CITY OF VAUGHAN
COMMITTEE OF ADJUSTMENT
AGENDA

This is an Electronic Meeting. City Hall will not be open to the public. Public comments can be submitted by email to cofa@vaughan.ca. For deputations, please register by contacting Committee of Adjustment at cofa@vaughan.ca or 905-832-8585 Ext. 8332

Thursday, May 28, 2020
6:00 p.m.
Committee Rooms 242/243
2nd Floor, Vaughan City Hall
2141 Major Mackenzie Drive
Vaughan, Ontario

Pages

1. INTRODUCTION OF ADDENDUM REPORTS

2. DISCLOSURE OF INTEREST

3. ADOPTION OR CORRECTION OF THE MINUTES OF THE COMMITTEE (PREVIOUS HEARING)

4. REQUEST FOR ADJOURNMENTS AND/OR DEFERRALS

5. SCHEDULED APPLICATIONS BEFORE THE COMMITTEE

1.	A137-19 - Staff Report (5 Ryder Road, Maple)	3
2.	A157-19- Staff Report (10395 Weston Road, Woodbridge)	45
3.	A161-19 - Staff Report (91 Vaughan Blvd, Thornhill)	78
4.	A165-19 - Staff Report (20 Flourish Street, Woodbridge)	92
5.	A174-19 - Staff Report (76 Chaiwood Court, Maple)	120
6.	A180-19 - Staff Report (196 Drumlin Circle, Concord)	156
7.	A182-19 - Staff Report (1 Edison Place, Maple)	183
8.	A005-20 - Staff Report (51 Cherokee Drive, Maple)	203
9.	A008-20 - Staff Report (48 Green Manor Crescent, Woodbridge)	215
10.	A009-20 - Staff Report (157 Headwind Blvd, Woodbridge)	251
11.	A012-20 - Staff Report (166 Woodbridge Avenue, Unit A, Woodbridge)	275
12.	A022-20 - Staff Report (100 Conair Parkway, Woodbridge)	300

13. A118-19 - Staff Report (7845 Highway 27, Woodbridge) 321

6. OTHER BUSINESS

7. ADJOURNMENT

VAUGHAN

Staff Report Summary

Item # 05

Ward # 1

File: A137/19

Applicant: Behrooz Zangooei and Hadis Rashidi

Address: 5 Ryder Road, Maple ON

Agent: Aphrodite Liaghat

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	☑
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department	☑	
TRCA	☑	☑
CN Rail / Metrolinx	☑	
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑	

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 05

A137/19

Ward: 1

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8504**. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Behrooz Zangooei and Hadis Rashidi

Agent: Aphrodite Liaghat

Property: **5 Ryder Rd Maple ON**

Zoning: The subject lands are zoned R1V Old Village Residential, under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010: Low Rise Residential and Natural Area

Related Files: None.

Purpose: Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A maximum lot coverage of 20% is permitted.	To permit a maximum lot coverage of 22.2% for the dwelling, garage, balcony and covered porch (Dwelling 20.8%, covered Porch 0.4%, Balcony 1.0%).

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** he last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on March 4, 2020

Applicant confirmed posting of signage on February 28, 2020 and May 11, 2020.

Property Information	
Existing Structures	**Year Constructed**
Dwelling	1961 to be demolished

Applicant has advised that they cannot comply with By-law for the following reason(s): To increase the quality of life of the residence and accommodate a family.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The lot coverage calculation of 22.2% includes the dwelling and garage (20.8%), balcony (1.0%) and covered porch (0.4%).

The applicant has confirmed that this is not a dwelling with a secondary suite.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010: Low Rise Residential and Natural Area

The Owner is requesting permission to construct a 2-storey single-detached dwelling unit with the above variance.

A proposed lot coverage of 22.2% (20.8% main dwelling, 1.0% balcony, 0.4% porches) (Variance #1) which is keeping in with the character and build form of the existing area. The proposed variances are considered minor in nature.

The Owner submitted an Arborist Report prepared by Rachael Scott Arboriculture Consulting & Services dated September 20, 2019 and amended November 15, 2019. The Urban Design and Cultural Heritage Division of the Development Planning Department and Parks, Forestry and Horticulture Operations has reviewed the submitted Arborist Report and is satisfied.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the minor variance application.

Cultural Heritage (Urban Design):
No comments or concerns

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A137/19 subject to the following condition:

The owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

Parks, Forestry and Horticulture Operations:
No comments or concerns

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:
No comments or concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Presentation to Committee

Schedule C - Agency Comments
TRCA – comments with conditions
CN Rail – No comment
Metrolinx – No comment
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Jason Pham 905-832-8585 x 8716 Jason.pham@vaughan.ca	The owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.
2	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

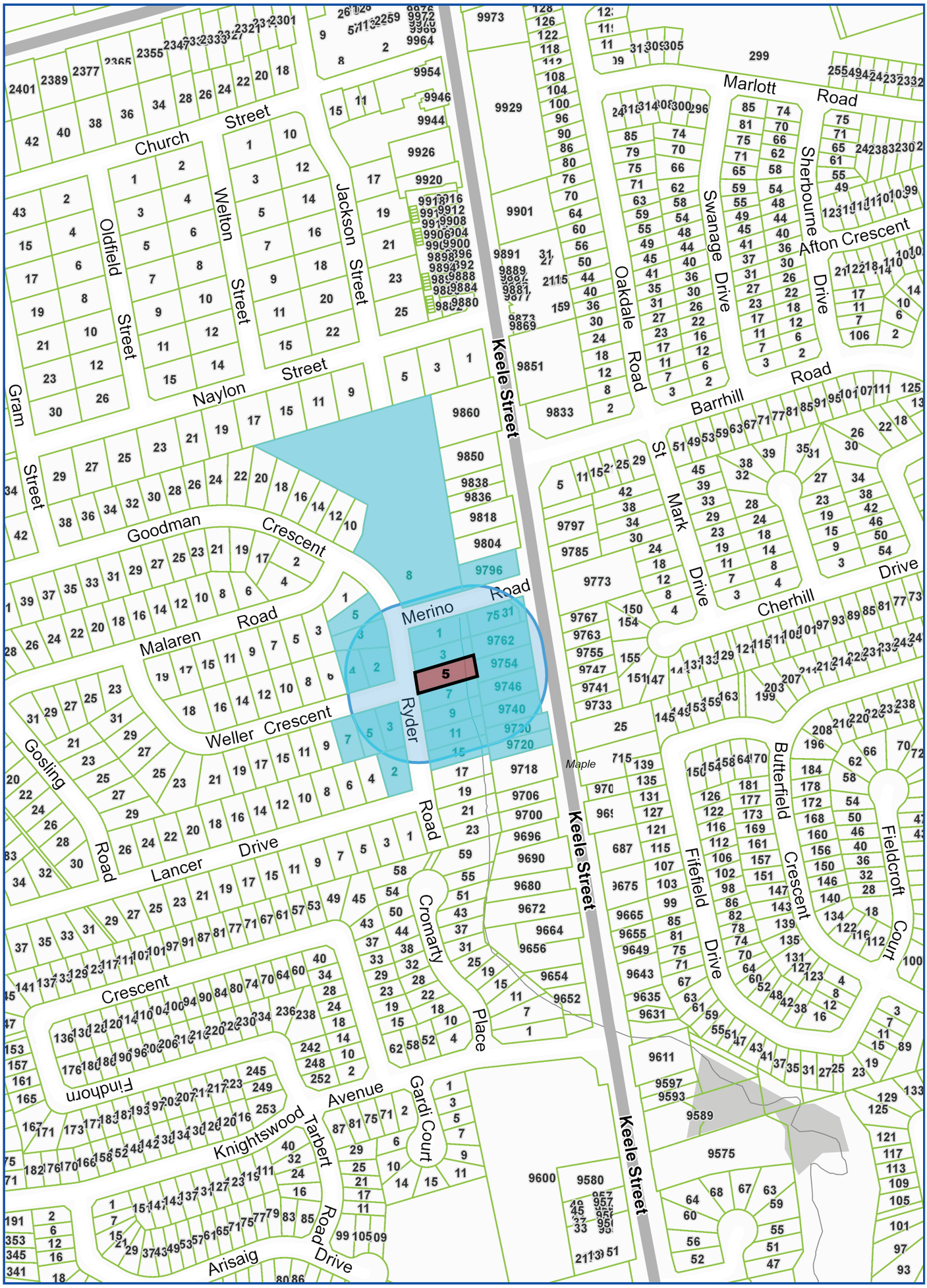
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

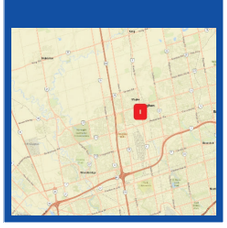
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches



Map Information:



Title:

5 RYDER ROAD, MAPLE

LOCATION MAP - A137/19

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

Scale: 1: 4,514
0 0.07 km

Created By:
Infrastructure Delivery Department
October 17, 2019 8:24 PM

Projection:
NAD 83
UTM Zone 17N

A137/19

A& Architects

A& Associates Architects Inc.

A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B, Toronto Ontario M4M 2R5

5 RYDER RD

PROJECT ADDRESS: 5 RYDER RD, MAPLE, ON
PROJECT NUMBER: 19-115

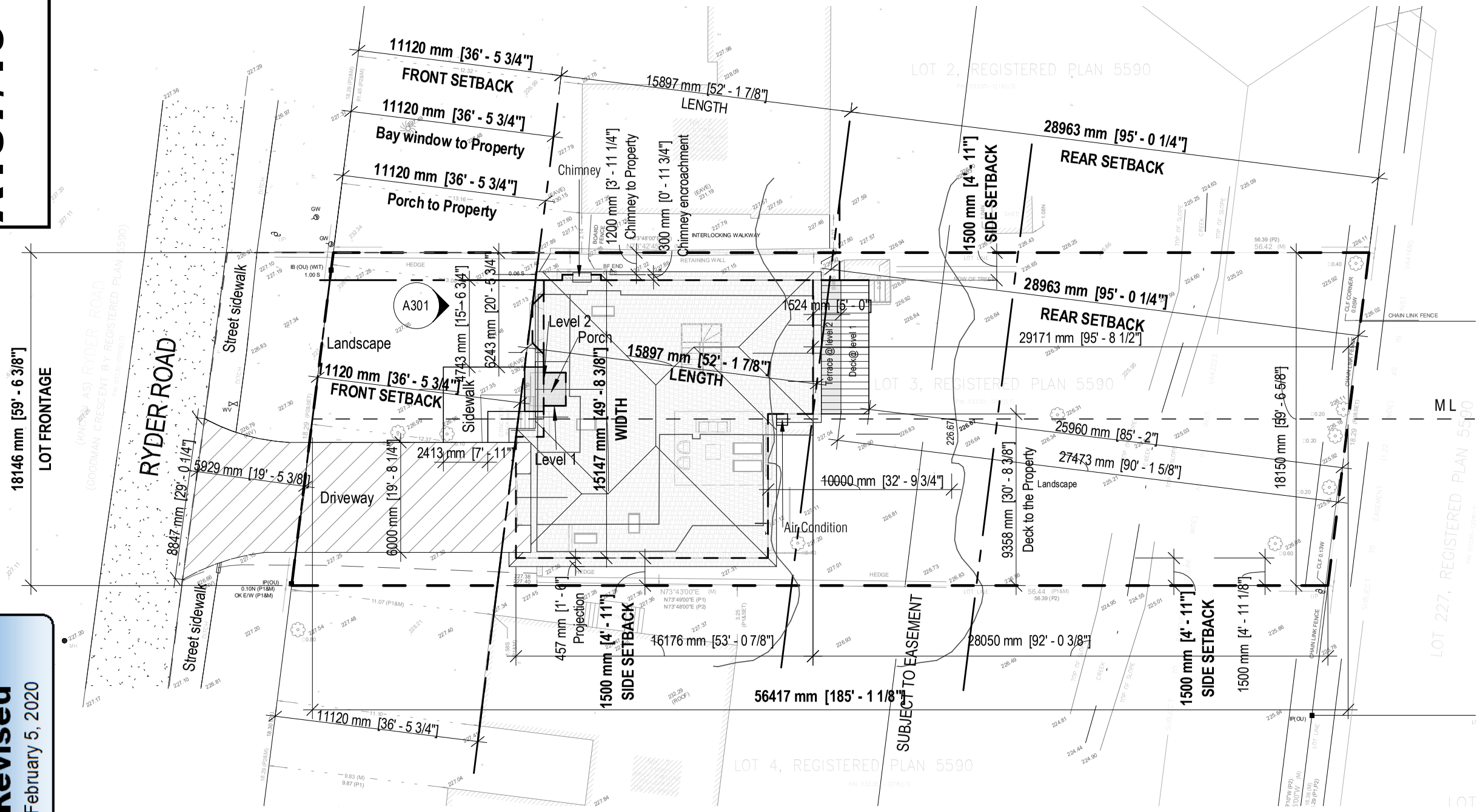
ISSUE DATE: 2020/02/05

Revised
February 5, 2020

2020-02-05 10:18:31 AM

A137/19

Revised
February 5, 2020



COVERAGE :
BUILDING : 213.02 /1024 = 20.8%

* Coverage Include :
Building and Parking

PORCH : 4.67 / 1024= 0.4 %
BALCONY : 11.11 /1024 = 1 %

TOTAL : 22.2 %

SITE DATA	
ZONING AREA	R1V
LOT#	3
PLAN	5590
LOT AREA	1,024 SM

AREA	PROPOSED	REGUIRED
COVERAGE *	20.8 %	20-23 %
G.F.A(NOT INCLUDING BASEMENT/ PARKING AND VOID)	362.54 SM 3902 SF	
NO. OF STOREYS	2 STOREYS	
HEIGHT	9.5 M	9.5 M

SETBACKS	REGUIRED	PROPOSED
FRONT	9 or 11.565 * M	11.12 M
REAR	7.5 M	28.96 M
SIDE	1.5 M	1.5 M
SIDE	1.5 M	1.5 M

* 12.85 - 1.285 = 11.565

GCA	SM	SF
BASEMENT	212.92 SM	2291 SF
LEVEL 1	213.02 SM	2292 SF
LEVEL 2	212.92 SM	2291 SF
TOTAL	638.86 SM	6876 SF

Established Grade = (227.36 + 227.38) / 2 = 227.37

	SM	SF	REQUIRED	PROPOSED
FRONT YARD (EXCLUDING PARKING)	148.13 SM	1594 SF		
HARD LANDSCAPE	19.62 SM	211 SF	50%	13.3 %
SOFT LANDSCAPE	128.50 SM	1383 SF	50%	86.7 %
BACK YARD	552.29 SM	5944 SF		
HARD LANDSCAPE	22.22 SM	239 SF	50%	4 %
SOFT LANDSCAPE	530.07 SM	5705 SF	50%	96 %

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD
5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

lot coverage 22.2%
(Dwelling 20.8%, covered porch 0.4%, Balcony 1.0%).

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
5	2019-12-02	Re Issued for TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA

As indicated

SITE PLAN

A - 101

2020-02-05 11:42:41 AM C:\Users\sebtreh.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_sebtreh.rvt

A137/19

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
LOT 3
REGISTERED PLAN 5590
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:150
2.5m 0 2.5 5 7.5 10m

VLADIMIR DOSEN SURVEYING, O.L.S.

NO PERSON MAY COPY,REPRODUCE,DISTRIBUTE OR ALTER THIS © PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VLADIMIR DOSEN, O.L.S.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2091586
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY
ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

PART 2) **SURVEY REPORT**
DESCRIPTION OF LAND:
LOT 3, REGISTERED PLAN 5590, PIN 03330-1217(LT).
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
SUBJECT TO EASEMENT OVER THE REAR 1.22 METRES AS IN INST. № VA41685.
SUBJECT TO EASEMENT OVER THE REAR 22.86 METRES AS IN INST. № VA42223.
BOUNDARY FEATURES:
POSITION OF FENCES AS SHOWN ON PLAN.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS REPORT WAS PREPARED FOR RASHIDI, HADIS AND ZANGOOEI, BEHROOZ AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

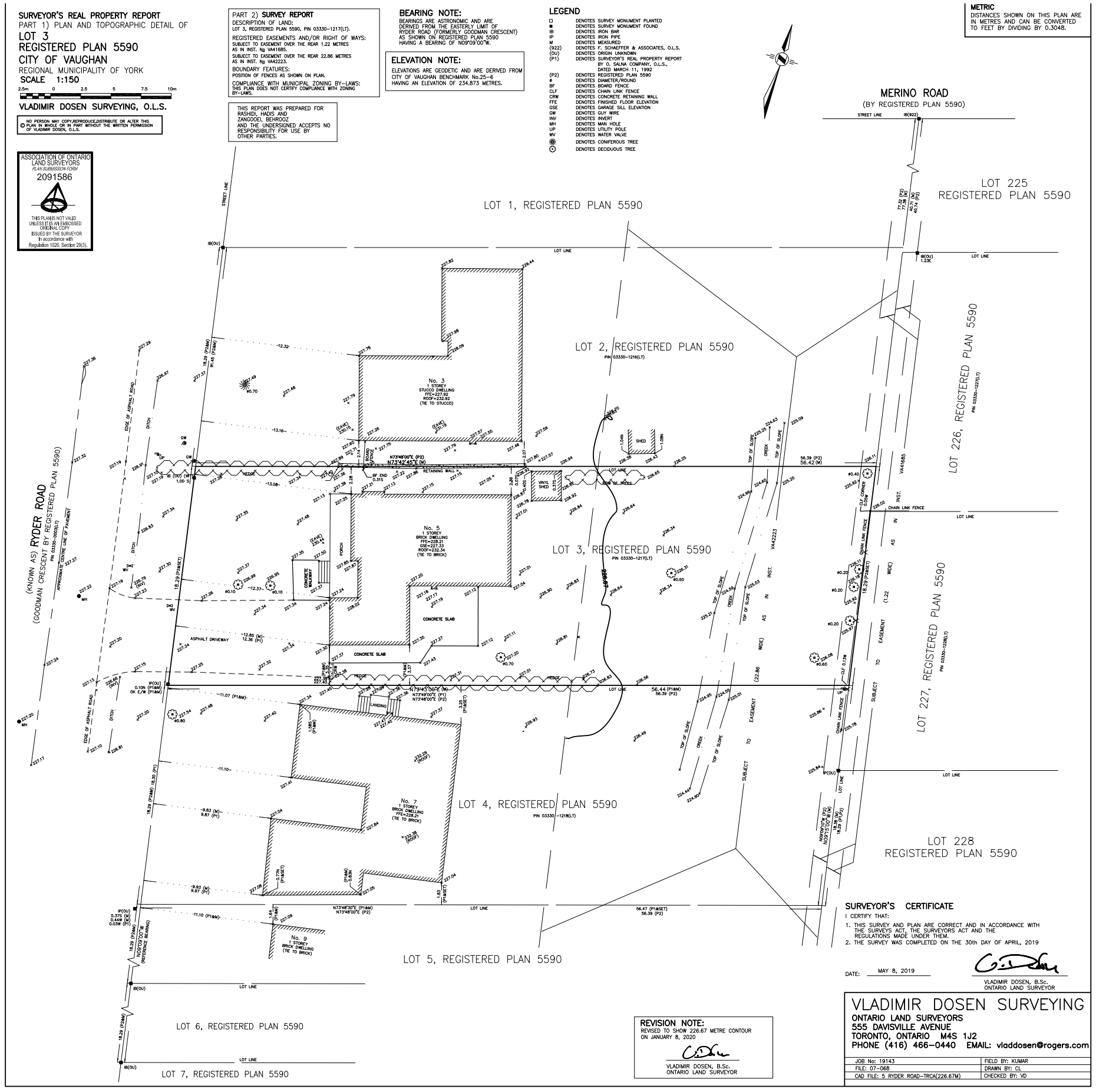
BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM THE EASTERLY LIMIT OF RYDER ROAD (FORMERLY GOODMAN CRESCENT) AS SHOWN ON REGISTERED PLAN 5590 HAVING A BEARING OF N09°09'00"W.

ELEVATION NOTE:
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CITY OF VAUGHAN BENCHMARK No.25-6 HAVING AN ELEVATION OF 234.873 METRES.

LEGEND

□	DENOTES SURVEY MONUMENT PLANTED
■	DENOTES SURVEY MONUMENT FOUND
IB	DENOTES IRON BAR
IP	DENOTES IRON PIPE
M	DENOTES MEASURED
(922)	DENOTES F. SCHAEFFER & ASSOCIATES, O.L.S.
(OU)	DENOTES ORIGIN UNKNOWN
(P1)	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY O. SALNA COMPANY, O.L.S., DATED MARCH 11, 1992
(P2)	DENOTES REGISTERED PLAN 5590
ø	DENOTES DIAMETER/ROUND
BF	DENOTES BOARD FENCE
CLF	DENOTES CHAIN LINK FENCE
CRW	DENOTES CONCRETE RETAINING WALL
FFE	DENOTES FINISHED FLOOR ELEVATION
GSE	DENOTES GARAGE SILL ELEVATION
GW	DENOTES GUY WIRE
INV	DENOTES INVERT
MH	DENOTES MAN HOLE
UP	DENOTES UTILITY POLE
WV	DENOTES WATER VALVE
	DENOTES CONIFEROUS TREE
	DENOTES DECIDUOUS TREE

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 30th DAY OF APRIL, 2019

DATE: MAY 8, 2019
VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

REVISION NOTE:
REVISED TO SHOW 226.67 METRE CONTOUR ON JANUARY 8, 2020
VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

JOB No: 19143	FIELD BY: KUMAR
FILE: 07-068	DRAWN BY: CL
CAD FILE: 5 RYDER ROAD-TRCA(226.67M)	CHECKED BY: VD

Revised
February 5, 2020

2020-02-03 5:15:55 PM C:\Users\sestaneh.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_sestaneh2cuZdJ.rvt

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD
5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-03

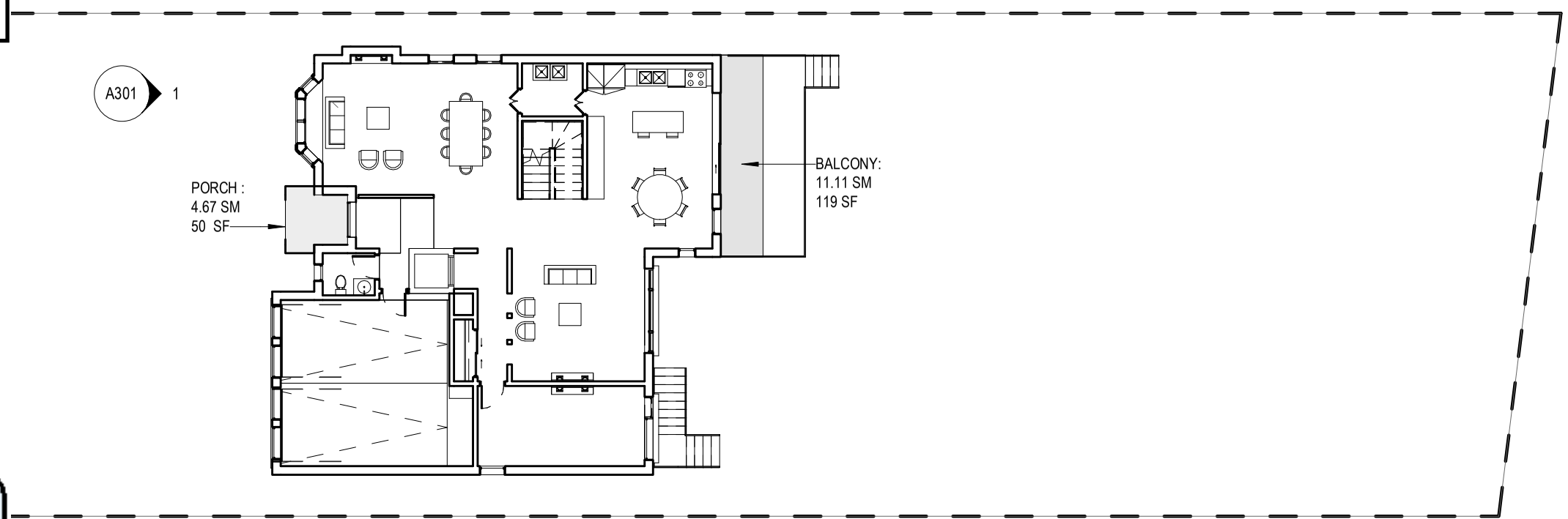
Page 10 of 12

7	2010-02-03	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
5	2019-12-02	Re Issued for TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA

SURVEY

A - 102

A137/19



COVERAGE :
BUILDING : 213.02 /1024 = 20.8%

* Coverage Include :
Building and Parking

PORCH : 4.67 / 1024= 0.4 %
BALCONY : 11.11 /1024 = 1 %

TOTAL : 22.2 %

Revised
February 5, 2020

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD
5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 0131

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

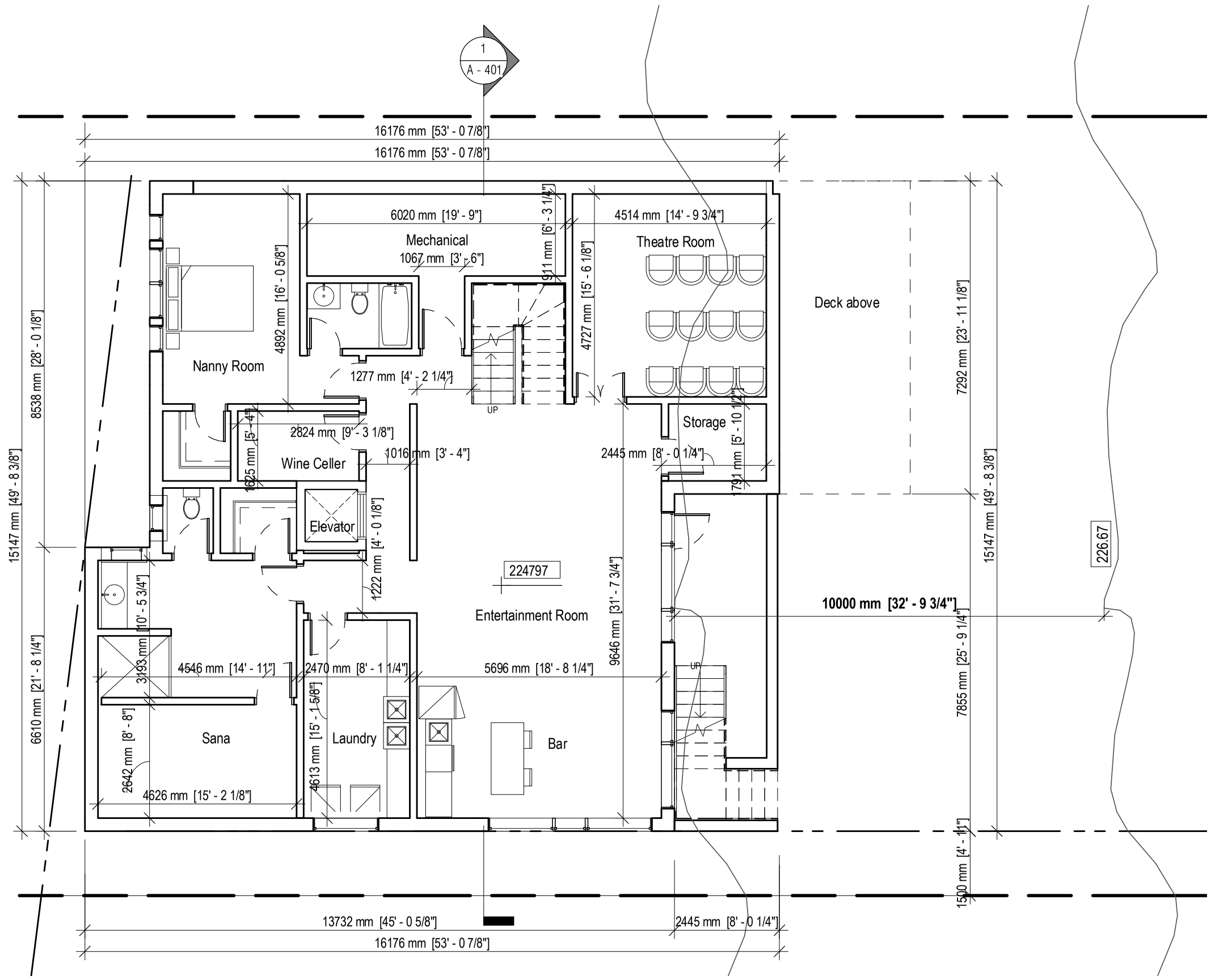
1 : 200

COVERAGE/PORCH/ BALCONY

A - 103

2020-02-05 10:28:34 AM C:\Users\sebtreh.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_sebtreh2020.rvt

A137/19



Revised
February 5, 2020

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 0142

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

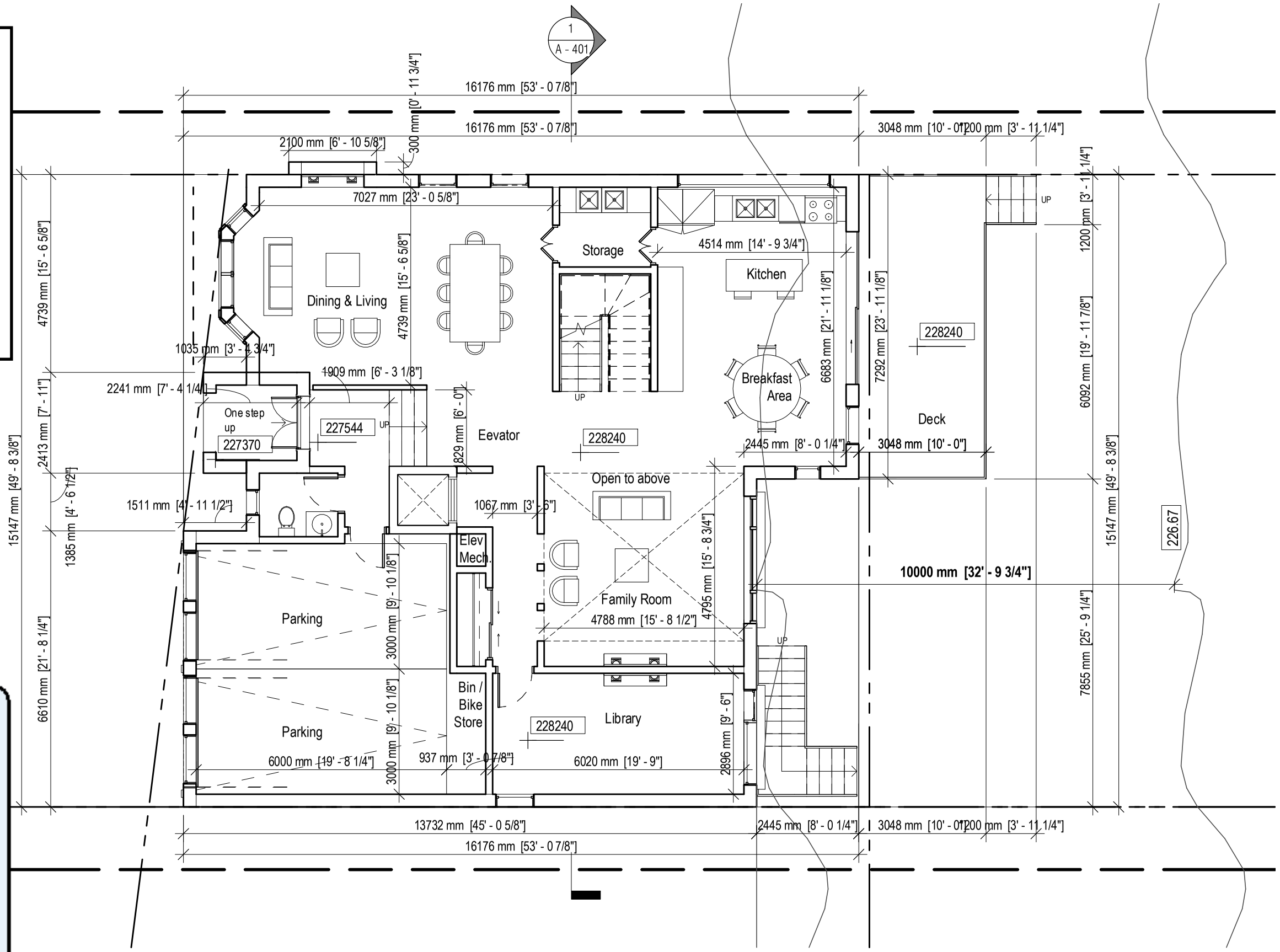
1 : 100

BASEMENT

A - 201

2020-02-05 11:30:36 AM C:\Users\sattarah.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_sattarah2cZdJJVr.rvt

A137/19



Revised
February 5, 2020

2020-02-05 11:30:00 AM C:\Users\setareh\AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R19_setareh2cudd.rvt

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 0163

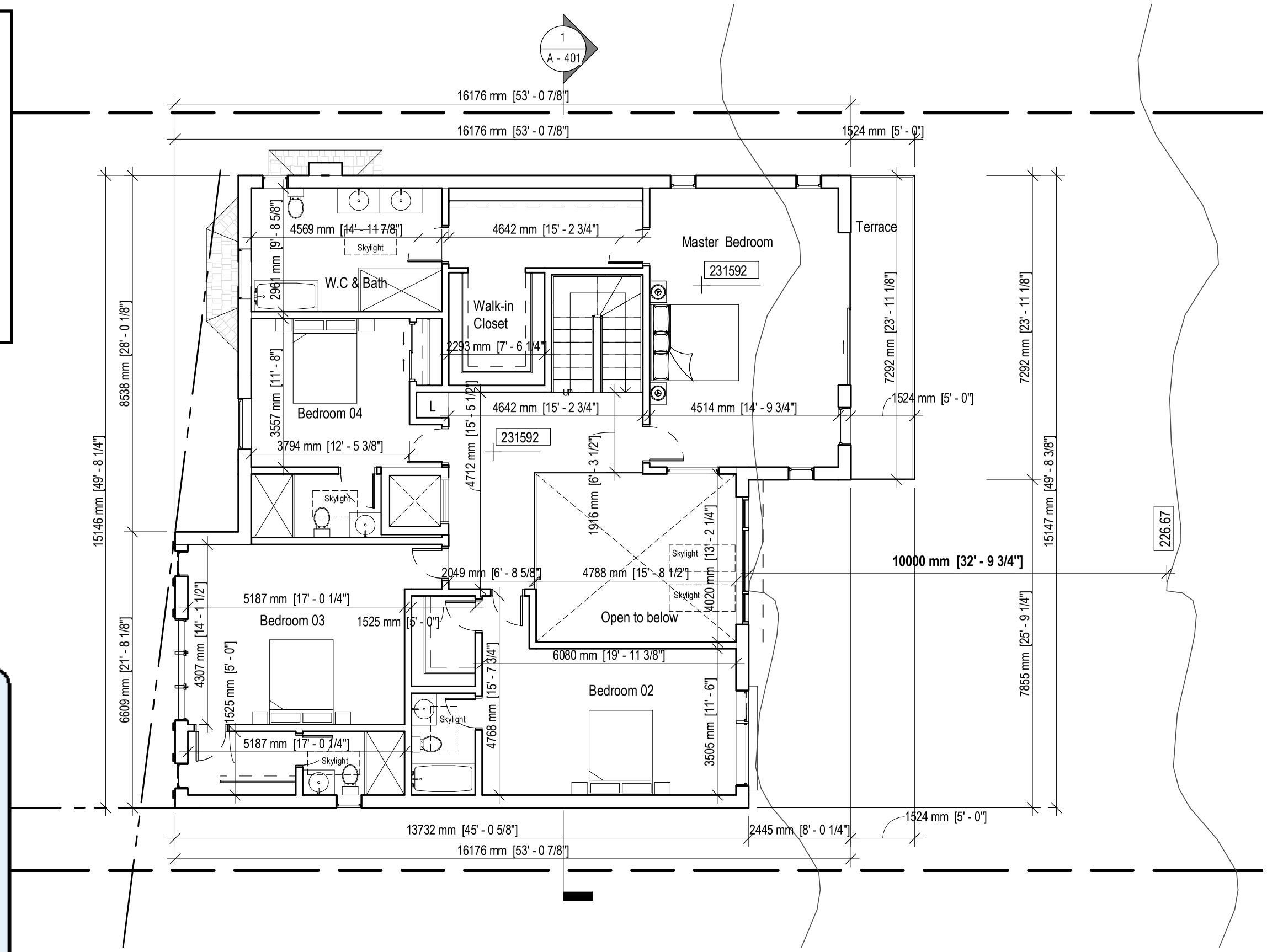
7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

LEVEL 1

A - 202

A137/19



Revised
February 5, 2020

2020-02-05 11:29:27 AM C:\Users\sataneh.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_sataneh2cxzdu.rvt

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 0 of 34

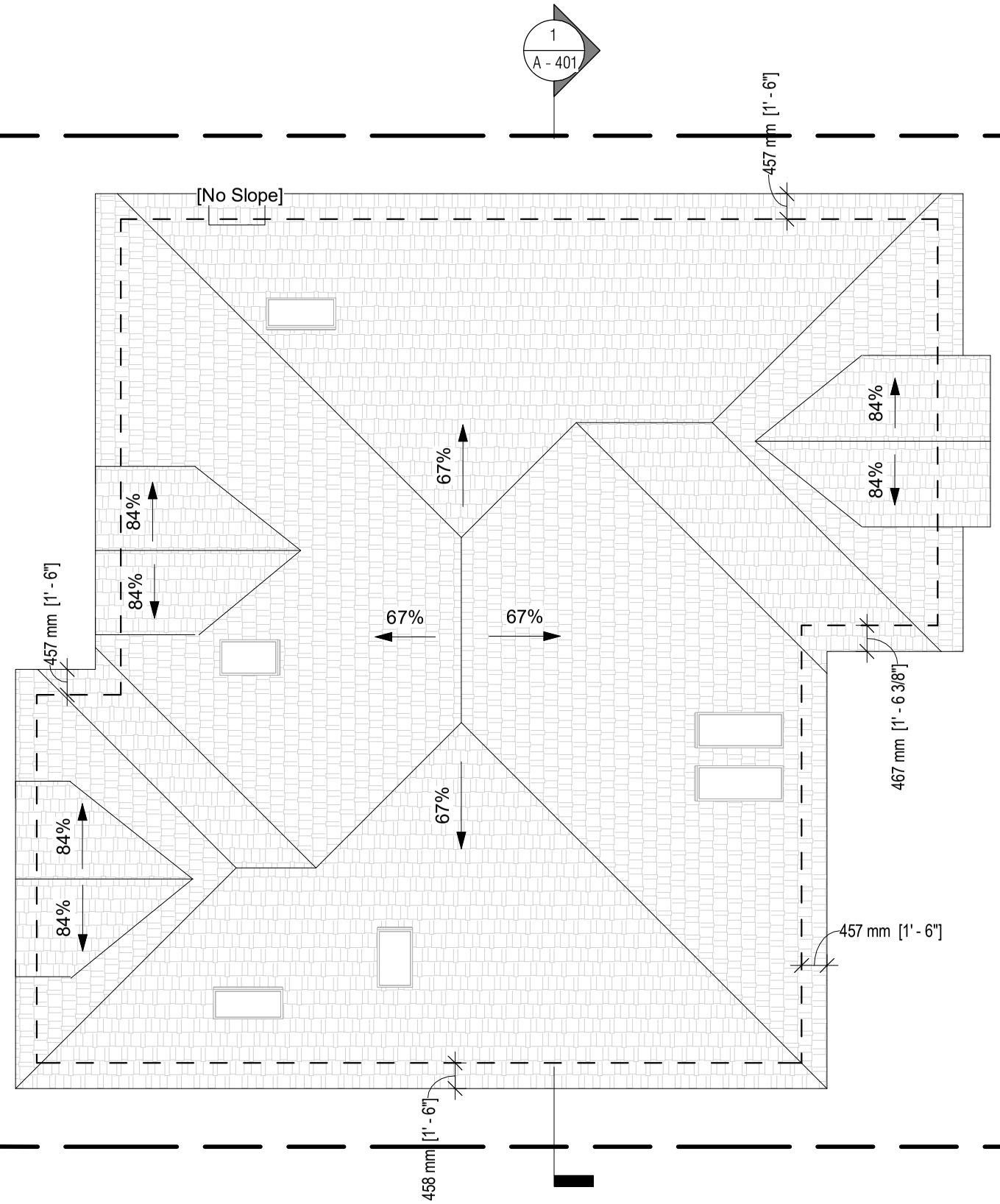
7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

LEVEL 2

A - 203

A137/19



Revised
February 5, 2020

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 0175

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

ROOF PLAN

A - 204

2020-02-05 10:39:39 AM C:\Users\seafarah\AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R19_seafarah2cudu.rvt

A137/19

Revised
February 5, 2020

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 0186

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

WEST ELEVATION

A - 301

2020-02-05 10:18:34 AM C:\Users\satish.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_satish02.rvt

A137/19

Revised
February 5, 2020

1 / A - 302 **East Elevation**
1 : 100

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD
5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 017

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

EAST ELEVATION

A - 302

2020-02-05 10:18:35 AM C:\Users\sebareh-AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R19_sebareh2KSZ0JU.rvt

A137/19

Revised
February 5, 2020

1 / A - 303 **North Elevation**
1 : 100

2020-02-05 10:18:35 AM C:\Users\sebtreh\AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R13_sebtreh2020.rvt

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 208

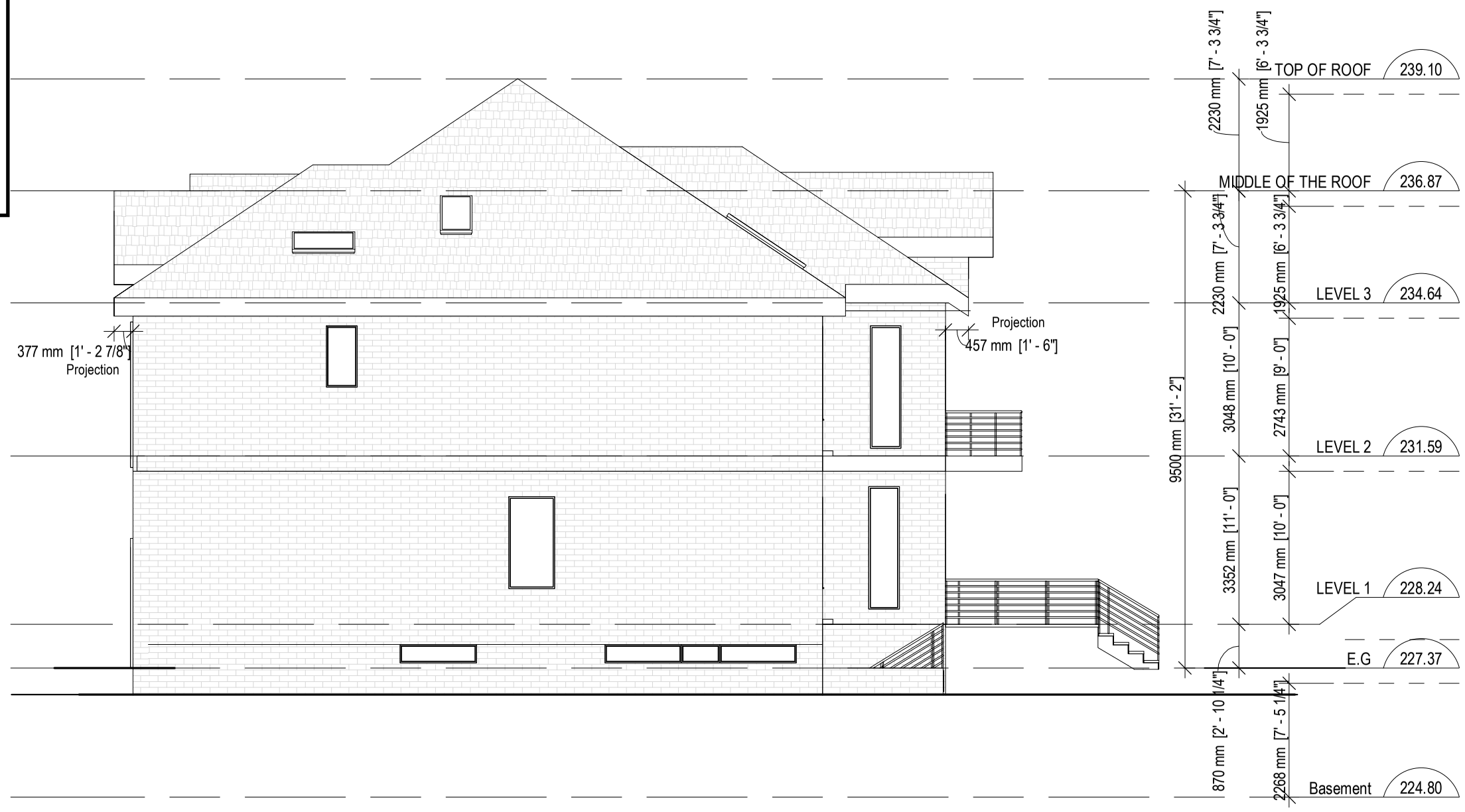
7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

NORTH ELEVATION

A - 303

A137/19



Revised
February 5, 2020

1 / A - 304 **South Elevation**
1 : 100

2020-02-05 10:18:35 AM C:\Users\sebtreh.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_central_R13_sebtreh.rvt

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD
5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 219

7	2010-02-05	Issued for COA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

SOUTH ELEVATION

A - 304

A137/19

Revised
February 5, 2020

1 / A - 401 **Section A-A1**
1 : 100

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD
5 RYDER RD, MAPLE, ON
Project No.19-115
2010-02-05

Page 220

7	2010-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA

1 : 100

SECTION A-A

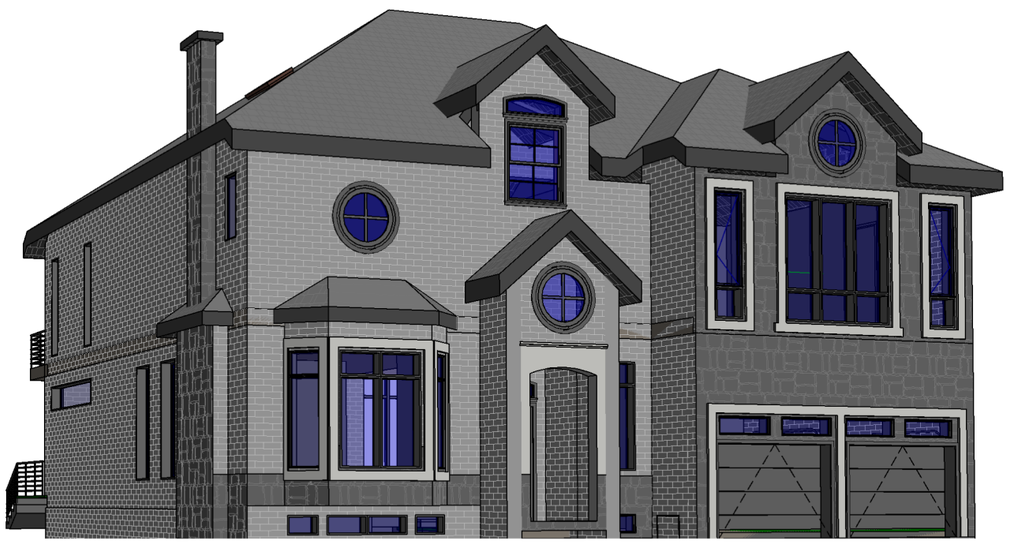
A - 401

2020-02-05 10:26:41 AM C:\Users\setareh.AARCHITECTS\Documents\19-115_5 Ryder Road_Option 4_Central_R19_setareh.rvt

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Presentation to Committee (Applicant)



A& Architects

A& Associates Architects Inc.

