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| ITEM #6.10: | COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A216/22 289 Woodgate Pines Dr Kleinburg |
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|--|------------|-------------------|------------|----------------------------------|
| Committee of Adjustment | X | X | | General Comments |
| Building Standards -Zoning Review <i>*Schedule B</i> | X | X | | General Comments |
| Building Inspection (Septic) | X | | | No Comments Recieved to Date |
| Development Planning <i>*Schedule B</i> | X | X | | Recommend Approval/No Conditions |
| Development Engineering | X | X | X | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | X | X | | No Comments or Concerns |
| By-law & Compliance, Licensing & Permits | X | X | | No Comments or Concerns |
| Development Finance | X | X | | No Comments or Concerns |
| Real Estate | | | | |
| Fire Department | X | | | No Comments Recieved to Date |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA <i>*Schedule B</i> | X | | | No Comments Recieved to Date |
| Ministry of Transportation (MTO) <i>*Schedule B</i> | | | | |
| Region of York <i>*Schedule B</i> | X | X | | General Comments |
| Alectra <i>*Schedule B</i> | X | X | | General Comments |
| Bell Canada <i>*Schedule B</i> | X | | | No Comments Recieved to Date |
| YRDSB <i>*Schedule B</i> | | | | |
| YCDSB <i>*Schedule B</i> | | | | |
| CN Rail <i>*Schedule B</i> | | | | |
| CP Rail <i>*Schedule B</i> | X | | | No Comments Recieved to Date |
| TransCanada Pipeline <i>*Schedule B</i> | X | | | No Comments Recieved to Date |
| Metrolinx <i>*Schedule B</i> | | | | |
| Propane Operator <i>*Schedule B</i> | | | | |

| PUBLIC & APPLICANT CORRESPONDENCE | | | | |
|--|--------------|--------------|-------------------------------|-------------------|
| *Please see Schedule C of this report for a copy of the public & applicant correspondence listed below. | | | | |
| The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date. | | | | |
| Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website. | | | | |
| All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application. | | | | |
| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
| Public | Mosaik Homes | Not provided | 04/28/2022 | Letter of support |

| PREVIOUS COA DECISIONS ON THE SUBJECT LAND | | |
|--|--------------------------------|------------------|
| *Please see Schedule D for a copy of the Decisions listed below | | |
| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
| None | | |

| ADJOURNMENT HISTORY | |
|--|--|
| * Previous hearing dates where this application was adjourned by the Committee and public notice issued. | |
| None | |



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A216/22
289 Woodgate Pines Dr Kleinburg**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

| | |
|--|--|
| ITEM NUMBER: 6.10 | CITY WARD #: 1 |
| APPLICANT: | Sundes Younan Goerges |
| AGENT: | Bancheri Bros (Andrew Solari) |
| PROPERTY: | 289 Woodgate Pines Drive, Kleinburg |
| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and landscaping in the rear yard. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1–Residential Zone and subject to the provisions of Exception 14.953 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|--|
| 1 | The minimum rear yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1b. | To permit a minimum rear yard setback of 1.22m for the residential accessory structure. |
| 2 | The maximum building height for a residential accessory structure is 3.0m. Section 4.1.4 1 | To permit a maximum height of 3.35m for the residential accessory structure. |
| 3 | The minimum required soft landscaping for the rear yard is 60% of the portion over 135m ² . Section 4.19.1 2b | To permit a minimum soft landscaping of 50.19% for the portion of the rear yard over 135m ² . |

The subject lands are zoned RD1 –Residential Detached zone and subject to the provisions of Exception 9(1316) under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|---|---|--|
| 4 | The minimum rear yard setback for the residential accessory structure is 7.5m. Schedule A3 | To permit a minimum rear yard setback of 1.22m for the residential accessory structure |
| 5 | The minimum required soft landscaping for the rear yard is 60% of the portion over 135m ² . Section 4.1.2 b) | To permit a minimum soft landscaping of 50.19% for the portion of the rear yard over 135m ² . |

