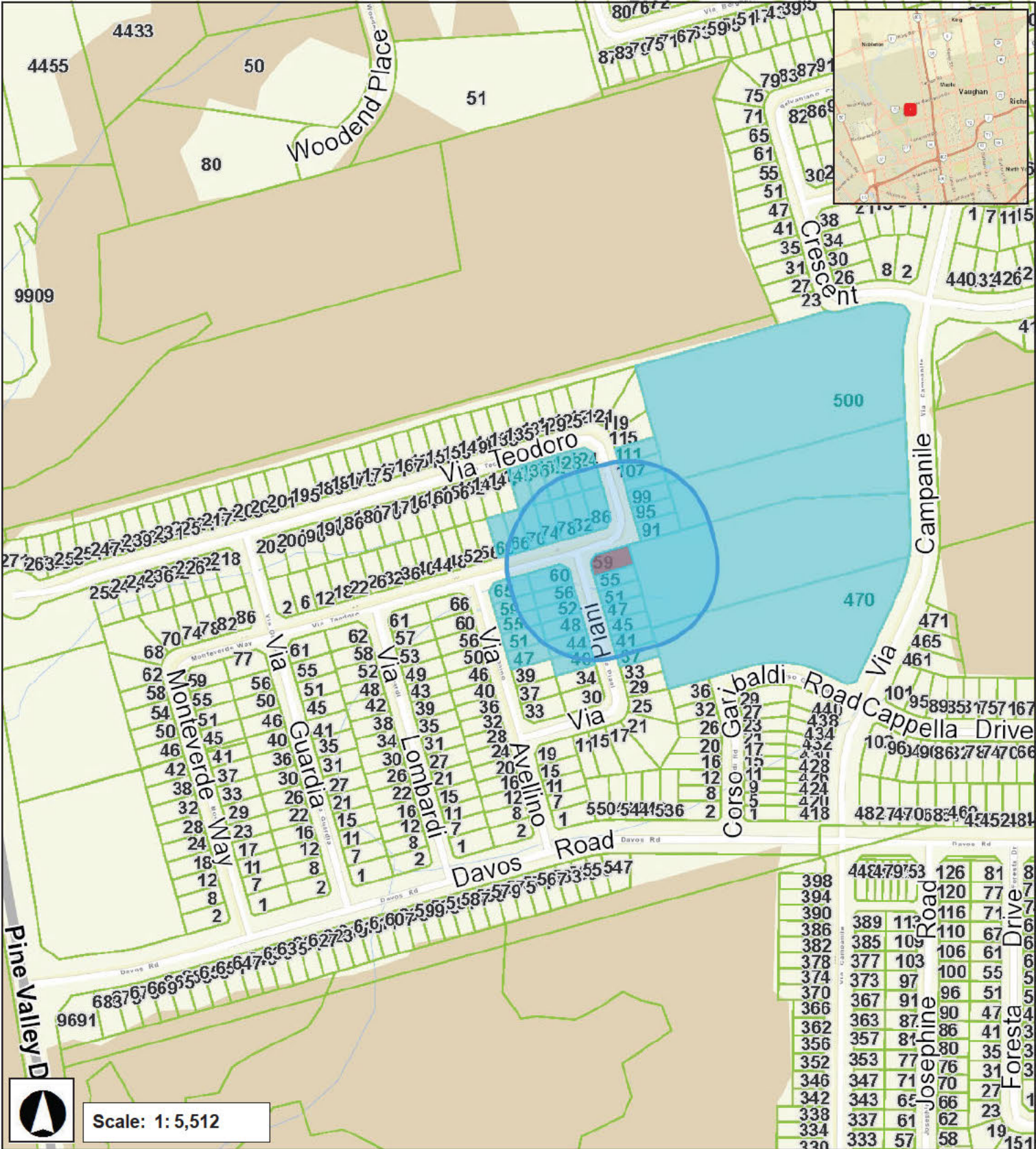
City of Vaughan LPAT Processing Fee: \$866.00 per application

