

ITEM #6.4:	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A121/22 39 Hillside Ave Concord
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X	X	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X	X		General Comments
Ministry of Transportation (MTO) <i>*Schedule B</i>				
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X	X		No Comments or Concerns
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>	X	X		General Comments
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>	X	X		General Comments
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Cathy Ferlisi	President Ratepayer Association		Letter of objection
Public	Alfredo & Josephine Mastrodicasa	43 Hillside Ave	06/21/2022	Letter of objection

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A121/22
39 Hillside Ave Concord

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.4	CITY WARD #: 4
APPLICANT:	Li Zhu
AGENT:	Serouj Kaloustian
PROPERTY:	39 Hillside Avenue, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling, retaining wall and increased driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be existing interior side yard: in this case, 2.23 metres on the west side, and 4.37 metres on the east side. [4.5 2.b.]	To permit a minimum interior side yard of 2.11 metres on the west side, and 2.68 metres on the east side.
2	The maximum permitted building height is 8.5 metres. [4.5 1.b.]	To permit a maximum height of 9.61 metres.
3	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13, Table 4-1]	To permit a retaining wall of 2.83 metres in height to be setback 2.41 metres from the west interior side lot line.
4	The maximum driveway width of a driveway shall be 9.0 metres. [6.7.3, Table 6-11]	To permit a maximum driveway width of 13.41 metres.
5	The maximum permitted lot coverage is 20%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 25.57%.
6	The maximum permitted encroachment of access stairs is 0.3 metres into the required interior side yard. [Table 4-1]	To permit access stairs to encroach a maximum of 1.37 metres into the required interior side yard.
7	The maximum permitted encroachment of a balcony is 3.0 metres to project from the main wall. [Table 4-1]	To permit a balcony to encroach a maximum of 3.35 metres from the main wall.

The subject lands are zoned R1V – Old Village Residential Zone under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
8	The maximum permitted lot coverage is 20%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 24.26%.
9	The maximum permitted building height is 9.5 metres. [4.1.9, Schedule A]	To permit a maximum building height of 9.61 metres.
10	A retaining wall which exceeds one (1) metre in height must be set back from the nearest property line a distance equal to its height.	To permit a retaining wall of 2.83 metres in height to be setback 2.41 metres from the west interior side lot line.

Zoning By-law 1-88		Variance requested
	[4.1.1 j)]	
11	The maximum permitted width of the driveway located between a lot line abutting a street and a garage or dwelling wall in either front or exterior side yards is 9.0 metres. [4.1.4 f) v)]	To permit a maximum driveway width of 13.41 metres.

HEARING INFORMATION	
DATE OF MEETING: Thursday , November 17, 2022 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil	
PUBLIC PARTICIPATION If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1	
THE DEADLINE TO <u>REGISTER TO SPEAK</u> OR <u>SUBMIT WRITTEN COMMENTS</u> ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	November 3, 2022	
Date Applicant Confirmed Posting of Sign:	October 21, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	We are following precedent in the neighborhood and we are trying to keep our design in character of all the new proposed homes in the neighborhood.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	

COMMITTEE OF ADJUSTMENT COMMENTS	
Committee of Adjustment Recommended Conditions of Approval:	None
BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None
DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None
DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed dwelling in the subject property is 463.92m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>To help mintage surface runoff caused by the proposed hardscape, rain gardens have been implemented as way to increase stormwater storage within the property.</p> <p>The owner/applicant shall apply and obtain the necessary curb cut/ reinstating permit through the Transportation and Fleet Management Services. Please visit the curb cut permits page at City of Vaughan website to learn how to apply for the curb cut/ reinstating permit.</p> <p>The Development Engineering (DE) Department does not object to variance application A121/22 subject to the following condition:</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: No comments no concerns	
PFH Recommended Conditions of Approval:	Applicant shall apply for a tree removal permit through the forestry division
DEVELOPMENT FINANCE COMMENTS	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p>	

DEVELOPMENT FINANCE COMMENTS	
Demolition development charge credit will expire on Jan 5, 2026.	
Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
None	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations andrew.swedlo@vaughan.ca	Applicant shall apply for a tree removal permit through the forestry division

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

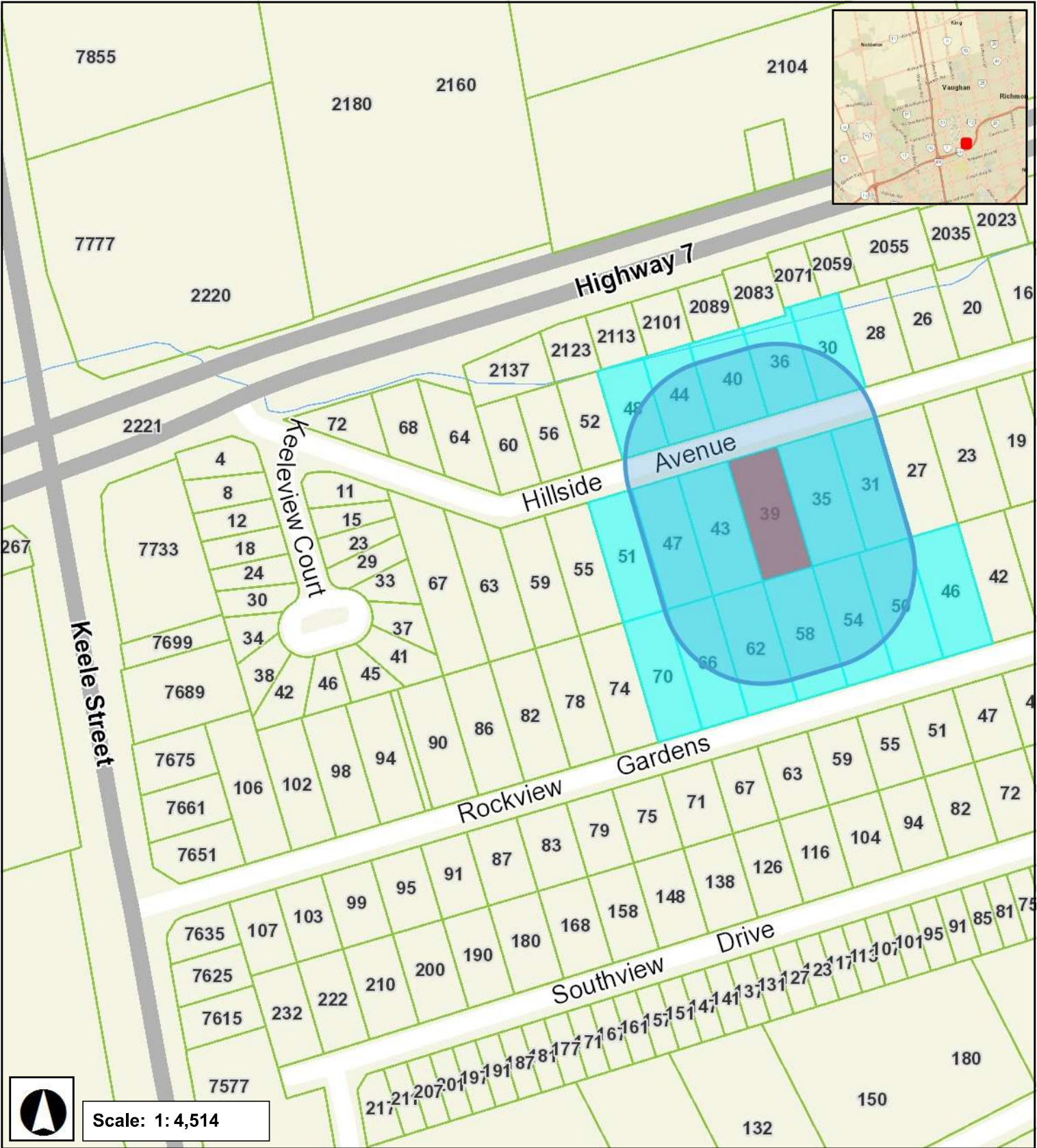
IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A121/22