HEARING INFORMATION

DATE OF MEETING: Thursday , November 17, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

| HEARING INFORMATION |
|--|
| Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1 |
| THE DEADLINE TO <u>REGISTER TO SPEAK</u> OR <u>SUBMIT WRITTEN COMMENTS</u> ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING. |

| INTRODUCTION |
|--|
| <p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p> |

| COMMITTEE OF ADJUSTMENT COMMENTS | | |
|--|---|--|
| Date Public Notice Mailed: | November 3, 2022 | |
| Date Applicant Confirmed Posting of Sign: | October 21 2022 | |
| Applicant Justification for Variances: *As provided by Applicant in Application Form | Rear yard setbacks restrict ability to place cabana in rear yard. | |
| Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice | None | |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: | No | |
| <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p> | | |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. | | |
| An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | | |
| Committee of Adjustment Comments: | None | |
| Committee of Adjustment Recommended Conditions of Approval: | None | |

| BUILDING STANDARDS (ZONING) COMMENTS | |
|---|------|
| **See Schedule B for Building Standards (Zoning) Comments | |
| Building Standards Recommended Conditions of Approval: | None |

| DEVELOPMENT PLANNING COMMENTS | |
|---|------|
| **See Schedule B for Development Planning Comments. | |
| Development Planning Recommended Conditions of Approval: | None |

| DEVELOPMENT ENGINEERING COMMENTS | |
|---|--|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| <p>As the proposed cabana area in the subject property is 41.71m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached).</p> <p>The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p> <p>The proposed work by the owner/ applicant is increasing the lot coverage area in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.</p> <p>The Development Engineering (DE) Department does not object to variance application A216/22 subject to the following condition(s):</p> | |
| Development Engineering Recommended Conditions of Approval: | <p>The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p> <p>The Owner/applicant needs to obtain a lot grading certification for the subject site and submit it to Development Engineering prior to final clearance of application A216/22.</p> |

| PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS | |
|---|------|
| Forestry: Forestry has no comment at this time. | |
| PFH Recommended Conditions of Approval: | None |

| DEVELOPMENT FINANCE COMMENTS | |
|--|------|
| No comment no concerns | |
| Development Finance Recommended Conditions of Approval: | None |

| BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS | |
|---|------|
| No comment no concerns | |
| BCLPS Recommended Conditions of Approval: | None |

| BUILDING INSPECTION (SEPTIC) COMMENTS | |
|--|------|
| None | |
| Building Inspection Recommended Conditions of Approval: | None |

| FIRE DEPARTMENT COMMENTS | |
|--|------|
| None | |
| Fire Department Recommended Conditions of Approval: | None |

| SCHEDULES TO STAFF REPORT | |
|--|---|
| *See Schedule for list of correspondence | |
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL | | |
|---|---|--|
| All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. | | |
| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
| 1 | Development Engineering ian.reynolds@vaughan.ca | <div>1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</div> <div>2. The Owner/applicant needs to obtain a lot grading certification for the subject site and submit it to Development Engineering prior to final clearance of application A216/22.</div> |

| IMPORTANT INFORMATION – PLEASE READ |
|--|
| CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit. |
| APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. |
| An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. |
| A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. |
| Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. |
| Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision. |
| DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. |
| That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment. |

| IMPORTANT INFORMATION – PLEASE READ |
|---|
| That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment |
| That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department. |
| NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice. |