A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B, Toronto Ontario M4M 2R5

5 RYDER RD

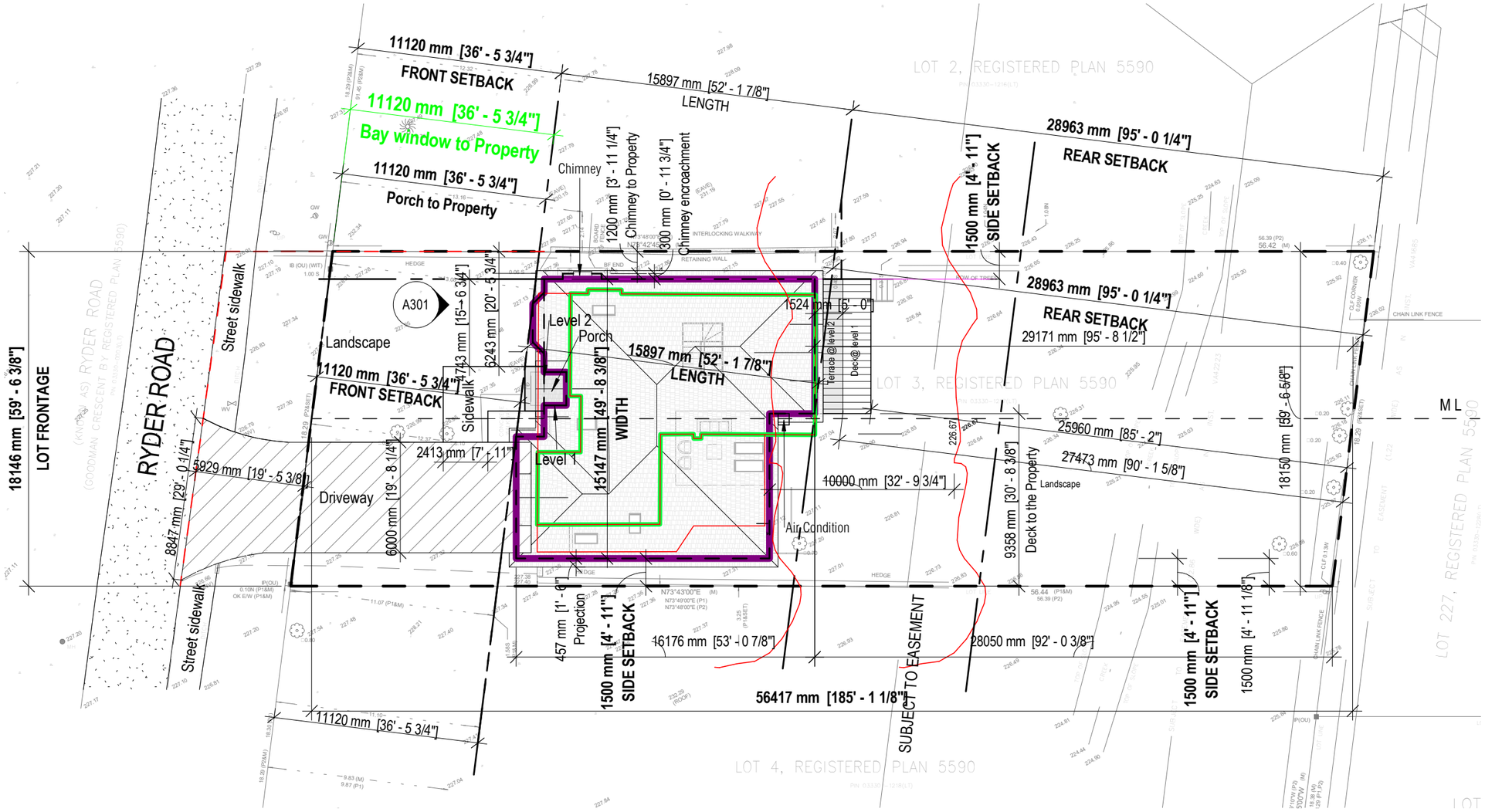
PROJECT ADDRESS: 5 RYDER RD, MAPLE, ON

PROJECT NUMBER: 19-115

ISSUE DATE: 2020/02/20

SHEET LIST	
Sheet Name	Sheet Number
COVER	A - 000
SITE PLAN	A - 101
SURVEY	A - 102
COVERAGE/PORCH/ BALCONY	A - 103
BASEMENT	A - 201
LEVEL 1	A - 202
LEVEL 2	A - 203
ROOF PLAN	A - 204
WEST ELEVATION	A - 301
EAST ELEVATION	A - 302
NORTH ELEVATION	A - 303
SOUTH ELEVATION	A - 304
SECTION A-A	A - 401

5/20/2020 11:20:51 AM



COVERAGE :
BUILDING : 213.02 /1024 = 20.8%

* Coverage Include :
Building and Parking

PORCH : 4.67 / 1024= 0.4 %
BALCONY : 11.11 /1024 = 1 %

TOTAL : 22.2 %

SITE DATA	
ZONING AREA	R1V
LOT#	3
PLAN	5590
LOT AREA	1,024 SM

AREA	PROPOSED	REGUIRED
COVERAGE *	20.8 %	20-23 %
G.F.A(NOT INCLUDING BASEMENT/ PARKING AND VOID)	362.54 SM 3902 SF	
NO. OF STOREYS	2 STOREYS	
HEIGHT	9.5 M	9.5 M

SETBACKS	REGUIRED	PROPOSED
FRONT	9 or 11.565 * M	11.12 M
REAR	7.5 M	28.96 M
SIDE	1.5 M	1.5 M
SIDE	1.5 M	1.5 M

* 12.85 - 1.285 = 11.565

GCA	SM	SF
BASEMENT	212.92 SM	2291 SF
LEVEL 1	213.02 SM	2292 SF
LEVEL 2	212.92 SM	2291 SF
TOTAL	638.86 SM	6876 SF

Established Grade = (227.36 + 227.38) / 2 = 227.37

	SM	SF	REQUIRED	PROPOSED
FRONT YARD (EXCLUDING PARKING)	148.13 SM	1594 SF		
HARD LANDSCAPE	19.62 SM	211 SF	50%	13.3 %
SOFT LANDSCAPE	128.50 SM	1383 SF	50%	86.7 %
BACK YARD	552.29 SM	5944 SF		
HARD LANDSCAPE	22.22 SM	239 SF	50%	4 %
SOFT LANDSCAPE	530.07 SM	5705 SF	50%	96 %

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

NEW BUILDING

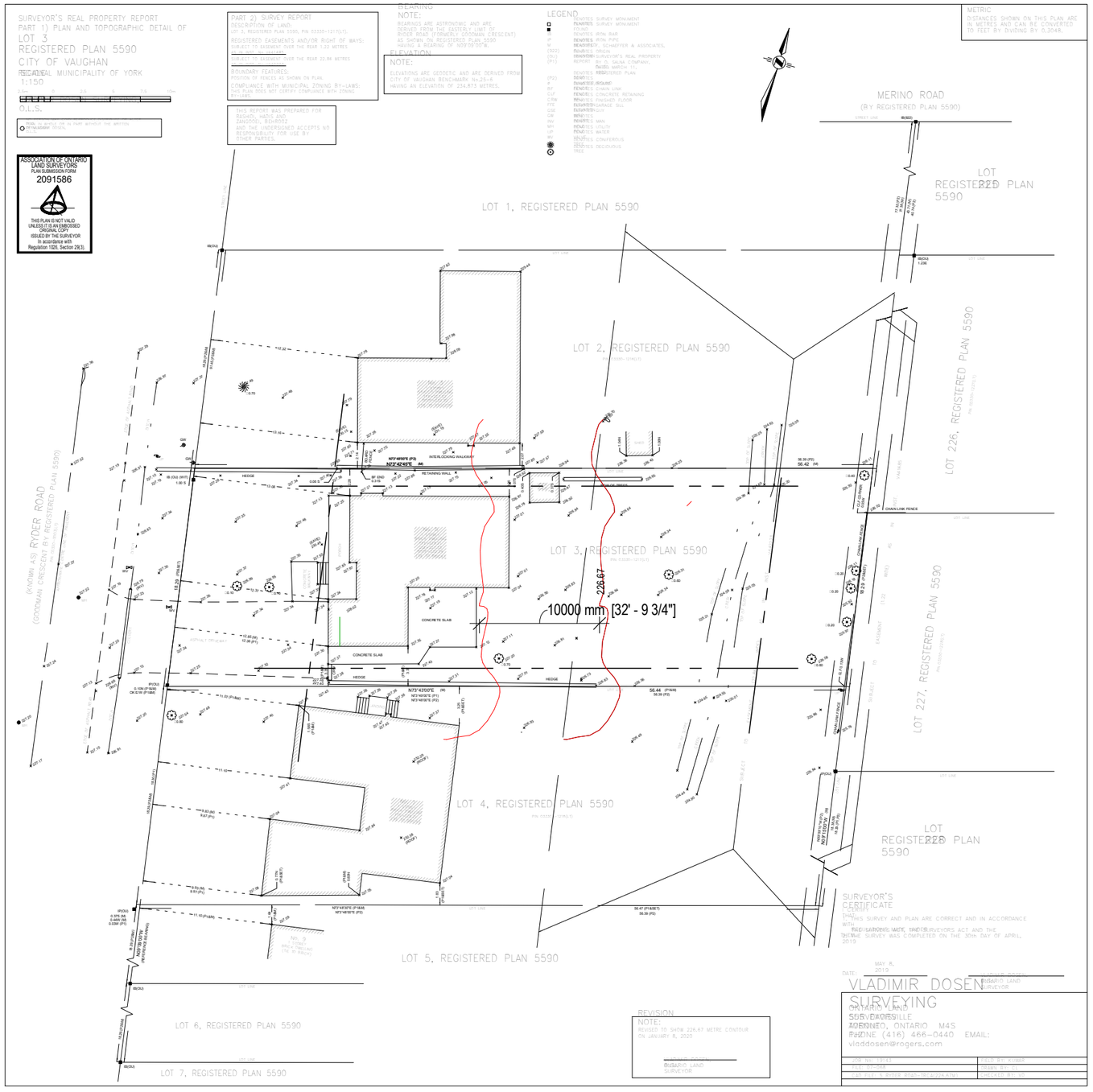
8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
5	2019-12-02	Re Issued for TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

As indicated

SITE PLAN

A - 101

5/20/2020 11:20:51 AM C:\Users\Sepideh.NSI\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REV\19-115_5 Ryder Road_Option 4_central_R20.rvt



A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

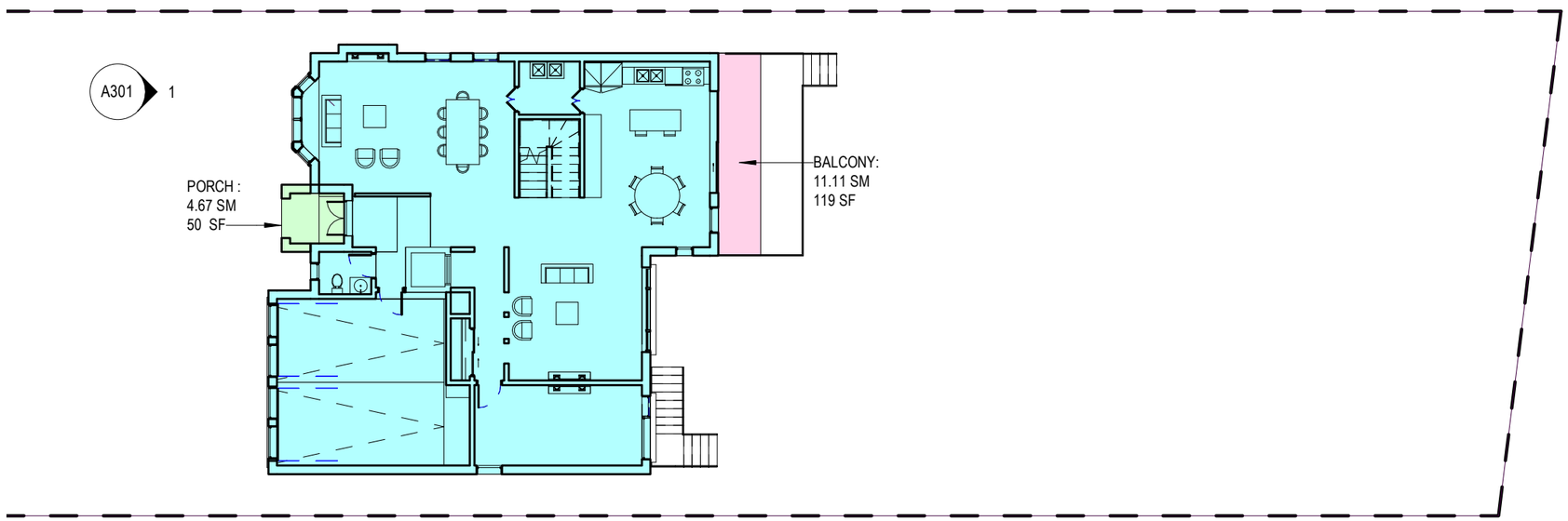
5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
5	2019-12-02	Re Issued for TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

SURVEY

A - 102

5/20/2020 11:20:52 AM C:\Users\Sepideh.VIS95\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REV19-115-_5 RyderRoad_Option4_Central_R20.rvt



SITE AREA: 1,024 SM

COVERAGE :
BUILDING : 213.02 /1024 = 20.8%

* Coverage Include :
Building and Parking

PORCH : 4.67 / 1024= 0.4 %
BALCONY : 11.11 /1024 = 1 %

TOTAL : 22.2 %

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

NEW BUILDING
BALCONY
PORCH

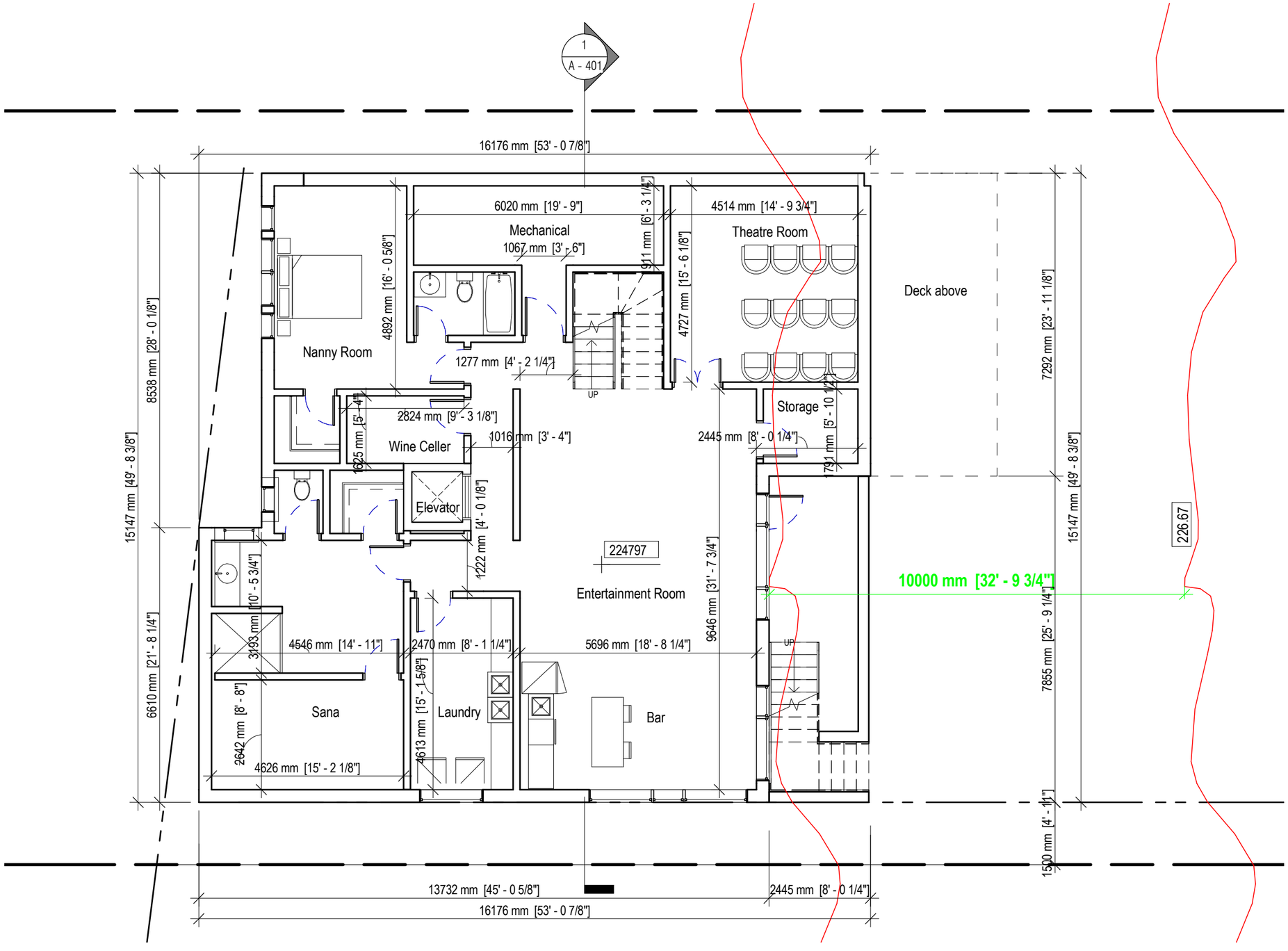
8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

As indicated

COVERAGE/PORCH/ BALCONY

A - 103

5/20/2020 11:20:53 AM C:\Users\Sepideh.WS05\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REV\19-115_5 Ryder Road_Option 4_Central_R20.rvt



A&Architects

A& Associates Architects Inc.

Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

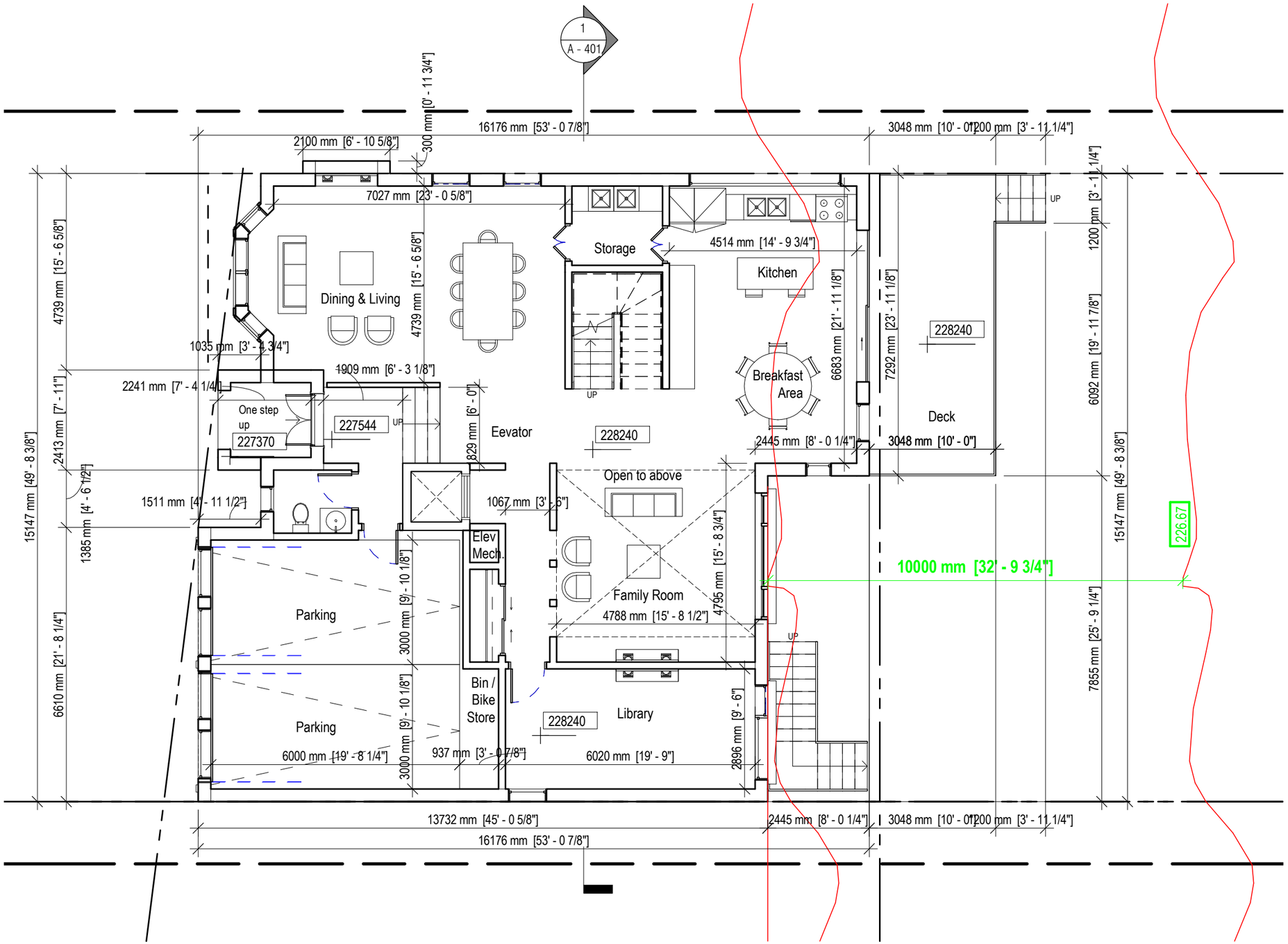
8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

BASEMENT

A - 201

5/20/2020 11:20:53 AM C:\Users\Sepideh.WS05\Desktop\AAA PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R20.rvt



A&Architects

A& Associates Architects Inc.

Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

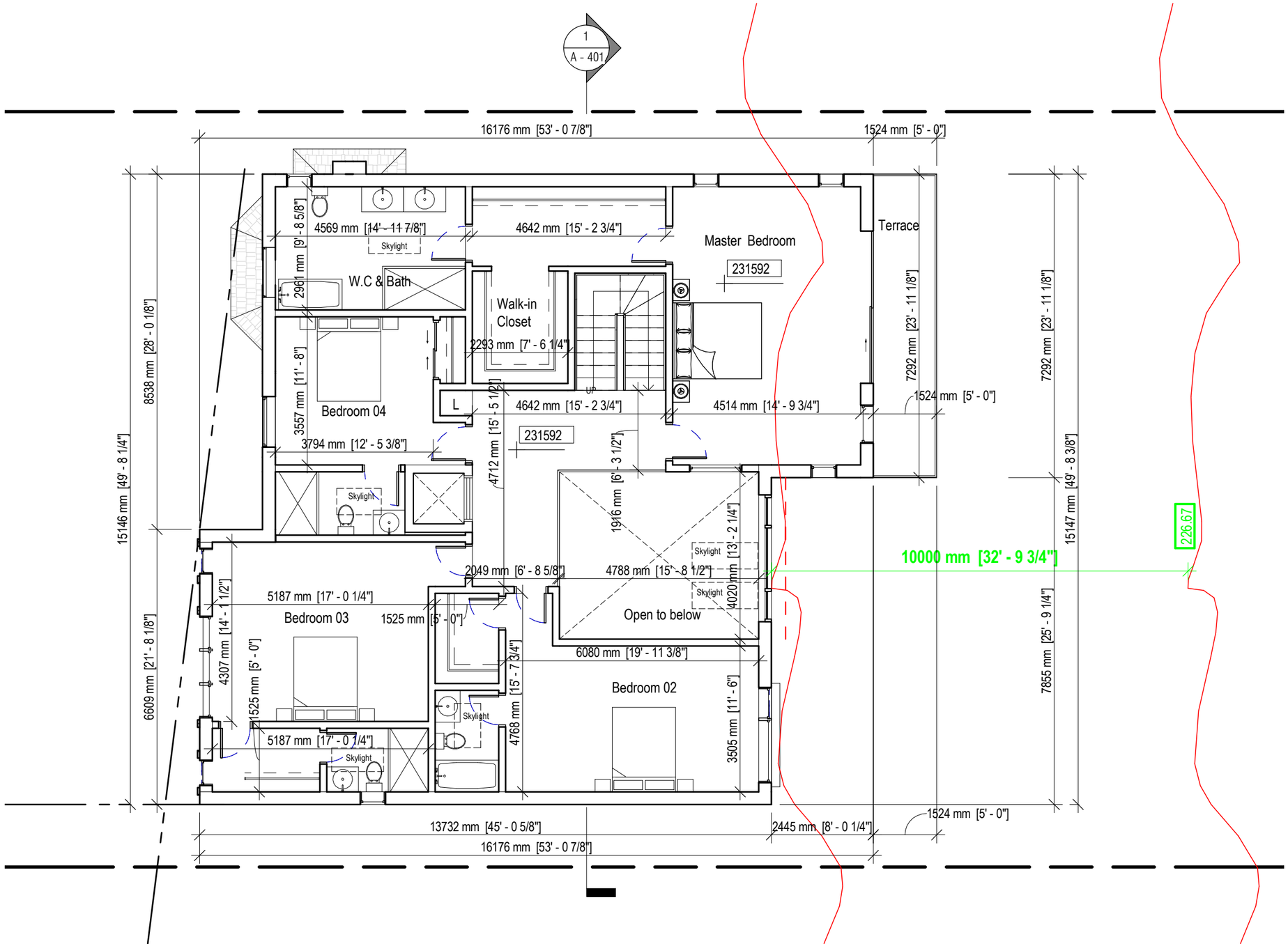
8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

LEVEL 1

A - 202

5/20/2020 11:20:53 AM C:\Users\Sergiek\WS\5\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R20.rvt



A& Architects

A& Associates Architects Inc.

Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

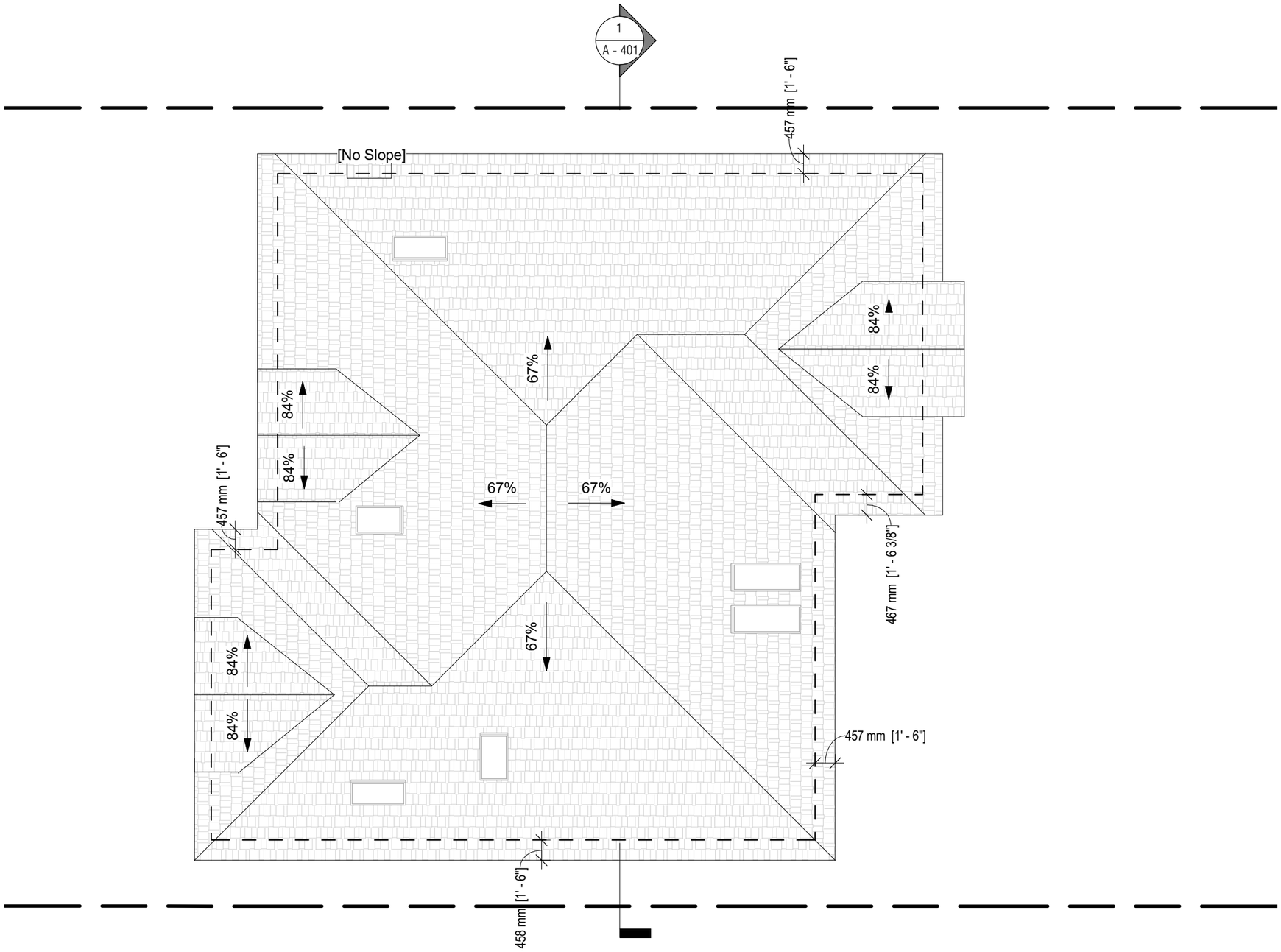
8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

LEVEL 2

A - 203

5/20/2020 11:20:53 AM C:\Users\Sepideh.WS95\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option4_Central_R20.rvt



A&Architects

A& Associates Architects Inc.

Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

ROOF PLAN

A - 204

5/20/2020 11:20:54 AM C:\Users\Sepideh.VIS10\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R20.rvt

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

WEST ELEVATION

A - 301

5/20/2020 11:20:54 AM C:\Users\Sepideh.VS05\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R22.rvt

1 / A - 302 **East Elevation**
1 : 100

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

EAST ELEVATION

A - 302

5/20/2020 11:20:55 AM C:\Users\Sergiish\OneDrive\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_central_R20.rvt

1 / A - 303 **North Elevation**
1 : 100

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

NORTH ELEVATION

A - 303

5/20/2020 11:20:55 AM C:\Users\Sepideh.WS05\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R20.rvt

1 / A - 304 **South Elevation**
1 : 100

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

SOUTH ELEVATION

A - 304

5/20/2020 11:20:56 AM C:\Users\Sepideh.VIS0\Desktop\AAA PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R20.rvt

1 / A - 401 **Section A-A1**
1 : 100

A&Architects
A& Associates Architects Inc.
Six Carlaw Ave, Suite 205 B
Toronto Ontario M4M 2R5
T: (416) 466-0100 W: www.aarchitects.ca

5 RYDER RD

5 RYDER RD, MAPLE, ON
Project No.19-115
2020-05-20

8	2020-05-20	Issued for Public Hearing
7	2020-02-05	Issued for COA
6	2020-01-22	Issued for Review/ TRCA
4	2019-11-07	Re Issued for COA
3	2019-10-07	Re Issued for COA
2	2019-09-18	Issued fo COA
1	2019-07-22	Issued for zoning Certificate

1 : 100

SECTION A-A

A - 401

5/20/2020 11:20:57 AM C:\Users\Sergiek.WS05\Desktop\A&A PROJECT\19-115_5 Ryder road\2.0 Architectural\2.1 Schematic Design\REVIT\19-115_5 Ryder Road_Option 4_Central_R20.rvt

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

TRCA – comments with conditions
CN Rail – No comment
Metrolinx – No comment
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

February 28, 2020 CFN: 60819.28

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Ms. Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A137/19 – Resubmission
5 Ryder Road
PLAN 5590, Lot 3
City of Vaughan
Owner: Behrooz Zangooei & Hadis Rashidi

Further to our previous comment letter dated October 30, 2019, this letter acknowledges receipt of the revised submission for the above-noted application. The current submission materials were received by Toronto and Region Conservation Authority (TRCA) on February 14, 2020. TRCA staff has reviewed the application and offers the following comments for the consideration of the Committee of Adjustment:

Background
The purpose of Application A137/19 is to permit a maximum lot coverage of 22.2% for the dwelling, garage, balcony and covered porch.

Application-Specific Comments
TRCA staff have completed a review of the submitted materials and are satisfied that our previous comments related to confirming the limits of the Regional Storm flood plain and ensuring appropriate buffer between the flood plain and proposed development have been adequately addressed.

Recommendation
Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A137/19, subject to the following condition:

1. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

T: 416.661.6600 | F: 416.661.6898 | info@trca.on.ca | 101 Exchange Avenue, Vaughan, ON L4K 5R6 | www.trca.ca

Ontario Regulation 166/06
As previously noted, a permit under Ontario Regulation 166/06 (Development, Interference with Wetlands and Alterations to Shorelines and Watercourses) will be required for the proposed works. A list of TRCA's permit requirements have been provided in Appendix 'A' for the applicant's reference.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,

Hamedeh Razavi
Planner I
Development Planning and Permits

HR/cb

Cc: Aphrodite Liaghat <aphrodite@aarchitects.ca>

Appendix 'A' TRCA Permit Requirements

The subject land is regulated by the TRCA pursuant to the Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation (Ontario Regulation 166/06).

In order to initiate the permit review process, the following materials must be submitted in hard copy to the TRCA:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Residential/Development Projects) (Pursuant to Ontario Regulation 166/06). The application can be downloaded from the following website: https://trca.ca/wp-content/uploads/2016/11/TRCA-PERMIT-APPLICATION-FORM_new.pdf

2. Four (4) copies of the following individually folded plans/drawings are generally required:

    - Site plan showing location and dimension of all proposed works;
    - Grading Plan;
    - Erosion and Sediment Control Plan;

3. One Copy of a legal survey of the subject property;

4. Permit Review fee of $470 (Works on Private Residential Property – Minor). TRCA's fee schedule can be found by visiting the following site: https://s3-ca-central-1.amazonaws.com/trcaca/app/uploads/2019/07/22154116/TRCA_Permit_Fee_Schedule_UPDATED_February-1_2018.pdf

Please note that permit applications are reviewed based on the order they are submitted and are subject to a 30-60 day review period.

Providence, Lenore

Subject: FW: A137-19 - CIRCULATION - cover letter.docx

From: Proximity <proximity@cn.ca>

Sent: October-18-19 12:47 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>
Cc: Vigneault, Christine <Christine.Vigneault@vaughan.ca>
Subject: RE: A137-19 - CIRCULATION - cover letter.docx

Good afternoon Lenore

Thank you for circulating CN Rail on this file. I have reviewed the information circulated and we have **no comments.**

Regards

Susanne

Susanne Glenn-Rigny

Senior Officer, Community Planning and Development | Corporate Services
T: **514-399-7844** | C: **514-919-7844**

Celebrating 100 years | Célébrons nos 100 ans

Providence, Lenore

Subject: FW: 5 Ryder Road, Vaughan

From: Terri Cowan <Terri.Cowan@metrolinx.com>

Sent: March-11-20 10:40 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>
Subject: [External] 5 Ryder Road, Vaughan

Hello Lenore,

The subject site is located greater than 300 metres from a Metrolinx rail corridor and/or facility. Given the circumstances, **we have no comments** regarding the subject application.

Thank you,
Terri Cowan
Third Party Projects Officer
Third Party Projects Review| Capital Projects Group
Metrolinx | 20 Bay Street, Suite 600 |Toronto, Ontario|M5J 2W3
T: 416-202-3903 C: 416-358-1595

METROLINX

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A137-19 - Request for REVISED comments (Vaughan - Committee of Adjustment)

From: Guida, Diana <Diana.Guida@york.ca>

Sent: February-19-20 12:54 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Subject: RE: A137-19 - Request for REVISED comments (Vaughan - Committee of Adjustment)

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above **revised** minor variance application and has **no comment.**

Thank you,

Diana Guida | **Planning Assistant**

Planning and Economic Development Branch, Corporate Services Dept.

The Regional Municipality of York| 17250 Yonge Street | Newmarket, ON L3Y 6Z1

O: 1-877-464-9675 ext. 71550 | diana.guida@york.ca | www.york.ca

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

Staff Report Summary

Item 6

Ward 3

File: A157/19

Applicant: Millwick Acquisition Corporation

Address: 10395 Weston Rd Bldg A Vaughan

Agent: Bernatt Architect Ltd.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	☑
Cultural Heritage (Urban Design)		
Development Engineering	☑	
Parks, Forestry and Horticulture Operations		
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☒	

Adjournment History: N/A

Background History: A111/12; A218/16 (see next page for details)

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 6

A157/19

Ward: 3

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, May 28, 2020 at 6:00 p.m. **As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.** A live stream of the meeting is available at **Vaughan.ca/LiveCouncil** Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **cofa@vaughan.ca** To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8585**. Ext. **8332.** **Written comments and public deputation requests must be received by noon on the last business day before the meeting.**
Applicant:	Millwick Acquisition Corporation
Agent:	Bernatt Architect Ltd.
Property:	**10395 Weston Rd Bldg A Vaughan**
Zoning:	The subject lands are zoned C4 and subject to the provisions of Exception 1224 under By-law 1-88 as amended
OP Designation:	Vaughan Official Plan: Low-Rise Mixed-Use
Related Files:	Site Plan Application DA16.016
Purpose:	Relief from the by-law is being requested to permit the construction a proposed second storey addition to Building A. • The second storey addition will be utilized for office purposes. • The second storey addition is to be constructed using pillars to support parking spaces below. • Site Plan Application DA16.016 facilitated the development of the existing addition to Building A.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The by-law requires that 170 parking space are required for the proposed Shopping Centre use. [1-88, 3.8 a)]	1. To permit that 109 parking spaces be provided for the proposed Shopping Centre use.
2. The by-law requires that the minimum setback from an 'R' zone to any building or structure is 22.5m. [1-88, 5.1.5 - Schedule A]	2. The setback from an 'R' zone to the proposed addition is 12.5m.

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A111/12	6.0m rear yard setback to day nursery, easterly interior side yard 12.50m, 118 parking spaces.	Approved May 3, 2012
A218/16	front yard 5.0m; 110 parking spaces; 2.0m landscape strip abutting Weston Road; 5.0m landscape strip abutting Canada Drive.	Approved June 16, 2016

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 11, 2020

Property Information	
Existing Structures	**Year Constructed**
Building	2010

Applicant has advised that they cannot comply with By-law for the following reason(s):
No space available for additional parking. Proposed second floor addition is to be above existing parking spaces.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 19-001443 for Multi-Use (Comm. Speculative) - Addition, Issue Date: (Not Yet Issued)

Site Plan Approval is required for the proposed addition.

Please note that your proposed development (including a change in use) may incur the payment of required development charges.

For more information, please visit www.vaughan.ca/services/business/development_charges or contact the following:

City of Vaughan West of Weston Road – 905-832-2281, extension 8703
City of Vaughan East of Weston Road – 905-832-2281, extension 8775
Region of York (1) 877-464-9675, extension 71696
York Catholic District School Board 416-221-5051, extension 12374

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Official Plan: Vaughan Official Plan 2010 ('VOP 2010"): "Low-Rise Mixed-Use", which permits a maximum building height of 4 storeys and a maximum Floor Space Index ('FSI') of 1.5 times the area of the lot.

The Owner is requesting permission to construct a second floor office addition of 145m2 on the subject lands, as proposed through Site Development File DA.19.088. The Committee of Adjustment previously approved Minor Variance A111/12 to permit the construction of an addition to a day nursery on the subject lands through Site Development File DA.12.002 and Minor Variance A218/16 to permit the construction of the addition to the existing building through Site Development File DA.16.016.

The Development Planning Department supports the approval of Site Development File DA.19.088 along with the requested variances, as the alterations to the site are minor and consistent with Provincial Policy, conforms to the York Region Official Plan and Vaughan Official Plan 2010, and is compatible with the existing and planned uses in the surrounding area.

Accordingly, the Development Planning Department has no objection to the proposal and is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application, with the following condition:

That Site Development File DA.19.088 be approved to the satisfaction of the Development Planning Department.

Development Engineering:
The Transportation Department within Development Engineering has reviewed the submitted parking review submitted by Burnside dated November 4, 2019 for the proposed 109 parking spaces for the proposed Shopping Centre when By-Law requires 170 Parking spaces. Please see the comments provided below:

The study is in support of subject development with a reduced parking supply of 61 spaces over the City by-law 1-88 parking requirement of 170 spaces. The submitted study concludes that the proposed parking supply would be sufficient for development's specific requirements since the proposed rates are justified based on the following studies:

Detailed parking survey of the existing site with estimated parking demand from the proposed addition to Building A included using zoning-bylaw 1-88 rates.

The proposed parking supply of 109 spaces is found adequate based on the supporting analysis provided in the consultant's report. The Development Engineering Department agrees with the conclusions reached in the Parking Study and have no objection with the proposed parking supply.

The Development Engineering Department does not object to variance application A157/19.

Parks, Forestry and Horticulture Operations:
No comments.

By-Law and Compliance, Licensing and Permit Services:
No comments.