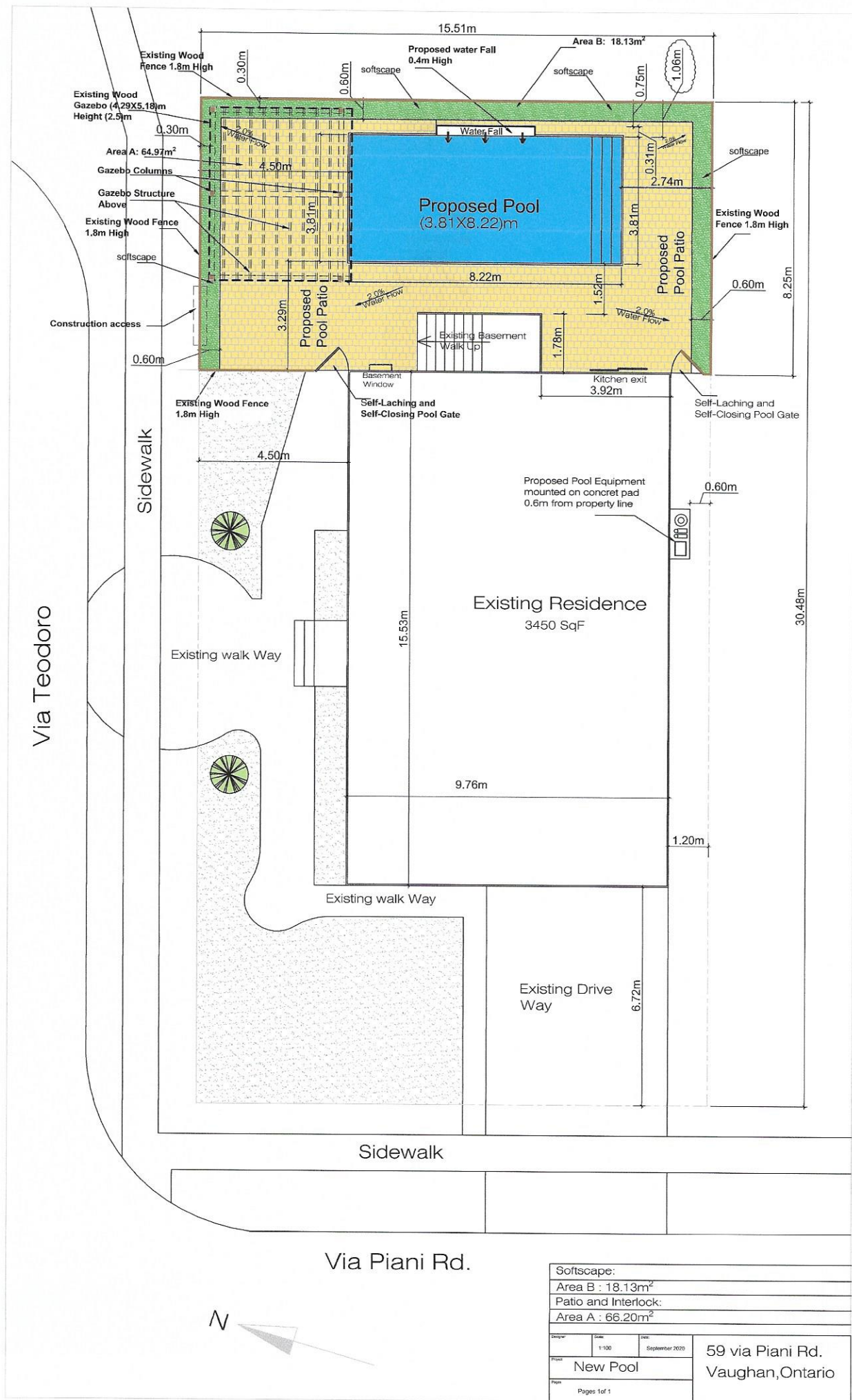
*Please note that all fees are subject to change.



LOCATION MAP - A026/21

59 VIA PIANI, WOODBRIDGE





NOTICE OF DECISION
Minor Variance Application A058/21
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, May 20, 2021
Applicant: Ingrid and Phil Harris
Agent: None
Property: 234 Wycliffe Avenue, Woodbridge
Zoning: The subject lands are zoned R1 9(263) and subject to the provisions of Exception under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required to an Accessory Building (Cabana).	1. To permit a minimum rear yard setback of 0.97 metres to an Accessory Building (Cabana).
2. A minimum interior side yard setback of 1.5 metres is required to an Accessory Building (Cabana).	2. To permit a minimum interior side yard setback of 0.97 metres to an Accessory Building (Cabana).
3. A minimum rear yard setback of 7.0 metres is required to an eaves or gutter of an Accessory Building (Cabana).	3. To permit a minimum rear yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).
4. A minimum interior side yard setback of 1.0 metre is required to an eaves or gutter of an Accessory Building (Cabana).	4. To permit a minimum interior side yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A058/21 on behalf of Ingrid Harris be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