39 HILLSIDE AVENUE, CONCORD



A121/22

PLANS PREPARED BY APPLICANT

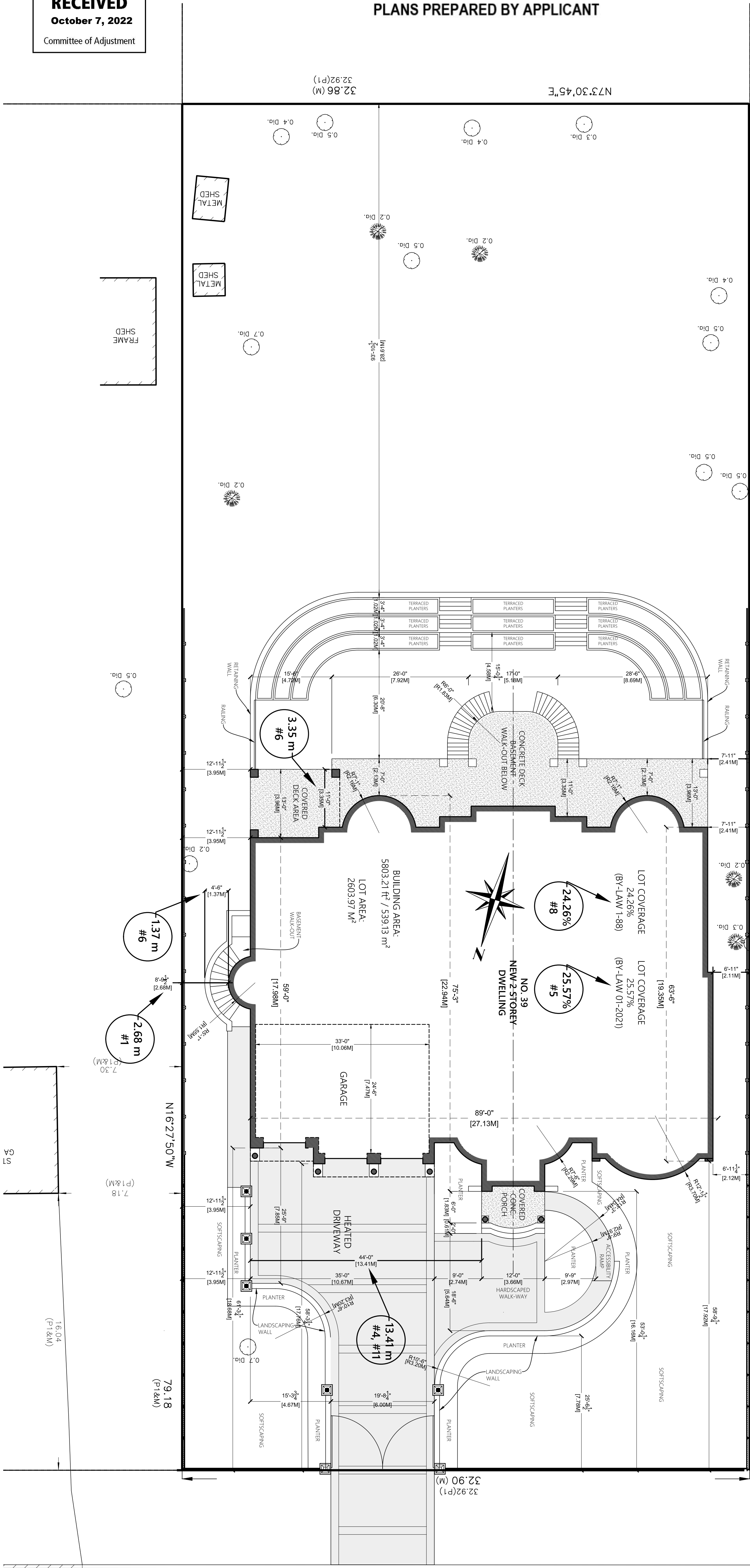
RECEIVED
October 7, 2022
Committee of Adjustment

Address	39 Hillside Ave, Concord, ON L4K 1W9		
Lot Number	PART 1 OF LOT 30		
Plan Number	2468		
Zoning Type	R1V		
DESCRIPTION	ALLOWED	PROPOSED	
Lot Area	Min. 845 m ²	2603.97 m ²	
Lot Coverage	MAX. 20% (520.79 m ²)	SEE SITEPLAN	
FLOOR AREAS			
Basement		1,538.11 m ²	
Ground Floor		460.63 m ²	
Second Floor		436.01 m ²	
GROSS FLOOR	N/A	896.64 m ²	
Lot Frontage	Min. 30 m	32.90 m	
Lot Depth		79.18 m	
Building Height	Max 9.50 m	9.61 m	
BUILDING SETBACKS			
NORTH (FRONT)	Min. 9.0 m	16.16 m	
SOUTH (REAR)	Min. 7.50 m	40.10 m	
WEST (SIDE)	Min. 1.50 m	2.11 m	
EAST (SIDE)	Min. 1.50 m	2.68 m	
SITE STATISTICS			

SITE STATISTICS

SITE PLAN BASED ON SURVEY BY
"MANDARIN SURVEYORS LIMITED, ONTARIO
LAND SURVEYOR, 2400 MIDLAND AVE.,
SCARBOROUGH, ONTARIO, M1S 1X7."
DATED JULY 23, 2020.
HSS DESIGN INC. TAKES NO RESPONSIBILITY
FOR ACCURACY OF ORIGINAL SURVEY OR
R-PLAN. ALL EXISTING PARAMETERS MUST BE
VERIFIED ON SITE PRIOR TO ANY WORK.