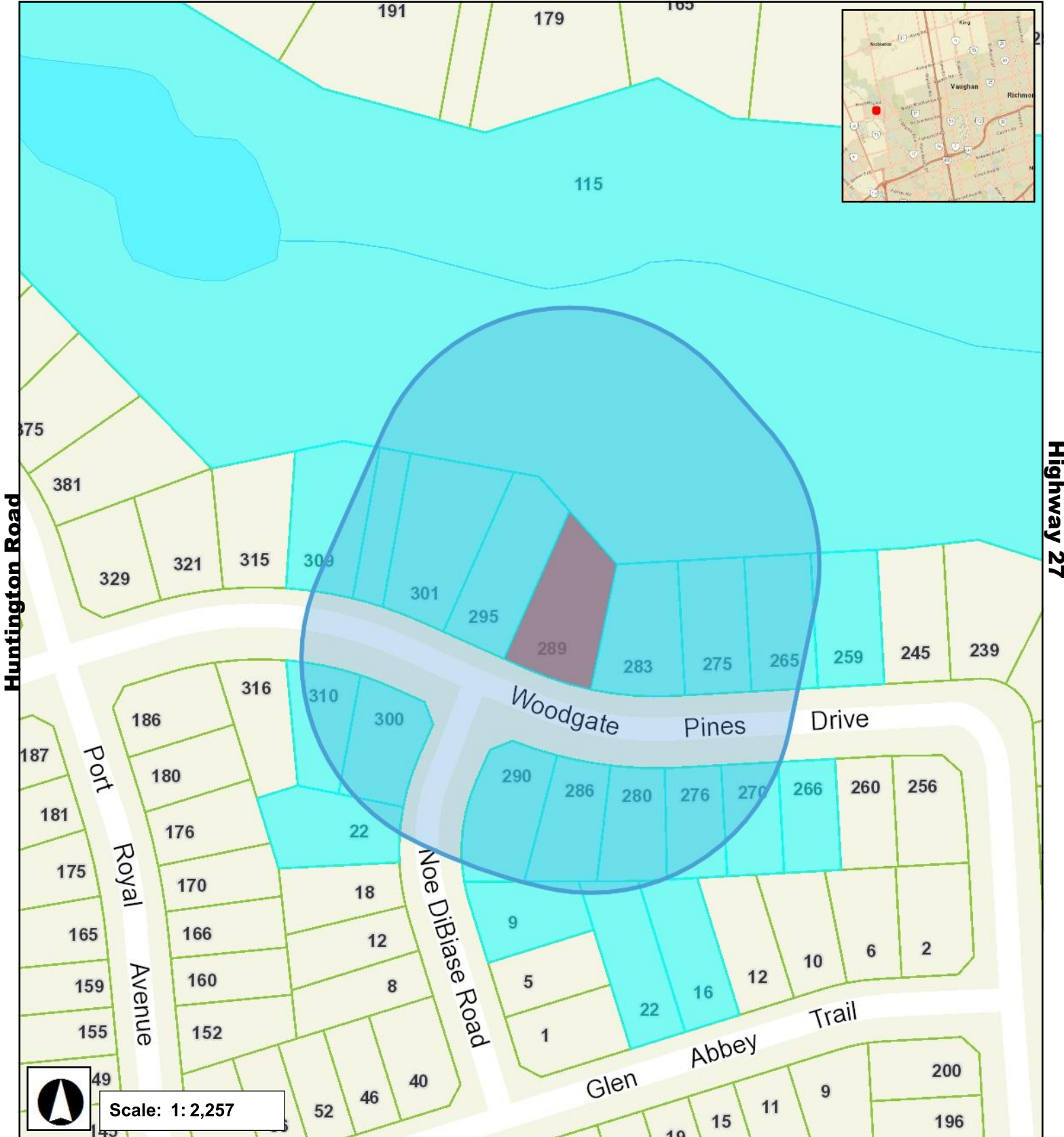
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A216/22