Financial Planning and Development Finance:
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:
No comments.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Letter of Objection – Danielle Martini Dagostino

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
Minor Variance A111/12
Minor Variance A218/16

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Brandon Bell 905-832-8585 x 8112 brandon.bell@vaughan.ca	That Site Development File DA.19.088 be approved to the satisfaction of the Development Planning Department.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

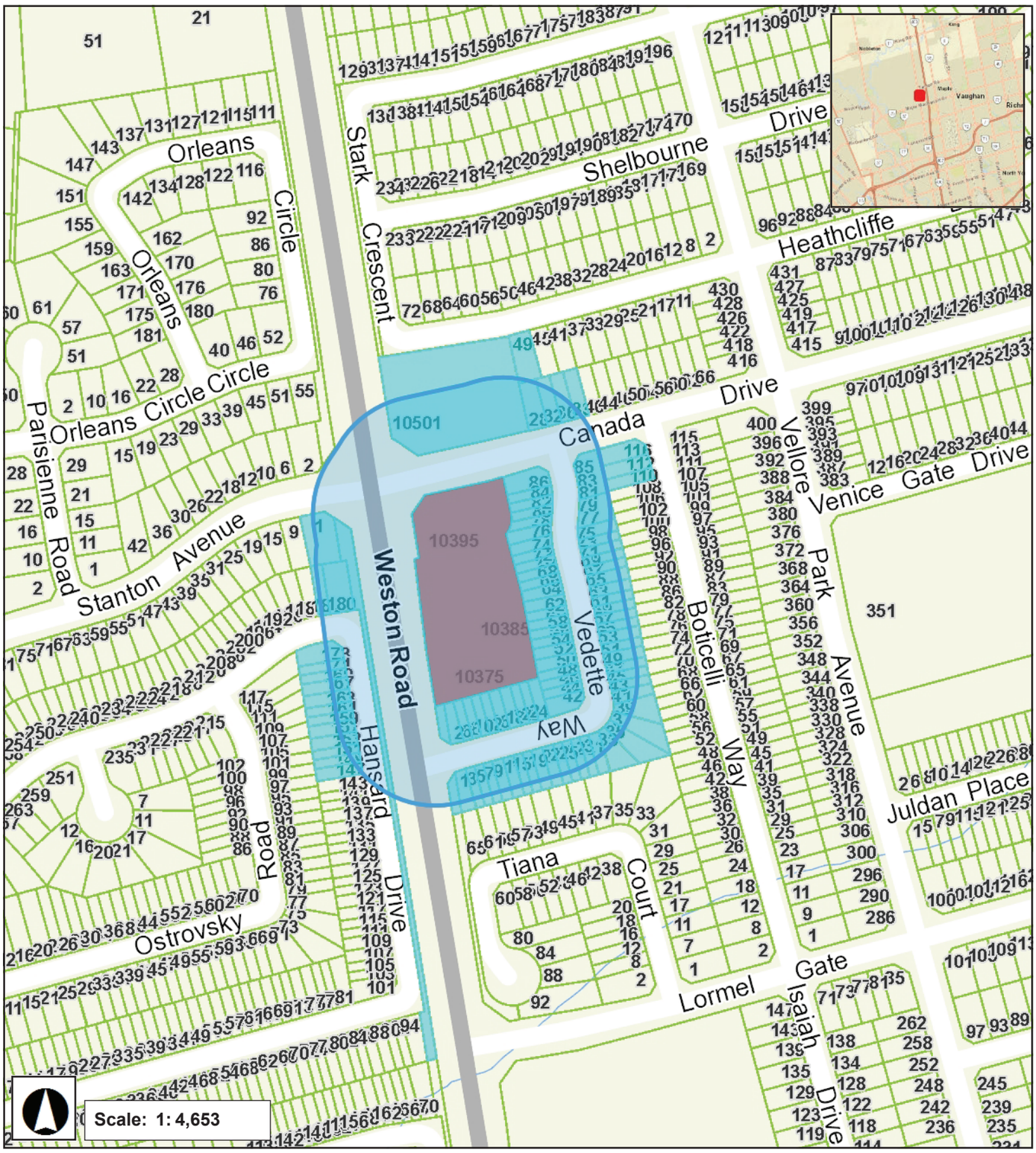
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches

LOCATION MAP - A157/19

10395 WESTON ROAD, WOODBRIDGE

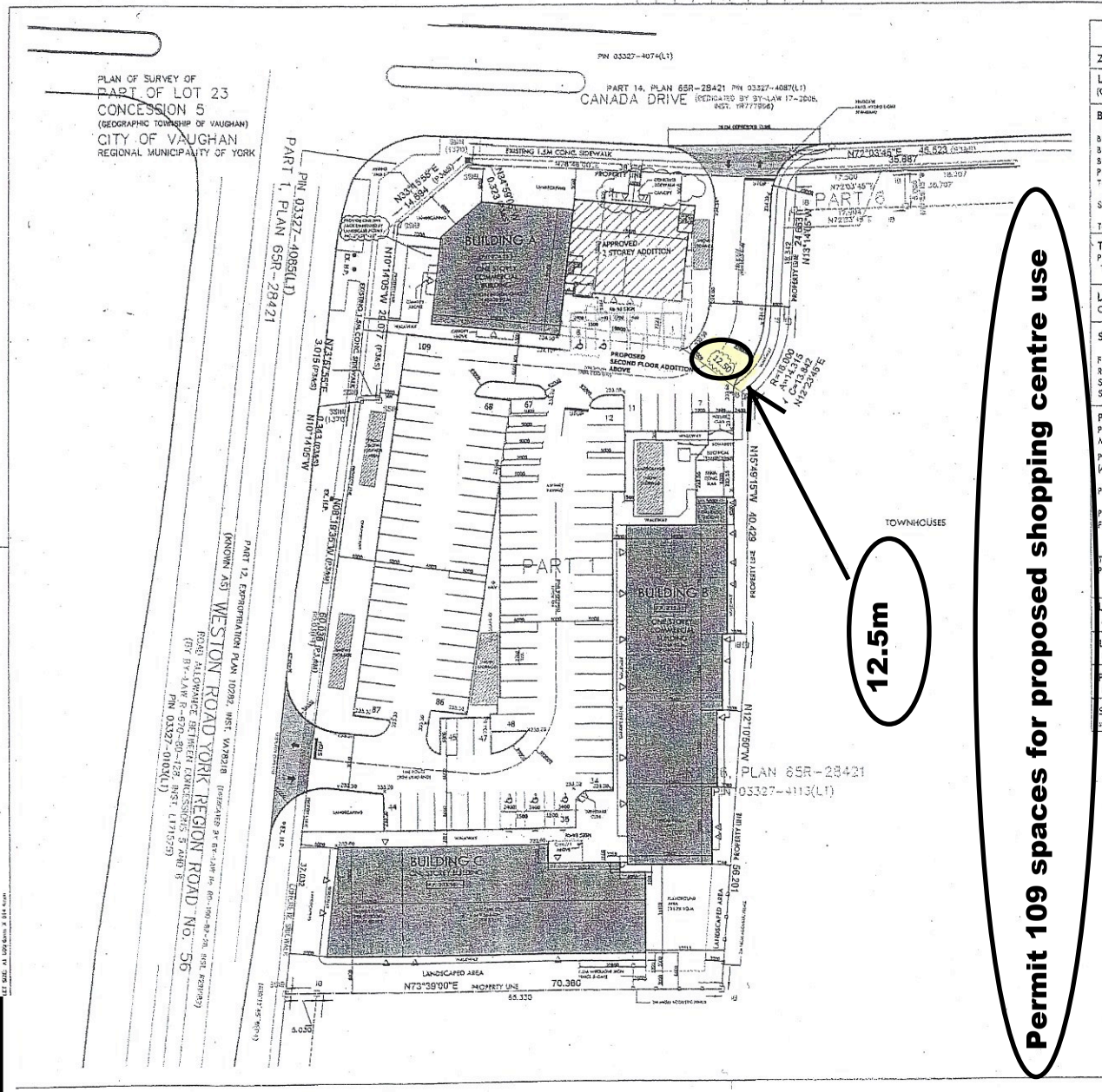
Teston Road



Major Mackenzie Drive

December 4, 2019 3:21 PM

A157/19



SITE DEVELOPMENT DATA

ZONE	C4 NEIGHBOURHOOD COMMERCIAL	
LOT AREA (COMMERCIAL)	8,873.7 SQ.M (2.192 AC.)	95,516 SQ.FT
BUILDING AREAS		
BUILDING A	968.36 SQ.M.	10423 SQ.FT.
BUILDING B	852.48 SQ.M.	9175 SQ.FT.
BUILDING C	858.28 SQ.M.	9239 SQ.FT.
PROPOSED ADDITION TO BUILDING A		
SECOND FLOOR	145.00 SQ.M.	1561. SQ.FT.
TOTAL GFA	2824.12 SQ.M.	30,399 SQ.FT.
TOTAL GROUND FLAREA	2397.12 SQ.M.	25,802.71 SQ.FT
PROPOSED ADDITION	145.00 SQ.M.	1561 SQ.FT.
TOTAL COVERAGE	2542.12 SQ.M.	27,363.15 SQ.FT
LOT COVERAGE		
GROUND FLOOR COVERAGE	28.65%	

SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	6.00 M	6.00 M
REARYARD SETBACK	6.00 M	6.00 M
SIDEYARD SETBACK(INT)	3.00 M	3.00 M
SIDEYARD SETBACK (EXT.)	6.00 M	5.00 M

PARKING

PARKING REQUIRED (NEIGHBOURHOOD COMMERCIAL C4)
MULTIPLE TENANTS FOR EXISTING PLAZA

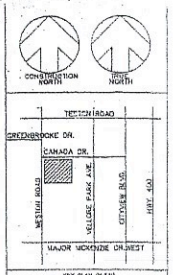
PARKING REQUIRED
(AS PER COMMITTEE OF ADJUSTMENT FILE NO. A218/16 — 110 SPACES

PARKING PROVIDED= — 109 SPACES (INCL. 5 ACCESSIBLE SPACES 2 TYPE 'A' + 3 TYPE B)

PARKING REQUIRED FOR ADDITION — 145.00 SQ.M. OFFICE @ 3.0/100 = 4 SPACES

TOTAL NUMBER OF SPACES REQUIRED = 110 + 4 = 114 SPACES
PARKING PROVIDED — 109 SPACES (INCL. 5 ACCESSIBLE SPACES 2 TYPE A + 3 TYPE B)

LOADING SPACES MULTIPLE UNITS	N/A	
LANDSCAPED AREA PERCENTAGE	3036 SQ.M. 34.23%	
PAVED AREA PERCENTAGE	3439.81 SQ.M. 38.76%	
SNOW STORAGE (SNOW STORAGE AREA (2% OF LOT AREA)	REQUIRED 177.47 SQ.M	PROVIDED 180.0 SQ.M



No.	revisions	date	INIT.
10	SETBACK	Nov. 22/19	
9	SECOND FLOOR ADDITION	OCT. 23/19	
8	NORTH ELEV. CANOPY REV.	AUG/19	SB
7	ADDED BIKE RACK	29JUN19	SB
6	SIDEWALK FROM CANADA DRIVE	03MAY19	SB
5	PROPOSED ADDITION BUILDING A	03MAY19	SB
4	FOR BUILDING PERMIT	22JUL13	SB
3	GENERAL REVISIONS	24MAR13	SB
2	PROP. DAY CARE ADDITION	05JAN13	SB
1	GENERAL REVISION	12FEB10	SB
0	ISSUED FOR DPA	20JAN10	SB

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT LTD. THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT LTD. OF ANY VARIATIONS FROM THE DRAWINGS AND/OR WORK PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THIS DRAWING SHALL NOT BE SCALED.

cad file
date-plotted 02FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
STEPHEN BERNATT
LICENCE 3440

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED ADDITION TO COMMERCIAL DEVELOPMENT for MILLWICK ACQUISTION CORP.
10395 WESTON ROAD
CITY OF VAUGHAN, ONTARIO

drawing
SITE PLAN
FILE No. DA.16.016

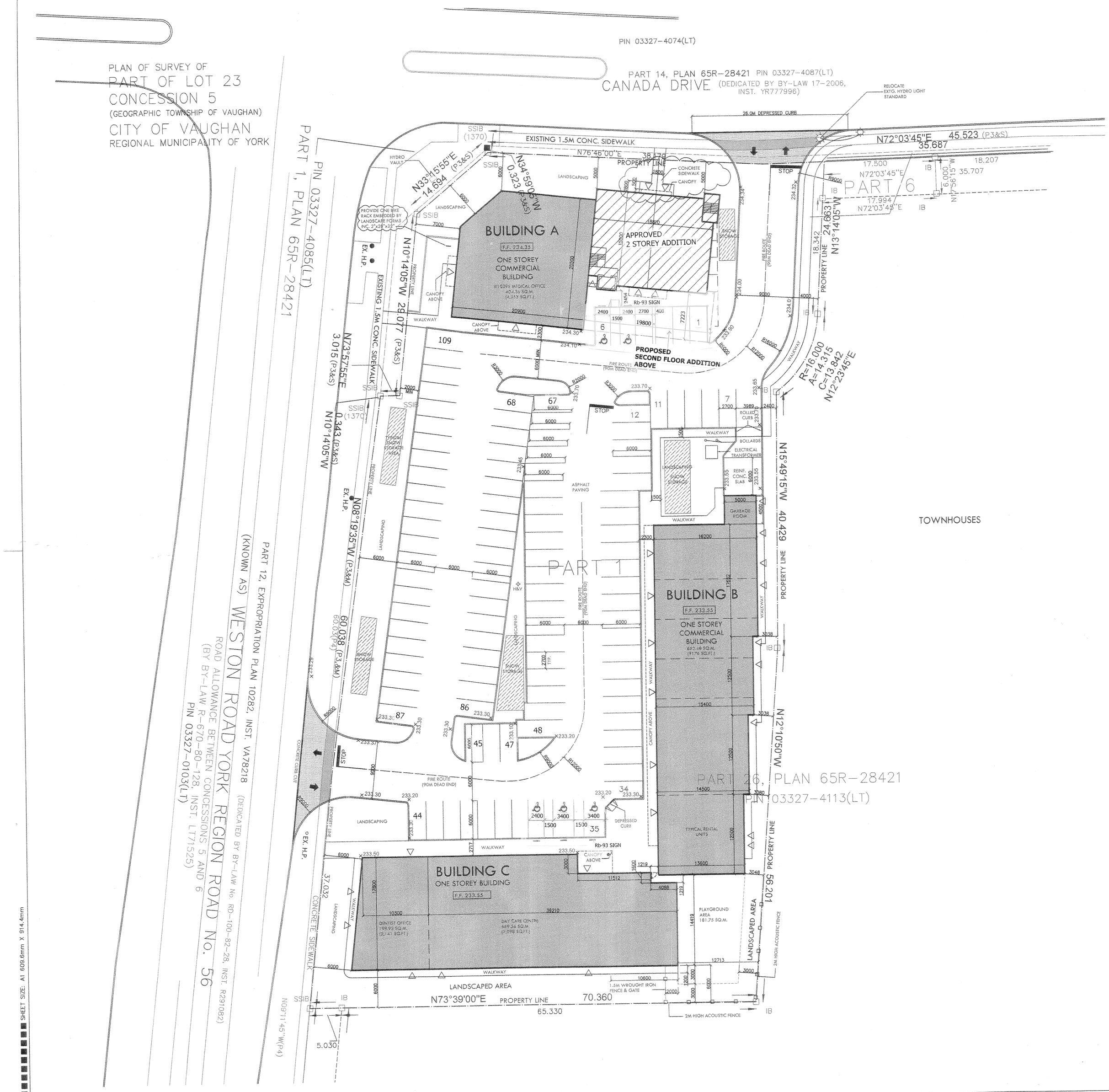
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

DATE

BERNATT ARCHITECT LTD.
49 Wyndham Drive Ste. 312, Toronto, Ontario M5G 1Z3
P. (416) 149-0846 F. (416)944-9782 s.bernatt@rogers.com

drawing no. A1 | TOTAL No. 18

RECEIVED
Committee of Adjustment



SITE DEVELOPMENT DATA

ZONE	C4 NEIGHBOURHOOD COMMERCIAL	
LOT AREA (COMMERCIAL)	8,873.7 SQ.M (2.192 AC.)	95,516 SQ.FT

BUILDING AREAS

BUILDING A	968.36 SQ.M.	10423 SQ.FT.
BUILDING B	852.48 SQ.M.	9176 SQ.FT.
BUILDING C	858.28 SQ.M.	9239 SQ.FT.
PROPOSED ADDITION TO BUILDING A		
SECOND FLOOR	145.00 SQ.M.	1561 SQ.FT.
TOTAL GFA	2824.12 SQ.M.	30,399 SQ.FT.

TOTAL GROUND FL.AREA	2397.12 SQ.M.	25,802.71 SQ.FT
PROPOSED ADDITION	145.00 SQ.M.	1561 SQ.FT.
TOTAL COVERAGE	2542.12 SQ.M.	27,363.15 SQ.FT

LOT COVERAGE
GROUND FLOOR COVERAGE 28.65%

SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	6.00 M	6.00 M
REARYARD SETBACK	6.00 M	6.00 M
SIDEYARD SETBACK(INT)	3.00 M	3.00 M
SIDEYARD SETBACK (EXT.)	6.00 M	5.00 M

PARKING
PARKING REQUIRED (NEIGHBOURHOOD COMMERCIAL C4)
MULTIPLE TENANTS FOR EXISTING PLAZA

PARKING REQUIRED
(AS PER COMMITTEE OF ADJUSTMENT FILE NO. A218/16 110 SPACES

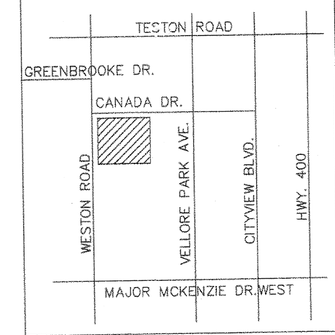
PARKING PROVIDED= 109 SPACES
(INCL. 5 ACCESSIBLE SPACES
2 TYPE A + 3 TYPE B)

PARKING REQUIRED FOR ADDITION
145.00 SQ.M. OFFICE @ 3.0/100 = 4 SPACES

TOTAL NUMBER OF SPACES REQUIRED = 110 + 4 = 114 SPACES
PARKING PROVIDED 109 SPACES
(INCL. 5 ACCESSIBLE SPACES
2 TYPE A + 3 TYPE B)

LOADING SPACES
MULTIPLE UNITS N/A

LANDSCAPED AREA PERCENTAGE	3036 SQ.M. 34.23%	
PAVED AREA PERCENTAGE	3439.81 SQ.M. 38.76%	
SNOW STORAGE SNOW STORAGE AREA (2% OF LOT AREA)	REQUIRED 177.47 SQ.M	PROVIDED 180.0 SQ.M



KEY PLAN (N.T.S)

no.	revisions	date	init.
9	SECOND FLOOR ADDITION	OCT. 25/10	
8	NORTH ELEV. CANOPY REV.	8/AUG/16	SB
7	ADDED BIKE RACK	09JUN16	SB
6	SIDEWALK FROM CANADA DRIVE	27MAY16	SB
5	PROPOSED ADDITION BUILDING A	03NOV15	SB
4	FOR BUILDING PERMIT	27JULY12	SB
3	GENERAL REVISIONS	24MAY12	SB
2	PROP. DAY CARE ADDITION	06JAN12	SB
1	GENERAL REVISION	08FEB10	SB
0	ISSUSED FOR SPA	30JAN10	SB

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.. THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 08FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
STEPHEN BERNATT
LICENCE 2440

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED ADDITION TO COMMERCIAL DEVELOPMENT for MILLWICK ACQUISITON CORP.
10395 WESTON ROAD
CITY OF VAUGHAN, ONTARIO

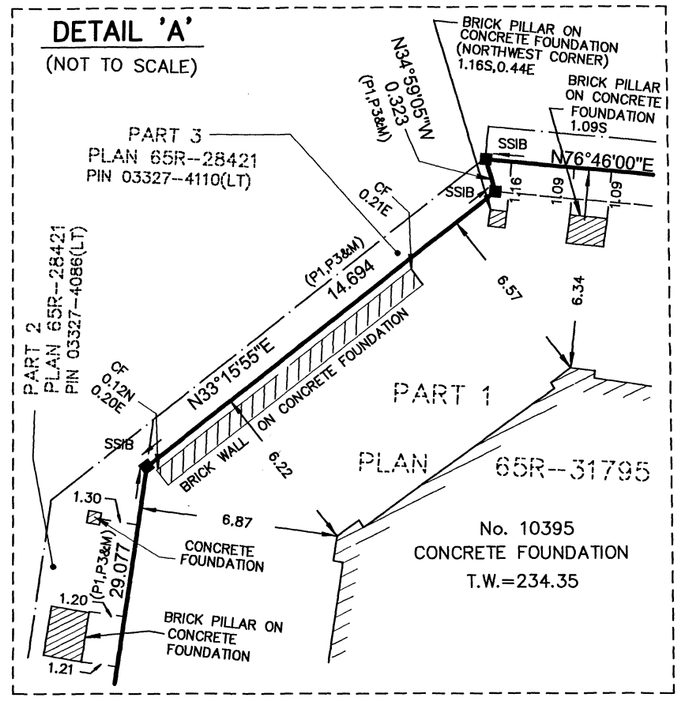
drawing
SITE PLAN
FILE No. DA.16.016

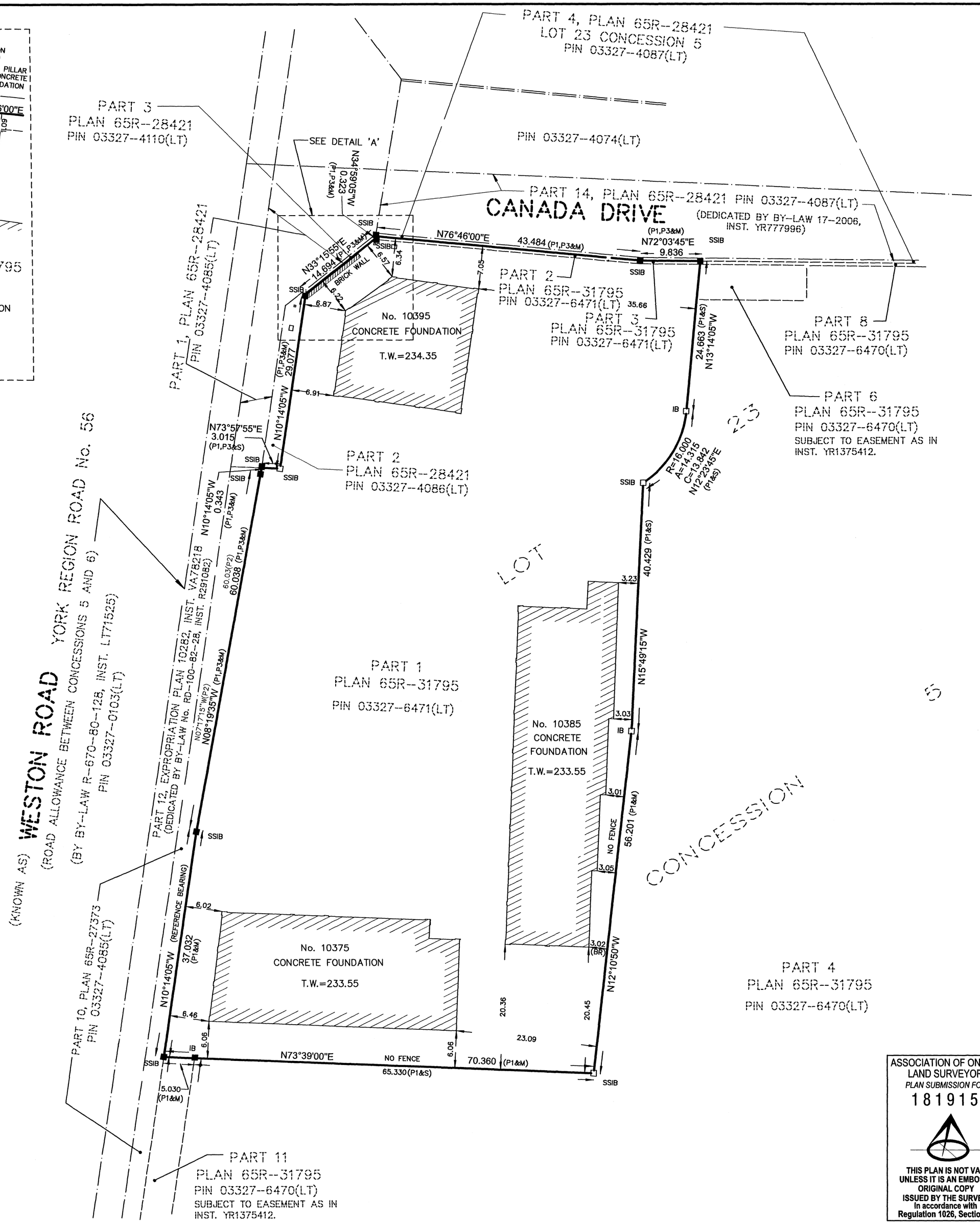
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.
DATE

BERNATT ARCHITECT LTD.
40 Wynford Drive, Ste. 312, Toronto, Ontario M3C 1J5
T. (416) 449-8845 F.(416)449-0103 sbernatt@bellnet.ca

drawing no. A1 rev. no. 9

SHEET SIZE: A1 609.6mm X 914.4mm





PART 2

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES IS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.

2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC., ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.

3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.

4. TOGETHER WITH EASEMENTS OVER PARTS 6 AND 11, PLAN 65R-31795 AS IN INST. YR1375412.

5. NOTE THE LOCATION OF CONCRETE WALL AND CONCRETE PILLARS AS SHOWN IN DETAIL 'A'.

6. TOP OF WALL ELEVATIONS ARE SHOWN FOR CITY OF VAUGHAN APPROVAL PURPOSES ONLY.

SURVEYOR'S REAL PROPERTY REPORT

PART 1

PLAN OF

PART OF LOT 23 CONCESSION 5

(GEOGRAPHIC TOWNSHIP OF VAUGHAN)

CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK

SCALE 1:500

10 0 10 20 30 40 50m

KRCMAR SURVEYORS LTD. 2011

METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE REFERRED TO THE ONTARIO CO-ORDINATE SYSTEM NAD 83, UTM ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE, AND ARE RELATED TO THE EASTERLY LIMIT OF WESTON ROAD AS SHOWN ON PLAN 65R-31795, HAVING A BEARING OF N10°14'05"W.

ELEVATION

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF VAUGHAN BENCH MARK 47-3(INSCRIPTION 39-2) HAVING AN ELEVATION OF 211.45 METRES.

LEGEND

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
CP	DENOTES CONCRETE PIN
CC	DENOTES CUT CROSS
IP	DENOTES IRON PIPE
(M)	DENOTES MEASURED
(S)	DENOTES SET
(OU)	DENOTES ORIGIN UNKNOWN
(WIT)	DENOTES WITNESS
B.U.C.	DENOTES BUILDING UNDER CONSTRUCTION
T.W.	DENOTES TOP OF WALL
PR	DENOTES CONCRETE PILLAR
CF	DENOTES CONCRETE FOUNDATION
(P1)	DENOTES PLAN 65R-31795
(P2)	DENOTES PLAN 65R-27373
(P3)	DENOTES PLAN 65R-28421
(1370)	DENOTES KRCMAR SURVEYORS LTD. O.L.S.
(922)	DENOTES SCHAEFFER & DZALDOV LIMITED, O.L.S.
(BR)	DENOTES BRICK

BUILDING TIES TAKEN TO CONCRETE FOUNDATION WALLS UNLESS OTHERWISE NOTED

ALL FOUND MONUMENTS ARE SET BY KRCMAR SURVEYORS LTD., O.L.S. (1370) UNLESS OTHERWISE NOTED

THIS REPORT WAS PREPARED FOR MILLWICK ACQUISITION CORP. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THIS SURVEY WAS COMPLETED ON 26th OCTOBER, 2011

DATE: OCTOBER 31, 2011

TOM KRCMAR
ONTARIO LAND SURVEYOR

UPDATED ON MAY 3, 2013 TO SHOW BUILDING SET BACK TIE ON SOUTH EAST BUILDING CORNER OF #10385 WESTON ROAD.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1819153

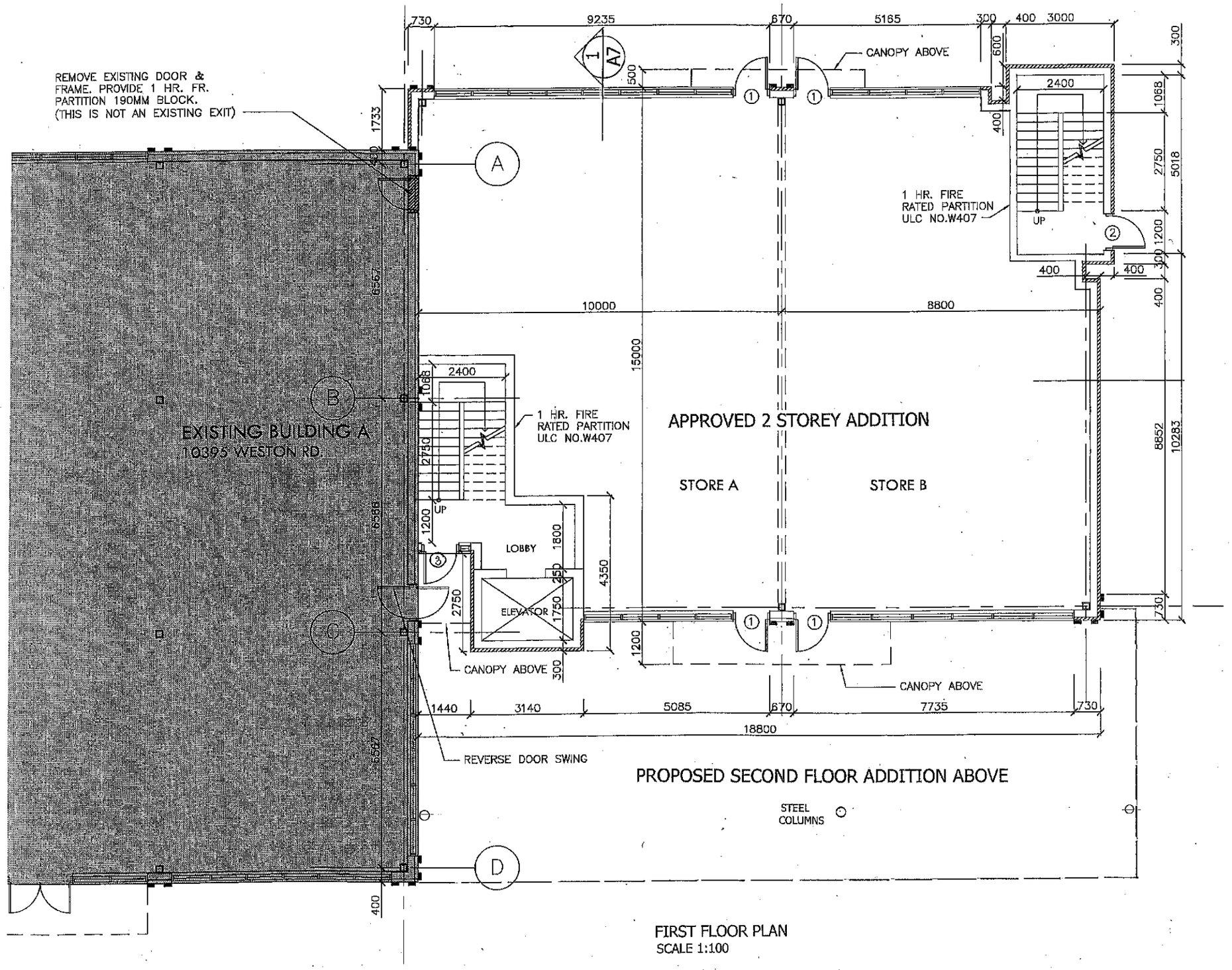
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

© COPYRIGHT 2011 KRCMAR SURVEYORS LTD.
Unauthorized reproduction, distribution, alteration or use of this plan, in whole or in part, is strictly prohibited.

FIELD:	R.L, J.Z.	DRAWN:	C.Y.	CHECKED:	P.W.	JOB NO:	09-005
DWG NAME:	09-005SR01	PLOT INFO:	14:27 28/Oct/2011			WORK ORDER NO:	12895

1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca

KRCMAR



FIRST FLOOR PLAN
SCALE 1:100

rev.	revisions	date	init.
1	C. of A.	OCT. 8, 2019	

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.
THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 06FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
STEPHEN BERNATT
LICENCE
2649

drawn JK
designed SB
reviewed SB
date
scale 1:300

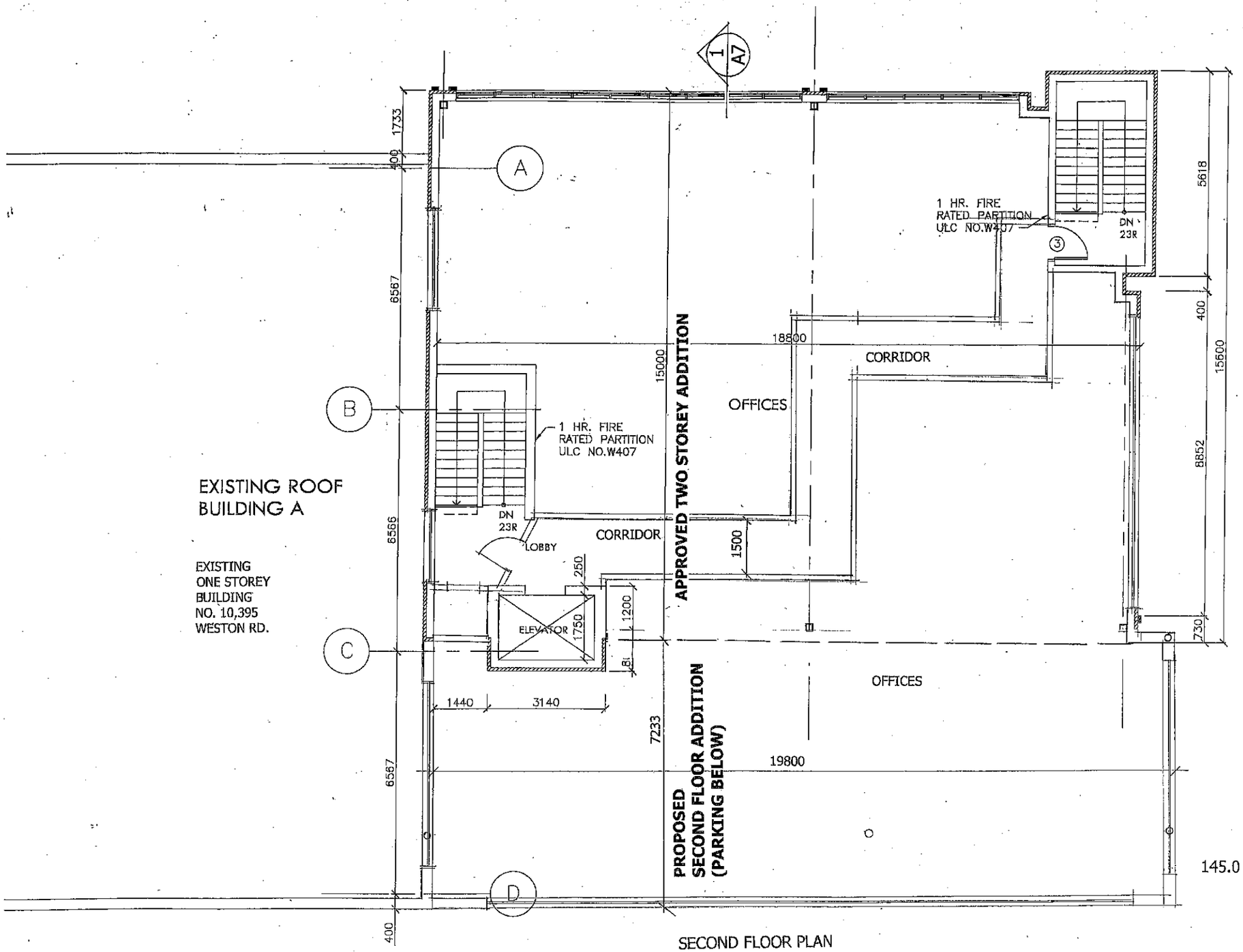
project
PROPOSED
ADDITION TO
SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing
PLAN
FIRST FLOOR

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.
DATE

BERNATT ARCHITECT LTD.
48 Yorkville Ave., Ste. 313, Toronto, Ontario M5S 1L5
T. (416) 449-4646 F. (416) 449-8183 sbernatt@rogers.com

drawing no. A2
rev. no.



145.0 SQ.M. (1561 SQ.FT.)

SECOND FLOOR PLAN
SCALE 1:100

no.	revisions	date	init.
1	C. of A.	OCT. 8, 2019	

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT LTD. THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT LTD. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted OCT.8/19 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
BERNARD BERNATT
LICENCE
2440

drawn: JK
designed: SB
reviewed: SB
date:
scale: 1:300

project:
PROPOSED
ADDITION TO
SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing:
PLAN
SECOND FLOOR

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

DATE

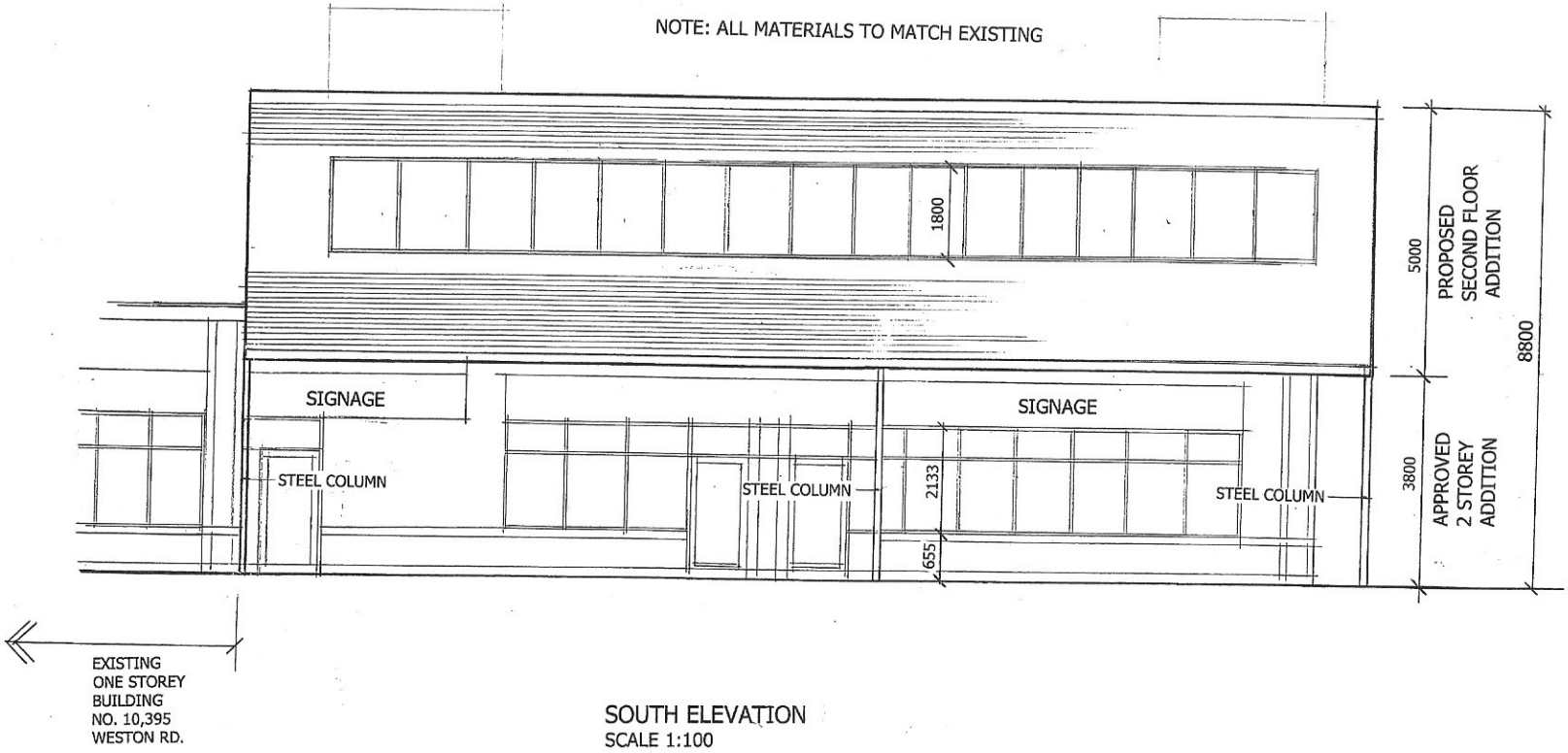
BERNATT ARCHITECT LTD.
49 Wyndham Qdns, Ste. 312, Toronto, Ontario M5V 1J4
T. (416) 145-4618 F.(416)140-8193 bernatt@bernatt.ca

drawing no. A3
rev. no.

A157/19

RECEIVED
Committee of Adjustment

NOTE: ALL MATERIALS TO MATCH EXISTING



SOUTH ELEVATION
SCALE 1:100

no.	revisions	date	init.
2	Dimensions	FEB. 7/20	
1		OCT. 8, 2019	

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.. THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 08FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
STEPHEN BERNATT LICENCE 2446

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED ADDITION TO SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing
SOUTH ELEVATION

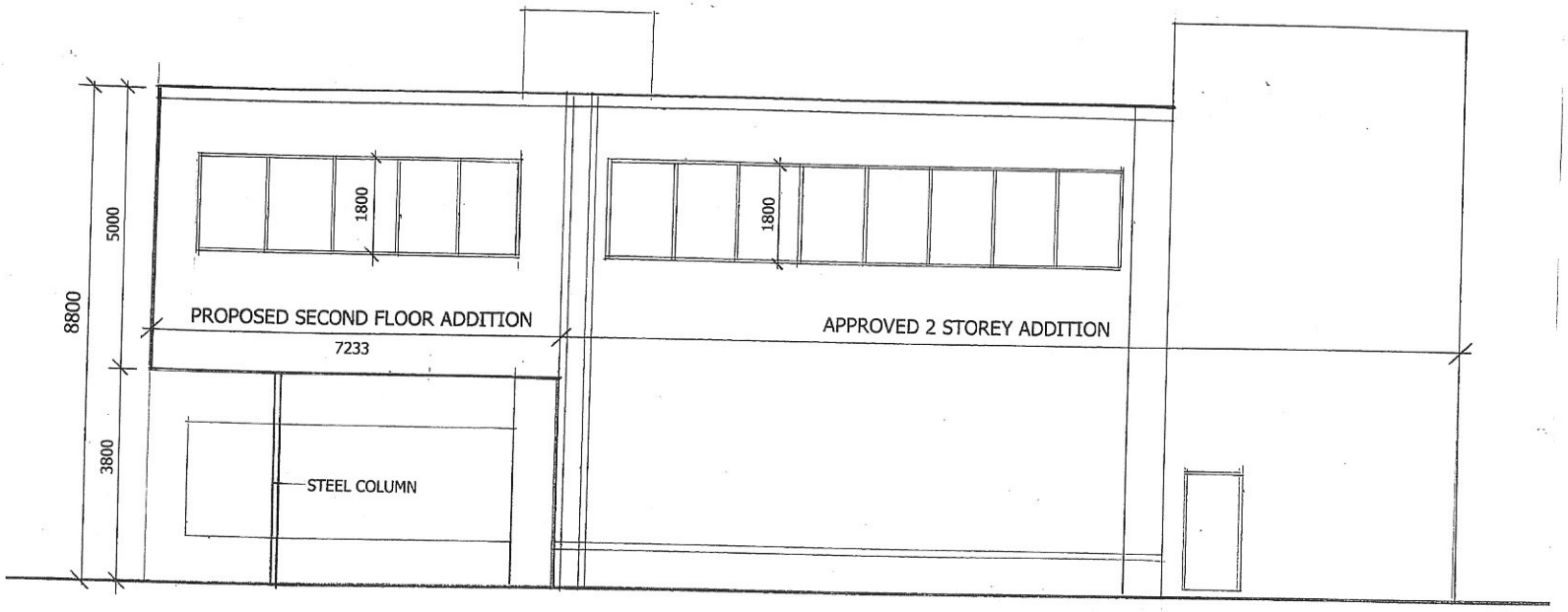
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

DATE

BERNATT ARCHITECT LTD.
40 Wynford Drive, Ste. 212, Toronto, Ontario M3C 1J5
T. (416) 449-8846 F.(416)440-0103 sbernatt@bellnet.ca

drawing no. A4 rev. no.

NOTE: ALL MATERIALS TO MATCH EXISTING



EAST ELEVATION
SCALE 1:100

no.	revisions	date	init.
2	dimensions	FEB. 7/20	
1		OCT. 8, 2019	

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.
THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 08FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
SEBASTIAN BERNATT
LICENCE
2640

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED ADDITION TO SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing
EAST ELEVATION

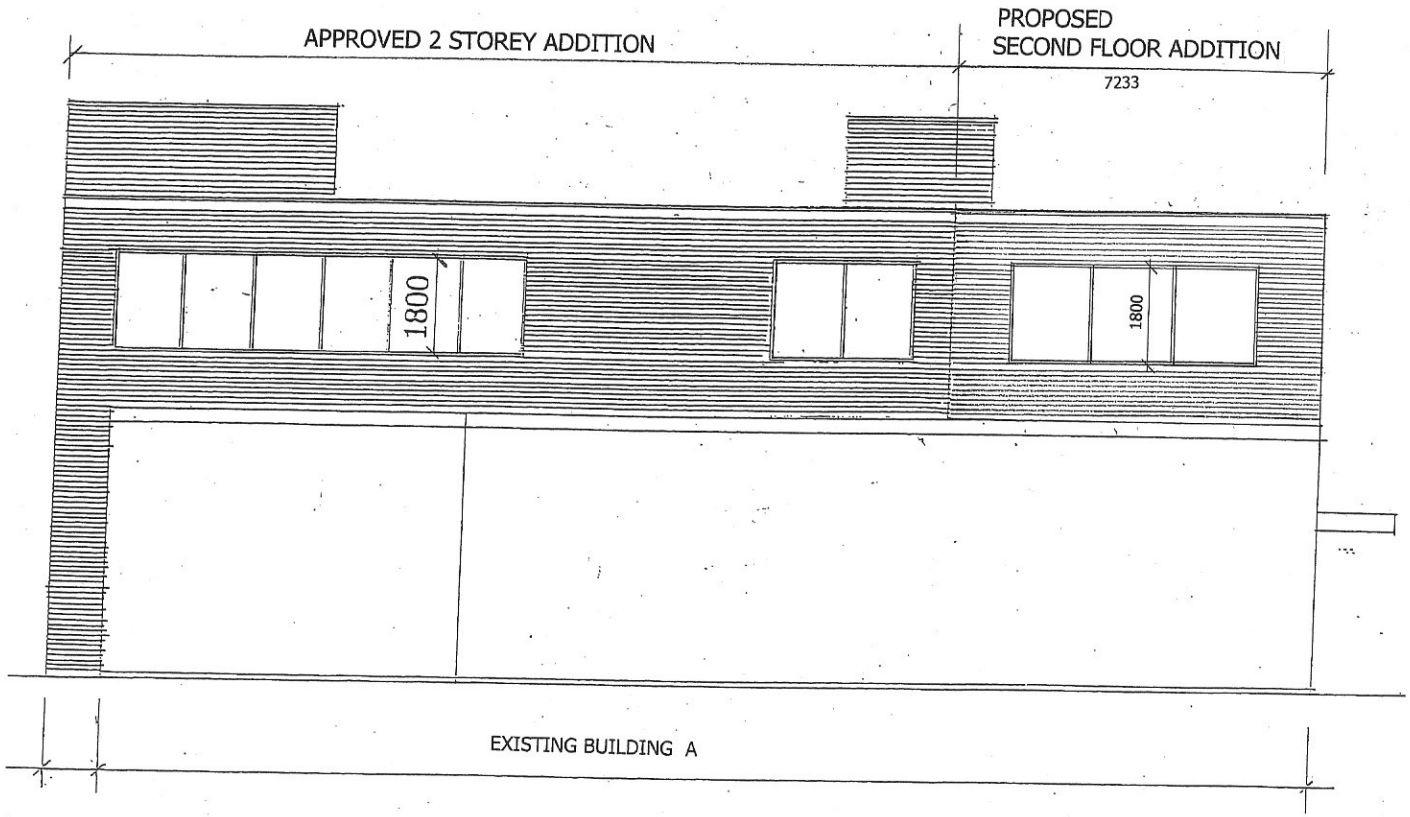
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.
DATE

BERNATT ARCHITECT LTD.
48 Wynford Drive, Ste. 312, Toronto, Ontario M3C 1J5
T. (416) 445-8848 F. (416)445-0163 sbernatt@bednat.ca

drawing no. A5
rev. no.

RECEIVED
Committee of Adjustment

NOTE: ALL MATERIALS TO MATCH EXISTING



WEST ELEVATION
SCALE 1:100

2	dimensions	FEB. 7/20
1		OCT. 8, 2019
no.	revisions	date init.