PROPOSED YARD
LANDSCAPING CALCULATIONS:
FRONT YARD AREA:
567.59 m²
PROPOSED LANDSCAPING AREA:
430.42 m² [73.25%]
PROPOSED SOFT LANDSCAPING
AREA:
328.50 m² [76.32%]



HILLSIDE AVENUE

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tel: 416-781-3136 web: www.hskdesign.ca



9.	OCT 7, 2022	Issued by City Review / C of A
8.	AUG 3, 2022	Issued by City Review / C of A
7.	MAY 20, 2022	Issued by City Review / C of A
6.	SEP 9, 2021	Issued by City Review / DEMOLITION PERMIT
5.	AUG 3, 2021	Issued by City Review / ZCC
4.	MAR 22, 2021	Issued by Owner Review / Schematic Design
3.	FEB 16, 2021	Issued by Owner Review / Schematic Design
2.	JAN 15, 2021	Issued by Owner Review / Schematic Design
1.	DEC 26, 2020	Issued by Owner Review / Schematic Design
NO.	DATE	REVISION / ISSUED

PROJECT
Saatdijan Residence
Committee of Adjustment

ADDRESSES
39 Hillside Ave, Concord, ON L4K 1W9

PLOT DATE
OCT 7, 2022

DRAWING NAME
DEMOLITION
SITEPLAN

DRAWING SCALE
3" = 1' - 0"

DRAWING NO.
A1

32



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9	OCT 7, 2022	Issued for City Review / C of A
8	AUG 3, 2022	Issued for City Review / C of A
7	MAY 28, 2022	Issued for City Review / C of A
6	SEP 9, 2021	Issued for City Review / REBOLITION PERMIT
5	AUG 3, 2021	Issued for City Review / ZTC
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3	FEB 16, 2021	Issued for Owner Review / Schematic Design
2	JAN 15, 2021	Issued for Owner Review / Schematic Design
1	DEC 26, 2020	Issued for Owner Review / Schematic Design
	DATE:	REVISION ISSUED

PROJECT:
Saatdjian Residence
Committee of Adjustment

39 Hillside Ave, Concord, ON L4K 1W9

PLOT DATE: OCT 7 2000

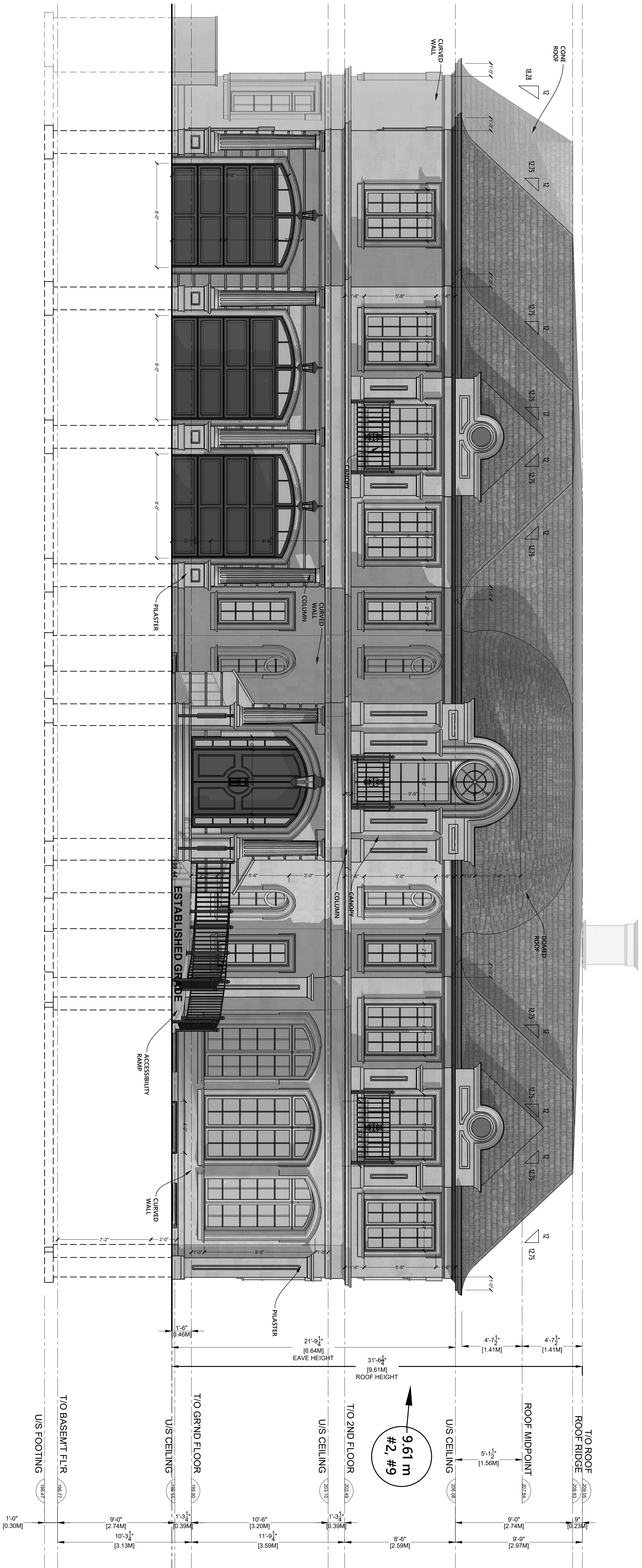
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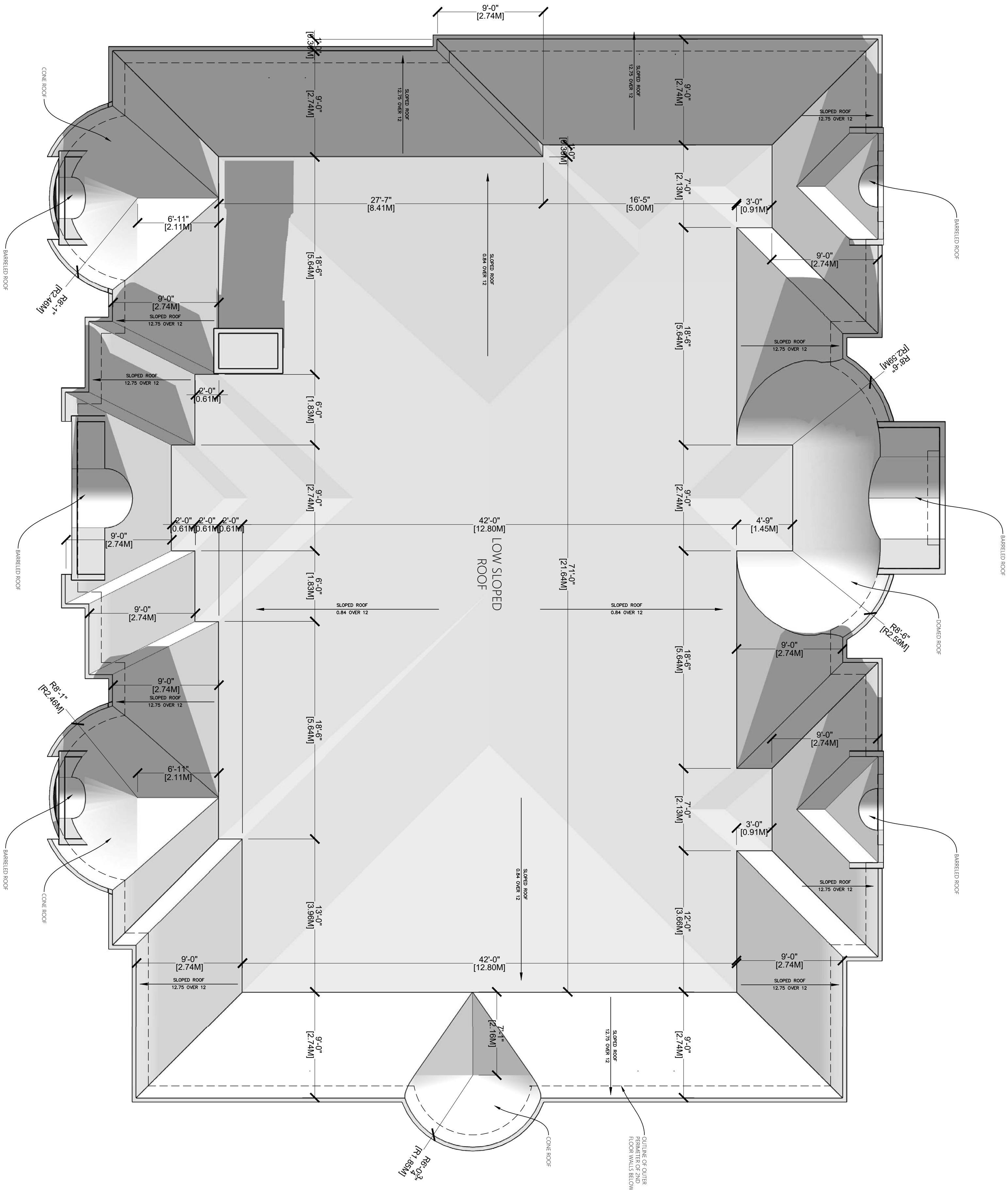
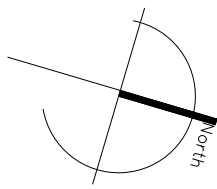
**FRONT ELEVATION
(NORTH)**