289 WOODGATE PINES DRIVE, KLEINBURG

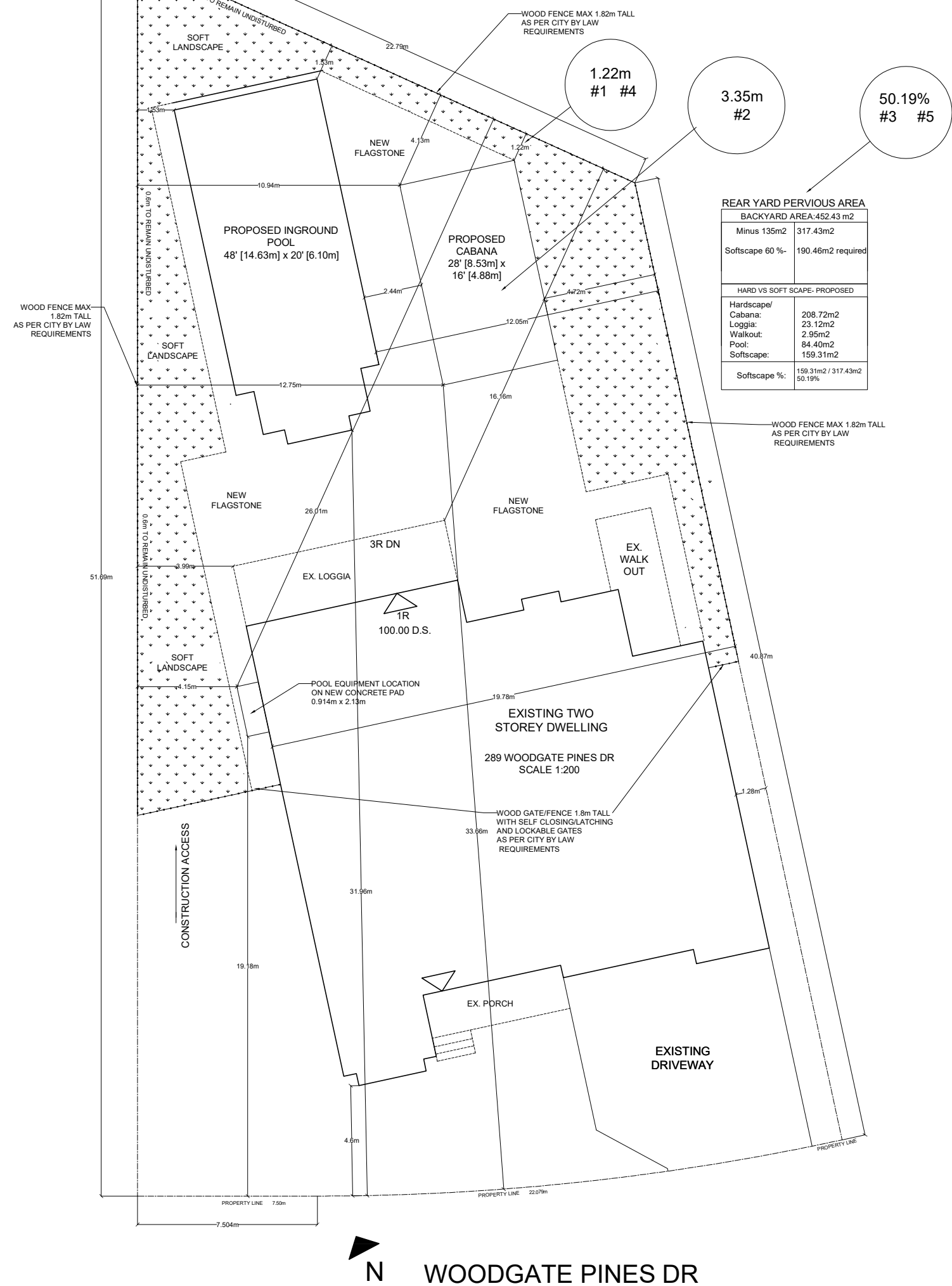
Nashville Road

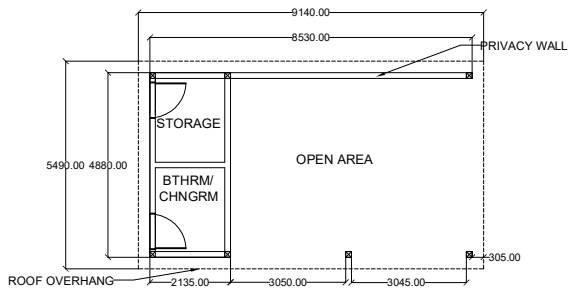


Major Mackenzie Drive

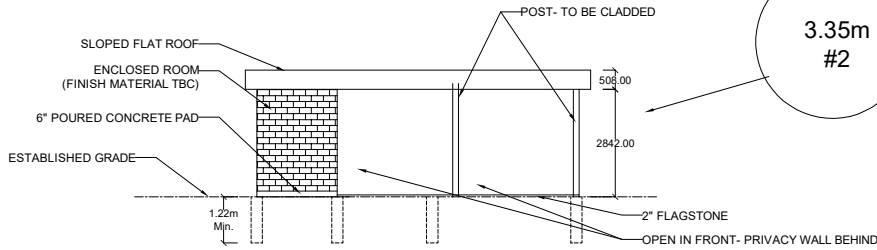
August 29, 2022 1:28 PM

PLANS PREPARED BY APPLICANT

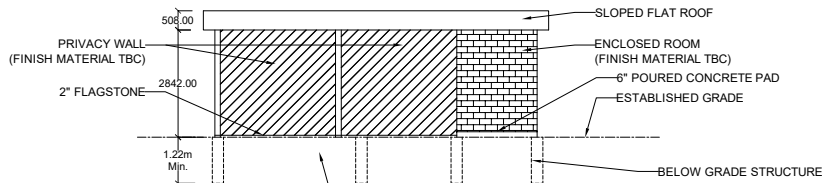




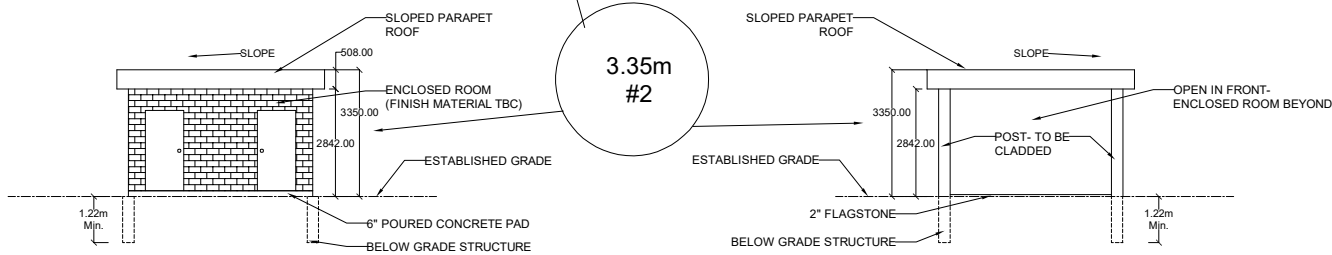
CABANA- PLAN VIEW



CABANA- WEST ELEVATION



CABANA- EAST ELEVATION



CABANA-NORTH ELEVATION

CABANA-SOUTH ELEVATION



| BANCHERI BROS INTERLOCK AND POOLS | | 289 WOODGATE PINES DR | |
|--------------------------------------|--|--|---------------------------------|
| | | OCT 17 2022 | SCALE 1:200 |
| | | MV- ELEVATIONS- REVISE SEPT 16 2022 | MV- ELEVATIONS- JULY 27 2022 |
| | | MV- ELEVATIONS- SUBMIT SEPT 28 2022 | MV- ELEVATIONS- AUG 8 2022 |
| | | MV- ELEVATIONS- SUBMIT OCT 17 2022 | MV- ELEVATIONS- AUG 10 2022 |

| SCHEDULE B: STAFF & AGENCY COMMENTS | | | | |
|--|------------|-------------------|------------|----------------------------------|
| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA *Schedule B | X | | | No Comments Recieved to Date |
| Ministry of Transportation (MTO) *Schedule B | | | | |
| Region of York *Schedule B | X | X | | General Comments |
| Alectra *Schedule B | X | X | | General Comments |
| Bell Canada *Schedule B | X | | | No Comments Recieved to Date |
| YRDSB *Schedule B | | | | |
| YCDSB *Schedule B | | | | |
| CN Rail *Schedule B | | | | |
| CP Rail *Schedule B | X | | | No Comments Recieved to Date |