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.
THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 05FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
STEPHEN BERNATT
LICENCE
2649

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED
ADDITION TO
SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing
WEST ELEVATION

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

DATE

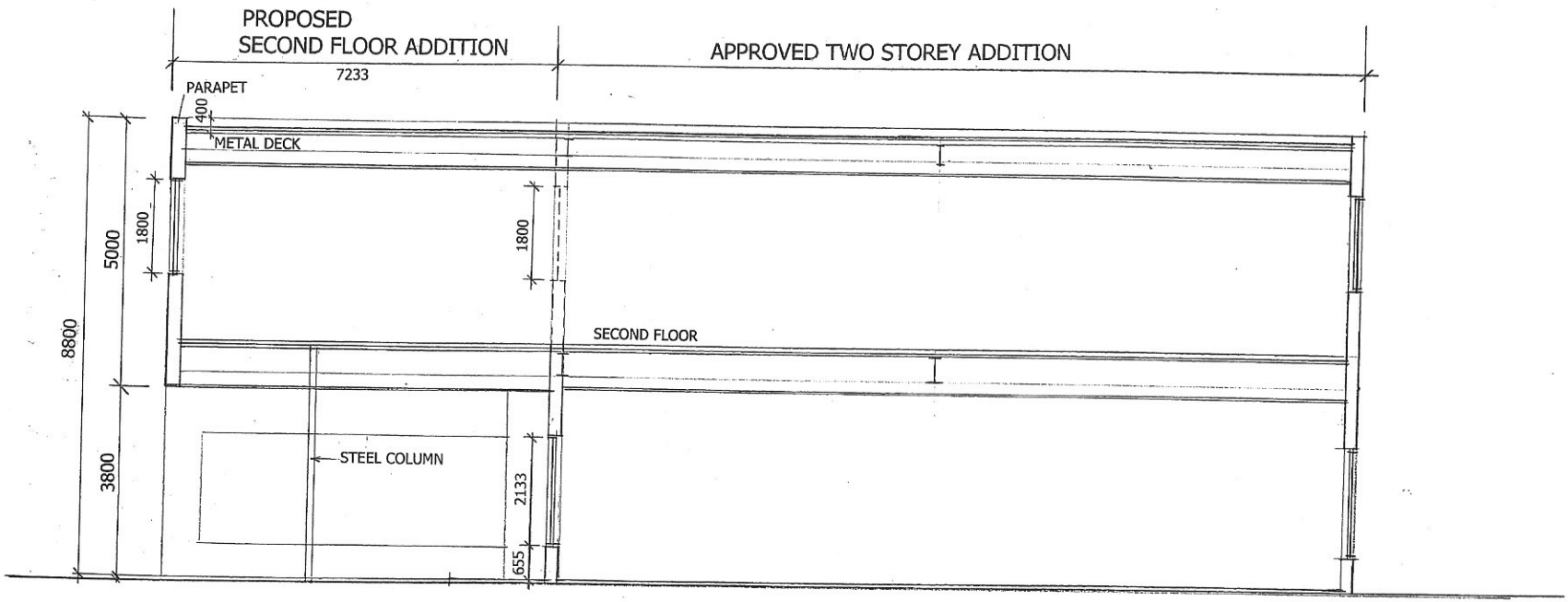
BERNATT ARCHITECT LTD.
40 Wynford Drive, Ste. 312, Toronto, Ontario M3C 1J5
T. (416) 449-4846 F.(416)440-0103 sbernatt@bellnet.ca

drawing no. A6 rev. no.

RECEIVED
Committee of Adjustment

RECEIVED
Committee of Adjustment

NOTE: ALL MATERIALS TO MATCH EXISTING



CROSS SECTION
SCALE 1:100

no.	revisions	date	init.
2		FEB. 7/20	
1		OCT. 8, 2019	

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.
THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 08FEB10 plot scale 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
SHIRLEY BERNATT
LICENCE
2495

drawn JK
designed SB
reviewed SB
date
scale 1:300

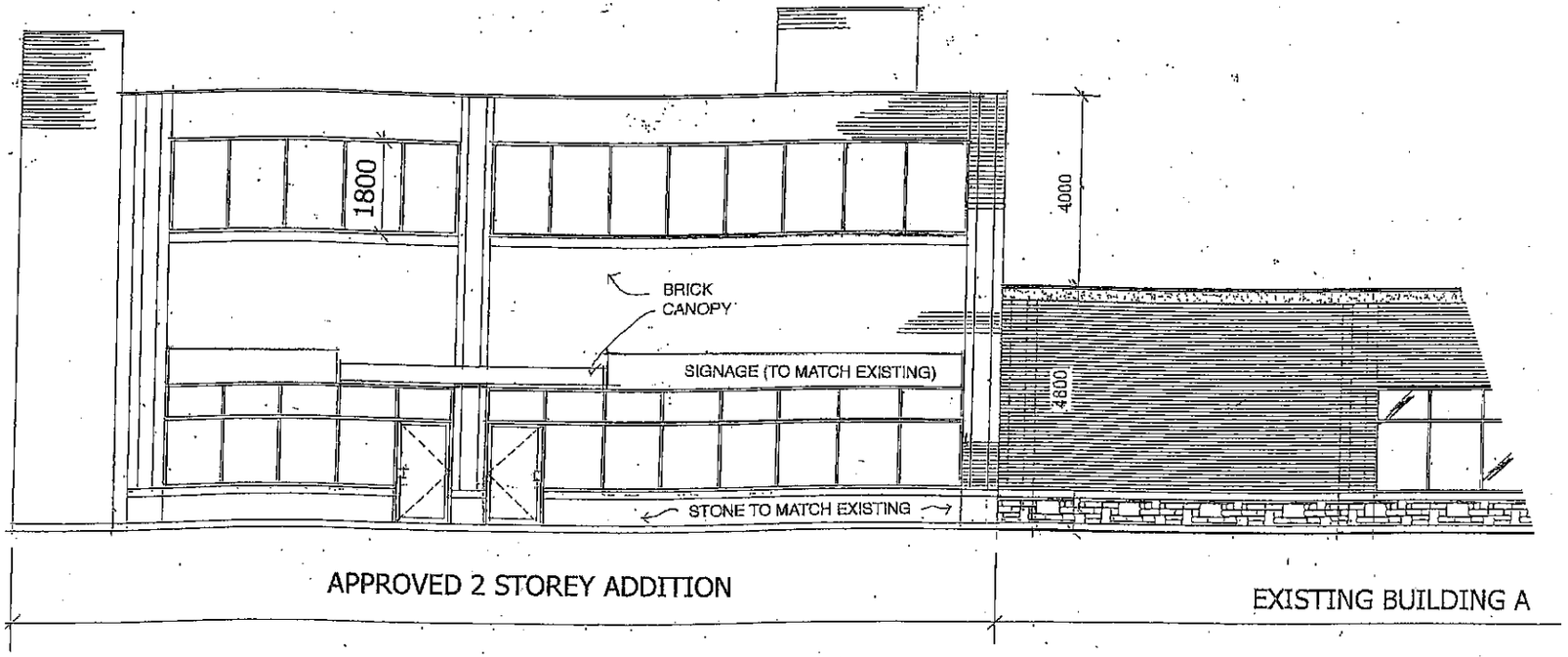
project
PROPOSED
ADDITION TO
SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing
CROSS SECTION

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.
DATE

BERNATT ARCHITECT LTD.
40 Wynford Drive, Ste. 312, Toronto, Ontario M3C 1J5
T. (416) 449-8846 F. (416) 440-0103 sbernatt@bellnet.ca

drawing no. A7
rev. no.



NORTH ELEVATION
SCALE 1:100

OCT. 8, 2019

no.	revisions	date	init.

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT Ltd.. THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT Ltd. VARIATIONS FROM THE SUPPLIED INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted: 08FEB10 plot scale : 1:1

ONTARIO ASSOCIATION OF ARCHITECTS
STEPHEN BERNATT
LICENCE
2446

drawn: JK
designed: SB
reviewed: SB
date:
scale: 1:300

project
PROPOSED
ADDITION TO
SECOND FLOOR
10395 WESTON RD.
VAUGHAN ON

drawing
NORTH ELEVATION

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

DATE

BERNATT ARCHITECT LTD.
40 Wynford Drive, Ste. 312, Toronto, Ontario M3C 1J5
T. (416) 449-8646 F.(416)449-0103 sbernatt@bellnet.ca

drawing no. A8
rev. no.

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Letter of Objection – Danielle Martini Dagostino

Attwala, Pravina

Subject: FW: [External] A157/19 (OPPOSE)

-----Original Message-----
From: Daniela Pertili [redacted]
Sent: March-07-20 1:48 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] A157/19 (OPPOSE)

Hi,

I just wanted to OPPOSE the development of a second storey addition to the property of 10395 Weston Rd Building A.

Reasons why:
1) Currently there are NOT enough parking spaces when we visit this location, it's always busy. So having more traffic and less parking spots (61 less) would be a big concern for us. There would be no where to park.

Thanks
Danielle Martini Dagostino

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: RESPONSE: A157/19 - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: February-18-20 9:13 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Subject: RESPONSE: A157/19 - REQUEST FOR COMMENTS

Good morning Pravina,
The Regional Municipality of York has no comments.

Gabrielle

Gabrielle Hurst | **MCIP, RPP**, Planning and Economic Development, Corporate Services
---
1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance A111/12
Minor Variance A218/16

VAUGHAN
City Clerk's Office

COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

NOTICE OF DECISION
MINOR VARIANCES

FILE NUMBER: **A218/16**

APPLICANT: **MILLWICK ACQUISITION CORPORATION**

PROPERTY: Part of Lot 23, Concession 5, (Parts 1-3, Reference Plan 65R-31795) municipally known as 10395 Weston Road, Woodbridge)

ZONING: The subject lands are zoned C4, Neighbourhood Commercial Zone subject to Exception 9(1224) under By-law 1-88 as amended.

PURPOSE: To permit the construction of an addition, as follows:

PROPOSAL:
1. To permit a minimum front yard setback of 5.0m.
2. To permit a minimum of 110 parking spaces.
3. To permit a landscape strip with a minimum width of 2.0m abutting Weston Road as shown on attached site plan.
4. To permit a landscape strip with a minimum width of 5.0m abutting Canada Drive as shown on attached site plan.

BY-LAW REQUIREMENT:
1. Minimum front yard setback 11.0m.
2. Minimum 161 parking spaces are required.
3. A strip of land not less than 6.0m in width shall be provided along a lot line which abuts a street line.
4. A strip of land not less than 6.0m in width shall be provided along a lot line which abuts a street line.

BACKGROUND INFORMATION:

Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:
A111/12 - APPROVED May 3, 2012 - rear yard 6.0m to day nursery; easterly interior side yard 12.50m; 118 parking spaces.

A sketch is attached illustrating the request.

MOVED BY: _____

SECONDED BY: _____

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A218/16, MILLWICK ACQUISITION CORPORATION**, be **APPROVED,** in accordance with the sketches attached and subject to the following conditions:

1. That Site Development File DA.16.016 be approved, if required, to the satisfaction of the Development Planning Department.

2. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: _____

Signed by all members present who concur in this decision:

H. Zheng,
Chair

ABSENT
M. Mauti,
Vice Chair

R. Buckler,
Member

ABSENT
J. Cesario,
Member

A. Perrella,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	**JUNE 16, 2016**
Last Date of Appeal:	**JULY 6, 2016**

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the $708.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of $125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **JULY 6, 2017**

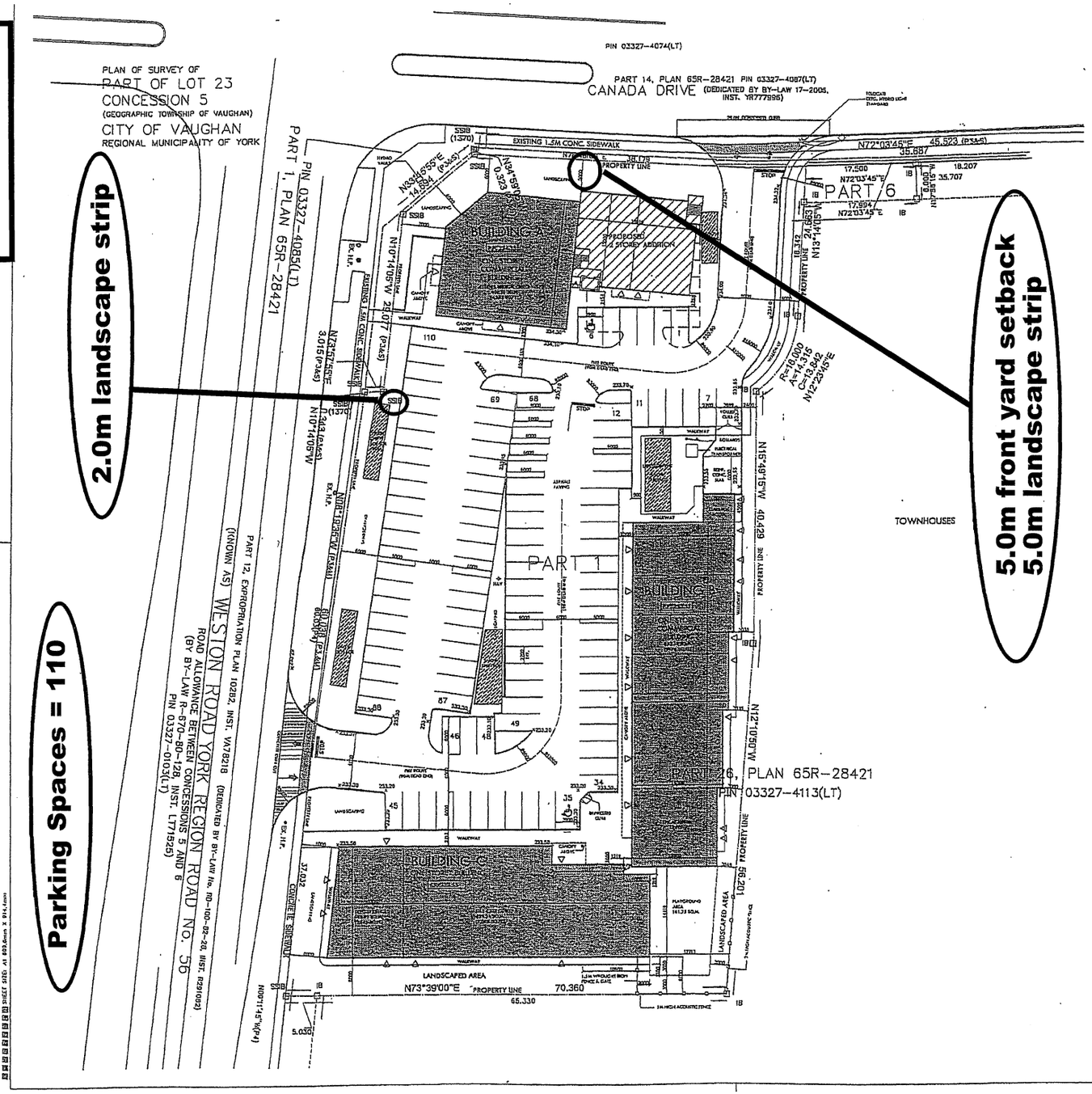
A218/16

Revised May 31/16

Parking Spaces = 110

2.0m landscape strip

5.0m front yard setback
5.0m landscape strip



SITE DEVELOPMENT DATA

ZONE	C4 NEIGHBOURHOOD COMMERCIAL	
LOT AREA (COMMERCIAL)	8,873.7 SQ.M (2.192 AC.)	95,516 SQ.FT
BUILDING AREAS		
BUILDING A	404.36 SQ.M.	4353 SQ.FT.
BUILDING B	852.48 SQ.M.	9176 SQ.FT.
BUILDING C	858.28 SQ.M.	9239 SQ.FT.
PROPOSED ADDITION TO BUILDING A		
FIRST FLOOR	282.00 SQ.M.	3035 SQ.FT.
SECOND FLOOR	282.00 SQ.M.	3035 SQ.FT.
TOTAL GFA	2679.12 SQ.M.	28,839 SQ.FT.
TOTAL GROUND FL.AREA	2115.12 SQ.M.	22,767.71 SQ.FT.
PROPOSED ADDITION	282.00 SQ.M.	3,035.00 SQ.FT.
TOTAL COVERAGE	2397.12 SQ.M.	25,802.71 SQ.FT
LOT COVERAGE		
GROUND FLOOR COVERAGE	27.01%	

SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	6.00 M	6.00 M
REARYARD SETBACK	6.00 M	6.00 M
SIDEYARD SETBACK(INT)	3.00 M	3.00 M
SIDEYARD SETBACK (EXT.)	6.00 M	5.00 M

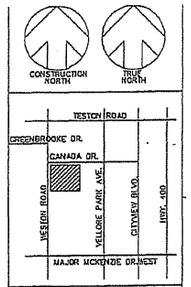
PARKING
PARKING REQUIRED (NEIGHBOURHOOD COMMERCIAL C4)
MULTIPLE TENANTS FOR EXISTING PLAZA

PARKING REQUIRED
(AS PER COMMITTEE OF ADJUSTMENT FILE NO.A111/12) 118 SPACES

PARKING PROVIDED= 118 SPACES
(INCL. 2 H/C SPACES)

PARKING REQUIRED
FOR ADDITION 282.00 SQ.M. RETAIL @ 6/100 = 17 SPACES
282.00 SQ.M. OFFICE @ 3.5/100 = 10 SPACES
TOTAL 27 SPACES
TOTAL NUMBER OF SPACES REQUIRED = 118 + 27 = 145 SPACES
PARKING PROVIDED 110 SPACES
(INCL. 2 HC SPACES)

LOADING SPACES		
MULTIPLE UNITS	N/A	
LANDSCAPED AREA	3036 SQ.M.	
PERCENTAGE	34.23%	
PAVED AREA	3439.81 SQ.M.	
PERCENTAGE	38.76%	
SNOW STORAGE	REQUIRED	PROVIDED
SNOW STORAGE AREA (25% OF LOT AREA)	177.47 SQ.M	180.0 SQ.M



no.	revisions	date	init.
5	PROPOSED ADDITION BUILDING A	03NOV12	SB
4	FOR BUILDING PERMIT	27JUL12	SB
3	GENERAL REVISIONS	24MAY12	SB
2	PROP. DAY CARE ADDITION	06MAY12	SB
1	GENERAL REVISION	09FEB10	SB
0	ISSUED FOR SPA	20JAN10	SB

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF BERNATT ARCHITECT LTD.
THE CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SITE CONDITIONS AND MUST NOTIFY BERNATT ARCHITECT LTD. VARIATIONS FROM THE DRAWINGS AND INFORMATION PRIOR TO PROCEEDING WITH ANY WORK. ALL WORK SHALL CONFORM TO THE LATEST ONTARIO BUILDING CODE AND TO ON APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
THIS DRAWING SHALL NOT BE SCALED.

cad file
date plotted 09FEB10 plot scale 1:1

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED ADDITION TO COMMERCIAL DEVELOPMENT for MILLWICK ACQUISITON CORP.
10395 WESTON ROAD
CITY OF VAUGHAN, ONTARIO

drawing
SITE PLAN
FILE No. DA.12.002

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

DATE

BERNATT ARCHITECT LTD.
40 Wyndford Drive, Ste. 312, Toronto, ONTARIO M2C 1J3
T: (416) 449-8245 F: (416) 449-6100 bernatt@bellnet.ca

drawing no. A1 rev. no. 4

Location Map 218/16

10395 Weston Road, Woodbridge

City of Vaughan

0 0.05 0.1 0.2 Kilometers

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan witthout warranties of any kind, either expressed or implied.

VAUGHAN
City Clerk's Office

COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

NOTICE OF DECISION
MINOR VARIANCES

FILE NUMBER: **A111/12**

APPLICANT: **MILLWICK ACQUISITION CORP.**

PROPERTY: Part of Lot 23, Concession 5 (Parts 1 to 3 on Survey 65R-31795, municipally known as 10375, 10385 and 10395 Weston Road, Woodbridge).

ZONING: The subject lands are zoned C4 Neighbourhood Commercial Zone and subject to the provisions of Exception 9(1224) under By-law 1-88 as amended.

PURPOSE: To permit the construction of an addition to an existing day nursery.

PROPOSAL:
1. To permit a rear yard setback of 6.0 metres to the day nursery.
2. To permit an easterly interior side yard setback of 12.50 metres to the day nursery.
3. To maintain 118 parking spaces.

BY-LAW REQUIREMENT:
1. A minimum rear yard setback to an institutional use is 15 metres.
2. A minimum interior side yard setback to an institutional use is 15 metres.
3. A minimum number of 127 parking spaces is permitted.

Sketches are attached illustrating the request.

MOVED BY: Mary Mauti

SECONDED BY: S Lenelle

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A111/12, MILLWICK ACQUISITION CORP.**, be **APPROVED,** in accordance with the sketches attached, subject to the following conditions of approval:

1. That Site Development File DA.12.002 is approved to the satisfaction of the Development Planning Department.

2.. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee.**(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: _____

Signed by all members present who concur in this decision:

J. Cesario,
Chair

A. Perrella,
Vice Chair

L. Fluxgold,
Member

M. Mauti,
Member

H. Zheng,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	**MAY 3, 2012**
Last Date of Appeal:	**MAY 23, 2012**

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

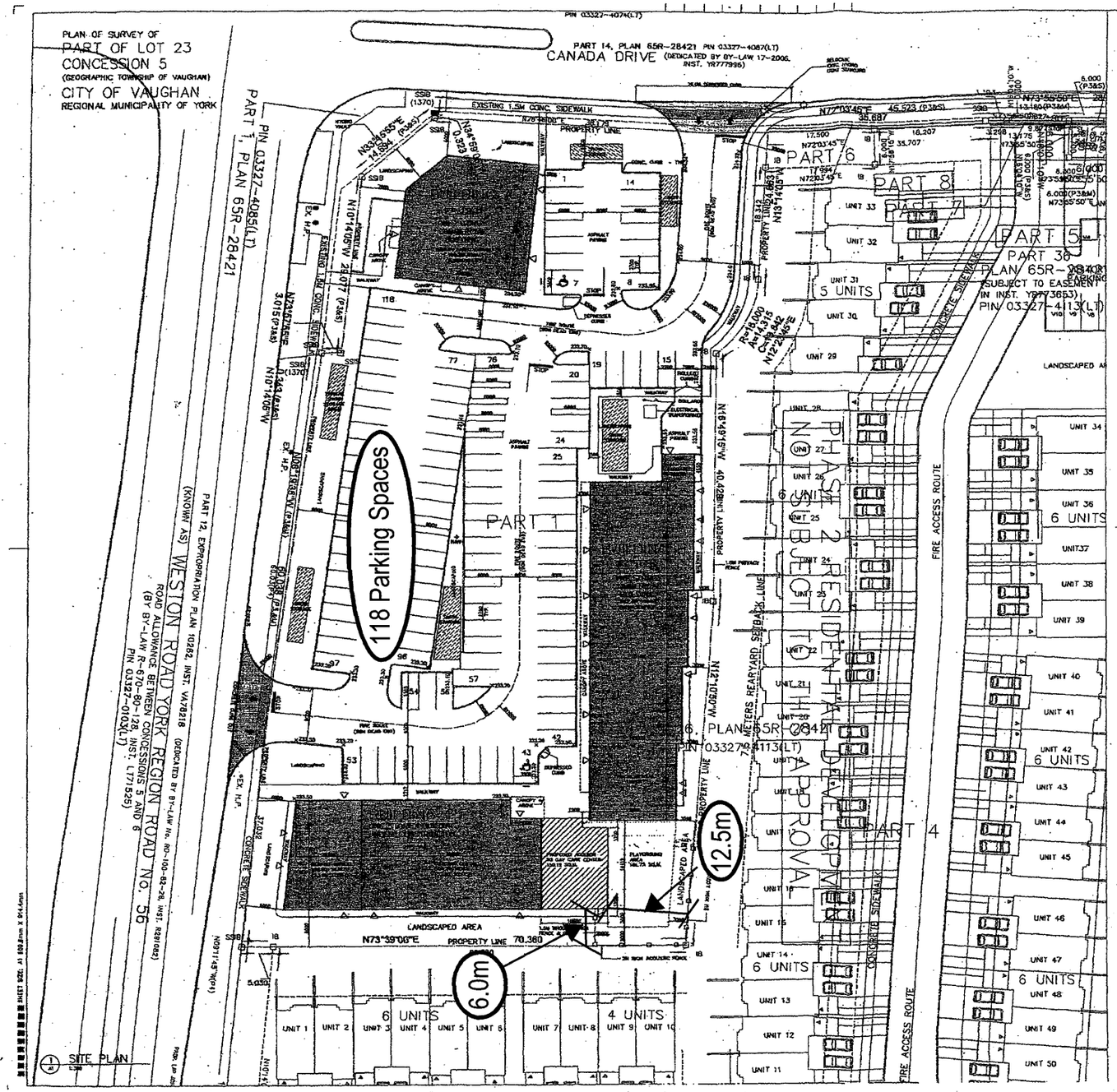
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the $650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of $125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **MAY 23, 2013**

A111/12



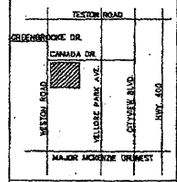
SITE DEVELOPMENT DATA

ZONE	C4 NEIGHBOURHOOD COMMERCIAL	
LOT AREA (COMMERCIAL)	8,873.7 SQ.M (2.192 AC.)	95,516 SQ.FT
BUILDING AREAS		
BUILDING A	404.36 SQ.M.	4353 SQ.FT.
BUILDING B	852.48 SQ.M.	9176 SQ.FT.
BUILDING C	708.16 SQ.M.	7623 SQ.FT.
PROPOSED ADDITION	150.12 SQ.M.	1616 SQ.FT.
TOTAL GROUND FL.AREA	1965.00 SQ.M.	21,151.78 SQ.FT.
(FOOTPRINT)+PROP. ADDITION	150.12 SQ.M.	1,615.93 SQ.FT.
	2115.12 SQ.M.	22,767.71 SQ.FT
LOT COVERAGE GROUND FLOOR COVERAGE	23.84%	

SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	6.00 M	6.00 M
REARYARD SETBACK	6.00 M	6.00 M
SIDEYARD SETBACK(INT)	3.00 M	3..00 M
SIDEYARD SETBACK (EXT.)	6.00 M	6.00 M

PARKING		
PARKING REQUIRED (NEIGHBOURHOOD COMMERCIAL C4) MULTIPLE TENANTS		
GROSS FLOOR AREA APPROVED FILE NO. DA.07.089	1965.00 SQ.M.	
COMMERCIAL FLOOR AREA	1455.76 SQ.M.	
PARKING REQUIRED 6 SPACES/100 SQ.M. G.F.A.=		88 SPACES
DAY CARE CENTRE G.F.A. =	509.24 SQ.M.	
PARKING REQUIRED 1.5 SPACES/EMPLOYEE *4 EMPLOYEE=		6 SPACES
PROPOSED ADDITION TO DAY CARE CENTRE	150.12 SQ.M.	
REQUIRED PARKING 1.5 SPACES/EMPLOYEE *2 EMPLOYYEE=		3 SAPCES
TOTAL PARKING REQIRED =		97 SPACES
PARKING PROVIDED=		118 SPACES (INCL. 2 H/C SPACES)
LOADING SPACES MULTIPLE UNITS	N/A	
LANDSCAPED AREA PERCENTAGE	2700.00 SQ.M. 30.43%	
PAVED AREA PERCENTAGE	4058.7 SQ.M. 45.74%	
SNOW STORAGE SNOW STORAGE AREA (2% OF LOT AREA)	REQUIRED 177.47 SQ.M	PROVIDED 180.0 SQ.M

CONSTRUCTION NORTH
TRUE NORTH



No.	revisions	date	init.
3	PROP. DAY CARE ADDITION	17/02/11	SB
1	GENERAL REVISION	08/08/13	SB
0	ISSUED FOR SPA	08/08/13	SB

THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROPERTY OF ARCHITECT AND MUST NOT BE DUPLICATED OR USED, UNLESS AUTHORIZED BY BERNATT ARCHITECT LTD.

cad file
date plotted 08/08/13 plot scale 1:1

drawn JK
designed SB
reviewed SB
date
scale 1:300

project
PROPOSED ADDITION TO COMMERCIAL DEVELOPMENT for MILLWICK ACQUISITON CORP.
10375 WESTON ROAD
CITY OF VAUGHAN, ONTARIO

drawing
SITE PLAN
FILE No. DA.07.089

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

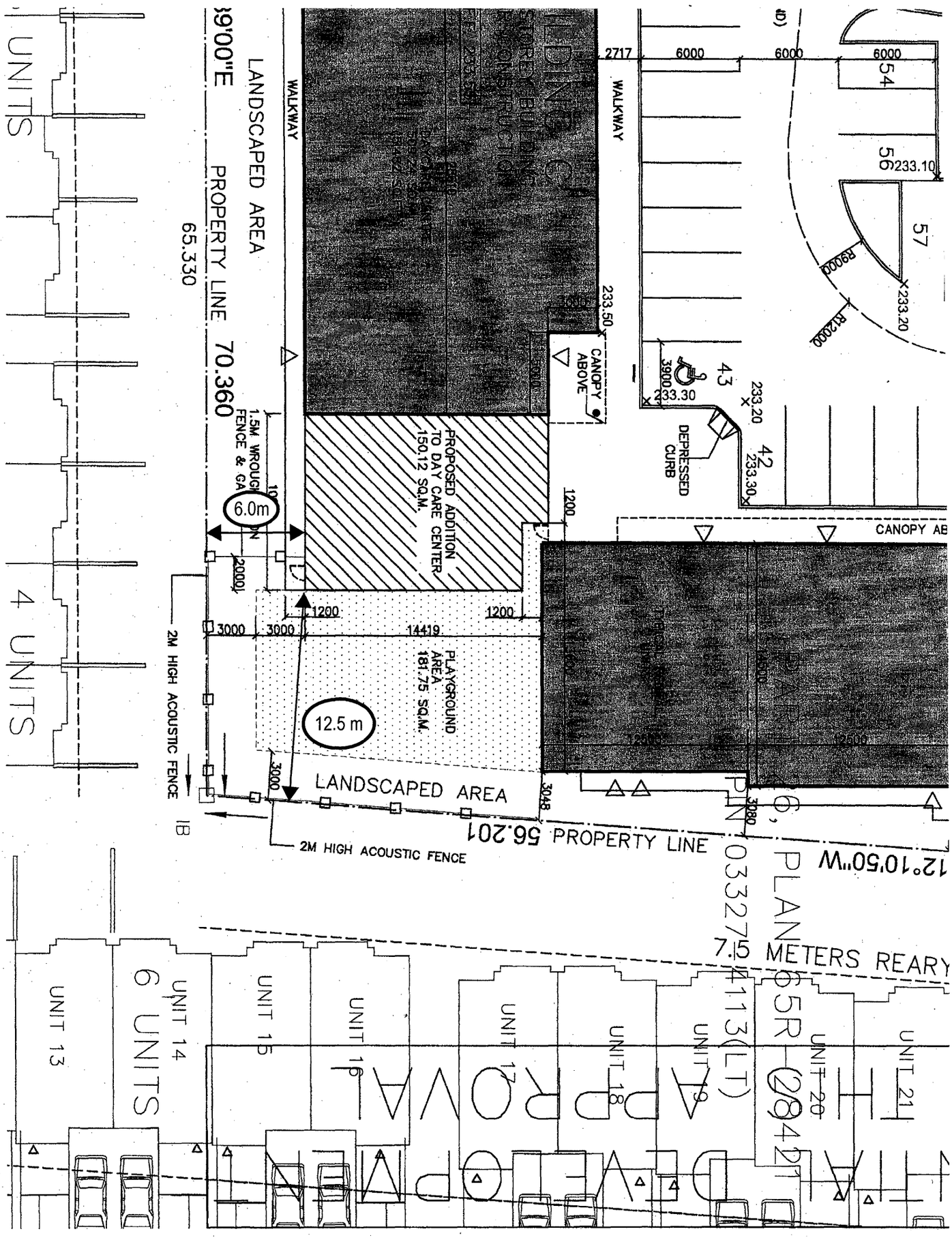
DATE

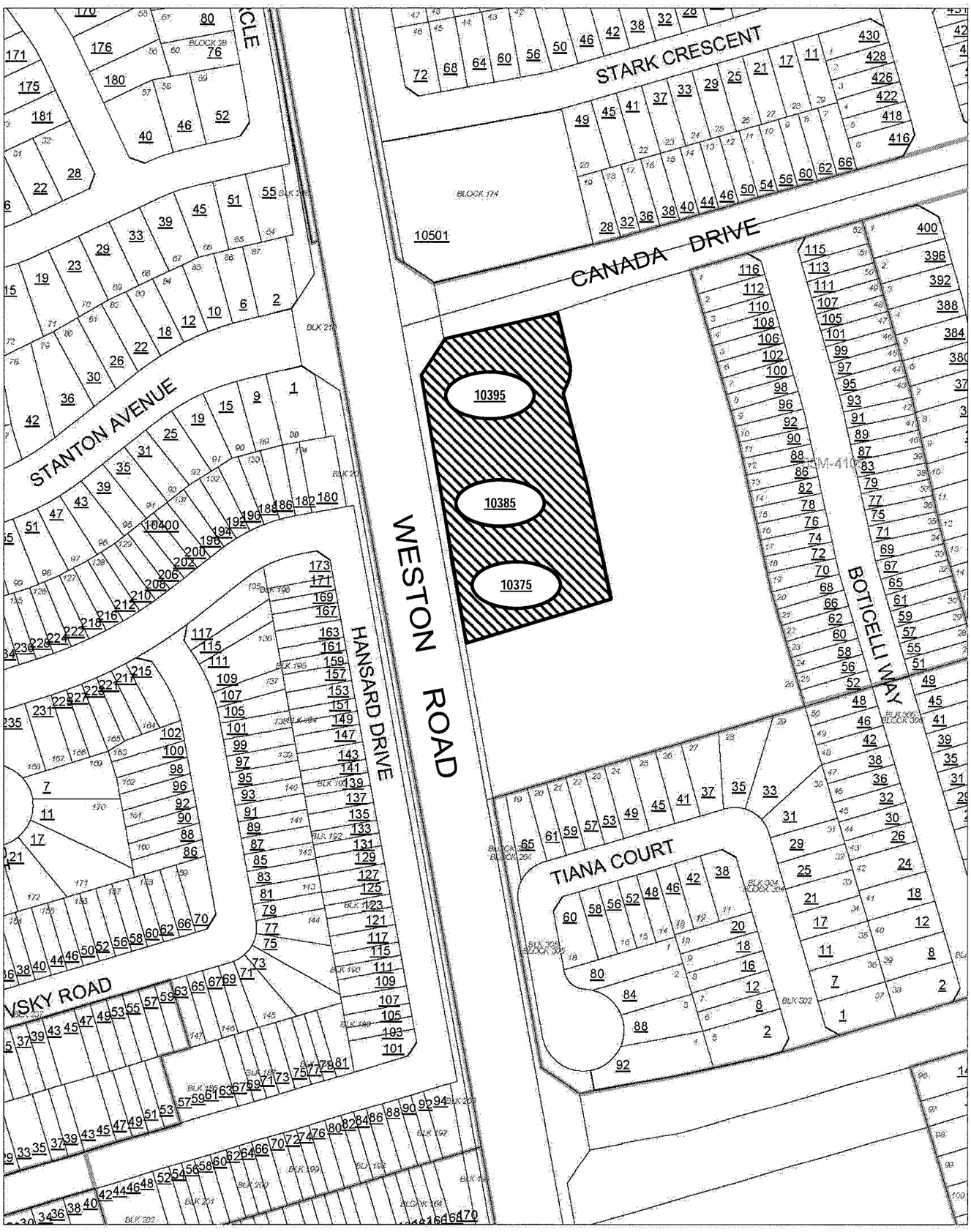
BERNATT ARCHITECT LTD.
40 Wynford Drive, Ste. 212, Toronto, Ontario M3C 1J5
T. (416) 445-9643 F.(416)445-9722 www.bernattarchitect

drawing no. A1 rev. no. 2

A111/12

DETAIL





VAUGHAN

COMMITTEE OF ADJUSTMENT

File No.:	A111/12
Applicants:	MILLWICK ACQUISITION CORP.
	SUBJECT LANDS: 10375, 10385 & 10395 Weston Road, Woodbridge

Staff Report Summary

Item 7

Ward 5

File: A161/19

Applicant: Rudolf & Rachilya Nudel

Address: 91 Vaughan Blvd Thornhill

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)		
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	☑
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 7

A161/19

Ward: 5

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8585**. Ext. **8332.**

Written comments and public deputation requests must be received by noon on the last business day before the meeting.

Applicant: Rudolf & Rachilya Nudel

Agent: None

Property: **91 Vaughan Blvd Thornhill**

Zoning: The subject lands are zoned R4 9(641) and subject to the provisions of Exception under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010: Low-Rise Residential

Related Files: None

Purpose: Relief from the by-law is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The maximum lot coverage of 30% is permitted.	1. To permit a maximum lot coverage of 34.8%. (32.4% dwelling; 2.4% cabana)
2. The maximum floor area permitted for an accessory building is 8.0 square metres.	2. To permit a maximum floor area of an accessory building (Cabana) of 15.3 square metres.
3. The maximum height permitted for any accessory building or structure shall be 4.5 metres measured from the highest point.	3. To permit the maximum height of an accessory building (Cabana) of 4.77 metres.
4. The nearest part of the roof shall not be more than 3.0 metres above finished grade.	4. To permit the nearest part of the roof of an accessory building (Cabana) above finished grade of 3.04 metres.
5. A minimum Rear Yard Setback of 5.7 metres is required.	5. To permit a Rear Yard Setback of 1.6 metres to an accessory building (Cabana).
6. A minimum Interior Side Yard Setback of 0.8 metres is required.	6. To permit a Interior Side Yard Setback of 0.6 metres to an accessory building (Cabana).

Background (previous applications approved by the Committee on the subject land): n/a

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example: "A279/17".

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant has confirmed posting of signage May 11, 2020

Property Information	
Existing Structures	**Year Constructed**
Dwelling	1999 (Purchased 2016)

Applicant has advised that they cannot comply with By-law for the following reason(s): Proposed size of structure encroaches on rear and side yard setbacks.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Official Plan: Vaughan Official Plan 2010 (‘VOP 2010’): “Low-Rise Residential”

The Owner is proposing to construct an accessory building (cabana) in the rear yard with the above noted variances.

The Owner is proposing a maximum lot coverage 34.8% (existing house 32.4%, cabana 2.4%) where 30% is required (Variance 1). The cabana has a proposed covered area of 15.3 m2 (Variance 2) of which the enclosed gross floor area is 7.2 m2 and the remaining is open and unenclosed. Variance 1 and 2 will not have adverse impacts to the streetscape or adjacent properties. The proposed maximum height is considered minor in nature as the cabana is 0.27 m above the requirement (Variance #3 and #4).

The proposed rear yard setback of 1.6 m and interior side yard setback of 0.6 m to the cabana is considered minor and allows for proper drainage (Variances 5 and 6). The Development Engineering Department has reviewed the application and has no objection to the proposed variances.

The Owner submitted an Arborist Report prepared by Green – WHY Landscape Inc Tree Service amended February 12, 2020. The Urban Design and Cultural Heritage Division of the Development Planning Department and Parks, Forestry and Horticulture Operations has reviewed the submitted report and is satisfied.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land

The Development Planning Department recommends approval of the minor variance application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A161/19.

Parks, Forestry and Horticulture Operations:
Recommended condition of approval:

Applicant shall apply for Private Property Tree Removal & Protection Permit.

By-Law and Compliance, Licensing and Permit Services:
No Comment.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comment no concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1.	Parks, Forestry & Horticultural Operations Andrew Swedlo 905-832-8585 x 3615 Andrew.swedlo@vaughan.ca	Applicant shall apply for Private Property Tree Removal & Protection Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

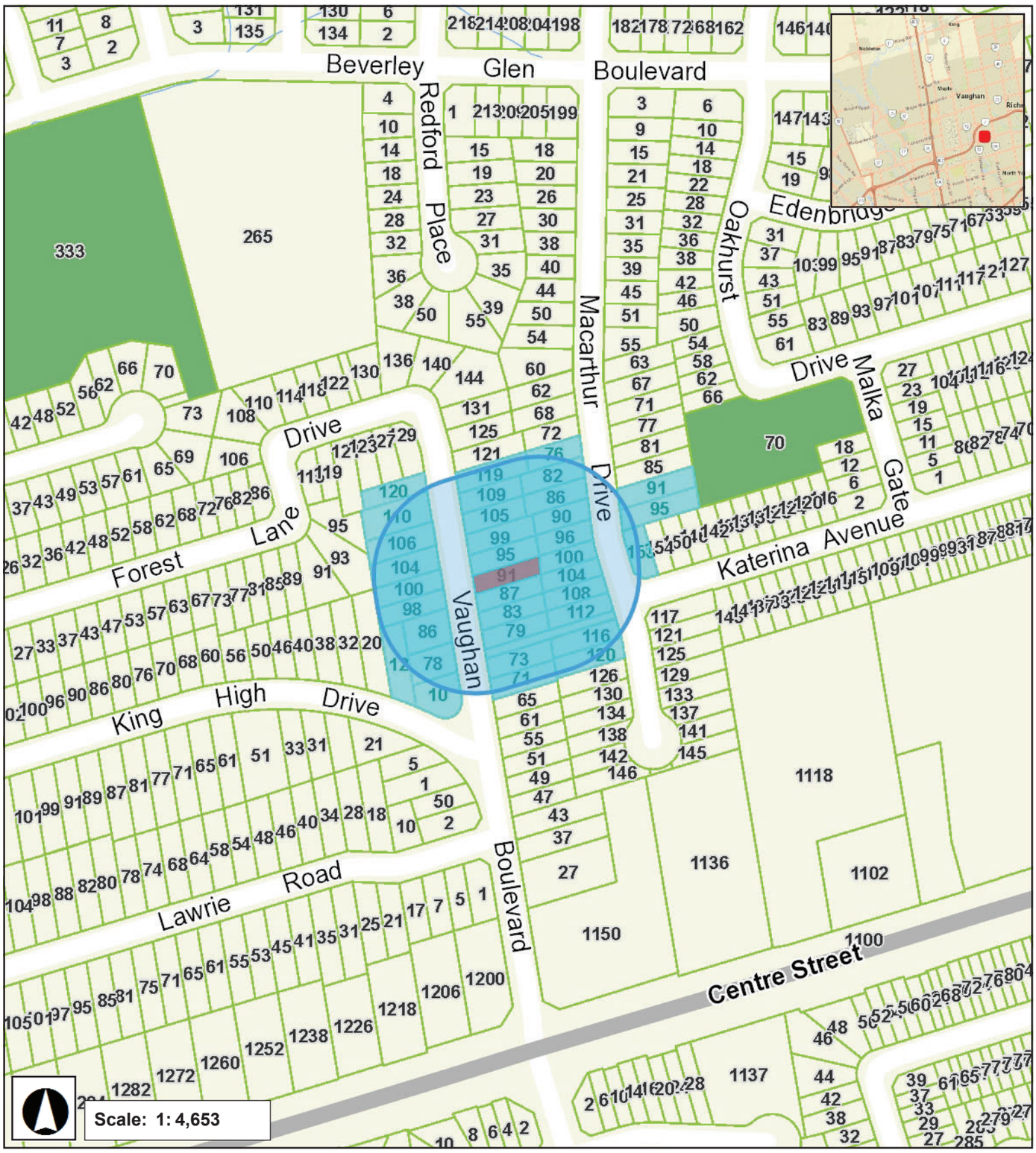
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches

LOCATION MAP A161/19

91 VAUGHAN BLVD, THORNHILL

Highway 7



December 9, 2019 2:55 PM

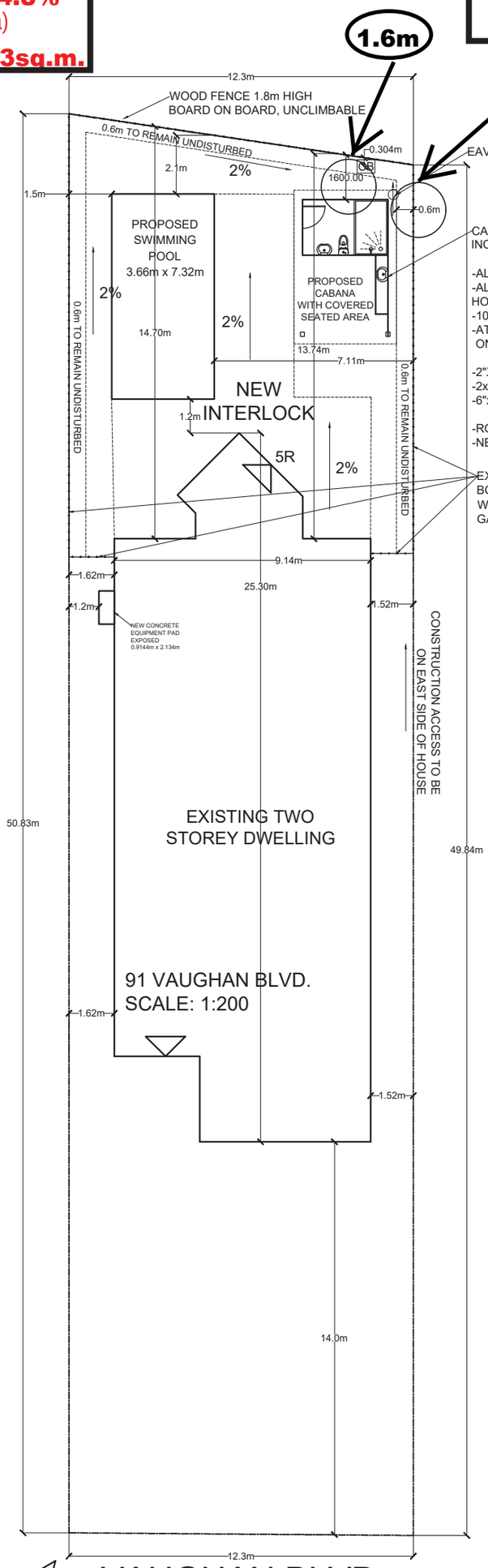
AMENDED FEB. 5 2020- RN

LOT COVERAGE = 34.8%
(32.4% dwelling, 2.4% cabana)

GFA of cabana = 15.3sq.m.