DRAWING SCALE:

DRAWING NO.

A3.1





DESIGN

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NO.	DATE	REVISION / ISSUED

PROJECT
Saatdjian Residence
Committee of Adjustment

ADDRESS
39 HILLSIDE AVE, CONCORD, ON L4K 1W9
PLOT DATE
OCT 7, 2022

DRAWING NAME
ROOF PLAN

DRAWING SCALE
 $\frac{1}{4}" = 1' - 0"$
DRAWING NO.
A 2.4



DESIGN

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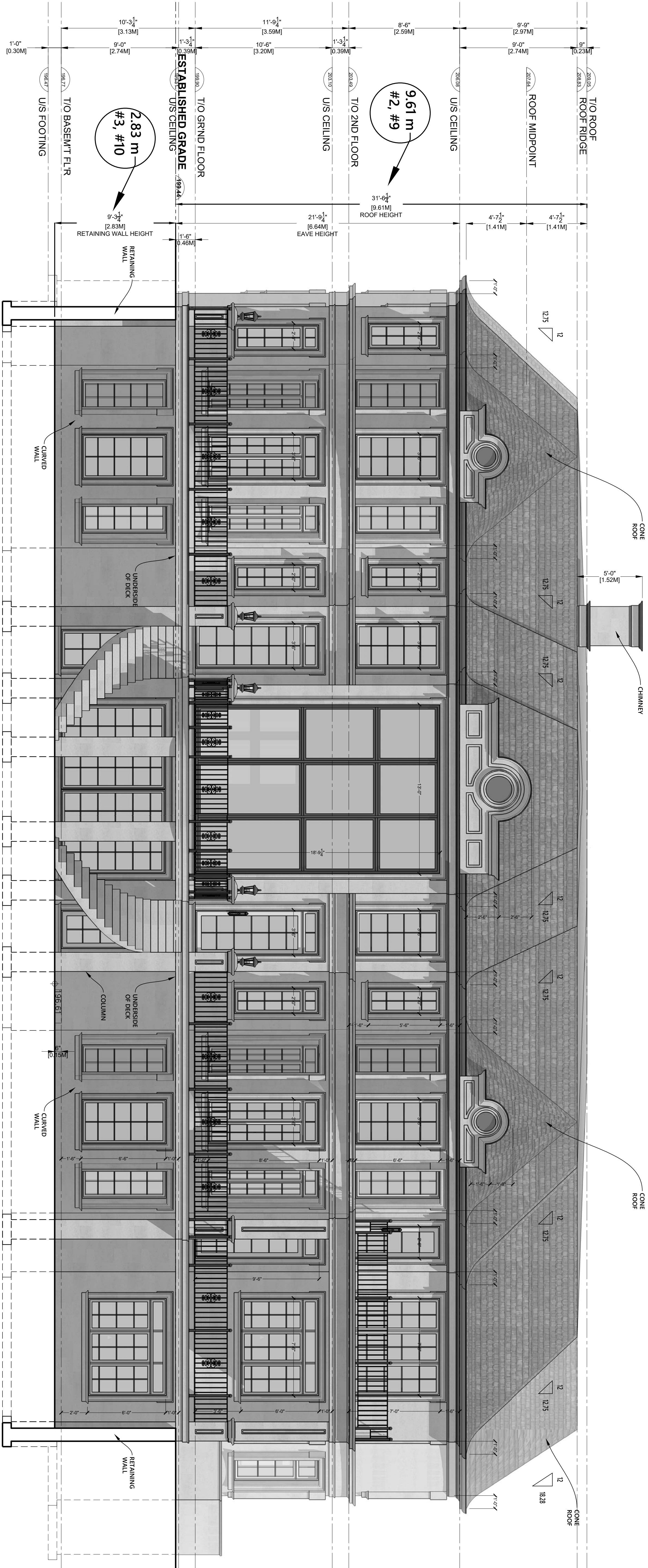
PROJECT
Saatdjian Residence
Committee of Adjustment

ADDRESS
39 HILLSIDE AVE, CONCORD, ON L4K 1W9

PLOT DATE
OCT 7, 2022

REAR ELEVATION
(SOUTH)