| TransCanada Pipeline *Schedule B | X | | | No Comments Recieved to Date |
| Metrolinx *Schedule B | | | | |
| Propane Operator *Schedule B | | | | |
| Development Planning | X | | | Recommend Approval/no conditions |
| Building Standards (Zoning) | X | | | General Comments |

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: November 7, 2022

Name of Owner: Sundes Younan Goerges

Location: 289 Woodgate Pines Drive

File No.(s): A216/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback of 1.22 m for the residential accessory structure.
2. To permit a maximum height of 3.35 m for the residential accessory structure.
3. To permit a minimum soft landscaping of 50.19% for the portion of the rear yard over 135 m².

By-Law Requirement(s) (By-law 001-2021):

1. The minimum rear yard setback for the residential accessory structure is 2.4 m.
2. The maximum building height for a residential accessory structure is 3.0 m.
3. The minimum required soft landscaping for the rear yard is 60% of the portion over 135 m².

Proposed Variance(s) (By-law 1-88):

4. To permit a minimum rear yard setback of 1.22 m for the residential accessory structure.
5. To permit a minimum soft landscaping of 50.19% for the portion of the rear yard over 135 m².

By-Law Requirement(s) (By-law 1-88):

4. The minimum rear yard setback for the residential accessory structure is 7.5 m.
5. The minimum required soft landscaping for the rear yard is 60% of the portion over 135 m².