A161/19

HARDSCAPE VS SOFTSCAPE
TOTAL AREA BACKYARD: 174.9 SQ/M
66.00 SQ/M HARDSCAPE
37.74% HARDSCAPE
62.26% SOFTSCAPE



CABANA OVERALL DIMENSIONS 4.877m x 3.658m;
INCLUDES ROOF OVERHANG

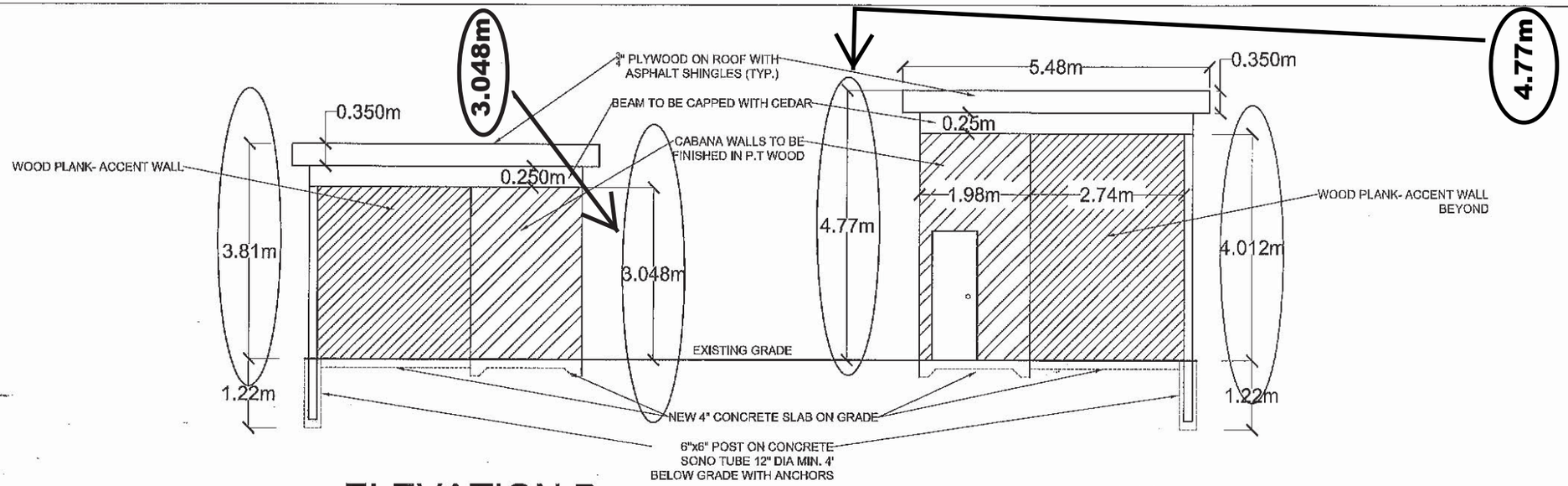
-ALL EXPOSED WOOD TO BE PRESSURE TREATED
-ALL HARDWARE EXPOSED TO WEATHER TO BE
HOT DIPPED GALVANIZED OR S.S.
-10M REBAR 30"X30" TIE SONO TUBE TO CONCRETE SLAB
-AT EACH CORNER OF CABANA PROVIDE 2x6 POST
ON 12" DIAMETER SONO TUBE 4FT BELOW GRADE

-2"X4" STUD WALL; 16" O.C.
-2x2x8 LINTEL OVER DOORWAY
-6"x6" POST ON CONCRETE SONO TUBE 12" DIAMETER

-ROOF TO SLOPE SOUTH TOWARDS SIDE PROPERTY LINE
-NEW PLUMBING FOR 3 FIXTURES

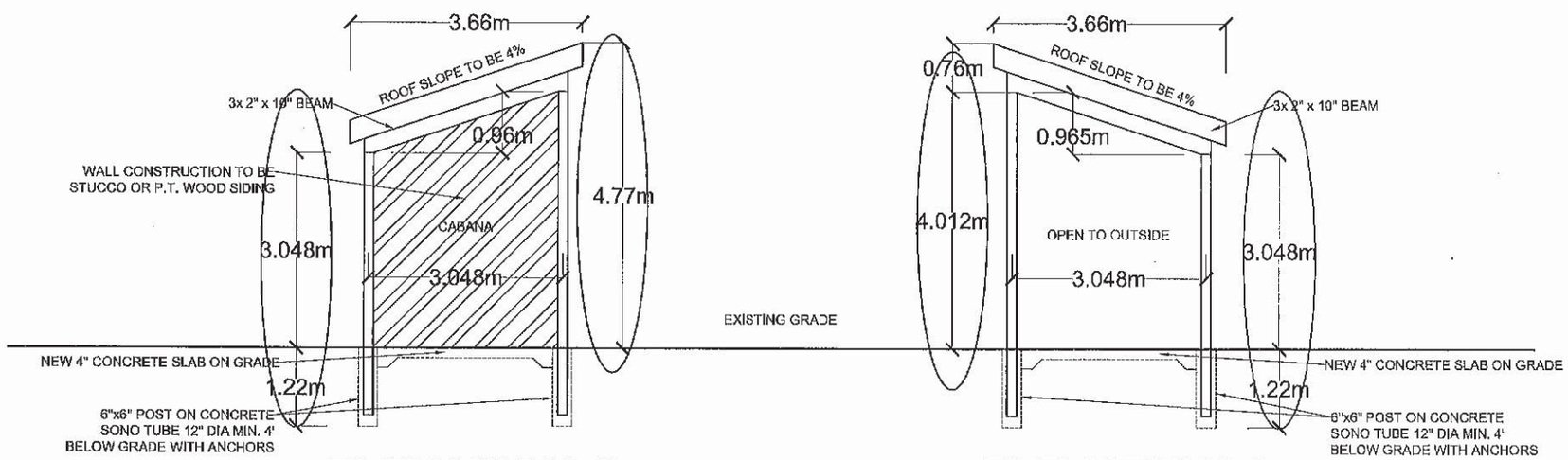
EXISTING WOOD FENCE 1.8m HIGH
BOARD ON BOARD, UNCLIMBABLE
WITH SELF CLOSING AND LOCKABLE
GATES AS PER CITY REQUIREMENTS

A161/19



ELEVATION B
SCALE 1:100

ELEVATION D
SCALE 1:100

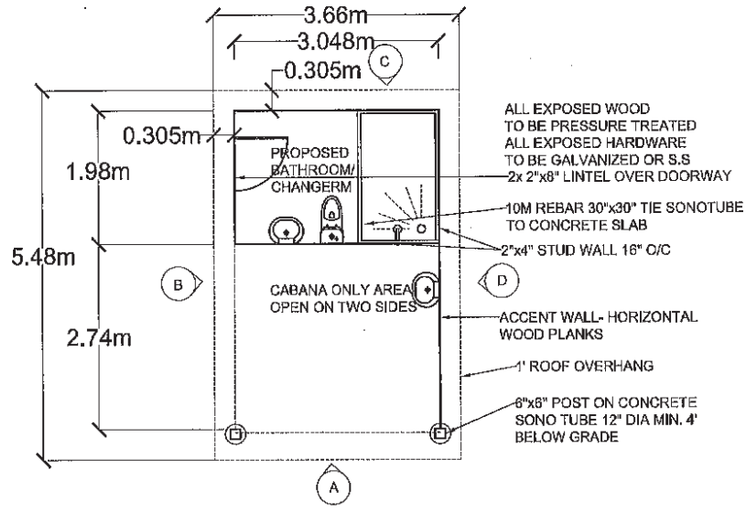


ELEVATION C
SCALE 1:100

ELEVATION A
SCALE 1:100

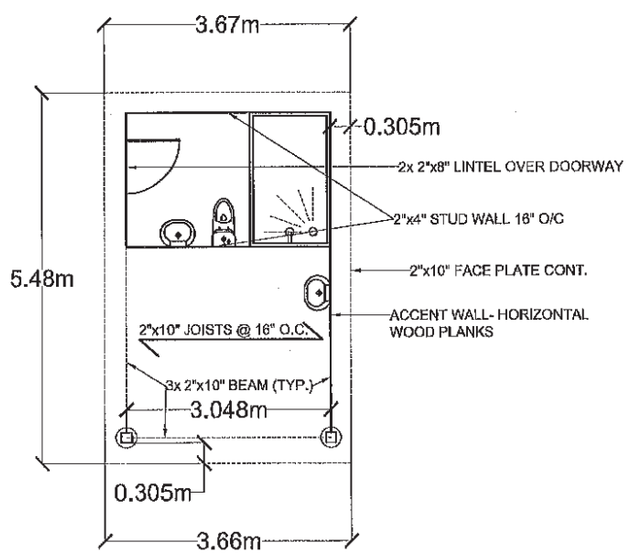
FLOOR PLAN

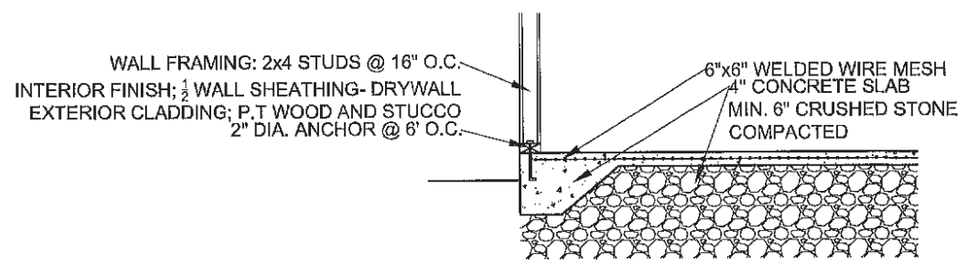
SCALE 1:100



ROOF PLAN

SCALE 1:100





CONCRETE FLOOR SLAB DETAIL

SCALE 1:50

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A161/19 - REQEUST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: February-12-20 1:31 PM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: RE: A161/19 - REQEUST FOR COMMENTS

Good afternoon Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Regards,
Gabrielle

Staff Report Summary

Item # 08

Ward # 3

File: A165/19

Applicant: Van Pham and Khoa Nguyen

Address: 20 Flourish Street Woodbridge

Agent: Maryam Azimi - Permit Masters

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	☑
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**		

Adjournment History: None

Background History: None

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 08

A165/19

Ward: 3

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832- 8504**. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Van Pham and Khoa Nguyen

Agent: Maryam Azimi - Permit Masters

Property: **20 Flourish Street, Woodbridge ON**

Zoning: The subject lands are zoned RD3 and subject to the provisions of Exception 9(1334) under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

Related Files: None.

Purpose: Relief from the By-law is being requested to permit the construction of a proposed deck and pergola to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum year yard setback of 5.7 metres is required to the Deck.	To permit a minimum rear yard setback of 4.0 metres to the Deck.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on March 4, 2020

Applicant confirmed posting of signage on March 8, 2020 and May 11, 2020.

Property Information	
Existing Structures	**Year Constructed**
Dwelling	2011

Applicant has advised that they cannot comply with By-law for the following reason(s): The deck structure is built, and it is below two feet high.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 19-001844 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

The applicant shall revise the Building Permit application drawings to match the variance application.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): “Low-Rise Residential”

The Owner is requesting permission to construct a deck in the rear yard with the above noted-variance.

Development Planning and Development Engineering staff attended the site on December 16th, 2019 and observed a deck and attached pergola under construction with a 0.1 m setback from the rear and interior yard lot lines with a height of 0.45 m above grade. At the request of the Development Planning Department, the Owner revised their proposal to address concerns with the proposed setbacks. As a result, the Owner removed the pergola thereby eliminating the variances for reduced interior side yard setbacks.

The revised deck has a rear yard setback of 4 m, whereas the original proposal was 0.1 m. While the height of the deck remains at 0.46 m, the deck has been scaled back from the rear and interior lot lines and is now attached to the house which limits the impact on adjacent properties. The proposed 4 m rear yard setback provides adequate open space in the rear yard.

As such, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):
No comments or concerns

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A165/19.

Parks, Forestry and Horticulture Operations:
The Forestry Department does not object to variance application A165/19, subject to the following condition:

The city owned boulevard tree will need to be hoarded and inspected prior to construction according to the city set back guidelines (hoarding detail MLA 107B).

The hoarding shall be maintained throughout the duration of the project.

By-Law and Compliance, Licensing and Permit Services:
No Comment.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No Comment.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Presentation to Committee (Applicant)

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None.

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Forestry Department Zachary Guizzetti 905-832-8585 x 3614 Zachary.Guizzetti@vaughan.ca	The city owned boulevard tree will need to be hoarded and inspected prior to construction according to the city set back guidelines (hoarding detail MLA 107B).

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

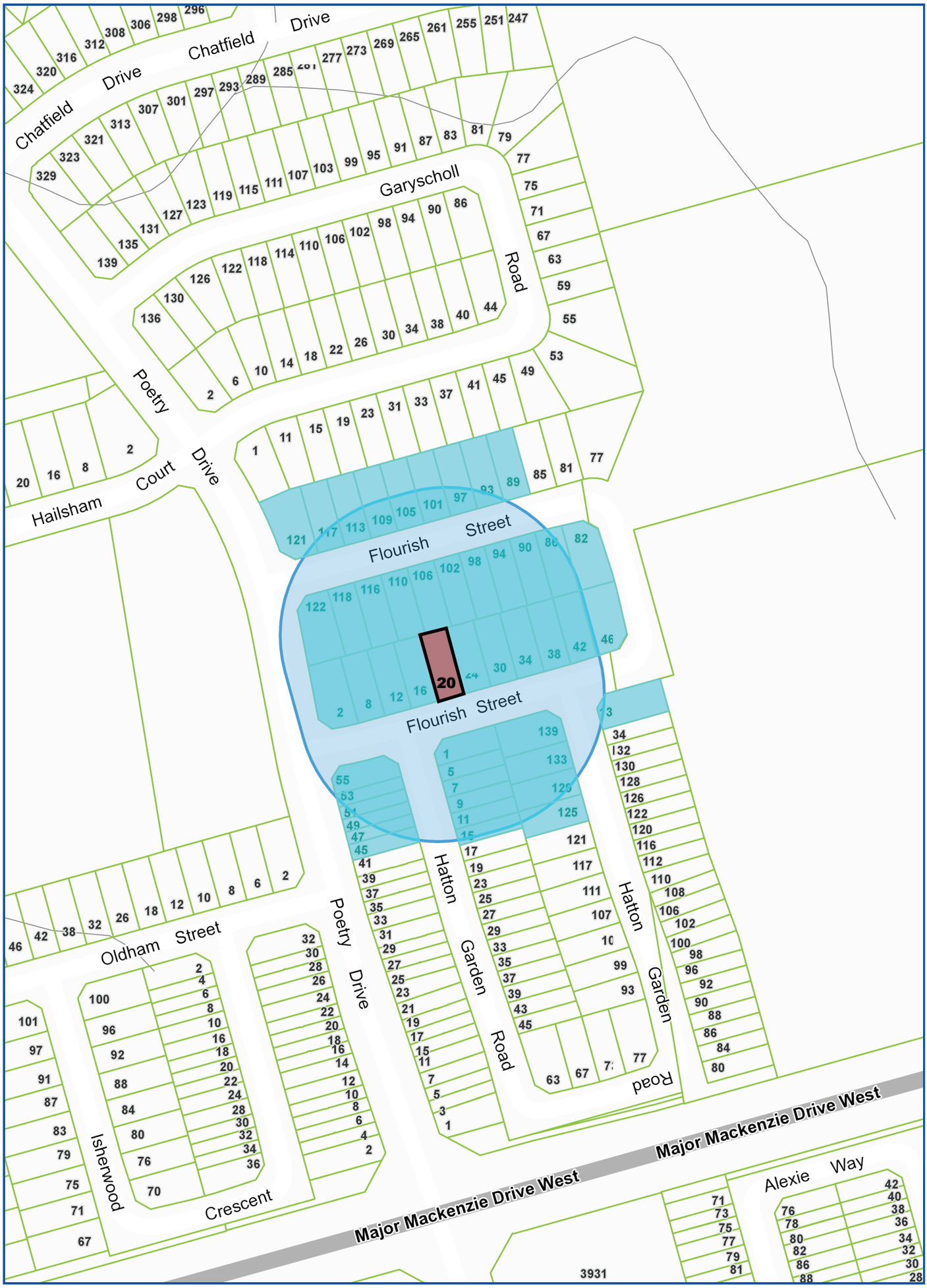
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

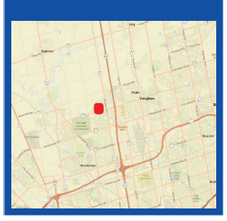
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches



Map Information:



Title: 20 FLOURISH STREET, MAPLE

LOCATION MAP - A165/19

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

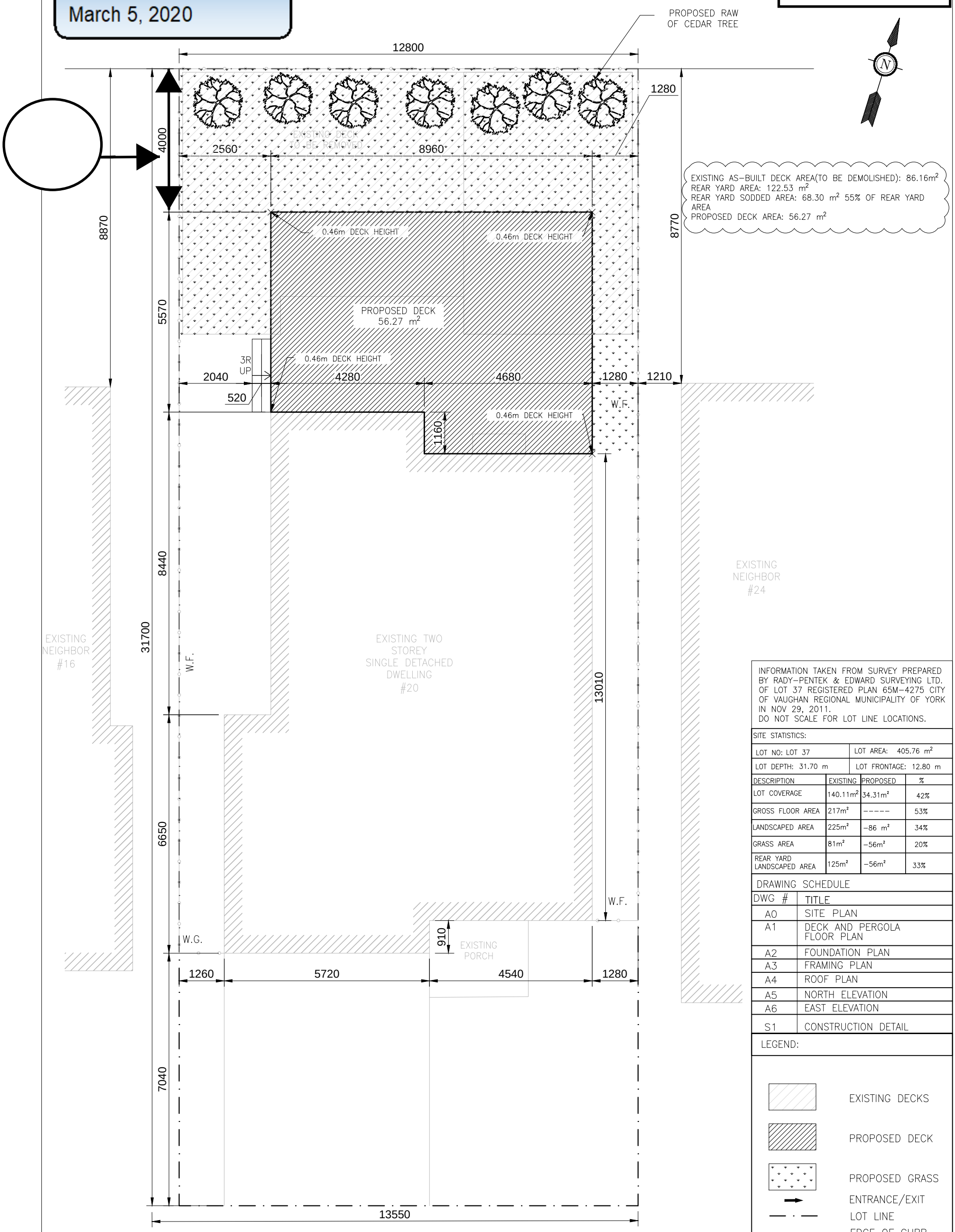
Scale: 1: 2,257
0 0.04 km

Created By:
Infrastructure Delivery Department
December 12, 2019 12:46 PM

Projection:
NAD 83
UTM Zone 17N

Revised
March 5, 2020

A165/19



1 A0 SITE PLAN

INFORMATION TAKEN FROM SURVEY PREPARED BY RADY-PENTEK & EDWARD SURVEYING LTD. OF LOT 37 REGISTERED PLAN 65M-4275 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK IN NOV 29, 2011.
DO NOT SCALE FOR LOT LINE LOCATIONS.

SITE STATISTICS:

LOT NO: LOT 37	LOT AREA: 405.76 m²
LOT DEPTH: 31.70 m	LOT FRONTAGE: 12.80 m

DESCRIPTION	EXISTING	PROPOSED	%
LOT COVERAGE	140.11m²	34.31m²	42%
GROSS FLOOR AREA	217m²	-----	53%
LANDSCAPED AREA	225m²	-86 m²	34%
GRASS AREA	81m²	-56m²	20%
REAR YARD LANDSCAPED AREA	125m²	-56m²	33%

DRAWING SCHEDULE

DWG #	TITLE
A0	SITE PLAN
A1	DECK AND PERGOLA FLOOR PLAN
A2	FOUNDATION PLAN
A3	FRAMING PLAN
A4	ROOF PLAN
A5	NORTH ELEVATION
A6	EAST ELEVATION
S1	CONSTRUCTION DETAIL

LEGEND:

- EXISTING DECKS
- PROPOSED DECK
- PROPOSED GRASS
- ENTRANCE/EXIT
- LOT LINE
- EDGE OF CURB
- W.G. WOODEN GATE
- W.F. WOODEN FENCE

Notes:

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO PERMIT MASTERS BEFORE PROCEEDING WITH WORK. THIS DRAWING IS FOR REFERENCE ONLY, ALL MEASUREMENTS ON THIS DRAWING WERE TAKEN FROM BUILDING/SITE. ALL MEASUREMENTS ARE IN mm UNLESS OTHERWISE NOTED.

ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

Project Description
PROPOSED DECK AND PERGOLA

Municipal Address
20 FLOURISH ST
WOODBRIDGE, ON L4H 3R1

Drawing Number A0

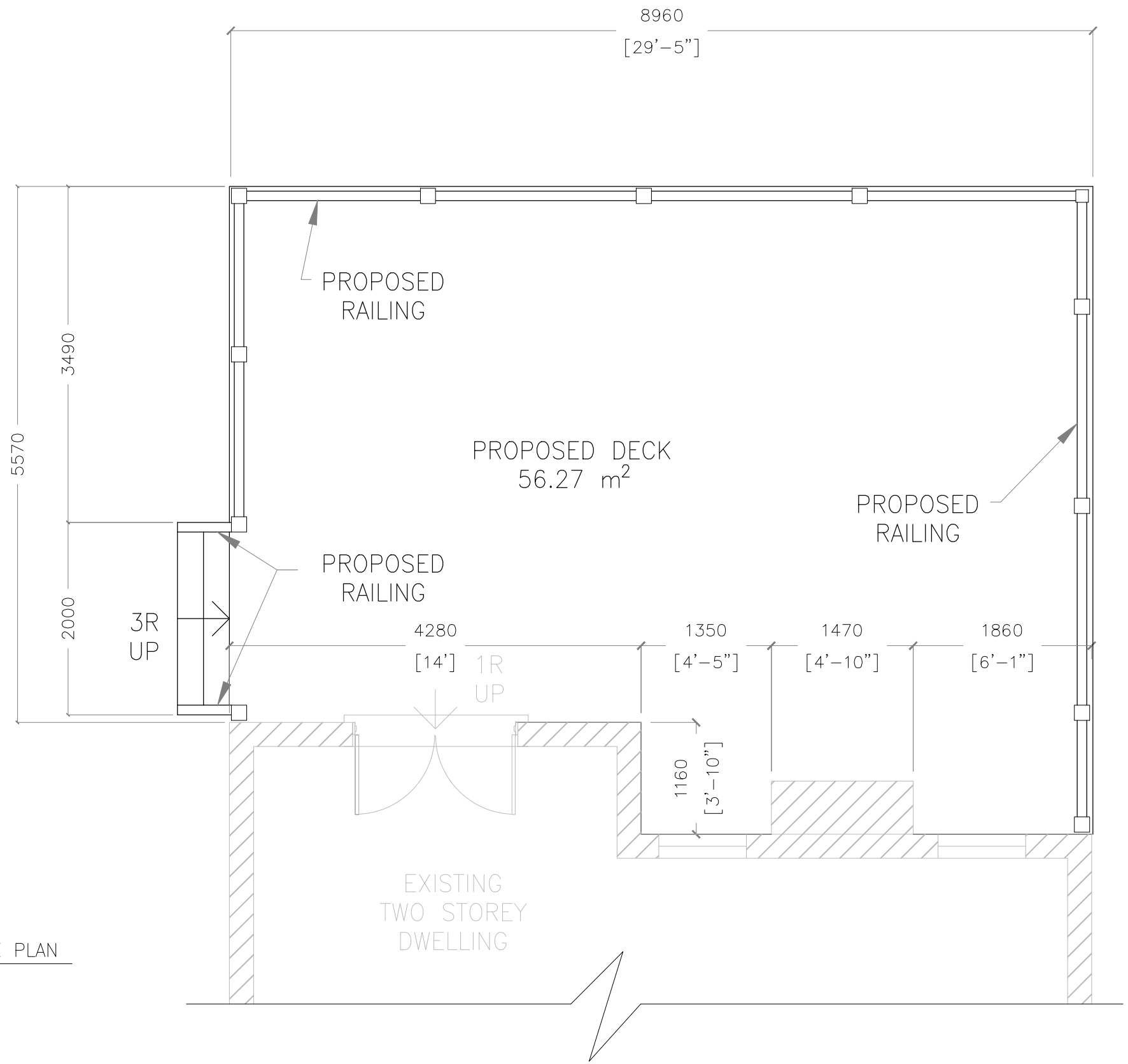
Project PM-T9033-D

Date 27/09/2019

Scale 1:100

A165/19

Revised
March 5, 2020



1 / A1 DECK PLAN

P1:
140X140mm(P.T.) WOOD POST SECURED TO CONCRETE PIER W/ METAL SHOE 12.7mm ø BOLT SHOE ANCHORED 100mm INTO CONCRETE PIER

Notes:

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO PERMIT MASTERS BEFORE PROCEEDING WITH WORK.
THIS DRAWING IS FOR REFERENCE ONLY, ALL MEASUREMENTS ON THIS DRAWING WERE TAKEN FROM BUILDING/SITE.
ALL MEASUREMENTS ARE IN mm UNLESS OTHERWISE NOTED.

Project Description	PROPOSED DECK AND PERGOLA
Municipal Address	20 FLOURISH ST WOODBRIDGE, ON L4H 3R1
Drawing Number	A1
Project	PM-T9033-D
Date	27/09/2019
Scale	1:50

A165/19

1 / A5 NORTH ELEVATION

Revised
March 5, 2020

Notes:

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO PERMIT MASTERS BEFORE PROCEEDING WITH WORK.
THIS DRAWING IS FOR REFERENCE ONLY, ALL MEASUREMENTS ON THIS DRAWING WERE TAKEN FROM BUILDING/SITE.
ALL MEASUREMENTS ARE IN mm UNLESS OTHERWISE NOTED.

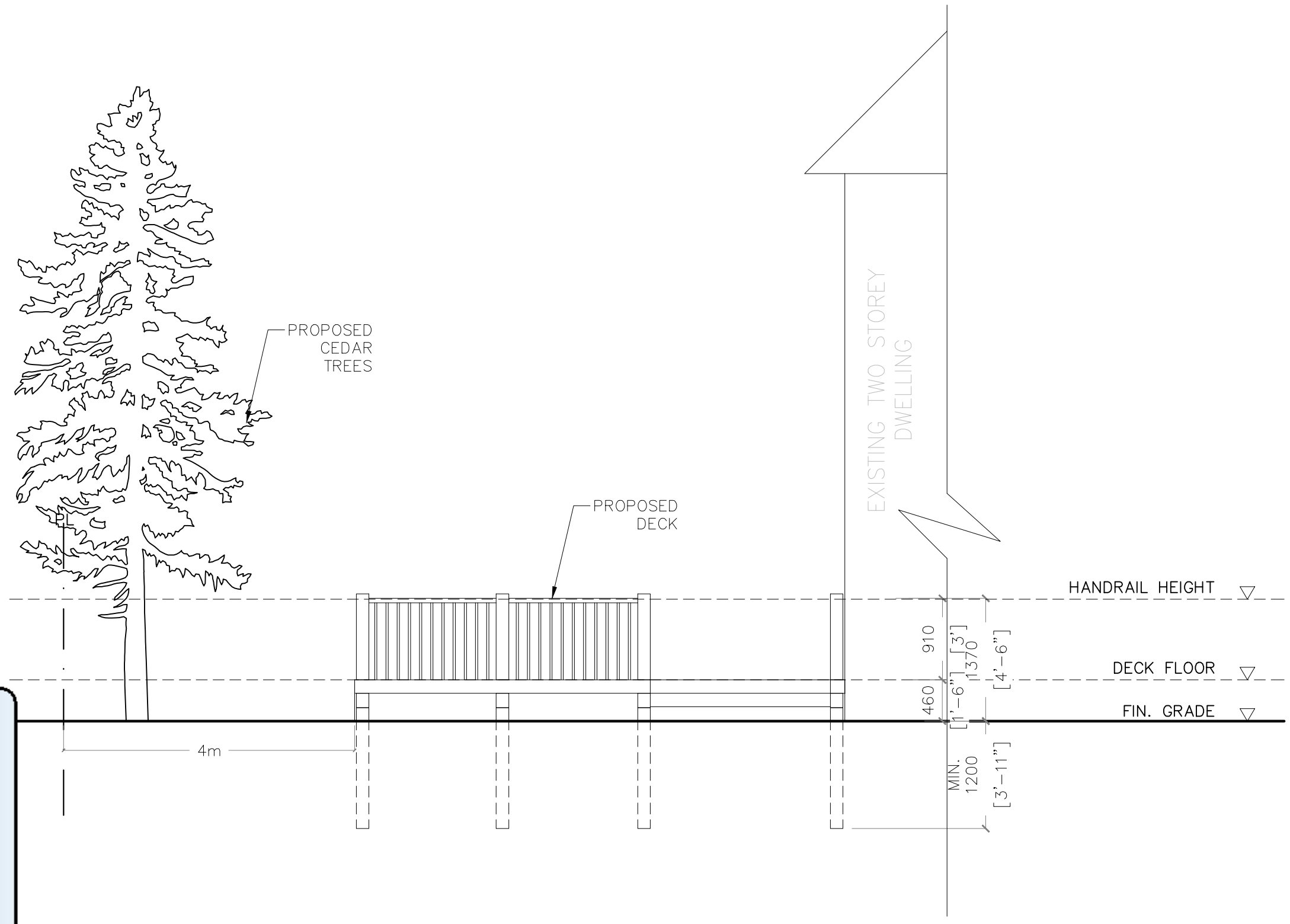
DRAWING NOTES:

ROOF JOISTS TO BE SUPPORTED BY JOIST HANGERS

3.4.7.6. GUARDS 920MM HIGH, NO MEMBER OR ATTACHMENT BETWEEN 140MM & 900MM HIGH SHALL FACILITATE CLIMBING

Project Description	PROPOSED DECK AND PERGOLA
Municipal Address	20 FLOURISH ST WOODBRIDGE, ON L4H 3R1
Drawing Number	A5
Project	PM-T9033-D
Date	27/09/2019
Scale	1:50

A165/19



Revised
March 5, 2020

1
A6
EAST ELEVATION

Notes:

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO PERMIT MASTERS BEFORE PROCEEDING WITH WORK.
THIS DRAWING IS FOR REFERENCE ONLY, ALL MEASUREMENTS ON THIS DRAWING WERE TAKEN FROM BUILDING/SITE.
ALL MEASUREMENTS ARE IN mm UNLESS OTHERWISE NOTED.

DRAWING NOTES:

ROOF JOISTS TO BE SUPPORTED BY JOIST HANGERS

3.4.7.6. GUARDS 920MM HIGH, NO MEMBER OR ATTACHMENT BETWEEN 140MM & 900MM HIGH SHALL FACILITATE CLIMBING

Project Description	PROPOSED DECK AND PERGOLA
Municipal Address	20 FLOURISH ST WOODBRIDGE, ON L4H 3R1
Drawing Number	A6
Project	PM-T9033-D
Date	27/09/2019
Scale	1:50

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Presentation to Committee (Applicant)

Committee of Adjustment
20 Flourish Street

Committee of Adjustment

Hearing date May 28, 2020

www.permitmasters.ca

PERMITMASTERS

EDMONTON VANCOUVER CALGARY

Aerial photo

PERMITMASTERS
EDMONTON VANCOUVER CALGARY

Site Pictures and Context

PERMITMASTERS
EDMONTON VANCOUVER CALGARY

Site Pictures and Context

PERMITMASTERS
EDMONTON VANCOUVER CALGARY

Site Pictures and Context

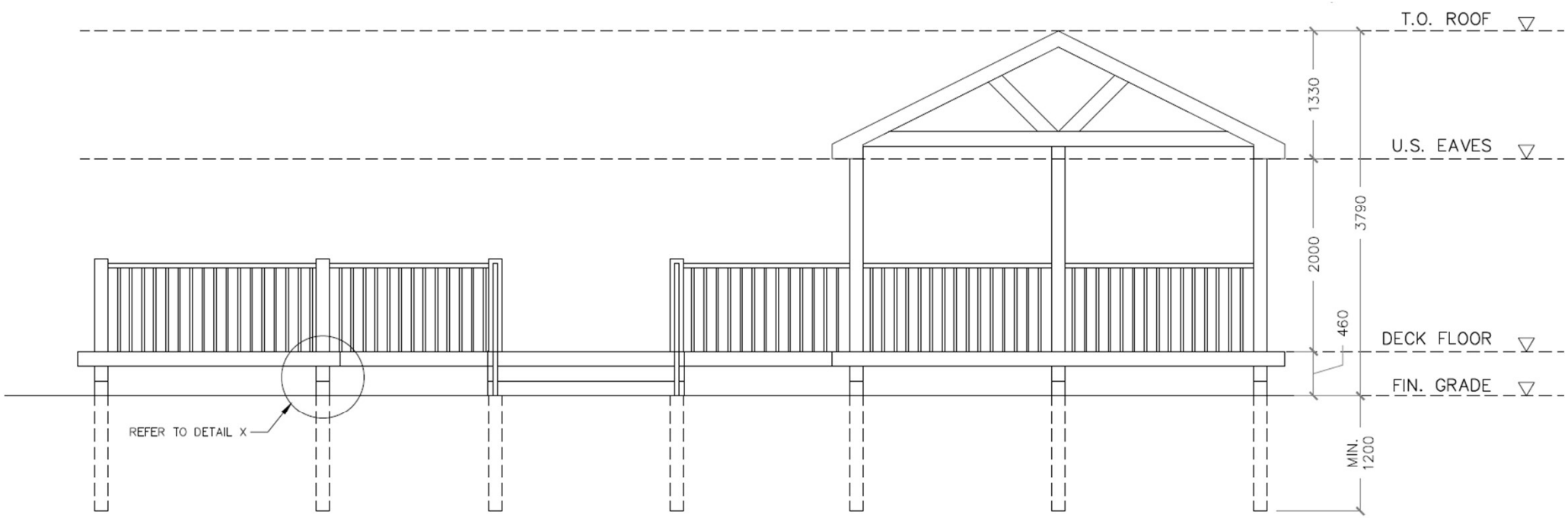
PERMITMASTERS
EDMONTON VANCOUVER CALGARY

Site Pictures and Context

PERMITMASTERS
EDMONTON VANCOUVER CALGARY

Original Application

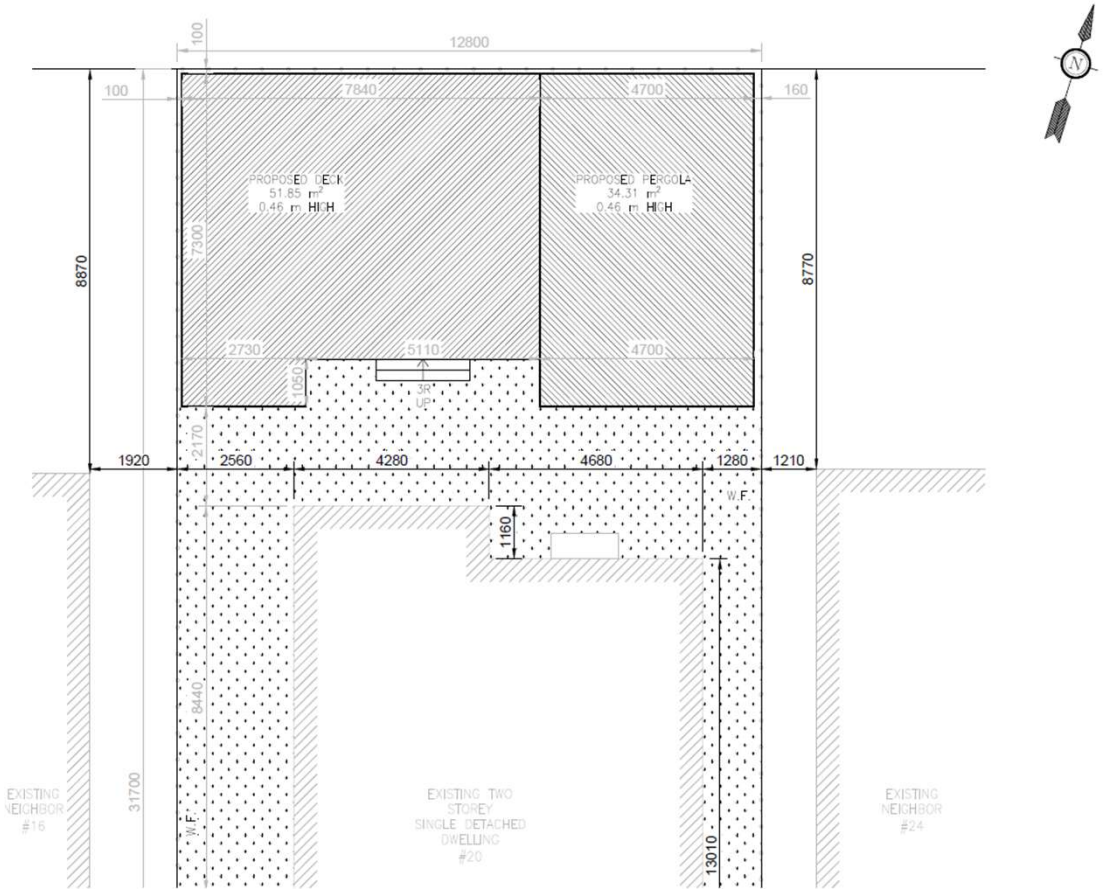
PERMITMASTERS
EDMONTON VANCOUVER CALGARY



2 A5 SOUTH ELEVATION

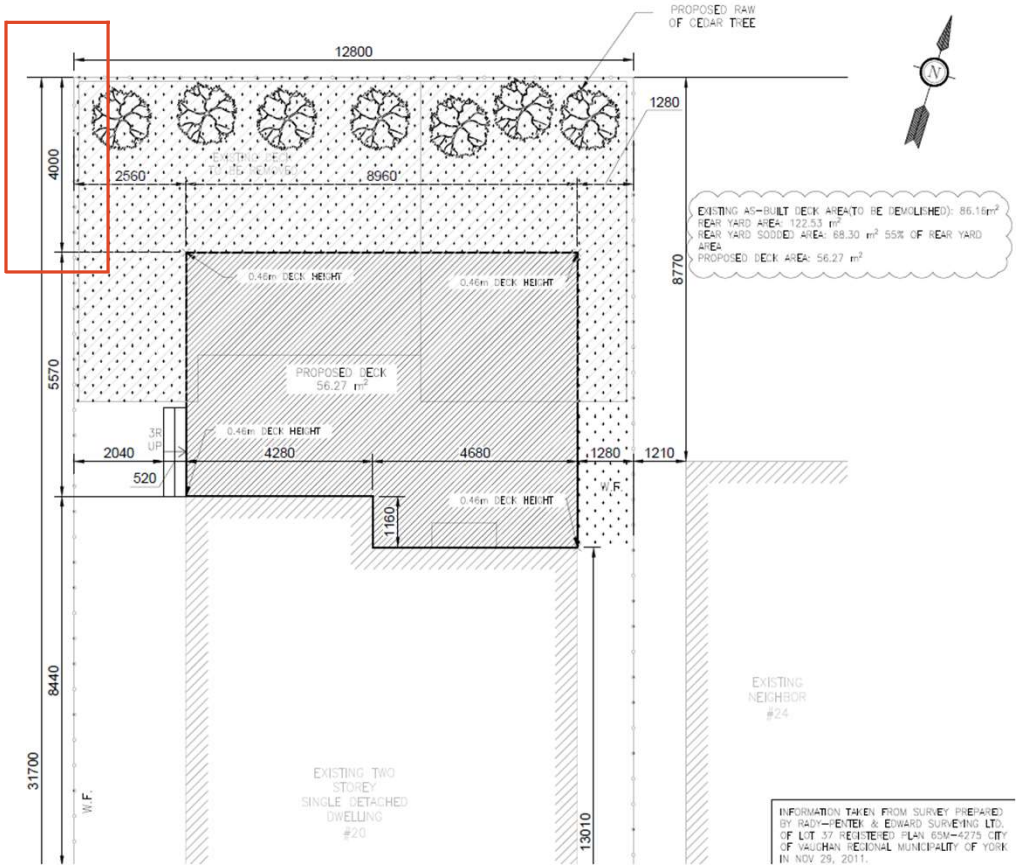
Original Application

PERMITMASTERS
EDMONTON VANCOUVER CALGARY



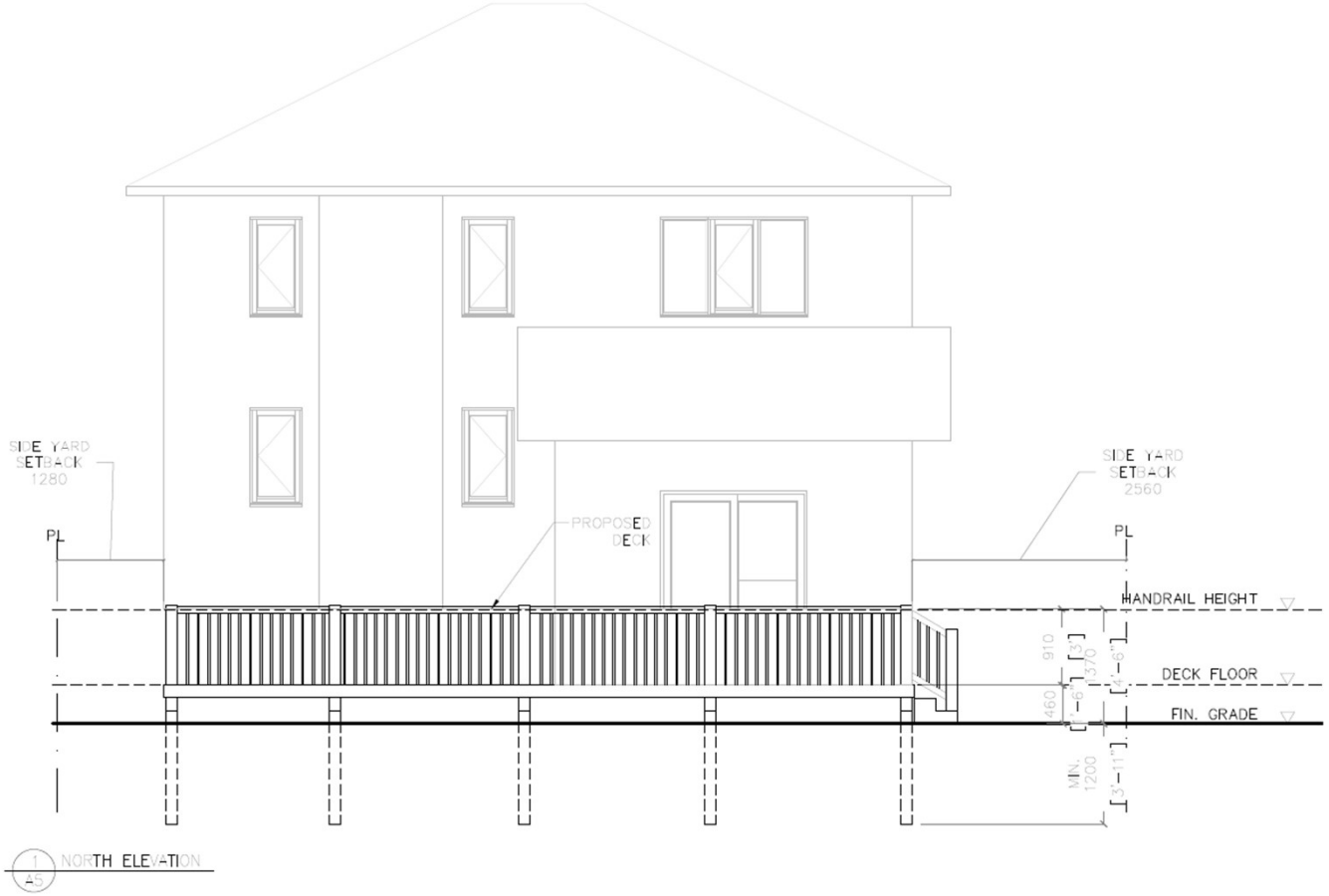
Final Submission

PERMITMASTERS
EDMONTON VANCOUVER CALGARY



Final Submission

PERMITMASTERS
EDMONTON VANCOUVER CALGARY



Questions?

THANK YOU FOR YOUR TIME!

www.permitmasters.ca

#920 736-8 Avenue SW
Calgary, AB T2P 1H4
(855) 475-2044
info@permitmasters.ca

#208 8657 - 51 Avenue NW
Edmonton AB, T6E 6A8
(855) 475-2044
info@permitmasters.ca

4th Floor, 36 King Street East
Toronto, ON M5C 1E5
(855) 475-2044
info@permitmasters.ca

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A165-19 -REQUEST FOR **REVISED** COMMENTS (Vaughan Committee of Adjustment)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: March-02-20 11:38 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A165-19 -REQUEST FOR **REVISED** COMMENTS (Vaughan Committee of Adjustment)

Good Morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has **no comment.**

Regards,

Gabrielle

Gabrielle Hurst | **MCIP, RPP**, Planning and Economic Development, Corporate Services

---

1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Staff Report Summary **Item # 9**

Ward #4

File: A174/19

Applicant: Amir & Kateryna Hashemi

Address: 76 Chaiwood Court, Maple

Agent: Pool Craft

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑ ☒	

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 9

A174/19

Ward: 4

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8504** Ext. **8332**

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Amir & Kateryna Hashemi

Agent: Pool Craft

Property: **76 Chaiwood Court, Maple**

Zoning: The subject lands are zoned RD3 and subject to the provisions of Exception 9(1263) under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010: Low-Rise Residential

Related Files: None

Purpose: Relief from the By-law is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum rear yard setback of 7.5 metres is required to an accessory structure.	To permit a minimum rear yard setback of 1.40 metres to the accessory structure

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 1, 2020

Property Information	
Existing Structures	**Year Constructed**
Dwelling	2009
Cabana	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Height and Overall size.

Adjournment Request: None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2
The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit approval.

Where the area of a rear yard of a lot is great than 135 sqm, a minimum of 60% of that portion of the rear yard in excess of 135 sqm shall be composed of soft landscaping.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010: Low-Rise Residential

The Owner is requesting permission to construct an accessory structure with the above-noted variance. The Owner is proposing a rear yard setback of 1.40 metre where 7.5 metres is required. The Subject Lands is a large irregular pie shaped lot and the proposal is minor in nature and appropriate for the neighborhood.
The Development Engineering Department has reviewed the application and does not object to the proposal.