DRAWING SCALE
 $\frac{1}{4}" = 1' - 0"$ **A 3.2**



PROJECT
Saatdjian Residence
Committee of Adjustment

ADDRESS
39 HILLSIDE AVE, CONCORD, ON L4K 1W9

PLOT DATE
OCT 7, 2022

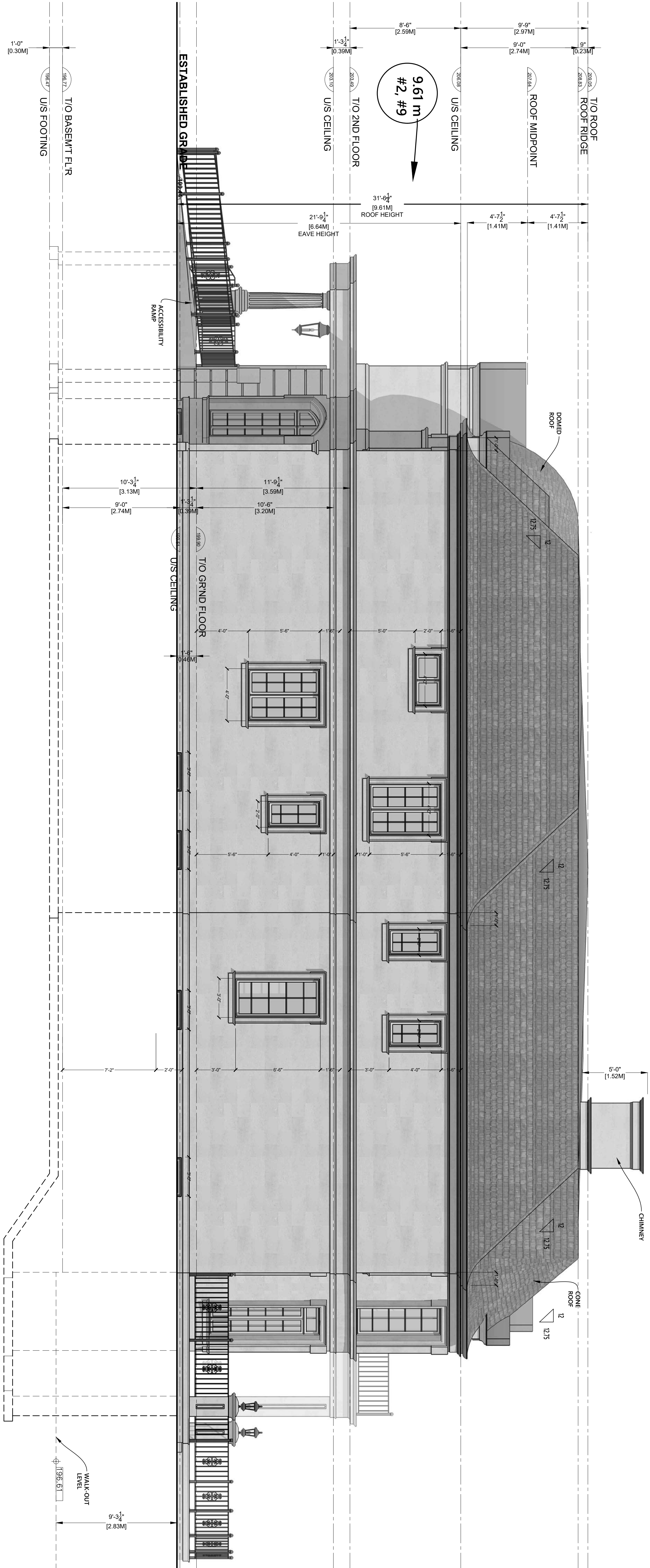
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3.	OCT 7, 2022	Issued by City Review / C of A
3.	AUG 3, 2022	Issued by City Review / C of A
7.	MAY 20, 2022	Issued by City Review / C of A
6.	SEP 2, 2021	Issued by City Review / DEMOLITION PERMIT
5.	AUG 3, 2021	Issued by City Review / ZCC
4.	MAR 22, 2021	Issued by Owner Review / Schematic Design
3.	FEB 16, 2021	Issued by Owner Review / Schematic Design
2.	JAN 15, 2021	Issued by Owner Review / Schematic Design
1.	DEC 26, 2020	Issued by Owner Review / Schematic Design
NO.	DATE	REVISION / ISSUED

PROJECT	Saatdjian Residence Committee of Adjustment
ADDRESS	39 HILLSIDE AVE, CONCORD, ON L4K 1W9
PLOT DATE	OCT 7, 2022
DRAWING NAME	

SIDE ELEVATION
(WEST)



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6.	SEP 9, 2021	Issued for City Review / RELOCATION PERMIT
5.	AUG 3, 2021	Issued for City Review / ZDC
4.	MAY 22, 2021	Issued for Owner Review / Schematic Design
3.	FEB 16, 2021	Issued for Owner Review / Schematic Design
2.	MAY 8, 2020	Issued for Owner Review / Schematic Design
1.	DEC 26, 2020	Issued for Owner Review / Schematic Design
	DATE	REVISION / ISSUED

Saatdijan Residence Committee of Adjustment

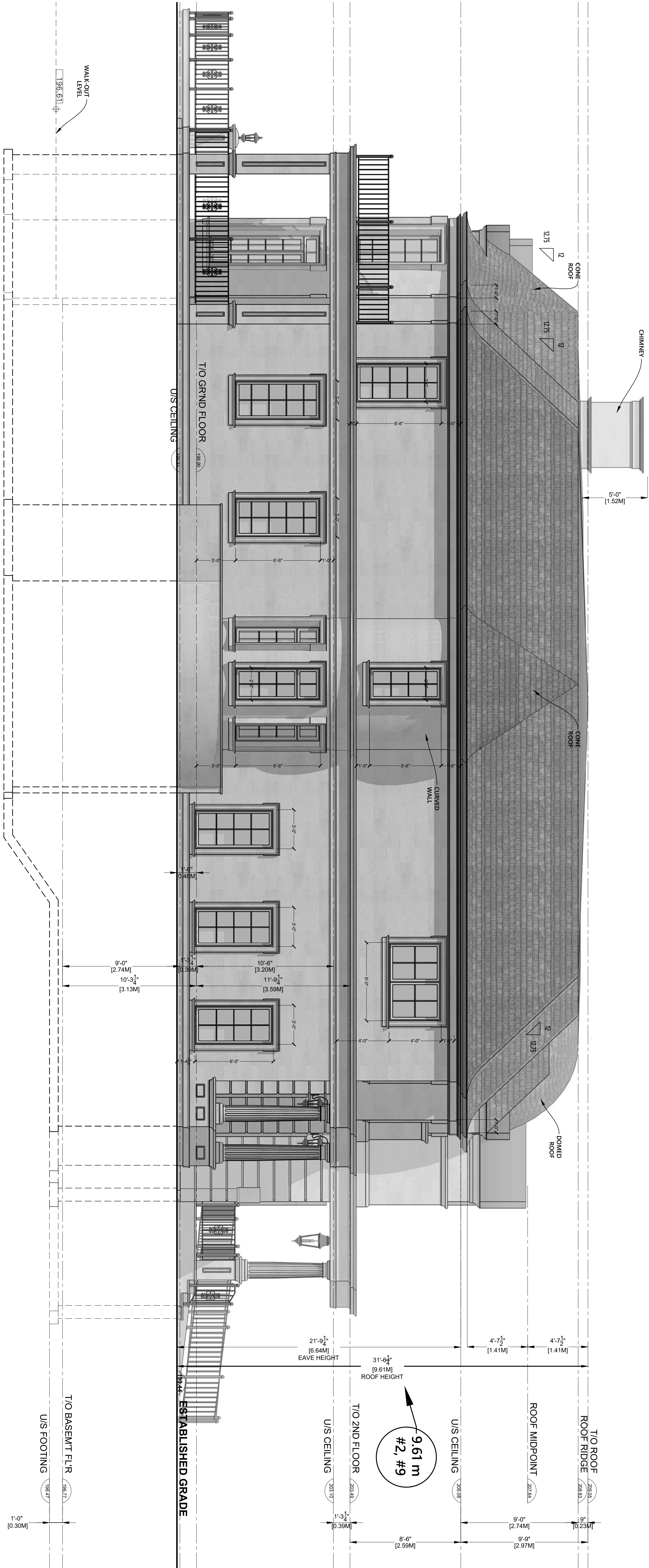
ADDRESS:
39 Hillside Ave, Concord, ON L4K 1W9