For the following reasons:

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:


Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , May 20, 2021 meeting for submission details.
None	None

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	May 20, 2021
DATE OF NOTICE:	May 28, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	June 9, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

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PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

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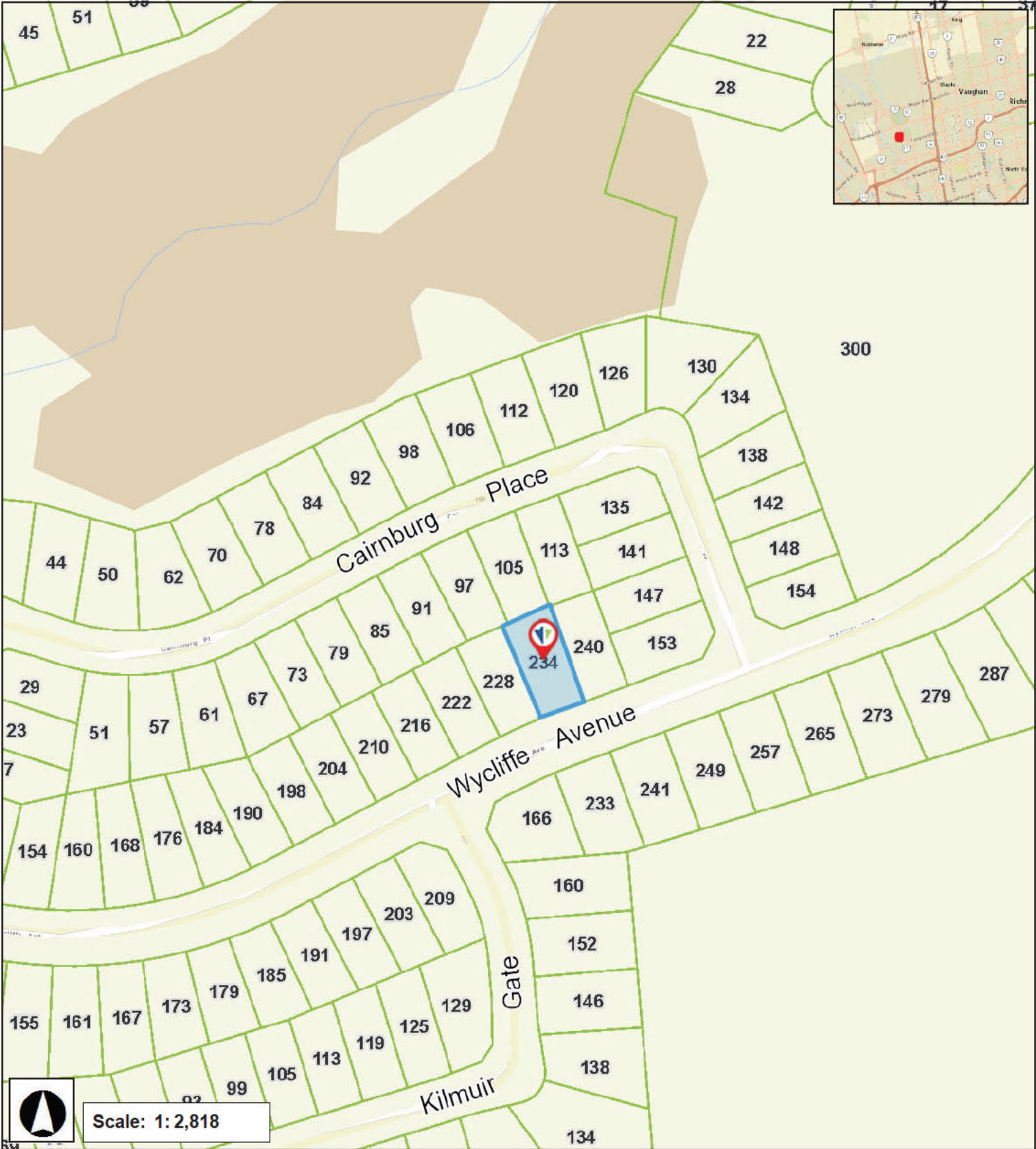
City of Vaughan LPAT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



A058/21 - Location Map

234 Wycliffe Avenue, Woodbridge



Scale: 1: 2,818

Proposal:

1. To permit a minimum rear yard setback of 0.97 metres to an Accessory Building (Cabana).
2. To permit a minimum interior side yard setback of 0.97 metres to an Accessory Building (Cabana).
3. To permit a minimum rear yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).
4. To permit a minimum interior side yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).