The Development Planning Department is of the opinion that the proposed variance is minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the minor variance application.

Cultural Heritage (Urban Design):
No Response.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A174/19 subject to the following conditions.

1. The owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval for the proposed cabana prior to any work being undertaken on the property (greater than 10m2 and therefore required a grading permit). Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

2. Staff have confirmed that the property is located within an unassumed subdivision. The owner/applicant shall provide satisfactory notification to the developer/builder (letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification to the City's Development Engineering Department.

DE Department has received confirmation that the owner/client has provided satisfactory notification to the Developer/builder of the minor variance and proposed work to the property in question and provided a copy to the City’s Development Engineering Department. The owner/applicant has also reduced the cabana size to be less then 10m2 which will not require a grading approval from the Lot Grading division of the City’s Development Engineering Department.

Parks, Forestry and Horticulture Operations:
No comments.

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
No comment.

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

Author Name	Author Address	Nature of Correspondence
Daniel Greenberg	Address not provided.	Letter of Objection
Irina Golikov	Address not provided	Letter of Objection
Kai and Chun Wang	62 Moraine Hill Drive	Letter of Objection
Trina Wang	66 Moraine Hill Drive	Request for adjournment from the March 19 hearing due to COVID-19
Multiple	Signatures were obtained for the following properties in support of the petition: - 59 Randolph Drive - 63 Randolph Drive - 73 Randolph Drive - 76 Randolph Drive - 77 Randolph Drive - 80 Randolph Drive - 81 Randolph Drive - 87 Randolph Drive - 90 Randolph Drive - 95 Randolph Drive - 70 Chaiwood Court - 87 Chaiwood Court - 91 Chaiwood Court - 95 Chaiwood Court - 40 Moraine Hill Drive - 47 Moraine Hill Drive - 48 Moraine Hill Drive - Does not agree with toilet concerns - 58 Moraine Hill Drive - 67 Moraine Hill Drive	Petition in Objection
Kevin Zhang	87 Chaiwood Court	Letter of Objection
Amir Hashemi	76 Chaiwood Court	Agent response to the following public concerns: - Drainage - Cabana Height - Odour (toilet) - Sunlight - Privacy/spacing - Proximity of cabana to fence
Evita and Roman Levitin	96 Chaiwood Court	Notice from resident at 96 Chaiwood Court advising that they did not consent to participate in petition and request to be removed.
Chun Wang	62 Moraine Hill Drive	Letter to acknowledge that 96 Chaiwood Court was added to petition in error.

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
List Application Numbers i.e. Minor Variance A001/17

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

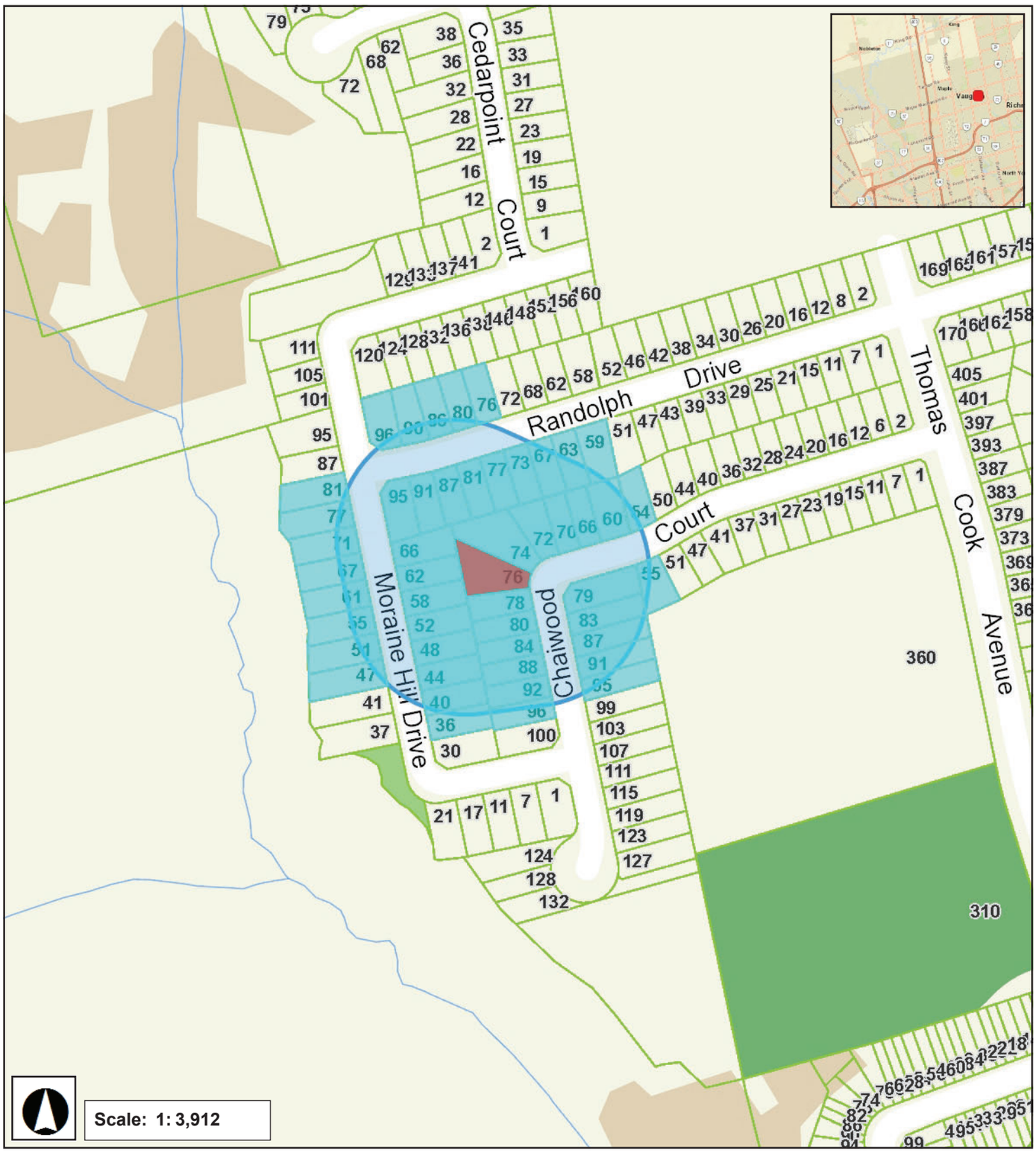
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

A174/19 - Notification Map

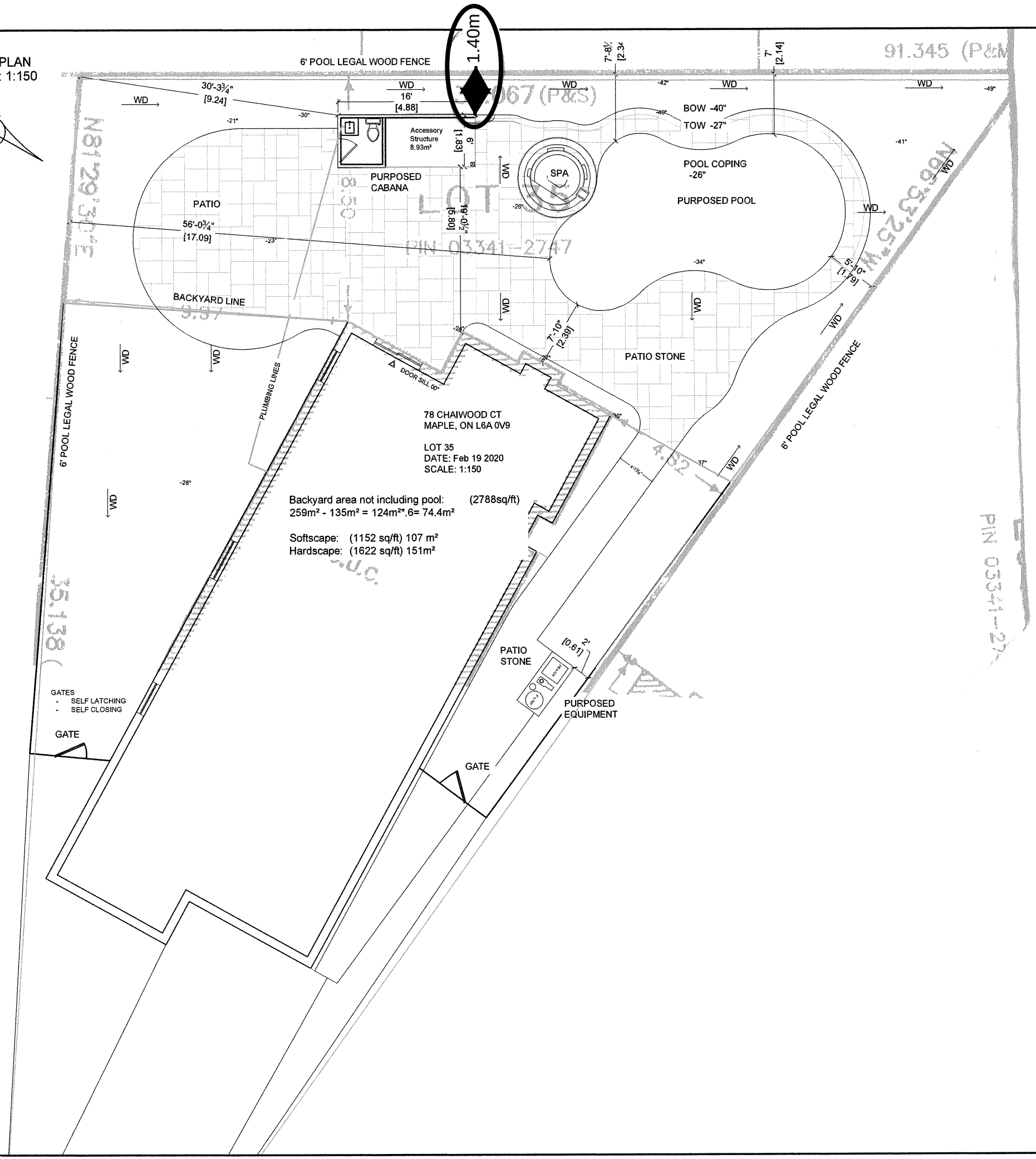
76 Chaiwood Court, Vaughan



March 4, 2020 10:42 AM

SITE PLAN
Scale: 1:150

A174/19



REVISED FEB 20/20

NOTES

DRAINAGE AS PER APPROVED POOL PERMIT PLAN

ALL FRAMING TO BE SPF No. 1&2 OR GREATER

SNOW LOAD CALCULATIONS BASED ON OBC 2012 Ss 1.1, Sr 0.4, Cb 0.45 = 0.895

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Required unless design is exempt under Div. C - 3.2.5.1. of the building code

Name	Signature	BCIN
DANA EVANS		100332

Registration Information
Required unless design is exempt under Div. C - 3.2.4.1. of the building code

Firm Name	BCIN
209 DESIGN	101521

DESIGNER

209 DESIGN landscape • home

DANA EVANS
209 MAPLE STREET
UXBRIDGE ONTARIO
647-297-8300

NORTH

PROJECT

PROPOSED CABANA

76 Chaiwood Court
Maple, ON
L6A 0V9

No.	DESCRIPTION	DATE
4	REVISED FOR PERMIT APPLIC'N	Feb 19/20
3	REVISED FOR PERMIT APPLIC'N	Nov 22/19
2	REVISED FOR PERMIT APPLIC'N	Nov 1/19
1	ISSUED FOR PERMIT APPLIC'N	Oct 22/19

DATE: February 19 2020

SCALE: AS NOTED

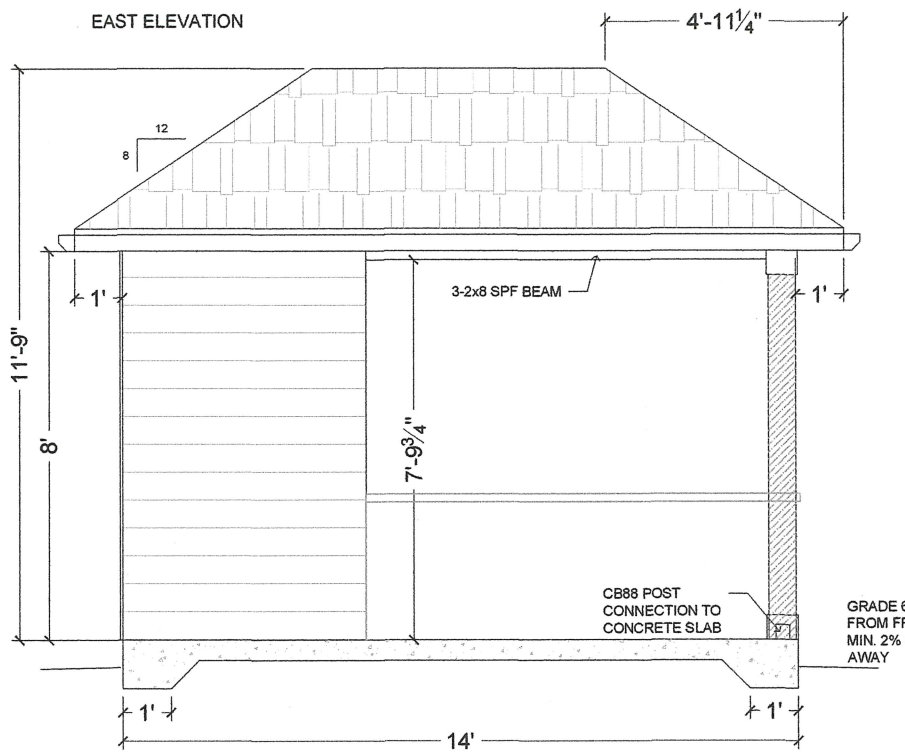
DRAWING: Site Plan

DWG. No

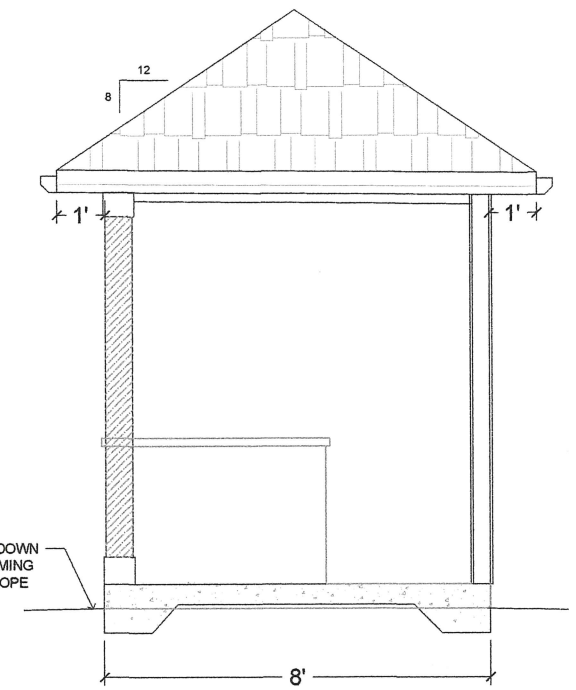
PAGE: 1/3

ELEVATIONS
Scale: 1/4"=1'

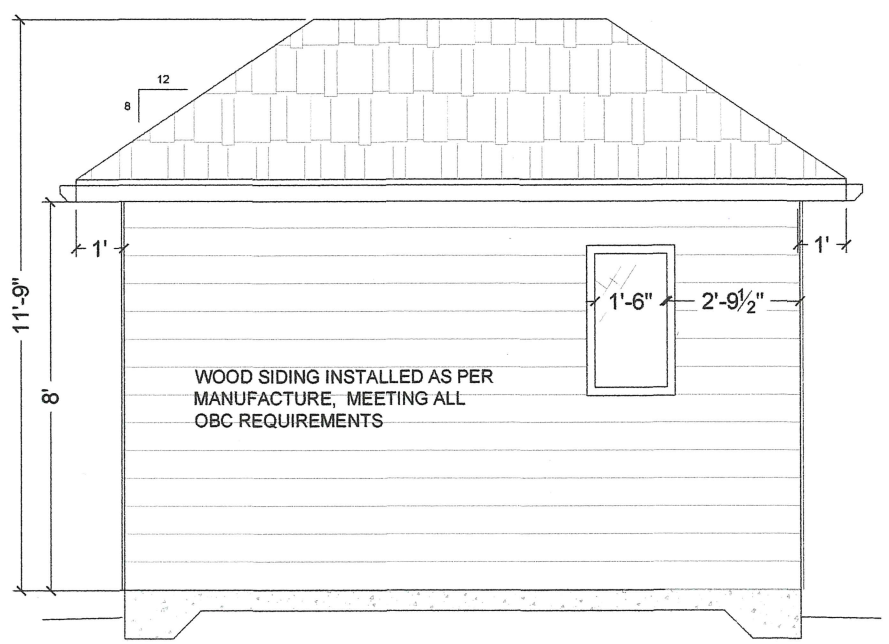
EAST ELEVATION



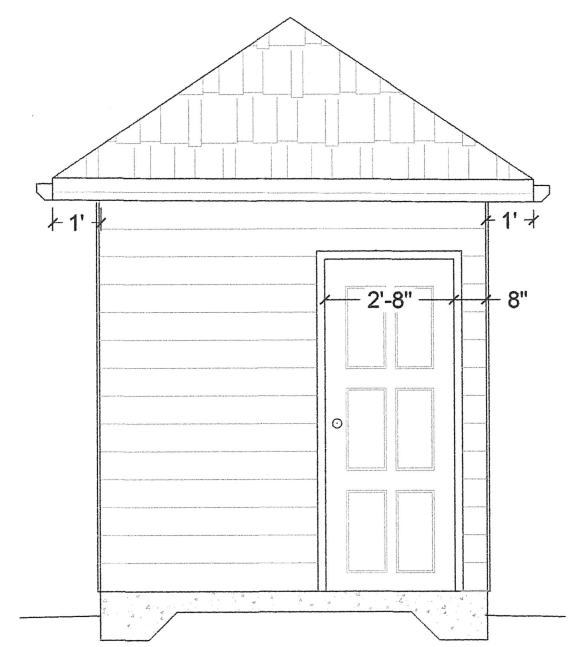
NORTH ELEVATION



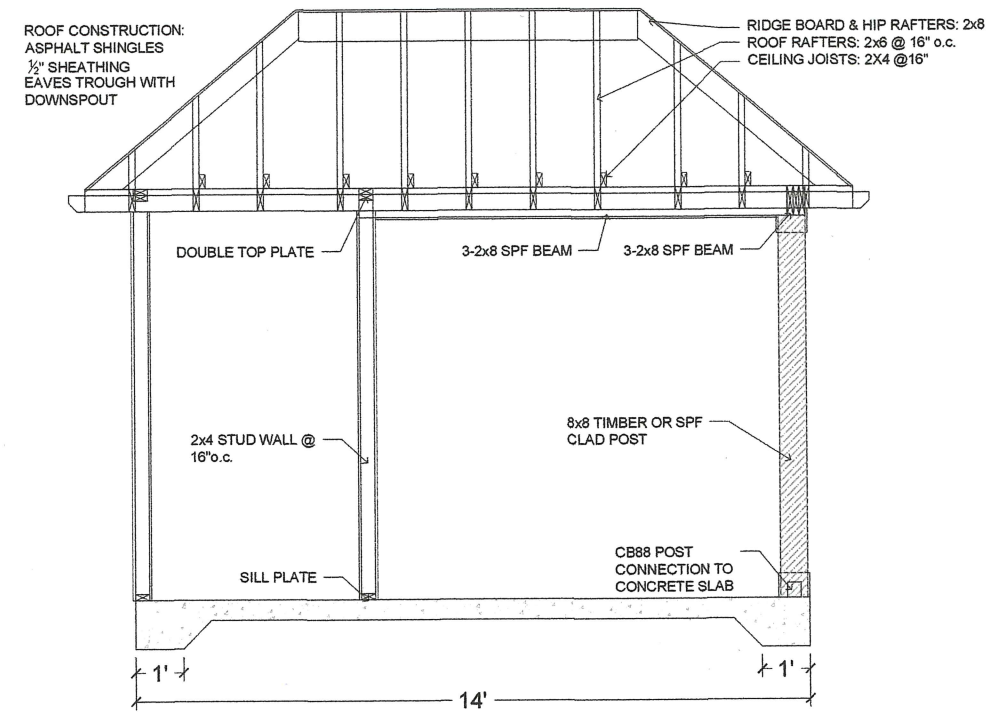
WEST ELEVATION



SOUTH ELEVATION



SECTION
Scale: 1/4"=1'



NOTES

DRAINAGE AS PER APPROVED POOL PERMIT PLAN

ALL FRAMING TO BE SPF No. 1&2 OR GREATER

SNOW LOAD CALCULATIONS BASED ON OBC 2012 Ss 1.1, Sr 0.4, Cb 0.45 = 0.895

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Required unless design is exempt under Div. C - 3.2.5.1. of the building code

Name	Signature	BCIN
DANA EVANS		100332

Registration Information
Required unless design is exempt under Div. C - 3.2.4.1. of the building code

Firm Name	BCIN
209 DESIGN	101521

DESIGNER

209 DESIGN landscape + home

DANA EVANS
209 MAPLE STREET
UXBRIDGE ONTARIO
647-297-8300

NORTH

PROJECT

PROPOSED CABANA

76 Chaiwood Court
Maple, ON
L6A 0V9

DATE: February 19 2020

SCALE: AS NOTED

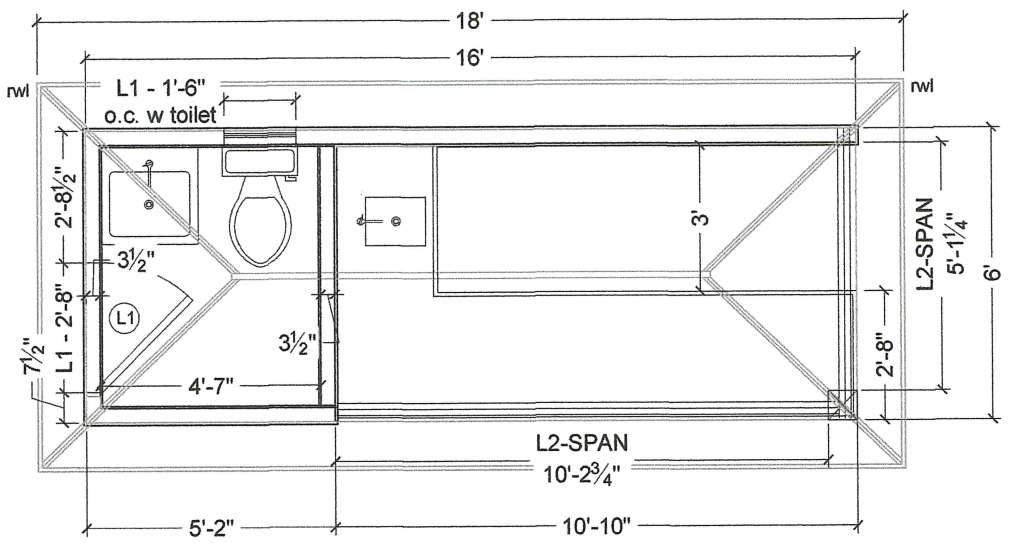
DRAWING: Elevations & Section

DWG. No

PAGE: 2/3

No.	DESCRIPTION	DATE
4	REVISED FOR PERMIT APPLIC'N	Feb 19/20
3	REVISED FOR PERMIT APPLIC'N	Nov 22/19
2	REVISED FOR PERMIT APPLIC'N	Nov 1/19
1	ISSUED FOR PERMIT APPLIC'N	Oct 22/19

PLAN, BEAMS & LINTELS
Scale: 1/4"=1'

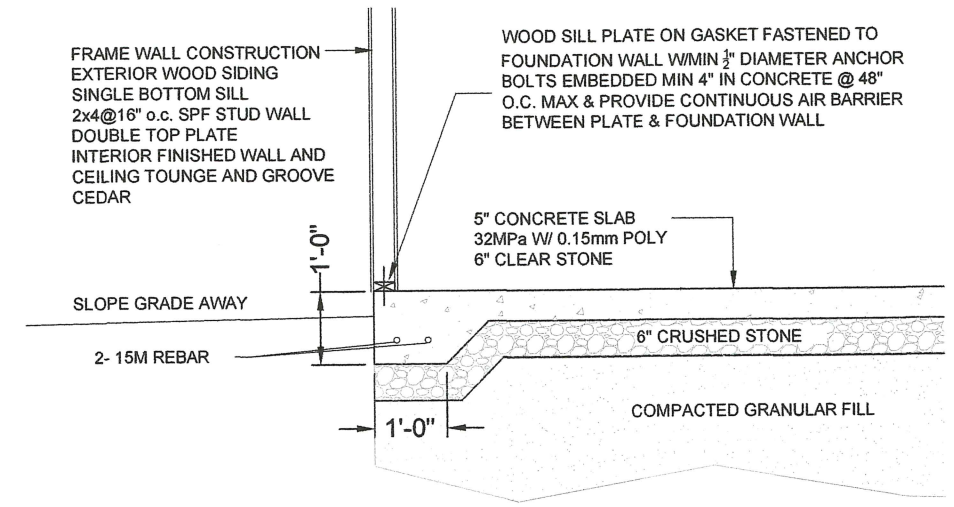


L1 LINTEL 2 - 2x6

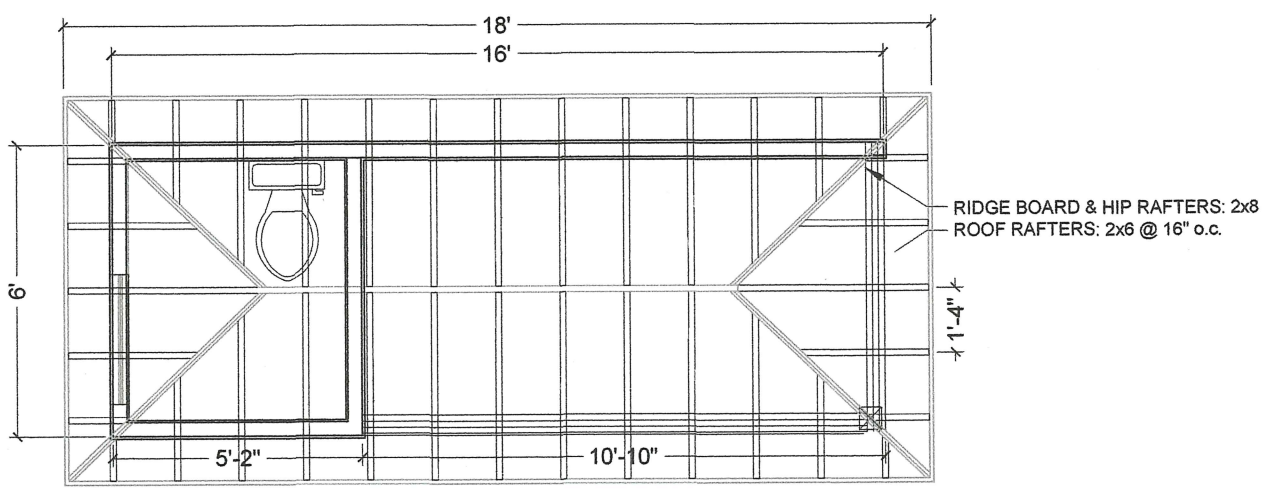
L2 LINTEL 3 - 2x8

rwl RAIN WATER LEADER

DETAIL
Scale: 3/8"=1'



ROOF PLAN
Scale: 1/4"=1'



NOTES

DRAINAGE AS PER APPROVED POOL PERMIT PLAN

ALL FRAMING TO BE SPF No. 1&2 OR GREATER

SNOW LOAD CALCULATIONS BASED ON OBC 2012 Ss 1.1, Sr 0.4, Cb 0.45 = 0.895

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Required unless design is exempt under Div. C - 3.2.5.1. of the building code

Name	Signature	BCIN
DANA EVANS		100332

Registration Information
Required unless design is exempt under Div. C - 3.2.4.1. of the building code

Firm Name	BCIN
209 DESIGN	101521

DESIGNER

209 DESIGN landscape + home

DANA EVANS
209 MAPLE STREET
UXBRIDGE ONTARIO
647-297-8300

NORTH

PROJECT

PROPOSED CABANA

76 Chaiwood Court
Maple, ON
L6A 0V9

No.	DESCRIPTION	DATE
4	REVISED FOR PERMIT APPLIC'N	Feb 19/20
3	REVISED FOR PERMIT APPLIC'N	Nov 22/19
2	REVISED FOR PERMIT APPLIC'N	Nov 1/19
1	ISSUED FOR PERMIT APPLIC'N	Oct 22/19

DATE: February 19 2020

SCALE: AS NOTED

DRAWING: Plans & Detail

DWG. No

PAGE: 3/3

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Author	Author Address	Nature of Correspondence
Daniel Greenberg	Address not provided.	Letter of Objection
Irina Golikov	Address not provided	Letter of Objection
Kai and Chun Wang	62 Moraine Hill Drive	Letter of Objection
Trina Wang	66 Moraine Hill Drive	Request for adjournment from the March 19 hearing due to COVID-19
Multiple	Signatures were obtained for the following properties in support of the petition: - 59 Randolph Drive - 63 Randolph Drive - 73 Randolph Drive - 76 Randolph Drive - 77 Randolph Drive - 80 Randolph Drive - 81 Randolph Drive - 87 Randolph Drive - 90 Randolph Drive - 95 Randolph Drive - 70 Chaiwood Court - 87 Chaiwood Court - 91 Chaiwood Court - 95 Chaiwood Court - 40 Moraine Hill Drive - 47 Moraine Hill Drive - 48 Moraine Hill Drive - Does not agree with toilet concerns - 58 Moraine Hill Drive - 67 Moraine Hill Drive	Petition in Objection
Kevin Zhang	87 Chaiwood Court	Letter of Objection
Amir Hashemi	76 Chaiwood Court	Agent response to the following public concerns: - Drainage - Cabana Height - Odour (toilet) - Sunlight - Privacy/spacing - Proximity of cabana to fence
Evita and Roman Levitin	96 Chaiwood Court	Notice from resident at 96 Chaiwood Court advising that they did not consent to participate in petition and request to be removed.
Chun Wang	62 Moraine Hill Drive	Letter to acknowledge that 96 Chaiwood Court was added to petition in error.

From: [redacted] **Daniel Greenberg**
To: Committee of Adjustment
Subject: [External] Deny the variances--A174/19 - A174/19 (76 Chaiwood Court, Maple)
Date: Sunday, March 15, 2020 12:00:21 PM

First, we all have a common understanding of how a toilet can be used and that it has the potential to emit odours and even pathogens.

Second, many of the adjacent, and nearby, properties have small children that play in the backyards. In some cases, children from neighbouring property could get as close as a few feet from the toilet on the applicants property if the variance is granted.

Third, there is no indication of an automatic door closing mechanism. This can lead to the door getting left open for periods of time, and odours escaping into the air within a short distance of neighbouring lands.

Fourth, the drawing does not show a floor drain for the toilet area. Any substances from the floor, especially those that are pathogen laden, can find a way into the small drainage allocation along the property line at the back. Smells, insects, and health risks can occur. Pushing the structure closer to the rear fence line, as the applicant has requested, reduces the containment potential and thereby, increases the exposure to smells, insects and related health risks for neighbouring properties.

Fifth, by asking for a reduction in the rear setback, the applicant is making it clear that they too want this structure as far from their home as possible. Clearly, there is a shared concern here between the applicant and us. We all feel it must be as far away from our homes as the rules allow.

Sixth, we live in a suburban setting. We do not have large rural lots where such a request would have little, if any, impact on the surrounding properties. Our enjoyment of our backyard for entertaining and family meals will be directly impacted.

Lastly, the height of the structure needn't approach the requested height of nearly 12 feet. This is almost six feet above the existing fence line. A flat roof, sloped to drain would suffice.

We appreciate the committee hearing our concerns and our request to deny the variances as requested.

Thanks and Best Regards

March 11 2020

City of Vaughan

Committee of Adjustment

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

Opposition for the variances of A174/19 - A174/19 (76 Chaiwood Court, Maple)

Dear Committee of Adjustment members:

We object to this Application A174/19 - A174/19 from 76 Chaiwood Court, Maple. The reasons are as follows:

1, The intent and purpose of a zoning by-law is to prescribe the front, rear and side yard set backs, building size, height and use. A minimum rear yard setback of 7.5 metres is required to an accessory structure is By-law Requirement. We paid for the purchase price and annual taxes for the enjoyment of these qualities and are entitled to protection from a reduction in zoning standards.

2, The character of the neighbourhood is deserving of protection and this will be a factor to be seriously considered by the Committee. Proposed Cabana is: out of scale; out of character; inappropriate; destabilizing the character of the neighbourhood; a break in the pattern or continuity of the street; insensitive; visually incongruous or detrimental to the streetscape, should be discouraged and objected to.

3, The variance cannot be minor. First that it is too large or too important to be considered minor. This Variance is supposed to change the set back from 7.5 metres to 1.40 metres, The primary issues raised are related to loss of sunlight, privacy, views, spacing and openness which may result from the mass, height and bulk of the proposed

Cabana. There may also be issues related to trees, grass, drainage, and noise.

The drainage problems will be created by new Cabana, because the lot is the 2nd end lot to the stormwater drainage well in the street. That stormwater effects will harm public safety.

The sunlight will be blocked in the morning due to the height of the Cabana. That will be impact on our families' quality of life as will the loss of enjoyment in gardening and other outside activities in areas to suffer shadowing. And also the degree of comfort will decreased. The views and visual enjoyment of open areas shared by the community as a whole will have a negative impact, these impacts are including but not limited to the view, smell, sunlight and noise.

The Cabana with a toilet certainly will generate some bad smell, and that will be terrible if there are some problems for the sewer system. The odor will not only cause problems for one neighbor but also the entire neighborhood will be hurt.

4, From public interest perspective, this variance will affect the enjoyment of the entire community. There will be no trees and greens alone with the fence in all back yards if every property owner build a Cabana with a toilet in their back yard. We should keep fairness for the community and neighbors.

In conclusion, this variances will cause an unacceptable adverse impact upon the neighbourhood to the point where the intent and purpose of the zoning by-law is not maintained. We strongly oppose this variances.

Sincerely

Irina golikov

DocuSign Envelope ID: 71BA04A4-6E44-4780-B3CD-1ED62553FD6E

March 15 2020

City of Vaughan

Committee of Adjustment

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

Opposition for the variances of A174/19 - A174/19 (76 Chaiwood Court, Maple)

Dear Committee of Adjustment members:

We object to this Application A174/19 - A174/19 from 76 Chaiwood Court, Maple. The reasons are as follows:

1, The intent and purpose of a zoning by-law is to prescribe the front, rear and side yard set backs, building size, height and use. A minimum rear yard setback of 7.5 metres is required to an accessory structure is By-law Requirement. It speaks to matters such as spacing, privacy, density, light and air and gives us as neighbourhood its built form and character. A proposed Variance will change the set back to a minimum rear yard setback of 1.40 metres to the accessory structure, which is not compatible with existing houses in the neighbourhood with respect to size, set back and side yards and sensitive to issues such as privacy and detrimental to the streetscape or the character of the neighbourhood. This will affect the degree of spaciousness, sunlight and privacy that was dictated by the zoning by-laws existing when the neighbourhood was developed. We paid for the purchase price and annual taxes for the enjoyment of these qualities and are entitled to protection from a reduction in zoning standards. Being residents, we

DocuSign Envelope ID: 71BA04A4-6E44-4780-B3CD-1ED62553FD6E

should be able to rely upon a municipalities former zoning policies and it is a breach of trust when they are diminished.

2, The character of the neighbourhood is deserving of protection and this will be a factor to be seriously considered by the Committee. New development should be compatible and respect the established physical character of the neighbourhood. Proposed Cabana is: out of scale; out of character; inappropriate; destabilizing the character of the neighbourhood; a break in the pattern or continuity of the street; insensitive; visually incongruous or detrimental to the streetscape, should be discouraged and objected to.

3, The variance cannot be minor. First that it is too large or too important to be considered minor. This Variance is supposed to change the set back from 7.5 metres to 1.40 metres, and there will cause an unacceptable adverse impact upon our properties in the immediate and general area to the point where the intent and purpose of the zoning by-law is not maintained. The issues that may arise related to the general area are that the Cabana is incompatible with the established built house, fence, trees, landscaping and character of the neighbourhood and that it erodes the aesthetics of the streetscape. The primary issues raised are related to loss of sunlight, privacy, views, spacing and openness which may result from the mass, height and bulk of the proposed Cabana. There may also be issues related to trees, grass, drainage, and noise.

The drainage problems will be created by new Cabana, because the lot is the 2nd end lot to the stormwater drainage well in the street. That stormwater effects will harm public safety.

The sunlight will be blocked in the morning due to the height of the Cabana. That will be impact on our families quality of life as will the loss of enjoyment in gardening and other outside activities in areas to suffer

DocuSign Envelope ID: 71BA04A4-6E44-4780-B3CD-1ED62553FD6E

shadowing. And also the degree of comfort will decreased. The views and visual enjoyment of open areas shared by the community as a whole will have a negative impact.

The Cabana with a toilet certainly will generate some bad smell, and that will be terrible if there are some problems for the sewer system. The odor will not only cause problem for one neighbor but also the entire neighborhood will be hurt.

4, From public interest perspective, this variance will affect the enjoyment of the entire community. There will be no trees and greens alone with the fence in all back yards if every property build a Cabana with a toilet in their back yard. We should keep fairness for the community and neighbors.

5, Our house (62 Moraine Hill Dr) is built close the backyard fence. It is only 6.04 Metres from the end of the house to the fence (please see attachment). So the Cabana will be very close to the house and there will be no enough space for our enjoyment in the back yard. Also have the above issues I mentioned relating to the view, smell, sunlight and noise.

6, We all have a common understanding of how a toilet can be used and that it has the potential to emit odours and even pathogens.

7, there is no indication of an automatic door closing mechanism. This can lead to the door getting left open for periods of time, and odours escaping into the air within a short distance of neighbouring lands.

8, the drawing does not show a floor drain for the toilet area. Any substances from the floor, especially those that are pathogen laden, can find a way into the small drainage allocation along the property line at the back. Smells, insects, and health risks can occur. Pushing the structure closer to the rear fence line, as the applicant has requested,

DocuSign Envelope ID: 71BA04A4-6E44-4780-B3CD-1ED62553FD6E

reduces the containment potential and thereby, increases the exposure to smells, insects and related health risks for neighbouring properties.

9, by asking for a reduction in the rear setback, the applicant is making it clear that they too want this structure as far from their home as possible. Clearly, there is a shared concern here between the applicant and us. We all feel it must be as far away from our homes as the rules allow.

10, we live in a suburban setting. We do not have large rural lots where such a request would have little, if any, impact on the surrounding properties. Our enjoyment of our backyard for entertaining and family meals will be directly impacted.

11, the height of the structure needn't approach the requested height of nearly 12 feet. This is almost six feet above the existing fence line. A flat roof, sloped to drain would suffice.

Lastly, It will have negative impact on the value of the properties in the area.

In conclusion, this variances will cause an unacceptable adverse impact upon the neighbourhood to the point where the intent and purpose of the zoning by-law is not maintained. We strongly oppose this variances.

Sincerely

Owners of 62 Moraine Hill Dr, Maple, L6A 0Z8

Kai Wang DocuSigned by: Kai WANG A92FCDBD602A40A... 15-Mar-20

Chun Wang DocuSigned by: 561D902295B54ED... 3/15/2020

From: [redacted]
To: Committee of Adjustment; Vigneault, Christine; MacPherson, Adriana
Subject: [External] Request for a hearing adjournment--A174/19 - A174/19 (76 Chaiwood Court, Maple)
Date: Sunday, March 15, 2020 11:39:22 PM

Dear Christine and committee of adjustment,

We want to request a hearing adjournment, due to current circumstances of coronavirus (COVID-19). We have to follow Minister of Health cananda's instructions, reduce the chance to explore in the public meeting. To protect ourselves and our community, we ask a delay hearing date, so that our neighbors can attend the meeting and present our submissions to committee members.

Your consideration will be highly appreciated.

Best Regards

Chun Wang&Kai Wang

62 Moraine Hill Dr, Vaughan, L6A 0Z8

[redacted]

March 11 2020

City of Vaughan

Committee of Adjustment

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

Opposition for the variances of A174/19 - A174/19 (76 Chaiwood Court, Maple)

Dear Committee of Adjustment members:

We object to this Application A174/19 - A174/19 from 76 Chaiwood Court, Maple. The reasons are as follows:

1, The intent and purpose of a zoning by-law is to prescribe the front, rear and side yard set backs, building size, height and use. A minimum rear yard setback of 7.5 metres is required to an accessory structure is By-law Requirement. We paid for the purchase price and annual taxes for the enjoyment of these qualities and are entitled to protection from a reduction in zoning standards.

2, The character of the neighbourhood is deserving of protection and this will be a factor to be seriously considered by the Committee. Proposed Cabana is: out of scale; out of character; inappropriate; destabilizing the character of the neighbourhood; a break in the pattern or continuity of the street; insensitive; visually incongruous or detrimental to the streetscape, should be discouraged and objected to.

3, The variance cannot be minor. First that it is too large or too important to be considered minor. This Variance is supposed to change the set back from 7.5 metres to 1.40 metres, The primary issues raised are related to loss of sunlight, privacy, views, spacing and openness which may result from the mass, height and bulk of the proposed

Cabana. There may also be issues related to trees, grass, drainage, and noise.

The drainage problems will be created by new Cabana, because the lot is the 2nd end lot to the stormwater drainage well in the street. That stormwater effects will harm public safety.

The sunlight will be blocked in the morning due to the height of the Cabana. That will be impact on our families quality of life as will the loss of enjoyment in gardening and other outside activities in areas to suffer shadowing. And also the degree of comfort will decreased. The views and visual enjoyment of open areas shared by the community as a whole will have a negative impact, these impacts are including but not limited to the view, smell, sunlight and noise.

The Cabana with a toilet certainly will generate some bad smell, and that will be terrible if there are some problems for the sewer system. The odor will not only cause problems for one neighbor but also the entire neighborhood will be hurt.

4, From public interest perspective, this variance will affect the enjoyment of the entire community. There will be no trees and greens alone with the fence in all back yards if every property owner build a Cabana with a toilet in their back yard. We should keep fairness for the community and neighbors.

In conclusion, this variances will cause an unacceptable adverse impact upon the neighbourhood to the point where the intent and purpose of the zoning by-law is not maintained. We strongly oppose this variances.

Sincerely

Owners of 62 Moraine Hill Dr, Maple, L6A 0Z8 Kai Wang& Chun Wang

Owners of 81 Randolph Dr, Vaughan, L6A0Z8

SHA CHEN 陈莎 [redacted]

80 Randolph Dr, Vaughan, L6A0Z8

Huojun [redacted]

87 Randolph Dr, Vaughan, L6A0Z8

Bojun Shi [redacted]

77 Randolph Dr, Vaughan, L6A0Z8

ZHIHUA XIE [redacted]

73 Randolph Dr, Vaughan, L6A0Z8

Xinlu Tong [redacted]

63 Randolph Dr, Vaughan, L6A0Z8

Yue Zhang [redacted]

59 Randolph Dr, Vaughan, L6A0Z8

Jiang Yuan [redacted]

91 Chaiwood Crt, Vaughan, L6A0V9

Ye Poon [redacted]

87 Chaiwood Crt, Vaughan, L6A0V9

Lily Wang [redacted]

66 Chaiwood Crt, Vaughan, L6A0V9

70 Chaiwood Crt, Vaughan, L6A0V9

58 Moraine Hill Dr [redacted]

Daniel Greenberg

Owners of

76 Randolph Dr, Vaughan, L6A 0Z8

86 Randolph Dr, Vaughan, L6A 0Z8

90 Randolph Dr, Vaughan, L6A 0Z8

96 Randolph Dr, Vaughan, L6A 0Z8

67 Randolph Dr, Vaughan, L6A 0Z8

91 Randolph Dr, Vaughan, L6A 0Z8

95 Randolph Dr, Vaughan, L6A 0Z8

[redacted]

66 Moraine Hill Dr, Vauhan, L6A 0Z8

52 Moraine Hill Dr, Vauhan, L6A 0Z9

48 Moraine Hill Dr, Vauhan, L6A 0Z9

regardin Toilet we dont agree [redacted]

44 Moraine Hill Dr, Vauhan, L6A 0Z9

Owners of

40 Moraine Hill Dr, Vauhan, L6A 0Z9 VIKTOR GAVRYSH

[redacted]

36 Moraine Hill Dr, Vauhan, L6A 0Z9 Valeri Staretz, Inna Staretz

[redacted]

81 Moraine Hill Dr, Vauhan, L6A 0Z8

77 Moraine Hill Dr, Vauhan, L6A 0Z8

71 Moraine Hill Dr, Vauhan, L6A 0Z8

67 Moraine Hill Dr, Vauhan, L6A 0Z8 Alexander Sepman

[redacted]

61 Moraine Hill Dr, Vauhan, L6A 0Z8

55 Moraine Hill Dr, Vauhan, L6A 0Z8

51 Moraine Hill Dr, Vauhan, L6A 0Z9

47 Moraine Hill Dr, Vauhan, L6A 0Z9 Leon

Owners of

96 Chaiwood Crt, Vaughan, L6A0Z9 [redacted]

92 Chaiwood Crt, Vaughan, L6A0Z9

88 Chaiwood Crt, Vaughan, L6A0Z9

84 Chaiwood Crt, Vaughan, L6A0Z9

80 Chaiwood Crt, Vaughan, L6A0V9

55 Chaiwood Crt, Vaughan, L6A0V9

79 Chaiwood Crt, Vaughan, L6A0V9

83 Chaiwood Crt, Vaughan, L6A0V9

95 Chaiwood Crt, Vaughan, L6A0Z9 Yulia + GEORGE BARSKY [redacted]

60 Chaiwood Crt, Vaughan, L6A0V9

54 Chaiwood Crt, Vaughan, L6A0V9

From: [redacted]
To: Committee of Adjustment
Subject: [External] Deny the variances--A174/19 - A174/19 (76 Chaiwood Court, Maple)
Date: Monday, March 16, 2020 4:48:03 PM

March 16, 2020

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **CofA@vaughan.ca**
Subject : Opposition for the variances of A174/19 - A174/19 (76 Chaiwood Court, Maple)

Dear Committee of Adjustment members:

Our name are Kejian Zhang and Xinlei Wang , owners of 87 Chaiwwood Court, Maple .
We are here writing to you that we object to this Application A174/19 - A174/19 from 76 Chaiwood Court, Maple.