LOT DATE
OCT 7, 2022

**SIDE ELEVATION
(EAST)**

DRAWING SCALE: _____ DRAWING NO. _____

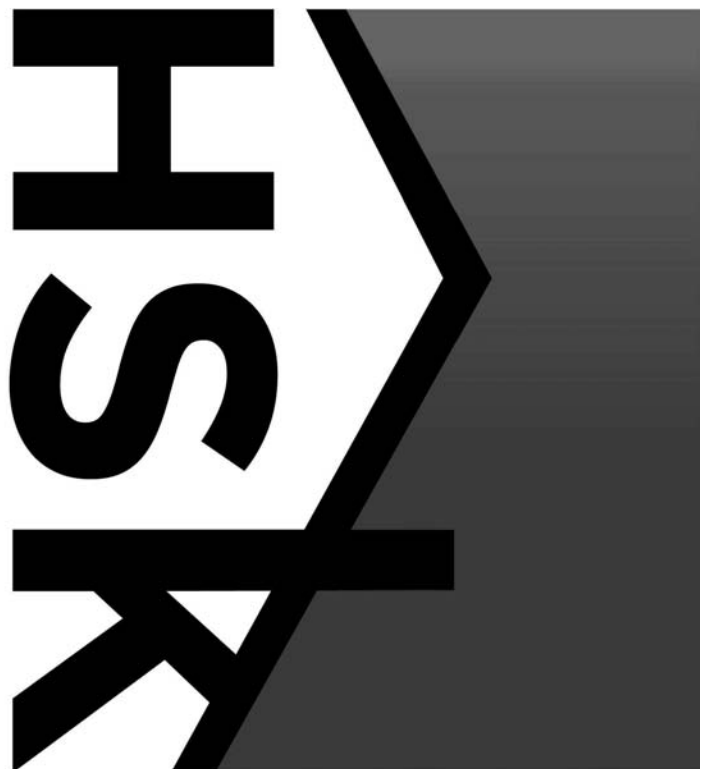
A3.4



FRONT PERSPECTIVE (NORTH)



REAR PERSPECTIVE (SOUTH)



DESIGN

1800A Avenue Road, Toronto, ON M5M 3Z1
tel : 416-781-3136 web : www.hskdesign.ca

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PROJECT
Saatdijan Residence
Committee of Adjustment

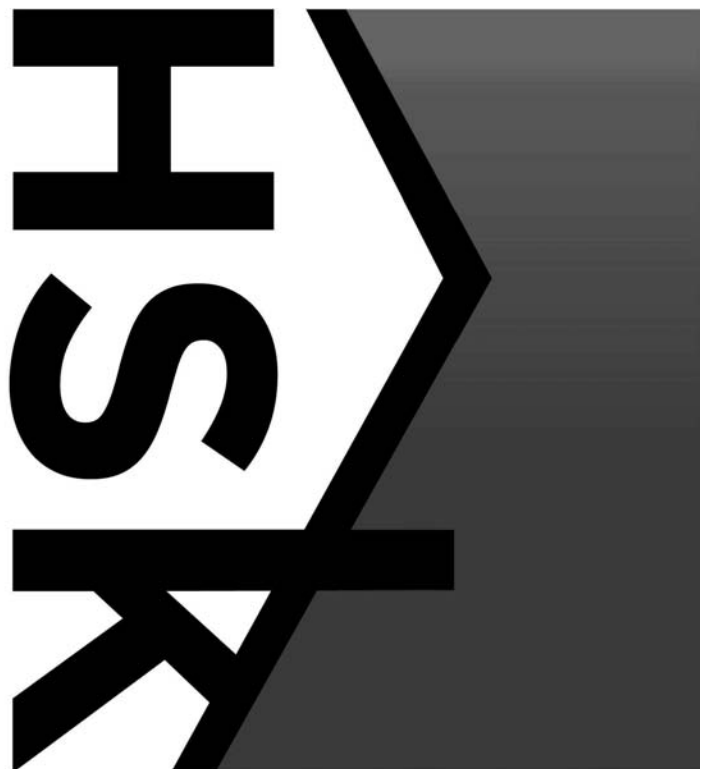
ADDRESSES
39 HILLSIDE AVE, GERRARD, ON L4K 1W9

PLOT DATE
OCT 7, 2022

DRAWING NAME
BUILDING
PERSPECTIVES

DRAWING NO.

A 4



DESIGN

1800A Avenue Road, Toronto, ON M5M 3Z1
tel : 416-781-3136 web : www.hskdesign.ca

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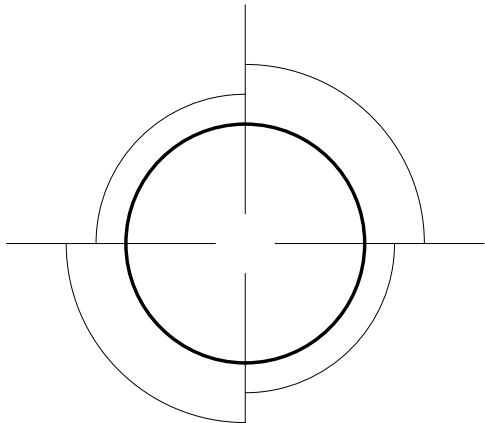
PROJECT:
Saatdjian Residence
Committee of Adjustment

ADDRESS:
39 Hillside Ave, Concord, ON L4K 1W9
PLOT DATE:
OCT 7, 2022
DRAWING NAME:

COVER PAGE

DRAWING NO.

A0



Saatdjian Residence

COMMITTEE OF ADJUSTMENT

DRAWINGS



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		No Comments or Concerns
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B	X	X		General Comments
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B	x	x		General Comments
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: November 08, 2022

Name of Owner: Li Zhu

Location: 31 Hillside Avenue

File No.(s): A121/22

Proposed Variance(s) (By-law 01-2021):

1. To permit a minimum interior side yard of 2.11 m on the west side and 2.68 m on the east side.
2. To permit a maximum height of 9.61 m.
3. To permit a retaining wall of 2.83 m in height to be setback 2.31 m from the west interior side lot line.
4. To permit a maximum driveway width of 13.41 m.
5. To permit a lot of coverage of 25.57%.
6. To permit access stairs to encroach a maximum of 1.37 m into the required interior side yard,
7. To permit a balcony to encroach a maximum of 3.35 m from the main wall.

By-Law Requirement(s) (By-law 01-2021):

1. For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be existing interior side yard: in this case, 2.23 m on the west side, and 4.37 m on the east side. [4.5 2.b.]
2. The maximum permitted building height is 8.5 m. [4.5 1.b.]
3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13, Table 4-1]
4. The maximum driveway width of a driveway shall be 9.0 m. [6.7.3, Table 6-11]
5. The maximum permitted lot coverage is 20%. [7.2.2, Table 7-3]
6. The maximum permitted encroachment of access stairs is 0.3 m into the required interior side yard. [Table 4-1]
7. The maximum permitted encroachment of a balcony is 3.0 m to project from the main wall. [Table 4-1]

Proposed Variance(s) (By-law 1-88):

8. To permit a maximum lot of coverage of 24.26%.
9. To permit a maximum building height of 9.61 m.
10. To permit a retaining wall of 2.83 m in height to be setback 2.41 m from the west interior side lot line.
11. To permit a maximum driveway width of 13.41 m.

By-law Requirement(s) (By-law 1-88):

8. The maximum permitted lot coverage is 20%. [4.1.9, Schedule A]
9. The maximum permitted building height is 9.5 m. [4.1.9, Schedule A]
10. A retaining wall which exceeds one (1) m in height must be set back from the nearest property line a distance equal to its height. [4.1.1 j)]
11. The maximum permitted width of the driveway located between a lot line abutting a street and a garage or dwelling wall in either front or exterior side yards is 9.0 m. [4.1.4 f) v)]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to construct a two-storey single-detached dwelling with the above noted variances.