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of a cabana and reduced rear yard soft landscaping with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2 and 4 for the proposed cabana. The reduction to the rear yard setback for the cabana will not pose adverse visual impacts to the neighbouring properties and an appropriate area for maintenance access is maintained. The rear yard setback is also measured at a pinch-point and the setback expands to 4.13 m at its greatest extent. The increase in height for the cabana is minor in nature and will not have adverse massing impacts to the neighbouring properties.

Upon recommendations from the Development Planning Department, the Owner has revised their application by reducing the amount of hardscaping in the rear yard. The Development Planning Department has no objection to Variances 3 and 5 for the revised reduction in rear yard soft landscaping as the subject property will maintain an appropriate balance of soft landscaping to facilitate drainage and the establishment of vegetation.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: October 20, 2022
Applicant: Sundes Younan Goerges
Location: PLAN 65M4508 Lot 75 municipally known as 289 Woodgate Pines Drive
File No.(s): A216/22

Zoning Classification:

The subject lands are zoned R1–Residential Zone and subject to the provisions of Exception 14.953 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|--|---|
| 1 | The minimum rear yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1b. | To permit a minimum rear yard setback of 1.22m for the residential accessory structure. |
| 2 | The maximum building height for a residential accessory structure is 3.0m. Section 4.1.4 1 | To permit a maximum height of 3.35m for the residential accessory structure. |
| 3 | The minimum required soft landscaping for the rear yard is 60% of the portion over 135m2. Section 4.19.1 2b | To permit a minimum soft landscaping of 50.19% for the portion of the rear yard over 135m2. |

The subject lands are zoned RD1 –Residential Detached zone and subject to the provisions of Exception 9(1316) under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|---|---|---|
| 4 | The minimum rear yard setback for the residential accessory structure is 7.5m. Schedule A3 | To permit a minimum rear yard setback of 1.22m for the residential accessory structure |
| 5 | The minimum required soft landscaping for the rear yard is 60% of the portion over 135m2. Section 4.1.2 b) | To permit a minimum soft landscaping of 50.19% for the portion of the rear yard over 135m2. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

| General Comments | |
|------------------|--|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: August 30th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A216-22**

Related Files:

Applicant Sundes Younan Goerges

Location 289 WOODGATE PINES DRIVE

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Pravina Attwala

Subject: FW: [External] FW: A216/22 (289 WOODGATE PINES DRIVE) - REQUEST FOR COMMENTS
Attachments: CIRC_A216_22.pdf; APPPLANS_A216_22_08_19_2022.pdf

From: Development Services <developmentservices@york.ca>
Sent: September-07-22 3:37 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] FW: A216/22 (289 WOODGATE PINES DRIVE) - REQUEST FOR COMMENTS

Hello,

The Regional Municipality of York has completed its review of the minor variance – A216/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|--------------|--------------|-------------------------------|-------------------|
| Public | Mosaik Homes | Not provided | 04/28/2022 | Letter of support |

RECEIVED

By RECEIVED at 2:48 pm, Oct 31, 2022

April 28, 2022

Sundes Younan Goerges
289 Woodgate Pines Drive
Kleinburg, ON L4H 3X7
Lot 75

Re: Pool Installation and Rear Yard Landscaping

Dear Sundes Younan Goerges,

This letter is to confirm that Kleinvit Estates Inc. has no objection to the installation of a pool and landscaping works at your rear yard.

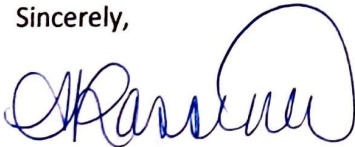
Kleinvit Estates Inc. will require a grading security deposit in the amount of \$5000.00. This can be provided to us by Certified Cheque "Payable to Kleinvit Estates Inc."

The purpose of the grading security deposit is to ensure that when your landscaping works are completed, the grading meets the criteria required by the City of Vaughan for water drainage. Once you have completed the works at your rear yard, please notify Mosaik Homes so that we may arrange an inspection with our engineer and the City of Vaughan to ensure that the grading has been completed to their satisfaction and can be certified.

Once your rear yard has been certified, we will release the grading security deposit to you.

Should you have any questions or concerns, please do not hesitate to reach out to me via phone at 905-738-6444 ext. 118 or via email at alexa@mosaikhomes.com

Sincerely,



Alexa Rossini
Director of Customer Care
Mosaik Homes