The reasons are as follows:

First, It is not a good practice to build a toilet at the back yard. we all have a common understanding of how a toilet can be used . It has the potential to emit odours and even pathogens. It may also promote growth of virus and bugs which may impact our community environment.

Second, many of the adjacent, and nearby, properties have small children that play in the backyards. In some cases, children from neighbouring property could get as close as a few feet from the toilet on the applicants property if the variance is granted.

Third, there is no indication of an automatic door closing mechanism. This can lead to the door getting left open for periods of time, and odours escaping into the air within a short distance of neighbouring lands.

Fourth, the drawing does not show a floor drain for the toilet area. Any substances from the floor, especially those that are pathogen laden, can find a way into the small drainage allocation along the property line at the back. Smells, insects, and health risks can occur. Pushing the structure closer to the rear fence line, as the applicant has requested, reduces the containment potential and thereby, increases the exposure to smells, insects and related health risks for neighbouring properties.

Fifth, by asking for a reduction in the rear setback, the applicant is making it clear that they too want this structure as far from their home as possible. Clearly, there is a shared concern here between the applicant and us. We all feel it must be as far away from our homes as the rules allow.

Sixth, we live in a suburban setting. We do not have large rural lots where such a request would have little, if any, impact on the surrounding properties. Our enjoyment of our backyard for entertaining and family meals will be directly impacted.

Lastly, the height of the structure needn't approach the requested height of nearly 12 feet. This is almost six feet above the existing fence line. A flat roof, sloped to drain would suffice.

We appreciate the committee hearing our concerns and our request to deny the variances as requested.

Thanks and Best Regards

Kejian zhang and Xinlei Wang

87 Chaiwood Court

[redacted]

From: [redacted]
To: Attwala, Pravina; Committee of Adjustment
Subject: [External] A174/19 (76 Chaiwood Crt) Application
Date: Monday, March 30, 2020 6:55:41 PM

Dear Chair and Committee of Adjustment Members,

We are the owners of the house located at 76 Chaiwood Crt that is requesting minor variance with application A174/19 and would like to respond to various claims and issued raised by some neighbours.

Drainage Issue – Residents at *66 Moraine Hill Dr* address *Irina Golikov & George Golikov* are the actual problem to the drainage of the yards. Their yard contains rear lot drainage catch basin which they have blocked. They have garden retaining wall and interlock patio stone that is built up tight all the way to the fence (touching the fence) blocking any water drainage coming from our yard as well as next door's *62 Moraine Hill*. This water is supposed to run down to their yard where the rear lot drainage catch basin is located. Additionally, their interlock patio was also raised about 2 feet above the original grade completely blocking any flow of collected water. The City of Vaughan states that "no changes to the grade are permitted within two feet of any lot line."
We are committed to preserving proper water flow and drainage channels by hiring a reputable company to do our landscaping.

Cabana Height Issue - If we were to build exactly the same cabana but without the bathroom then we would not even require a permit and we could make it bigger and put it closer to the fence.

The City of Vaughan by-law already allows for construction of accessory structures and sheds that are bigger than our proposed accessory structures/cabana, even allowing it to be closer to the fence that what we are proposing.
The City of Vaughan by-law only requires permit for any shed or accessory structure that is 10 square metres or more. (107.64 square feet).

- Our proposed cabana/ accessory structure is 8.9 square metres (96 square feet) in area.

The City of Vaughan by-law permits accessory structure with the maximum height not exceeding 4.5 metres (14 feet 9 inches) from finished grade to the highest point on the structure. The accessory structure must not be closer than 2 feet from any lot line.

- Our proposed accessory structure/cabana is only 3.6 metres (11 feet 9 inches) in height and proposed to be 1.4 metres (4 feet 8 inches) away from the fence which is even less in height and distance and area than allowable accessory structures by by-law if it did not have plumbing.

Therefore, the only issue that the neighbours could raise is the bathroom, which is invalid because every single household contains a bathroom plumbing that is exactly the same as our proposed bathroom.

Smell Issue – *62 Moraine Hill Dr* neighbour is raising the issue of smell coming from the bathroom but it would be no different than the smell of their own bathrooms (4 to 5 toilets per dwelling) withing their own homes. Their indoor bathrooms also contain "pathogens" mentioned by *Kai Wang & Chun Wang* in their petition. We are committed to proper maintenance of the bathrooms (indoor or outdoor) that will be kept in pristine condition. Also, our hired contractor will be using accredited plumbing company that will construct bathroom plumbing in accordance with the city laws and permits from the city which will be inspected for proper construction and working order.

Sun Light Issue – We have conducted an investigation into the sunlight issue by taking pictures of the backyards of dwellings that neighbour our yard and oppose, at every single hour of day light, specifically *62 Moraine Hill* address. They do not receive almost any morning sunlight at this time. The afternoon sunlight is positioned in a way that if we were to construct a cabana, the shadow from it would fall onto our own property. Additionally, the neighbours that are directly backing into our yard, like *52 Moraine Hill, 62 Moraine Hill, 66 Moraine Hill Dr* have backyards that face East and therefore when the sun comes from the South our proposed cabana has no affect of their sunlight.

The neighbor, *Kai Wang & Chun Wang (66 Moraine Hill Dr),* that are raising an issue of lack of potential morning sunlight have planted a Sugar Maple Tree and Oak Tree that are both located right in the middle end of their backyard, exact spot where we are proposing the cabana to be located. This maple tree is projected to grow *50 feet wide and 100 feet in height*, same with an oak tree, therefore blocking any potential sunlight to their own property. They will actually be blocking sunlight coming into our yard with their massive tree when it reaches full height.

Privacy/Spaciousness Issue - the argument of privacy is baseless because the structure will actually provide additional privacy for the neighbours directly backing onto our lot. Additionally, *Kai Wang & Chun Wang (66 Moraine Hill Dr)* planted Red Sugar Maple tree and an Oak Tree that will grow exponentially and create their own issue of privacy, view and spaciousness mentioned in complaint letter. Our proposed cabana would not interfere with anyone else's backyard's spaciousness issue since we are not encroaching.

Distance from Fence - *62 Moraine Hill Drive* is 8.76 metres from the end of the house to the end of the backyard, not 6.04 metres as mentioned by the *62 Moraine Hill Drive* petitioner *Kai Wang & Chun Wang*.

Final notes: Please note that *Kai Wang & Chun Wang (62 Moraine Hill Drive)* falsely included residents of 96 Chaiwood as being opposed to the construction. They are in favour and have sent a letter to Committee of Adjustments notifying that they did not give permission to be included in the petition.

Both of our next-door neighbours do not mind the proposed construction as well as many others living on the street.
Majority of people who signed the petition against approval of the cabana/accessory structure are dwellings in addressed which do not even have a direct view or proximity into our backyard and of our proposed cabana. They would not in any way be impacted by the cabana being built.

Thank you in advance for your time and consideration in this matter.

Respectfully,

Amir and Kateryna Hashemi
Owners of 76 Chaiwood Crt

From: [redacted]
To: Attwala, Pravina; Committee of Adjustment
Subject: [External] URGENT information re: Application A174/19 76 Chaiwood Crt
Date: Monday, March 23, 2020 9:39:25 PM

Hello Pravina,

My name is Evie Levitin and my family and I live on 96 Chaiwood Crt. It was just brought to our attention that we have been fraudulently listed as a signature opposing this application.

On March 14, our dinner was interrupted by another neighbour. My husband did not have time to talk and asked that information was emailed to him for us to review in the evening. Once we reviewed the email we received, my husband and I were not in agreement with this petition and we did not take any action. We did not agree to sign it and we did not agree for our email, name or address to be included on this petition. It was falsely included which is fraud and an invasion of our privacy.

Please remove our names off this list. We take absolutely no issue with the building of this cabana. Furthermore, I would urge you to assess the rest of the signatures to ensure they were not falsely included as well.

Thank you in advance,

Evita and Roman Levitin
96 Chaiwood Crt
[redacted]

From: [redacted]
To: Committee of Adjustment; Vigneault, Christine; MacPherson, Adriana; Attwala, Pravina
Subject: [External] Opposition submission of A174/19-A174/19(76 Chaiwood Court, Maple) From neighbors--Number changes
Date: Monday, March 23, 2020 9:46:45 PM

Dear committee of adjustment,

Regarding the opposition letter with neighbors signatures. Please count the neighbors with their signature on the letter.

96 Chaiwood Crt, shouldn't be counted, because they didn't sign on the letter.

I apologize for the inconvenience caused.

Thanks and Best Regards

Chun Wang

62 Moraine Hill Dr

[redacted]

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: A174/19 - Request for Comments
Attachments: A174-19 - Circ.pdf

Importance: High

From: Development Services <developmentservices@york.ca>
Sent: February-04-20 11:00 AM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Subject: FW: A174/19 - Request for Comments
Importance: High

Good Morning Adriana,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Regards,

Gabrielle

Gabrielle Hurst | MCIP, RPP, Planning and Economic Development, Corporate Services
---
1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Staff Report Summary

Item # 10

Ward #4

File: A180/19

Applicant: 1792104 Ontario Limited

Address: 196 Drumlin Circle, Concord

Agent: Humphries Planning Group Inc

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	☑
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑	

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 10

A180/19

Ward: 4

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8504**. Ext. **8332**

Written comments or requests to make a deputation must bereceived by noon on the last business day before themeeting.

Applicant: 1792104 Ontario Limited

Agent: Humphries Planning Group Inc

Property: **196 Drumlin Circle, Concord**

Zoning: The subject lands are zoned EM1 Prestige Employment Area, under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010: General Employment

Related Files: None

Purpose: Relief from the By-law is being requested to permit the temporary use of an existing outdoor storage area for a period of three (3) years. The outdoor storage area is required to support a manufacturing business (Granite Concepts Inc.) and is to be located at the rear of the property.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. Accessory Outside Storage is not a permitted use.	1. To permit the temporary use of accessory outside storage for a period of three (3) years for the unit located on the east side of the building, in the location as shown on the attached sketch.
2. The outside storage area shall be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscaping screen and no such enclosure shall be less than 2 metres in height.	2. The outside storage area may not be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscape screen and less than 2 metres in height.
3. A minimum of 21 parking spaces are required on site.	3. To permit a minimum of 19 parking spaces on site.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 1, 2020

Property Information	
Existing Structures	**Year Constructed**
Building	1989
Outside Storage Area	2009

Applicant has advised that they cannot comply with By-law for the following reason(s): The owner requires outside storage to store materials related to the manufacturing of the monuments his business produces.

Revised site plan submitted on February 24, 2020 to addresses Planning staff request to have the outdoor storage area moved 2 parking spaces west to ensure the entirety of the outdoor storage is concealed by the existing building.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

The applicant has confirmed that the other outside storage requirements in Section 6.3.2 will be in compliance.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"

The Owner is proposing to permit the continued maintenance of outside storage in the rear of the property, in the location shown on the attached sketch through the above-noted variances.
The Owner is proposing to permit accessory outside storage for a maximum of 3-years (Variance #1) that is not enclosed as required by By-law 1-88 (Variance #2). The subject lands are designated "General Employment" by the VOP 2010 which allows for outside storage.

The outside storage is measuring approximately 6 m by 21 m (as shown on the attached sketch) having an area of 120 m2 and less than 5% of the total lot area. The outside storage is completely in the rear of the building, and not visible. The Owner has fenced off the rear perimeter of the property to further reduce the visibility of the outside storage. The proposal is minor in nature, temporary in nature, and appropriate for the general development of the lands.

The Owner is also proposing a minimum of 19 parking spaces on the subject lands where 21 parking spaces are required (Variance #3). This reduction in parking spaces is as a result of the existing outside storage and . the Development Engineering Department has reviewed the proposal and does not object to the proposal. The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval to permit the outside storage to a maximum area gross floor area of 120 m2 in a footprint measuring 6 metres by 21 metres, in the location shown on the attached sketch for a maximum period of 3-years.

If the Committee finds merit in the application, the following conditions of approval are recommended:

That Minor Variance Application A180/19 be restricted to a temporary approval of 3 years to permit the outside storage of 120 m2 as shown on the attached sketch from the date of approval at the Committee of Adjustment.

Cultural Heritage (Urban Design):
No response.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A180/19.

Parks, Forestry and Horticulture Operations:
No comments.

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
No comment no concerns.

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Application Cover Letter
Applicant Presentation to Committee

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Michael DiFebo 905-832-8585 x 8990 Michae.difebo@vaughan.ca	That Minor Variance Application A180/19 be restricted to a temporary approval of 3 years to permit the outside storage of 120 m2 as shown on the attached sketch from the date of approval at the Committee of Adjustment.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

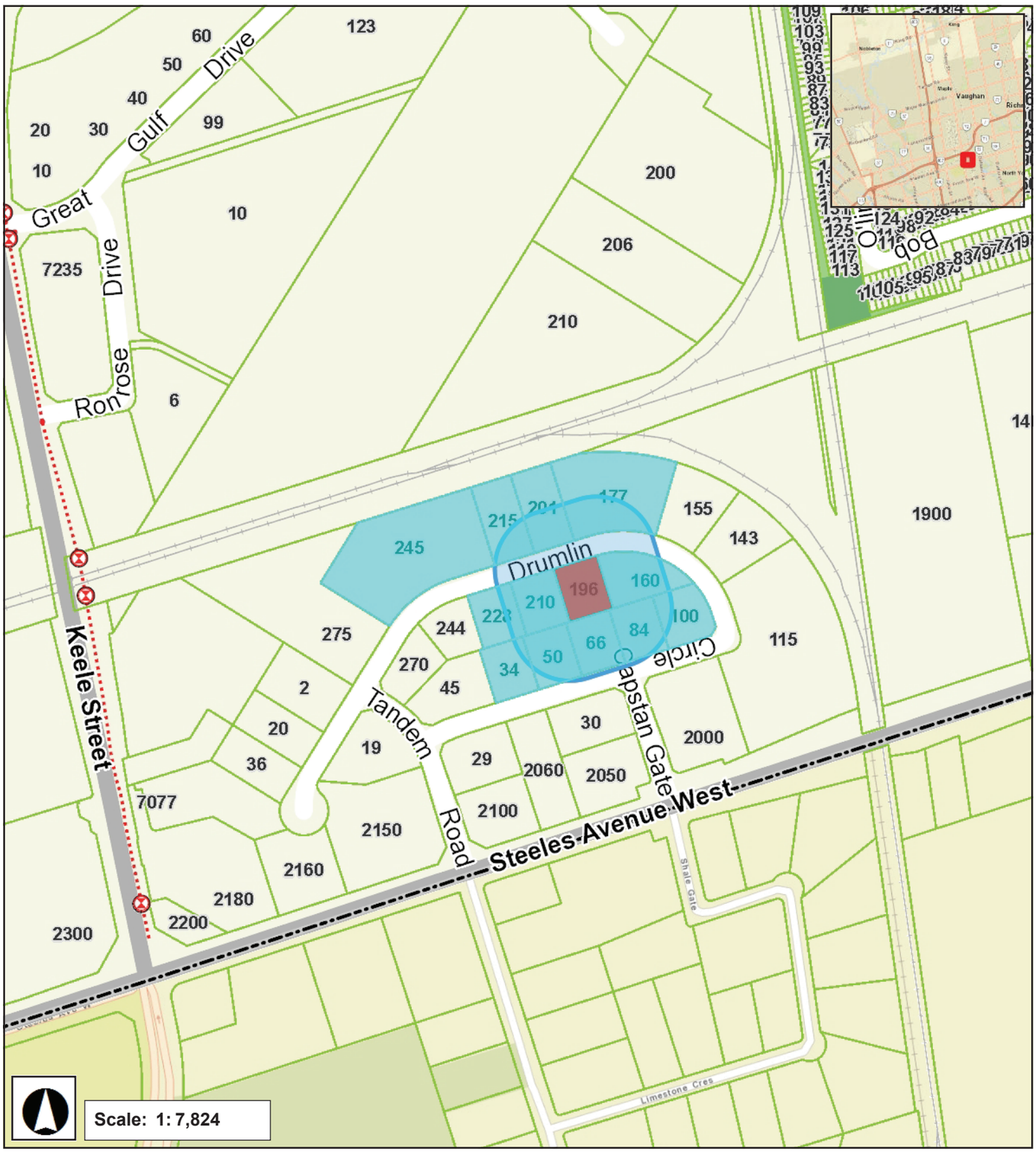
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

A180/19 - Notification Map

196 Drumlin Circle, Concord



January 3, 2020 3:30 PM

Proposal:

1. To permit the temporary use of accessory outside storage for a period of three (3) years for the unit located on the east side of the building, in the location as shown on the attached sketch.

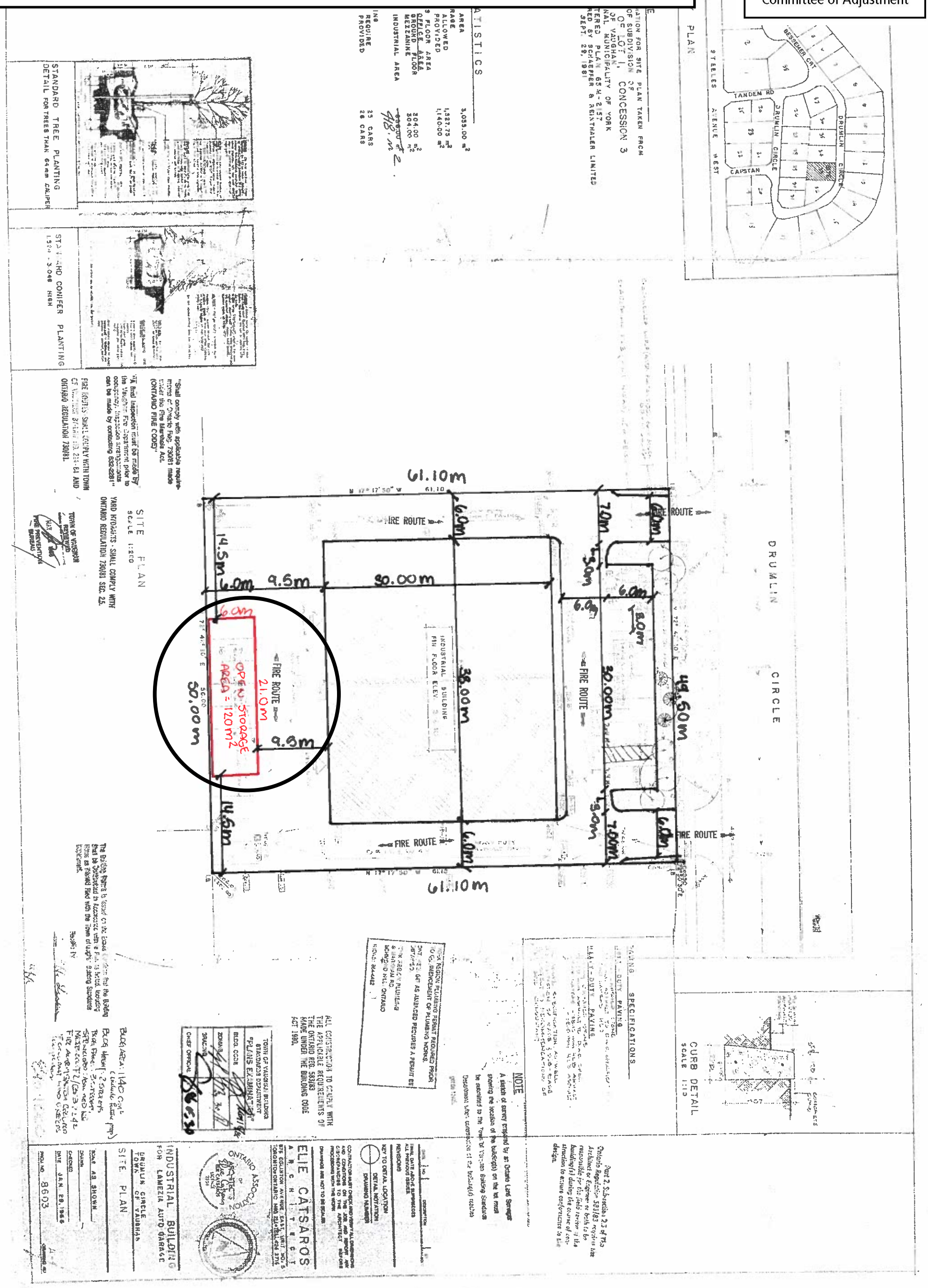
2. The outside storage area may not be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscape screen and less than 2 metres in height.

3. To permit a minimum of 19 parking spaces on site.

A180/19

RECEIVED

Committee of Adjustment



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Application Cover Letter
Applicant Presentation to Committee

A180/19

HUMPHRIES PLANNING GROUP INC.

FOUNDED IN 2003

December 13th 2019
HPGI: 19630

Committee of Adjustment
City of Vaughan
Vaughan City Hall
2141 Major Mackenzie Drive
Vaughan, Ontario, Canada
L6A 1T1

Attn: Secretary-Treasurer of the Committee of Adjustment

Re: 196 Drumlin Circle
Application for Minor Variance
1792104 Ontario Limited.

Humphries Planning Group Inc. (HPGI) has been retained by 1792104 Ontario Limited, owner of land located at 196 Drumlin Circle in the City of Vaughan (the "Property"), legally described as Part of Lot 1, Concession 3 on Registered Plan 65M-2157.

On behalf of the owner, HPGI is submitting a Minor Variance Application to allow a temporary use permission for accessory outside storage for a period of three (3) years.

Description of Property and Background

The Property is located in an Employment Area on the south side of Drumlin Circle, located north of Steeles Avenue West. The owner purchased the property in 2009. The Property features two industrial units operating within the existing building which are being used for motor vehicle repair in the west side unit and monument manufacturing within the east side unit. The Property is located immediately adjacent to properties zoned Prestige Employment (EM1) and directly across from properties zoned General Employment (EM2). The surrounding properties contain various permitted industrial uses including but not limited to: automobile repairs, transportation, distribution, manufacturers, offices, and retail.

The owner owns and operates the business located in the east unit of the site, Granite Concepts Inc. This business manufactures statues, headstones and monuments for graves and is the subject of the minor variance application. The owner requires outside storage to store materials related to the manufacturing of the monuments.

190 Pippin Road
Suite A
Vaughan ON
L4K 4X9

T: 905-264-7678
F: 905-264-8073

It was brought to the owner's attention that the outdoor storage on the Property was not permitted under the current zoning. The owner met with the City on November 6th, 2019 to discuss the contravention and how it may be addressed. During this meeting, it was determined that an application for minor variance permitting temporary outside storage use for a period of 3 years is appropriate as long as the requirements for outdoor storage, under regulation 6.3.2. are maintained. The owner has moved the outside storage to the south eastern corner of the Property (the rear). Screening has been erected along the easterly property line and an access gate located at the rear east corner of the building extending toward the property line is proposed pending approval of this application.

Application

This minor variance application is to request permission for a temporary use permission for accessory outside storage for a period of three (3) years for the monuments manufacturing contained in the east unit. The temporary outside storage will not be applicable to the other uses contained on the Property.

During discussions with City Staff the following condition was requested:

- A site plan identifying the required open storage screening to be approved to the satisfaction of the Development Planning Department.

If granted permission, the owner intends to ensure that the outside storage will comply with the requirements for outside storage listed under the regulation 6.3.2 in the EM2 zone. Provided below is a table outlining the regulation and the adherence to that regulation:

6.3.2 Outside Storage Requirements	
Regulation	Adherence
i) Outside accessory storage to a permitted use, shall not exceed thirty (30%) of the lot area;	The outside storage comprises 3% of the total lot area.
ii) Outside storage is not permitted on any lot unless there is an existing building with a gross floor area of at least 550 square metres;	The existing building on the Property has a gross floor area of 1,026 square metres
iii) No outside storage shall be located in any front yard, exterior side yard, or between any main building and a street line,	The outside storage is located at the eastern rear corner of the Property and further than 20 metres from the street.

and further shall be no closer than twenty (20) metres to any street line;	
iv) The outside storage area shall be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscaping screen and no such enclosure shall be less than two (2) metres in height;	The required enclosure will be accomplished through the incorporation of a gate from the south east corner of the building face to the property line.
v) If a lot has a frontage of less than 45.5 metres, no part of any open storage shall be in the side yard;	The Property has a frontage of 49.5 metres
vi) No outside storage shall be permitted on any corner lot;	The Property is not located on a corner lot.
vii) If a lot upon which outside storage is permitted abuts the boundary of a Residential or Open Space Zone, screening shall be provided along such boundary within the Industrial Zone. Screening shall consist of a solid fence a minimum of two (2) metres in height;	The Property does not abut a Residential or Open Space Zone. There is screening along the east and south property lines.
viii) No outside storage other than the storage of machinery and equipment shall exceed three (3) metres in height;	None of the materials stored outside will exceed 3 metres in height.
ix) The outside storage of any goods or materials which are obnoxious, visually or otherwise, including derelict or scrap motor vehicles or machinery and worn-out appliances or equipment shall not be permitted.	None of the materials stored outside are visually obnoxious and do not include the restricted materials listed in sub ix)

Four Tests of Variance

Under the *Planning Act* applications for minor variance are required to adhere to the four tests of variance, which include:

1. The general intent and purpose of the Official Plan is maintained.
2. The general intent and purpose of the Zoning By-law is maintained.
3. The variances are desirable for the appropriate development of the land.
4. The variances are minor

It is our opinion that the enclosed application meets the four tests outlined above. An evaluation of the application as it relates to the four tests is provided below.

The general intent and purpose of the Official Plan is maintained.
The Property is located within an Employment Area and designated General Employment under the City of Vaughan Official Plan (2010). The uses permitted

in this designation include various industrial uses including manufacturing and warehousing and may include incidental outdoor storage, as long as the property on which the incidental outdoor storage is contained is not a corner lot. The current uses contained on the Property is permitted under this designation including incidental/accessory outdoor storage. The outdoor storage use is incidental to the use contained within the building on the Property and is tired to the manufacturing of the monuments on site. The Property is also not located on a corner lot. All other applicable policies applicable to the Property are adhered to. Based on the permissions outlined under the General Employment designation it is our opinion that the general intent and purpose of the Official Plan is maintained.

The general intent and purpose of the Zoning By-law is maintained.
The Property is zoned EM1 under the City of Vaughan Zoning By-law 1-88 (the "Zoning By-law"). Though outdoor storage is not permitted under the EM1 zone it is permitted under the EM2 zone, pending the compliance of the accessory outside storage requirements listed under regulation 6.3.2. The Property is located immediately across from properties zoned EM2 and therefore ha this permission as of right. The owner has agreed that the temporary outside storage will adhere to the use requirements provided in the EM2 zone. The requirements ensure that the outdoor storage has minimal visual impact on adjacent properties. Since the outside storage will adhere to those use requirements, it is our opinion that the application maintains the general intent and purpose of the Zoning By-law.

The variance is desirable for the appropriate development(use) of the land
The outside storage allows for the effective functioning of the existing business currently on-site. The variance allows for the owner to make more permanent accommodations for storage purposes for the length of the temporary use. Based on the nature of the use, the construction of grave monuments, the temporary outside storage use is incidental to the use of the Property. For these reasons it is our opinion that the variance permitted temporary outside storage use is desirable for the appropriate use of the land.

The variance is minor
The outside storage is located in the rear corner of the Property and comprises a total area of approximately 90m^2 which makes up around 3% of the lot area. The owner has also undertaken the necessary steps for appropriate screening of the outside storage to ensure minimal impact on adjacent properties. The owner is also only requiring temporary permission for the outside storage, permissions will be limited to 3 years and do not impact the regulations applicable to the Property passed this period. The outside storage use is also only for the purposes of a use that comprises half of the Property. For these reasons it is our opinion that the variance allowing for a temporary outside storage use is minor.

Application Materials

In support of this application, the following materials are being submitted:

- 1 copy of this letter;
- 1 cheque in the order of $3,359.00, made out to the City of Vaughan to satisfy the City's Minor Variance Application review fee;
- 1 copy of the Site Plan, prepared by Elie Catsaros Architect, dated January 29, 1989 and annotated December 13, 2019;
- 1 copy of the Context Plan circulated with City Staff during the November 6th, 2019 meeting; and,
- 1 USB containing all materials listed above.

We trust the materials provided satisfy your submission requirements and look forward to hearing from you in the near future. Should you have any questions please feel free to contact the undersigned.

Yours truly,
HUMPHRIES PLANNING GROUP INC.

Rosemarie L. Humphries BA, MCIP, RPP
President

cc. *1792104 Ontario Limited*
Orly Kahane-Rapport, Sherman Brown, Barristers & Solicitors

1792104 ONTARIO LIMITED
A180/19 – 196 DRUMLIN CIRCLE

COMMITTEE OF ADJUSTMENT
MAY 28 2020

HUMPHRIES PLANNING GROUP INC.

PURPOSE OF APPLICATION

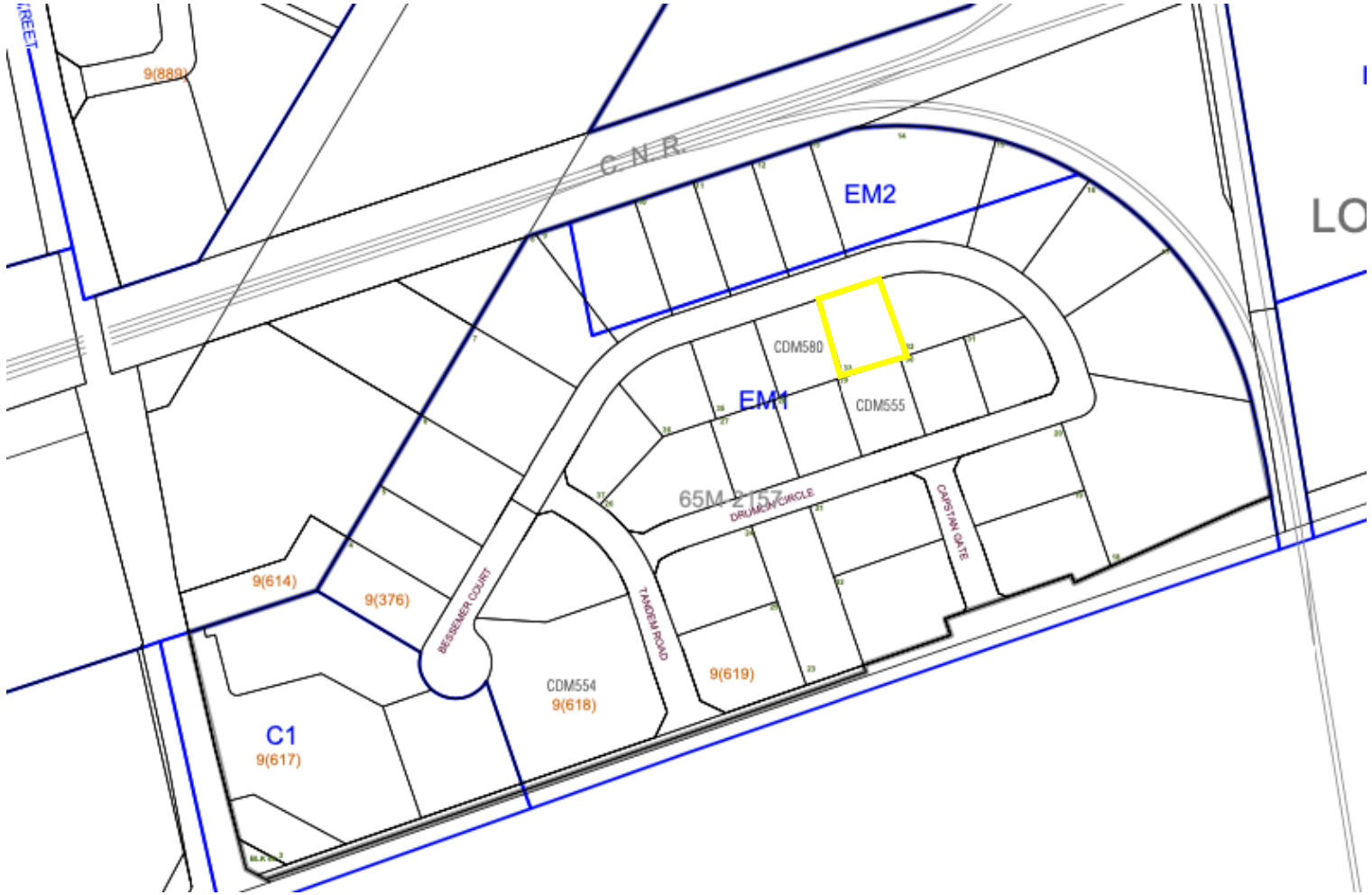
- The purpose of the minor variance application currently before the Committee is to obtain permission to obtain:
  - Relief from the By-law to permit the temporary use of an existing outdoor storage area for a period of three (3) years. The outdoor storage area is required to support a manufacturing business (Granite Concepts Inc.) and is to be located at the rear of the property.

SUBJECT LANDS

- Subject lands are in an employment area on the south side of Drumlin Circle.
- Purchased by 1792104 Ontario Limited in 2009.
- Features two industrial units operating within the existing building;
  - West side unit – motor repair
  - East side unit – monument manufacturing
- Surrounding properties contain various permitted industrial uses such as automobile repairs, transportation, distribution, manufacturers, offices and retail.

SUBJECT LANDS

- The Property is zoned Prestige Employment (EM1).
- Immediately adjacent to properties zoned Prestige Employment (EM1).
- Directly across from properties zoned General Employment (EM2).



SUBJECT LANDS

- Outdoor storage of tomb stones & granite material currently exists on the Property.
- It was brought to the owner's attention that outdoor storage is not permitted on the Property under current zoning.
- Following discussions with City Staff - an application for minor variance permitting temporary outside storage for a 3 year period is appropriate.
- The owner intends to adhere to the outdoor storage requirements under regulation 6.3.2.
- The Property currently features screening along the eastern property line (see pictures).
- The rear property line features an approximately 2m high stone wall.

PROPOSED VARIANCE

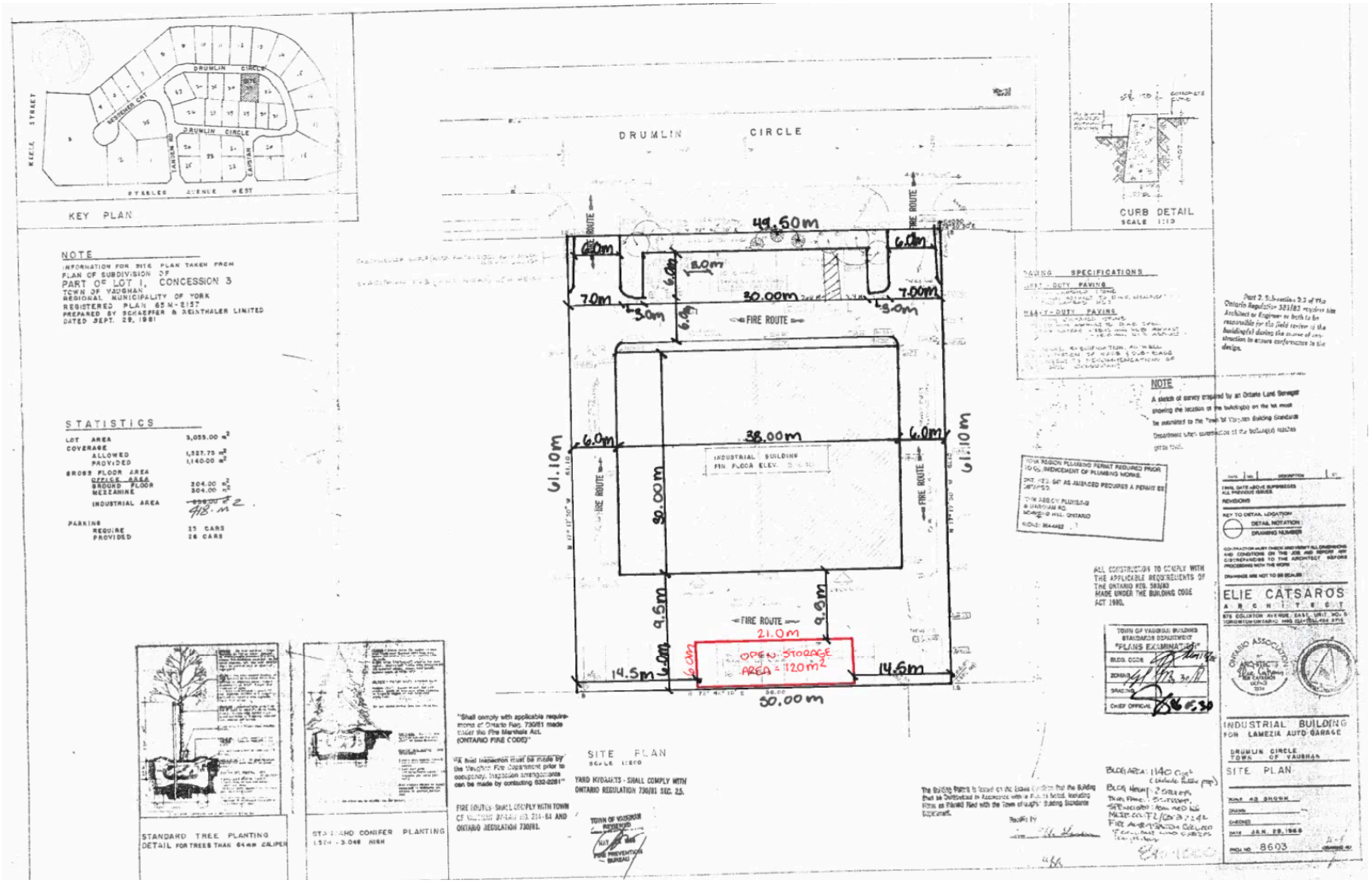
- The following variances are being requested from By-law 1-88, as amended to accommodate the above proposal:

By-law Requirement	Proposal
1. Accessory Outside Storage is not a permitted use.	1. To permit the temporary use of accessory outside storage for a period of three (3) years for the unit located on the east side of the building, in the location as shown on the attached sketch.
2. The outside storage area shall be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscaping screen and no such enclosure shall be less than 2 metres in height.	2. The outside storage area may not be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscape screen and less than 2 metres in height.
3. A minimum of 21 parking spaces are required on	3. To permit a minimum of 19 parking spaces on site. site.

Outside Storage Requirements

Regulation (Regulation 6.3.2)	Adherence
i) Outside accessory storage to a permitted use, shall not exceed thirsty 30% of the lot area;	outside storage comprises 3% of the total area.
ii) Outside storage is not permitted on any lot unless there is an existing building with a gross floor area of at least 550 square metres;	Existing building has a g.f.a of 1,026 sq.m.
iii) No outside storage shall be located in any front yard, exterior side yard, or between any main building and a street line, and further shall be no closer than twenty (20) metres to any street line;	The storage is located at the rear, behind the building and further than 20m from the street.
iv) The outside storage area shall be completely enclosed by a stone or masonry wall or chain link fence with appropriate landscaping screen and no such enclosure shall be less than two (2) metres in height;	Addressed through proposed variance.
v) If a lot has a frontage of less than 45.5 metres, no part of any open storage shall be in the side yard;	Frontage is 49.5m
vi) No outside storage shall be permitted on any corner lot;	Not a corner lot
vii) If a lot upon which outside storage is permitted abuts the boundary of a Residential or Open Space Zone, screening shall be provided along such boundary within the Industrial Zone. Screening shall consist of a solid fence a minimum of two (2) metres in height;	Does not abut a residential or open space zone. Screening exists
viii) No outside storage other than the storage of machinery and equipment shall exceed three (3) metres in height;	None of the stored materials will exceed 3m
ix) The outside storage of any goods or materials which are obnoxious, visually or otherwise, including derelict or scrap motor vehicles or machinery and worn-out appliances or equipment shall not be permitted.	The materials are not considered to be visually obnoxious and do not include restricted materials listed.

SITE PLAN


KEY PLAN
DRUMLIN CIRCLE
KEELE STREET
STEELES AVENUE WEST
NOTE
PART OF LOT 1, CONCESSION 3
TOWN OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
STATISTICS
LOT AREA 3,035.00 m²
COVERAGE
ALLOWED 1,327.75 m²
PROVIDED 1,140.00 m²
GROSS FLOOR AREA
OFFICE AREA
GROUND FLOOR 304.00 m²
MEZZANINE 304.00 m²
INDUSTRIAL AREA 418 m²
PARKING
REQUIRE 13 CARS
PROVIDED 16 CARS
DRUMLIN CIRCLE
49.60m
6.0m
8.0m
7.0m
30.00m
FIRE ROUTE
38.00m
INDUSTRIAL BUILDING
61.10m
30.00m
9.5m
21.0m
OPEN STORAGE AREA = 120m²
14.5m
14.6m
30.00m
SITE PLAN
CURB DETAIL
PAVING SPECIFICATIONS
NOTE
ELIE CATSAROS
INDUSTRIAL BUILDING FOR LAMEZIA AUTO GARAGE
DRUMLIN CIRCLE TOWN OF VAUGHAN
SITE PLAN
8603
STANDARD TREE PLANTING DETAIL FOR TREES THAN 64mm CALIPER
STANDARD CONIFER PLANTING

SUMMARY

It is our opinion that the variance subject to the application before the Committee meets the the 4 tests of variance under the *Planning Act*:

1. The variance maintains the general intent and purpose of the Official Plan.
2. The variance maintains the general intent and purpose of the Zoning By-law.
3. The variance is desirable for the appropriate development of the land.
4. The variance is minor.

THANK YOU

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: RESPONSE: A180/19 - Request for Comments

From: Development Services <developmentservices@york.ca>
Sent: January-09-20 9:52 AM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Subject: RESPONSE: A180/19 - Request for Comments

Good Morning Adriana,
The Regional Municipality of York has completed its review of the above minor variance application and has no comment.
Regards,

Gabrielle

Gabrielle Hurst | MCIP, RPP, Planning and Economic Development, Corporate Services
---
1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

1

Staff Report Summary

Item # 11

Ward 4

File: A182/19

Applicant: Mimi Khuu

Address: 1 Edison Pl Maple

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑	

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 11

A182/19

Ward: 4

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, May 28, 2020 at 6:00 p.m. **As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.** A live stream of the meeting is available at **Vaughan.ca/LiveCouncil** Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **cofa@vaughan.ca** To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8585**. Ext. **8332.** **Written comments and public deputation requests must be received by noon on the last business day before the meeting.**
Applicant:	Mimi Khuu
Agent:	None
Property:	**1 Edison Pl Maple**
Zoning:	The subject lands are zoned RD3 and subject to the provisions of Exception 9(1234) under By-law 1-88 as amended.
OP Designation:	Vaughan Official Plan 2010: "Low-Rise Residential"
Related Files:	None
Purpose:	Relief from the by-law is being requested to permit the existing deck and circular staircase located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The by-law requires that the minimum side yard setback is 1.2m. [4.22.3, Schedule A3]	1. The side yard setback of the proposed staircase is 0.87 metres.
2. The by-law requires that the minimum rear yard setback is 7.5m. [4.22.3, Schedule A3]	2. The rear yard setback of the proposed deck is 3.78 metres.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon**. on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage May 11, 2020.

Property Information	
Existing Structures	**Year Constructed**
Dwelling	2012
Deck & Staircase	2019

Applicant has advised that they cannot comply with By-law for the following reason(s): This is already constructed, and my 95 year old father is enjoying it. Please understand as he can't go outside anywhere to enjoy his life except this deck area for fresh air.

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: Order No. 19-000101, Order to Comply for Construction of a wood deck located in rear yard has been undertaken prior to obtaining the required building permit., Issue Date: Jul 10, 2019.

Building Permit No. 19-001826 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Official Plan: Vaughan Official Plan 2010: "Low-Rise Residential"

The Owner is proposing to maintain a rear deck with the above-noted variances. The Subject Lands have a rear walkout condition and the Owner is proposing to maintain alternations that were made to the builders' deck. A side yard setback of 0.87 metre to a staircase where 1.2 metre is required (Variance #1) is considered minor in nature. The Owner is also proposing a rear yard setback of 3.78 metres where 7.5 metre is required (Variance #2). The proposal to maintain the deck is considered minor as the rear yard continues to provide ample amenity space. Moreover, the deck does not extend the entire length of the house as it has a width of 3.56 metres. The proposal is considered minor in nature and meets the intent of the by-law.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the Minor Variance Application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A182/19.