At the request of the Development Planning Department (Development Planning) the Owner has reduced the maximum lot coverage and height to maintain a scale of built form compatible with the established neighbourhood. A lot coverage of 24.26% (Variance 8) under By-law 1-88 ensures the main dwelling remains compatible with other 2-storey dwellings in the area. Additionally, the lot coverage of 25.57% (Variance 5) under By-law 01-2021 includes the two metal sheds (8.11 m²) in the rear yard which do

not contribute to the overall massing of the home. The proposed maximum building height of 9.61 m (Variances 2 and 9) achieves a built form that is in keeping with the overall mass and scale of existing dwellings in the area. Development Planning is of the opinion the increases in height and coverage are consistent with other approvals in the area and maintains the character of the neighbourhood.

With respect to Variance 6, the increased encroachment into the interior side yard for access stairs to a below-grade basement entrance is reasonable as sufficient space remains to allow passage between the front and rear yards, and the feature is below grade. The portion of the rear yard immediately abutting the rear wall is proposed to be lowered for a walkout/walkup basement design. Variance 7 to permit the rear balcony is reasonable given it will facilitate access between the main level of the dwelling and rear yard and will appear at grade when viewed from the side lot lines. In terms of Variances 3, 4, 10, and 11, Development Engineering and Urban Design staff are of the opinion the reduced interior side yard setback to the retaining wall is adequate and necessary to ensure the structural integrity of the proposed walkout/walkup basement design. Additionally, the maximum driveway width of 13.41 m (Variance 4 and 11) is specific to the area in front of the proposed 3-car garage, while most of the driveway leading up to the City's right-of-way complies with a 6 m width. The Owner has worked with Development Planning to remove a lamp post (from 4 to 3), thereby, reducing the depth of the driveway to minimize the impact on a mature tree, and maintain a more vegetated streetscape.

In support of the application, the Owner submitted a Tree Protection Plan and Arborist Report, prepared by Tree Doctors Professional Tree Care, last revised August 22, 2022. Urban Design has reviewed the material and is generally satisfied but concludes the Owner is responsible in obtaining all the required tree permits (consent letter, if applicable) through Parks, Forestry and Horticulture Operations.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
David Harding, Senior Planner

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: October 4, 2022

Applicant: Li Zhu

Location: 39 Hillside Avenue
PLAN RP2468 Part of Lot 30

File No.(s): A121/22

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be existing interior side yard: in this case, 2.23 metres on the west side, and 4.37 metres on the east side. [4.5 2.b.]	To permit a minimum interior side yard of 2.11 metres on the west side, and 2.68 metres on the east side.
2	The maximum permitted building height is 8.5 metres. [4.5 1.b.]	To permit a maximum height of 9.61 metres.
3	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13, Table 4-1]	To permit a retaining wall of 2.83 metres in height to be setback 2.41 metres from the west interior side lot line.
4	The maximum driveway width of a driveway shall be 9.0 metres. [6.7.3, Table 6-11]	To permit a maximum driveway width of 13.41 metres.
5	The maximum permitted lot coverage is 20%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 25.57%.
6	The maximum permitted encroachment of access stairs is 0.3 metres into the required interior side yard. [Table 4-1]	To permit access stairs to encroach a maximum of 1.37 metres into the required interior side yard.
7	The maximum permitted encroachment of a balcony is 3.0 metres to project from the main wall. [Table 4-1]	To permit a balcony to encroach a maximum of 3.35 metres from the main wall.

The subject lands are zoned R1V – Old Village Residential Zone under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
8	The maximum permitted lot coverage is 20%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 24.26%.
9	The maximum permitted building height is 9.5 metres. [4.1.9, Schedule A]	To permit a maximum building height of 9.61 metres.
10	A retaining wall which exceeds one (1) metre in height must be set back from the nearest property line a distance equal to its height. [4.1.1 j)]	To permit a retaining wall of 2.83 metres in height to be setback 2.41 metres from the west interior side lot line.
11	The maximum permitted width of the driveway located between a lot line abutting a street and a garage or dwelling wall in either front or exterior side yards is 9.0 metres. [4.1.4 f) v)]	To permit a maximum driveway width of 13.41 metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 21-124709 for Single Detached Dwelling - Residential Demolition, Issue Date:
Jan 05, 2022

Other Comments:

General Comments	
1	This review is based solely on the use of a Single Family Detached Dwelling as declared on the application form submitted.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: May 25th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A121-22**

Related Files:

Applicant Li Zhu

Location 39 Hillside Avenue

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Gordon, Carrie <carrie.gordon@bell.ca>
Sent: May-25-22 12:02 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN


Hello Pravina,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon

	Associate, External Liaison Right of Way Control Centre 140 Bayfield St, Fl 2 Barrie ON, L4M 3B1 T: 705-722-2244/844-857-7942 F :705-726-4600
--	--

Pravina Attwala

Subject: FW: [External] 2022-10-14_CN Comments_39 Hillside Avenue, Vaughan ON

From: Saadia Jamil <Saadia.Jamil@cn.ca> **On Behalf Of** Proximity
Sent: October-14-22 4:11 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: [External] 2022-10-14_CN Comments_39 Hillside Avenue, Vaughan ON

Hi Pravina,

Thank you for circulating CN on the subject application. It is noted that the subject development is located in proximity to a rail yard – CN Mac Yard. CN has concerns of developing/densifying residential uses abutting our railway right-of-way. of sensitive uses in proximity to railway operations cultivates an environment in which land use incompatibility issues are exacerbated.

CN recommends the following to be implemented as conditions of approval:

1. The following clause to be inserted in all development agreements, offers to purchase, and agreements of Purchase and Sale or lease “Warning: Canadian National Railway Company or its assigns or successors in interest has or have a rights-of-way within 1,000 meters from the land the subject hereof. There may be alterations to or expansions of the railway facilities on such rights-of-way in the future including the possibility that the railway or its assigns or successors as aforesaid may expand its operations, which expansion may affect the living environment of the residents in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual dwelling(s). CN will not be responsible for any complaints or claims arising from use of such facilities and/or operations on, over or under the aforesaid rights-of-way.”;
2. Registration of an environmental easement for operational noise and vibration emissions, in favor of CN;
3. Implementation of certain basic mitigation measures in the dwelling design and construction in order to limit potential impacts, including:
 - a. Provision for air-conditioning, allowing occupants to close windows during the warmer months;
 - b. Exterior cladding facing the railway achieving a minimum STC rating of 54 or equivalent, e.g. masonry;
 - c. Acoustically upgraded windows facing the railway with appropriate specifications;
 - d. Locating noise sensitive rooms away from the railway side

Thanks,

Saadia Jamil

Urbaniste sénior / Senior Planner (CN Proximity)
Planning, Landscape Architecture and Urban Design
Urbanisme, architecture de paysage et design urbain



E : proximity@cn.ca
1600, René-Lévesque Ouest, 11e étage
Montréal (Québec)
H3H 1P9 CANADA
wsp.com

Pravina Attwala

Subject: FW: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Alexandra Goldstein <Alexandra.Goldstein@metrolinx.com>

Sent: June-02-22 3:28 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Thank you for circulating for Metrolinx review. The subject lands are outside of our Zone of Influence for review and comment. Please kindly remove us from any future circulation related to this site.