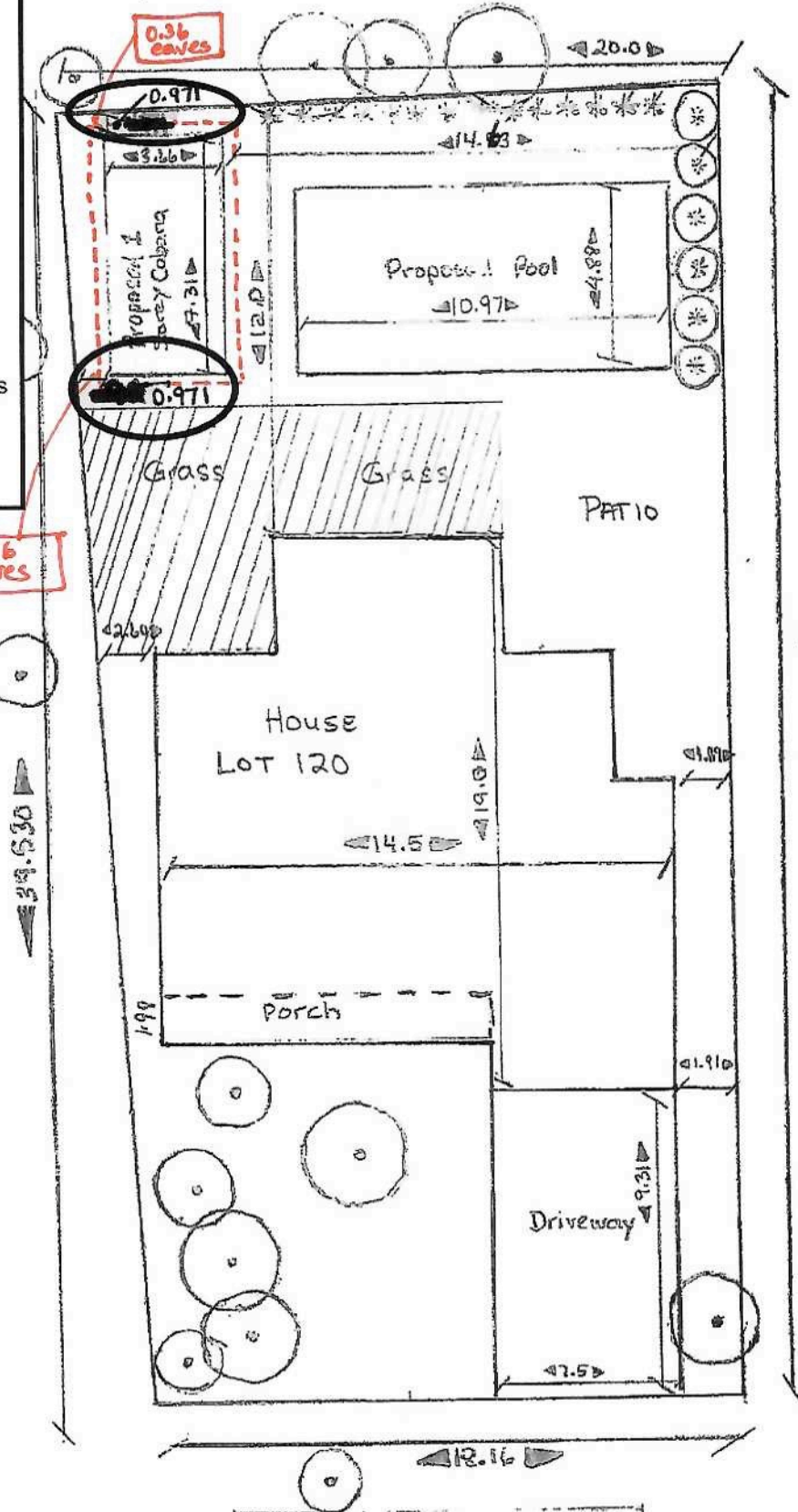
Drawing (minor Variance)



228
WYCLIFFE
AVE.
LOT 119

240
WYCLIFFE
AVE,
Lot 121

0.36
eaves



Legend

- Existing trees
- * } Proposed plantings
- ◀ ▶ in metres(m)
- Minor Variance
- not to scale

234 WYCLIFFE AVE