Pravina Attwala

Subject: FW: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS

From: Alexandra Goldstein <Alexandra.Goldstein@metrolinx.com>

Sent: October-20-22 10:43 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS

Thanks for flagging for Metrolinx review. The subject site is actually greater than 300 meters from the Metrolinx rail corridor, and as such, it falls outside of our zone of influence for review and comment. If you could please remove us from future circulations related to this site that would be great.

Thanks!

ALEXANDRA GOLDSTEIN

Project Manager

Third Party Projects Review, Capital Projects Group

Metrolinx | 20 Bay Street | Suite 600 | Toronto | Ontario | M5J 2W3

T: 416-202-5708



Pravina Attwala

Subject: FW: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Sent: May-31-22 11:52 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Pravina,

The subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit and TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments and no objection to the application.

Regards,

Hamedeh Razavi MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:4166616600) ext. 5256

E: Hamedeh.Razavi@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at Hamedeh.Razavi@trca.ca We thank you for your cooperation as we respond to the current situation.

Pravina Attwala

Subject: FW: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: October-19-22 1:06 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A121/22 (39 HILLSIDE AVENUE) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A121/22) and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Cathy Ferlisi	President Ratepayer Association		Letter of objection
Public	Alfredo & Josephine Mastrodicasa	43 Hillside Ave	06/21/2022	Letter of objection

Pravina Attwala

Subject: FW: [External] Plan RP2468 Part Lot 30 - Municipal 39 Hillside Ave. File#A121/22

From: Cathy Ferlisi

To: Committee of Adjustment <CofA@vaughan.ca>; Sandra Yeung Racco <Sandra.Racco@vaughan.ca>

Subject: [External] Plan RP2468 Part Lot 30 - Municipal 39 Hillside Ave. File#A121/22

To Members of the Committee of Adjustment,

My name is Cathy Ferlisi. I am the President of the Concord West Ratepayers Association. I have been made aware of this proposed building at 39 Hillside Avenue.

The applicant has planned a massive home and while lovely it exceeds the allowable setback, height restrictions, and percentage of lot coverage - not to mention the height of the proposed retaining wall.

The residents in the neighbouring properties are very concerned not only about the size of the proposed house but the ramifications associated with it - specifically drainage as their properties will become 'bath tubs' (direct quote from a neighbour).

Given the size of most lots in our neighbourhood, the CWRA understands that this neighbourhood is very appealing to those wanting to build estate type properties. We expect that our potential new neighbours will respect the current by-laws, be neighbourly and think about the impact on those others in Concord West and that the city of Vaughan will be prudent when reviewing these applications.

With these comments in mind, the Concord West Ratepayers Association is not in favour of this application and the variances requested.

Kindly ensure that we are informed on all matters regarding this file by emailing me directly at:

Respectfully,

Cathy Ferlisi
President CWRA

Date: June 21, 2022

cofa@vaughan.ca.

**Subject:: Request for Information: Minor Variance Application A121/22
(39 Hillside Ave)**

We have lived at 43 Hillside Ave. (immediately west of the subject property) since 1981 when we built our home according to the then by-law.

Firstly, we would like to express our pleasure in the redevelopment of this property as it has been an eye sore and a nuisance since the property was sold. Since the sale the property was used as a BnB and after hour party venue, at which time the fire and police departments were called on a number of occasions to attend the property due to excessive number of people partying until late into the night.

The following are a number of questions and concerns with respect to the above noted application:

1. The size and dimensions with the variances being requested do not necessarily fall within an "Old Village" environment and it is difficult for one to follow all the variances requested and which actual apply to this area since two by-laws are being referred to. Which one or which standards apply?
2. The drawings are not clear. They do not show the actual conditions and existing structures.
 - a. (Variance #1) Why is the existing house not shown on the demolition drawing so one can see the differences and variances? Furthermore, the existing fences are not clearly shown around 39 Hillside. A portion of the chain link fencing on the west property line was installed by one of the previous owners prior to 1979 and when we built, we continued the fence to our front building line. Subsequently the previous owners had some concern with the lighting along our easterly sidewalk and so we installed a wood privacy fence about 180mm west of our easterly property line and chain link fence. None of these are depicted on the site plan. Where are they measuring their setbacks from? We must ensure that these fences and any vegetation and trees are not affected by the 8 ft. plus excavation which is only. The basement walls are only 5 feet away from the property line. Assuming a 2ft. area for working the excavation will be less then 3 ft. from the property line.

- b. (Variance 2) Both by-laws have restricted the height of any new building. This is very clear
- c. (Variance 3) The side retaining wall for the basement walk out will cause damage to the existing trees.
- d. (Variance 4 & 9) See below.
- e. (Variance 5 & 6) There are a lot of numbers with respect to areas. Can someone actually confirm the actual coverage and whether the covered and/or uncovered front porch and rear deck covering the basement entrance are included or not included in the coverage calculation.

Additional concerns of utmost importance:

1. A very important issue and concern is the grading and related drainage from the rear of the lot. The entire area is relatively flat. The lands from Rockview (to the south) have always drained to the north to a swale along the rear lot lines of the properties fronting on Hillside & Rockview. This swale drained to the east. To maintain this when we built our home we maintained the grades along the property lines. When our neighbour to the south (front on Rockview) regraded his rear lot he filled his lot such that all his storm water drained onto our property. He did not maintain the swale and being so shut off the flow of rear lot drainage swale to the east. This has resulted in our rear lot being usually flooded and wet for about 3m across the entire width. I reported this to building standards but all they said, they could do nothing, and it was up to me to "sue them". Careful consideration must be taken in the grading to avoid addition water problems. The grades cannot be raised because it will cause flooding issues for us and all the surrounding neighbours.
2. There are a number of significant mature maple trees that have been on the property since well before we bought our property back in 1979. It would appear that in most cases these trees will be adversely affected by the proximity of the new construction. How are they being treated and/or protected and their well being guaranteed?

In conclusion we object to all the variances being requested: as most are not minor.

1. (Item #5 & 6) Assuming that the numbers on the plans are correct in their interpretation -- Lot coverage $25.31/20 = 26.5\%$ or $26.43/20 = 32.15\%$ increase depending which by-law applies.,
2. (item #2 & 7) Building height --- $10.93/8.5 = 28.5\%$ or $10.93/9.5 = 15.05\%$

3. (Item #3 & 8) Retaining wall ---- Read the comments above.
4. (Item 4 & 9) Maximum driveway width --- $13.41/9 = 49\%$ greater
5. (Item #1) Replacement dwelling side yards $2.23/1.5 = 48.6\%$ smaller on the west and $4.37/2.99 = 46.15\%$ smaller on the east side.

As I noted above the variances are not minor in nature. A change in 5 to 10% may be considered minor but up to 49% certainly is not.

Yours truly,

Alfredo & Josephine Mastrodicasa

43 Hillside Ave.,

Concord, Ontario

L4K 1W9

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