Parks, Forestry and Horticulture Operations:
No comment no concerns

By-Law and Compliance, Licensing and Permit Services:
No comment no concerns.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comment no concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Letter of Support – Kim Kieu Huynh & Hum Pham, 11 Edison Place
Letter of Support – Thanh Giang Nguyen & Tin Long Tran

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96 the following conditions are recommended: N/A

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

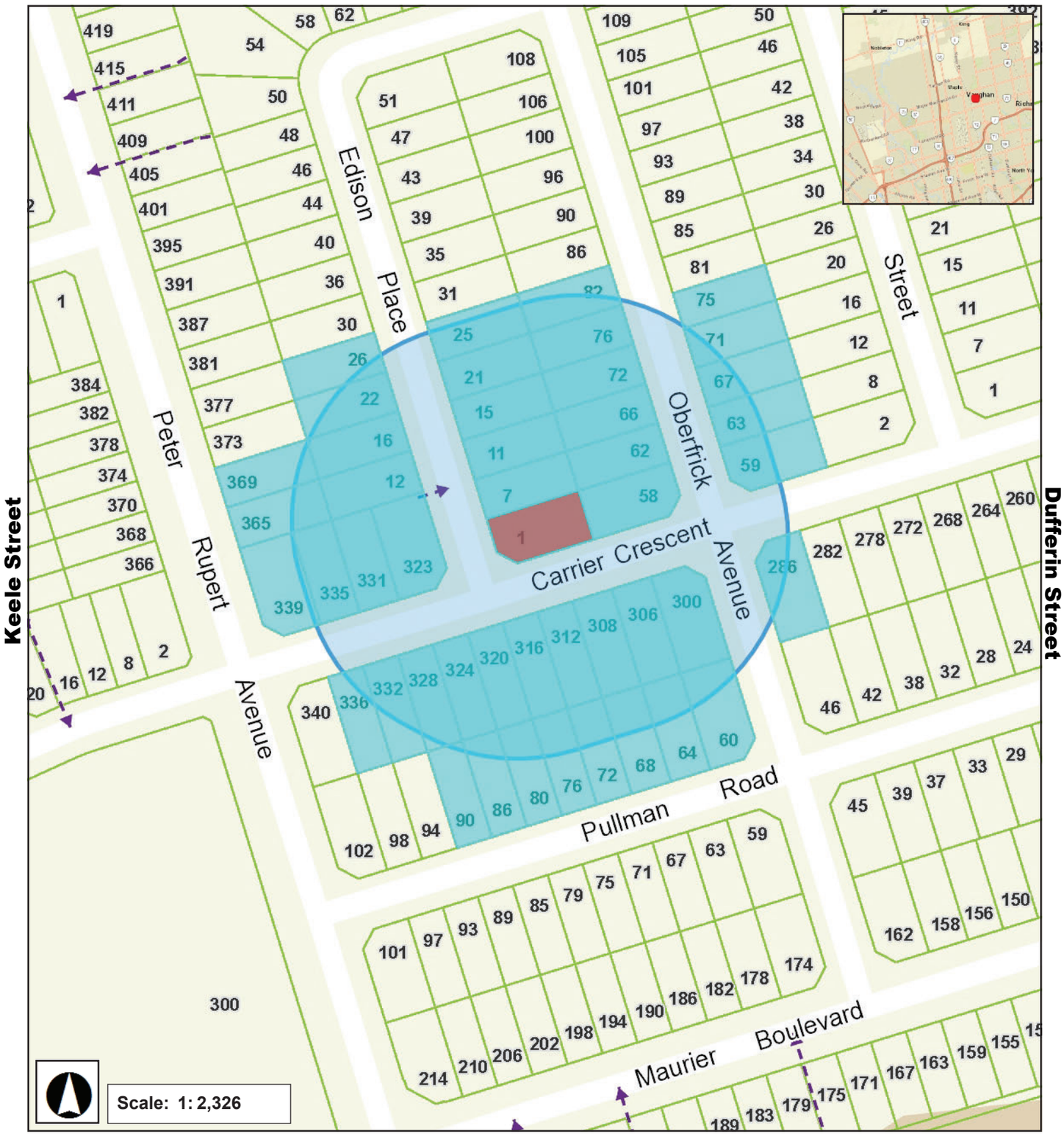
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches

LOCATION MAP - A182/19

1 EDISON PLACE, MAPLE

Major Mackenzie Drive

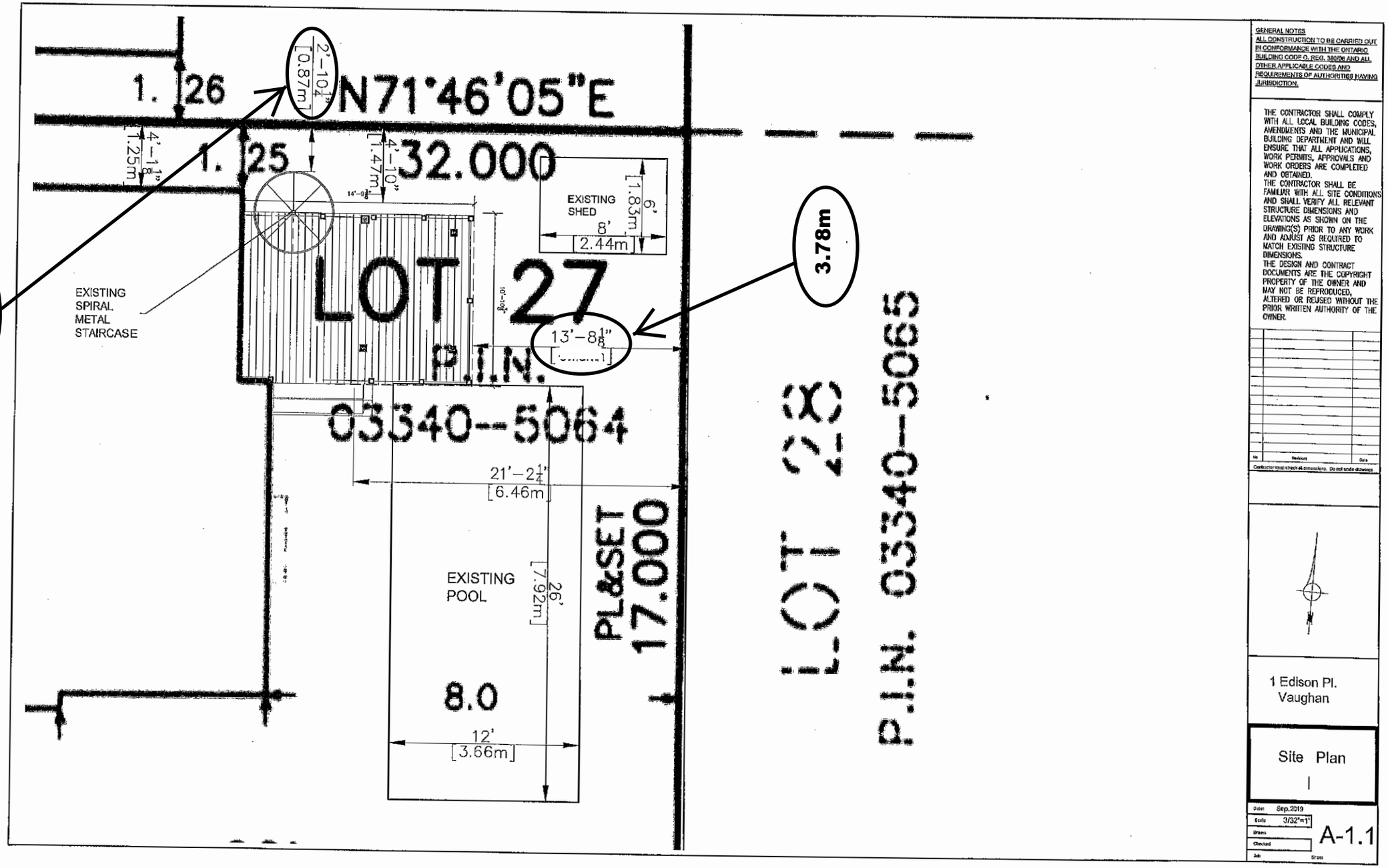


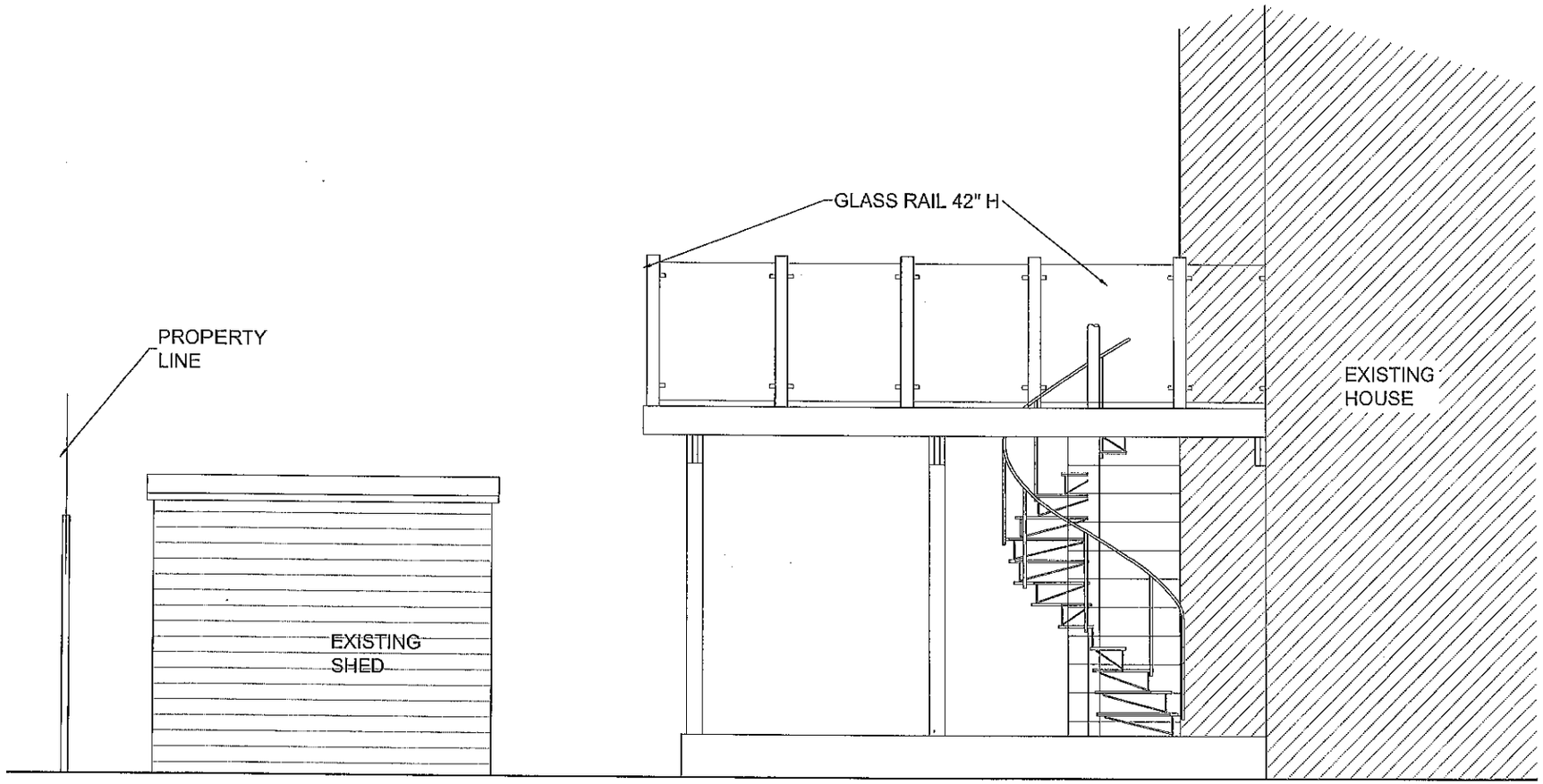
Rutherford Road

January 31, 2020 11:26 AM

A182/19

RECEIVED
Committee of Adjustment





GENERAL NOTES
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.
THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.
THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

No.	Revision	Date

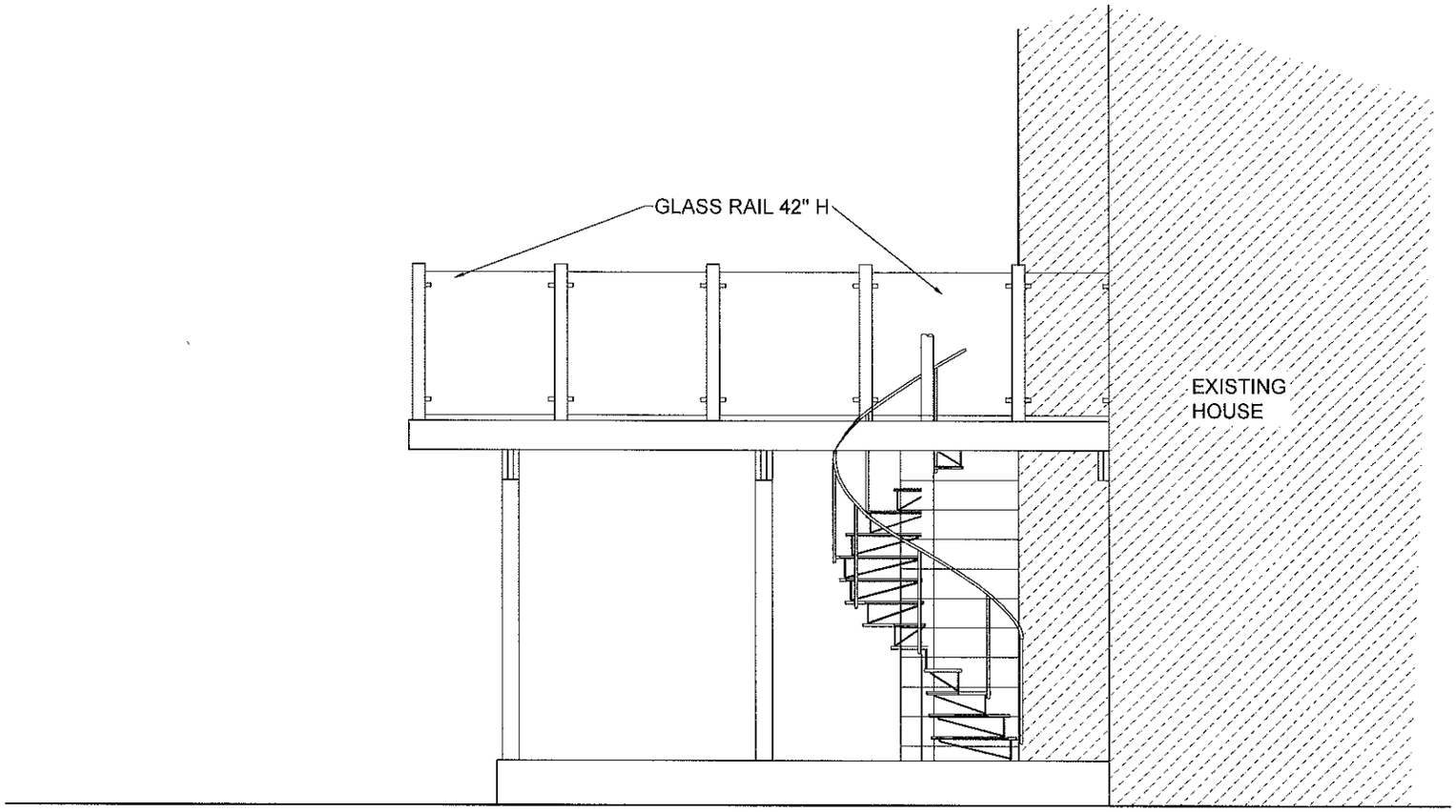
Contractor must check all dimensions. Do not scale drawings

1 Edison Pl.
Vaughan

Side Elevation
1

Date: Sep.2019
Scale: 1"=1'
Drawn
Checked
Job
Sheet

A-4



GENERAL NOTES
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.
THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.
THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

No.	Description	Date

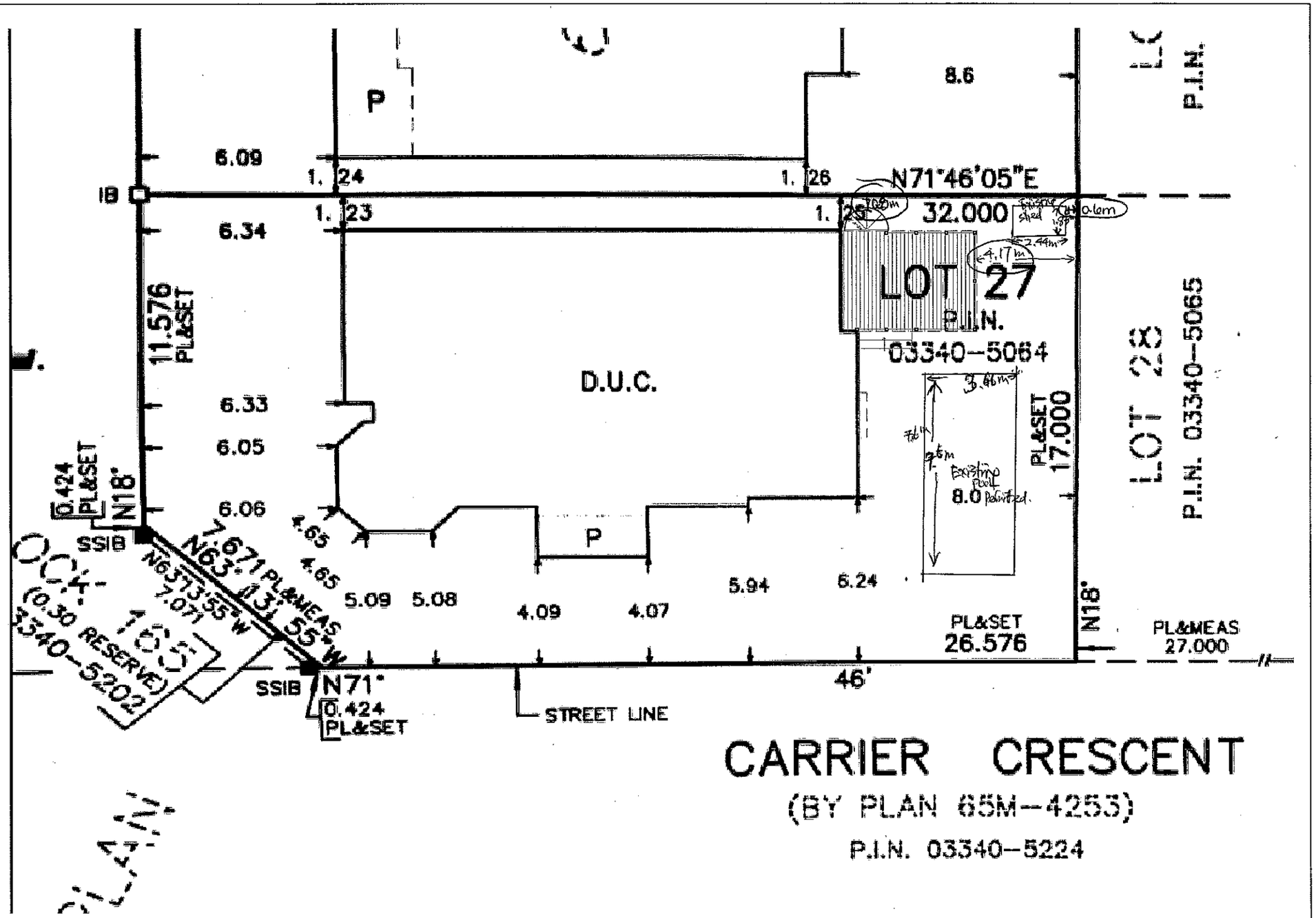
Contractor to check all dimensions. Do not scale drawings

1 Edison Pl.
Vaughan

Side Elevation
I

Date: Sep.2019
Scale 1"=1'
Drawn
Checked
Job Sheet

A-4



GENERAL NOTES
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.

THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

Contractor must check all dimensions. Do not scale drawings.

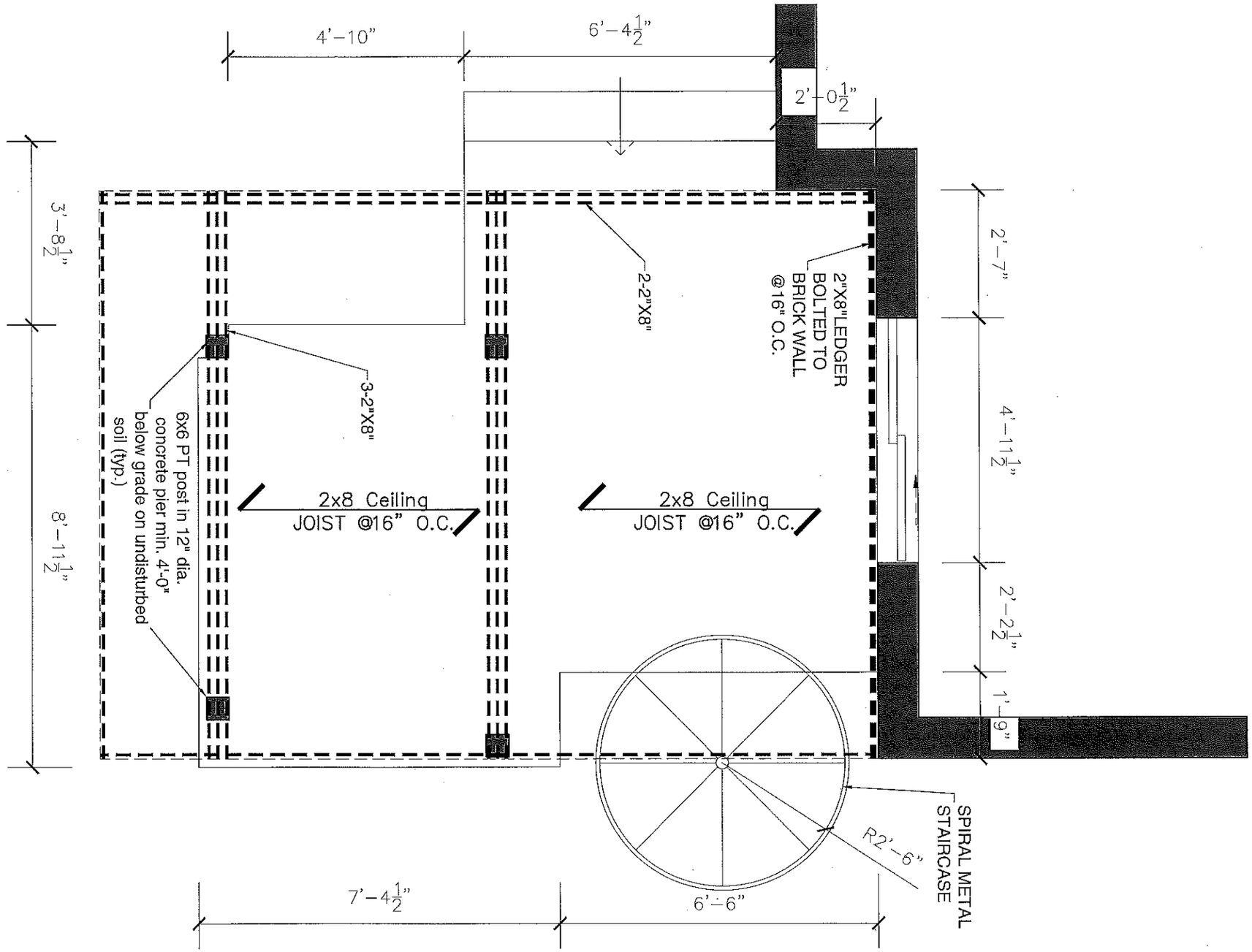
No	Revisions	Date

1 Edison Pl.
~~Richmond Hill~~ VAUGHAN

Site Plan
1

Date Sep.2019
Scale 3/32"=1'
Drawn
Checked
Job
Sheet A-1

Page 093



GENERAL NOTES
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.
THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.
THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

No	Revisions	Date

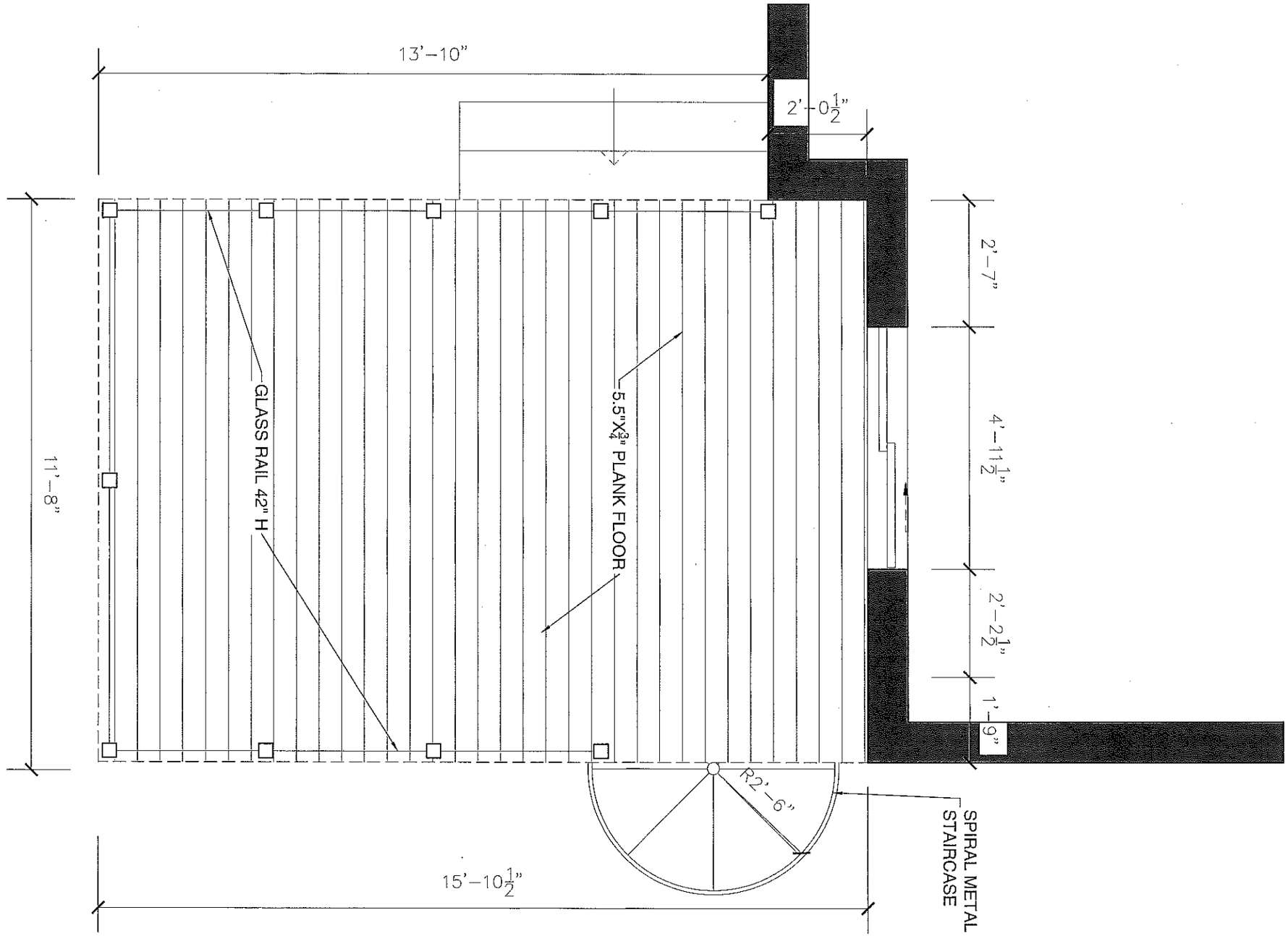
Contractor must check all dimensions. Do not scale drawings

1 Edison Pl.
~~Richmond hill~~ VAUGH

Existing Porch
F.F. Plan

Date:	Sep.2019
Scale	1/2"=1'
Drawn	
Checked	
Job	Sheet

A-2



GENERAL NOTES
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.
THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.
THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

No	Revisions	Date

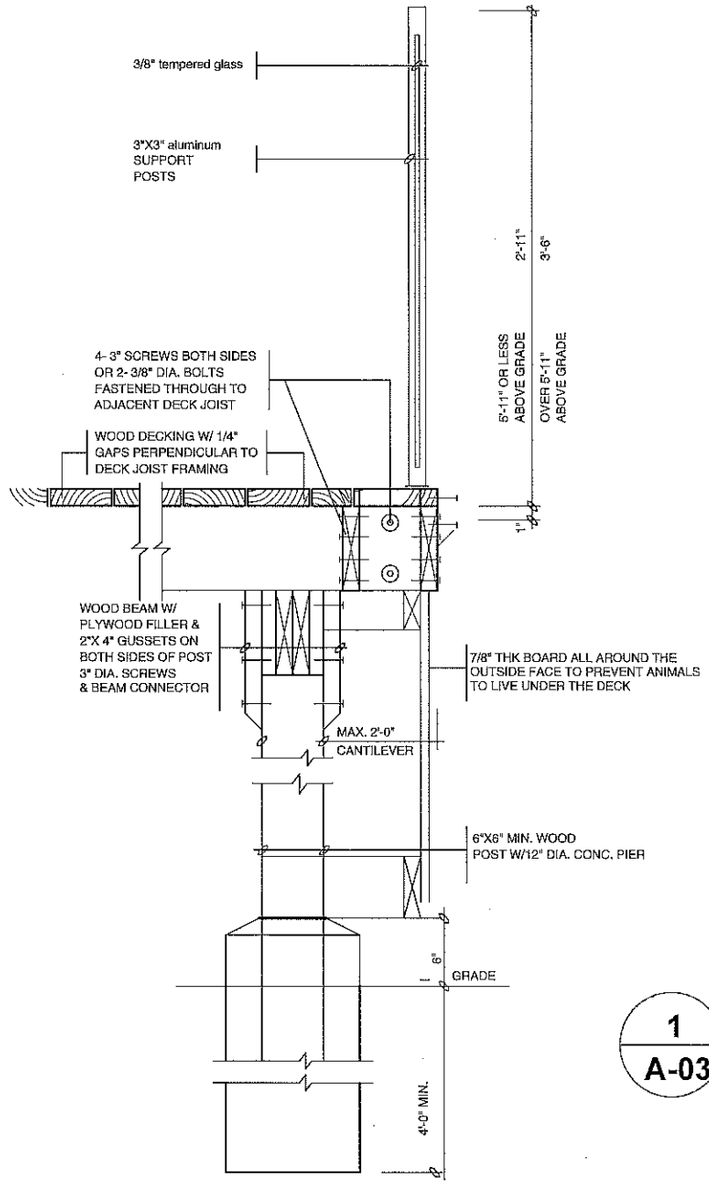
Contractor must check all dimensions. Do not scale drawings

1 Edison Pl.
~~Richmond Hill~~

Existing Porch
S.Fl. Plan

Date	Sep.2019
Scale	1/2"=1'
Drawn	
Checked	
Job	Sheet

A-3



1 / A-03 **DETAIL - DECK**

GENERAL NOTES
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.
THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.
THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

No	Revision	Date

Contractor must check all dimensions. Do not scale drawings

1 Edison Pl.
~~Richmond hill~~ VAUGHAN

Detail-1

Date: Sep.2019
Scale: 1"=1'
Drawn
Checked
Job
Sheet

A-4

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Letter of Support – Kim Kieu Huynh & Hum Pham, 11 Edison Place
Letter of Support – Thanh Giang Nguyen & Tin Long Tran

Dear Sir/Madam;

My family live here for over 6 years and we noticed that our neighbour had built a small size deck and looks very simple and beautiful.
We understand that they need to get minor adjustment as the deck is a bit close to their fence but still good space in between the 2 neighbours,
which I saw they are talking very often so no objection of the new deck and their staircase at all.

Both my wife and I support our neighbour at the corner house to keep their exterior construction as is.

Please do not hesitate to contact us if you have any issues.

Cheers,

Nov 13th, 2019
11 Edision Place, Maple, ON L6A 4N8

Kim Kieu Huynh & Hung Pham

November 12th, 2019

The purpose of this communication is to help your decision to approve the minor variance and to support my neighbour across our home.

My family strongly feel that their deck and the stairs have added the characteristic of this prestigous neighbourhood. She used the best materials and the size is not as big as other nearby neighbour's deck but we really enjoy the summer time together on her beautiful deck.

Her Father is over 95 and it's a must for them to maintain this deck as is for his mental and physical well being - get some sun from the deck walk out from their kitchen patio door.

Hope the process goes well for her and her family.

Sincerely Yours,

Thanh Giang Nguyen. Tin Long Tran

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A182/19 - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: January-23-20 3:49 PM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Cc: Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: RE: A182/19 - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above mentioned Minor Variance Application and has no comment.

Should you have any questions or concerns, please contact Sadaf Shahid, Assistant Planner at ext. 73012 or by email at sadaf.shahid@york.ca.

Best,

Sadaf Shahid | **Planning Assistant**
Planning and Economic Development Branch, Corporate Services Dept.

The Regional Municipality of York| 17250 Yonge Street | Newmarket, ON L3Y 6Z1
O: 1-877-464-9675 ext. 77807 | sadaf.shahid@york.ca | www.york.ca

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

Staff Report Summary

Item # 12

Ward #1

File: A005/20

Applicant: Anthony & Elsie Baggieri

Address: 51 Cherokee Drive, Maple

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	☑
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 12

A005/20

Ward: 1

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8504**. Ext. **8332**

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Anthony & Elsie Baggieri

Agent: None

Property: **51 Cherokee Drive, Maple**

Zoning: The subject lands are zoned R2, Residential Zone, and subject to the provisions of Exception 9(659) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan: Low-Rise Residential

Related Files: None

Purpose: Relief from the By-law is being requested to permit construction of a proposed gazebo and two (2) sheds on the subject land.

The proposed gazebo is to be located in the rear yard.

The proposed sheds are to be located in the east and west side yards respectively.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Rear yard setback of 9 metres is required.	1. To permit a minimum Rear yard setback of 0.6 metres to an accessory structure (Gazebo).
2. A minimum Interior side yard setback of 1.2 metres is required.	2. To permit a minimum Interior side yard setback of 0.6 metres to an accessory structure (Gazebo).
3. Accessory structures are not permitted in the Interior yard.	3. To permit accessory structures in the side yard (Sheds 1 & 2).

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 8, 2020

Property Information	
Existing Structures	**Year Constructed**
Dwelling	1994
Gazebo	Proposed
Shed 1	Proposed
Shed 2	Proposed

Applicant has advised that they cannot comply with By-law for the following reason(s): The shape of the lot (Irregular) and set back limitations require the variance to provide adequate storage and shade for the yard.

Adjournment Request: None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawings for building permit approval.

An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan: Low-Rise Residential

The Owner is requesting permission to construct a gazebo (accessory structure) in the rear yard and shed in the side yard with the above variances.

The Owner is requesting a rear yard setback 0.6 metre where 9.0 metres is required (Variance #1), and an interior side yard setback of 0.6 metre where 1.2 metre is required (Variance #2) to the rear yard gazebo. The variance is considered minor in nature and complies with the by-law requirement for height. The Engineering Department has reviewed the application and does not object to the proposed variances.

The Owner is also also proposing an accessory structure located in the side yard having a setback of 0.6 metre where 1.2 metre is required. The variance is considered minor in nature and appropriate for the neighborhood. The Owner submitted an Arborist Report and Tree Protection Plan prepared by Heartwood Tree Care dated January 9, 2020 and amended February 24, 2020. The Urban Design and Cultural Heritage Division of the Development Planning Department and Parks, Forestry and Horticulture Operations has reviewed the submitted Arborist Report and is satisfied.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the minor variance application.

Cultural Heritage (Urban Design):
No Response.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A005/20.

Parks, Forestry and Horticulture Operations:
Recommended conditions of approval:

1. A private property tree removal & protection (construction or infill) permit is required for the proposed construction of the 2 sheds and one gazebo in the rear yard, for protection only as there are no removals over 20cm.

2. Letter of consent from the neighbor #43 Cherokee Dr. (owner of tree 17) for potential of root injury, to ensure the neighbor is in agreement with proposed exaction within his trees roots.

3. A site plan indicating the proposed access routes shall be provided.

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

✓ That the general intent and purpose of the by-law will be maintained.

✓ That the general intent and purpose of the official plan will be maintained.

✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1.	Parks, Forestry & Horticultural Operations Patrick Courchesne 905-832-8585 x 3617 patrick.courchesne@vaughan.ca	1. A private property tree removal & protection (construction or infill) permit is required for the proposed construction of the 2 sheds and one gazebo in the rear yard, for protection only as there are no removals over 20cm. 2. Letter of consent from the neighbor #43 Cherokee Dr. (owner of tree 17) for potential of root injury, to ensure the neighbor is in agreement with proposed exaction within his trees roots. 3. A site plan indicating the proposed access routes shall be provided.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

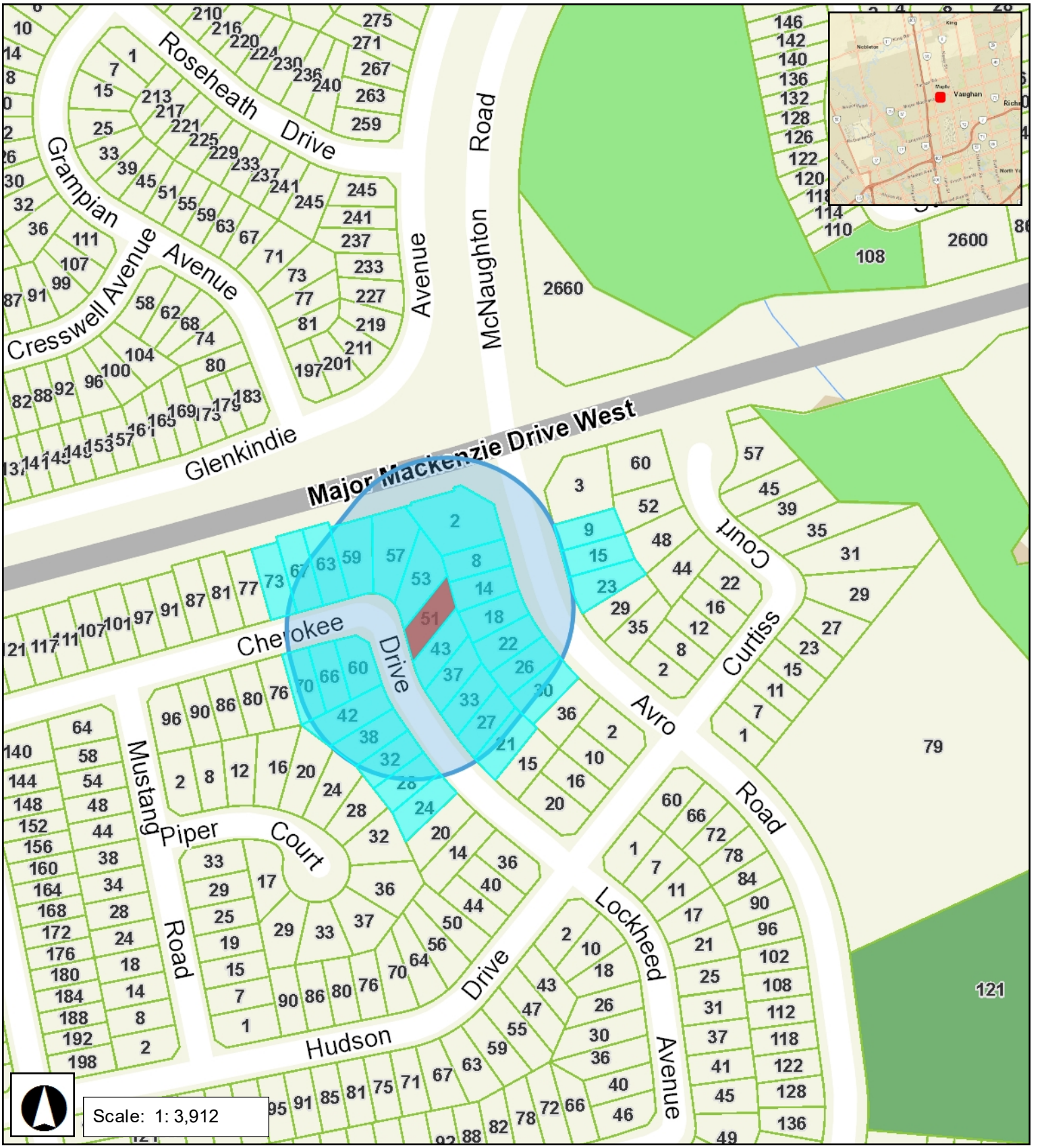
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

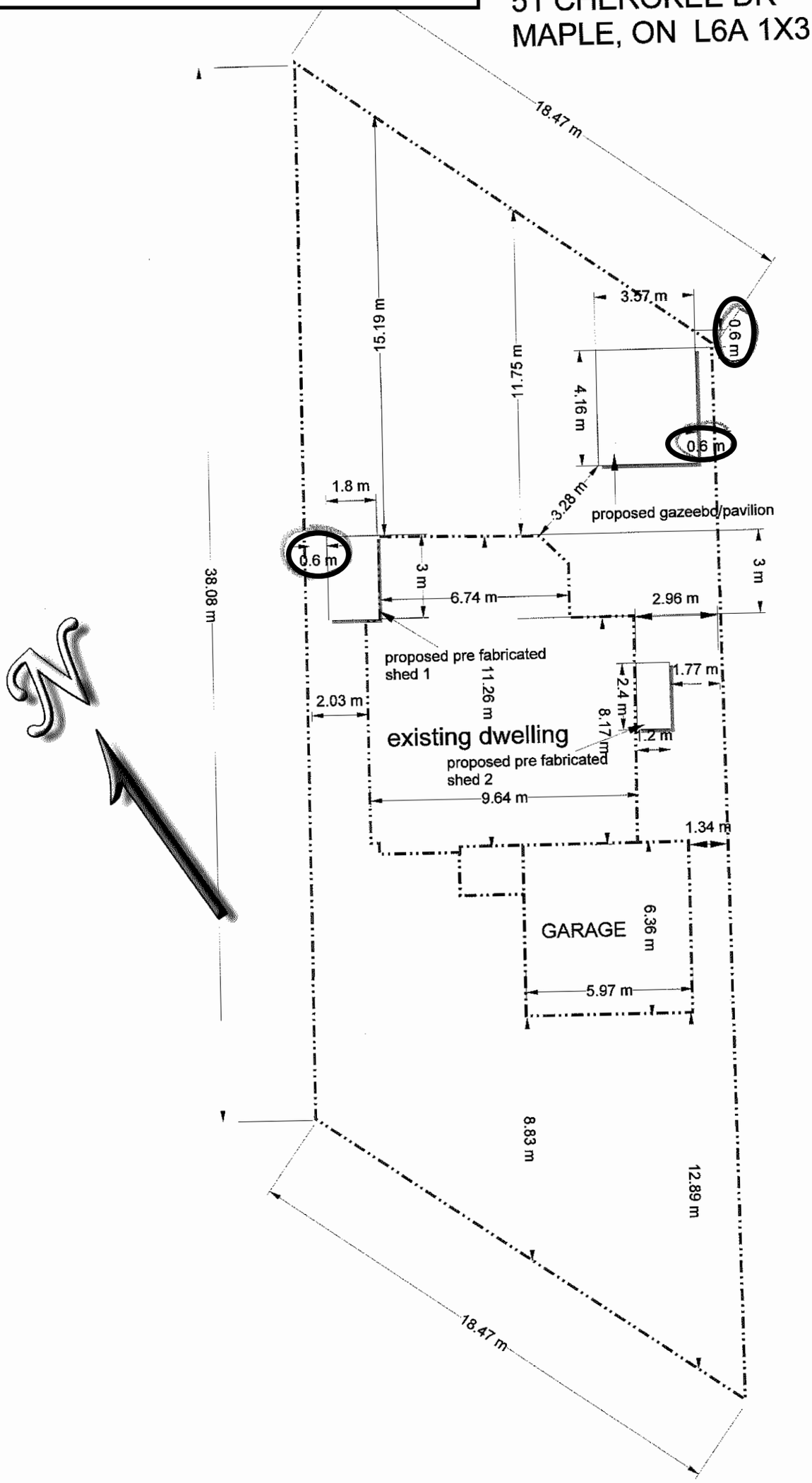
A005/20 - Notification Map

51 Cherokee Drive, Maple



March 3, 2020 10:30 AM

Proposal:
1. To permit a minimum Rear yard setback of 0.6 metres to an accessory structure (Gazebo).
2. To permit a minimum Interior side yard setback of 0.6 metres to an accessory structure (Gazebo).
3. To permit accessory structures in the side yard (Sheds 1 & 2).



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: A005/20 - Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: February-19-20 3:21 PM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Subject: RE: A005/20 - Request for Comments

Good afternoon Adriana,
The Regional Municipality of York has completed its review of the above minor variance application and has no comment.
Regards,

Gabrielle

Gabrielle Hurst | **MCIP, RPP**, Planning and Economic Development, Corporate Services
---
1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

VAUGHAN

Staff Report Summary

Item # 13

Ward # 3

File: A008/20

Applicant: Enzo and Amalia Garritano

Address: 48 Green Manor Crescent, Woodbridge

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑ ☒	

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 13

A008/20

Ward: 3

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or **905-832-8504**. Ext. **8332**

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Enzo and Amalia Garritano

Agent: None.

Property: **48 Green Manor Crescent, Woodbridge**

Zoning: The subject lands are zoned R1 and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

Related Files: None.

Purpose: Relief from the by-law is being requested to permit the existing cabana.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1) A minimum rear yard setback of 7.5 metres is required to the accessory structure.	1) To permit a minimum rear yard setback of 1.22 metres to an existing accessory structure.
2) A minimum interior side yard setback of 1.5 metres is required to the accessory structure.	2) To permit a minimum interior side yard setback of 0.69 metres to an existing accessory structure (west).
3) A minimum rear yard landscape requirement of 84.6 sq. metres is required for a rear yard in excess of 135 sq. metres where the excess yard shall be 60% soft landscaping.	3) To permit a minimum rear yard soft landscape requirement of 70 sq.metres for a rear yard in excess of 135 sq. metres, in which the excess yard shall be 60% soft landscaping.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on March 4, 2020

Applicant confirmed posting of signage on February 26, 2020 and May 5, 2020.

Property Information	
Existing Structures	**Year Constructed**
Dwelling	2003
Cabana	2019
Pool / Water Feature	2004 / 2009
Other: Raised Platform (inter-locking brick)	2019

Applicant has advised that they cannot comply with By-law for the following reason(s):

1. Cabana Complete. Cabana fits within height requirements and aesthetically pleasing
2. Setback due to nominal oversize (13m2 vs 10m2) is prohibitive (7.5m rear setback requirement)
3. Side setback requirement at 1.5m prohibitive due to existing pool.
4. Attempted to comply to softscape requirement but to onerous given existing pool.

Adjournment Request: N/A

Building Standards (Zoning Review):
Order No. 19-000396, Order to Comply for construction of a cabana (at the rear of the property) - No Permit, Issue Date: Sep 18, 2019

Building Permit No. 19-002133 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential"

The Owner is requesting permission to maintain an existing cabana and hard landscaping in the rear yard with the above-noted variances.

The existing cabana has a height of 3.2 m which is under the maximum accessory structure height of 4.5 m and is situated 1.22 m from the rear lot line and 0.69 m from the interior lot line. The floor area of the cabana is 26.6 m^2, of which half is an open and unenclosed seating area. Variances #1 and #2 are considered minor in nature as the cabana does not exceed the maximum height requirement, is appropriately scaled for the subject property, and is partially open and unenclosed.

The proposed reduced soft landscaping (Variance #3) is considered minor as it will not have adverse impacts on the streetscape or adjacent properties. Development Engineering staff have no objections to the variances.

The Development Planning Department is of the opinion that the variances are is minor in nature, meet the general intent and purpose of the Zoning By-law, and are desirable and appropriate for the development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):
No comments or concerns

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A008/20.

Parks, Forestry and Horticulture Operations:
Forestry has no comments at this time.

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comments or concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
A008/20 – Anonymous - Objection letter
A008/20 - 176 and 182 Green Manor Cres – Objection Letter
A008/20 - 54 Green Manor Cres – Support letter
Presentation to Committee (Applicant)

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None.

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96 the following conditions are recommended: N/A

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

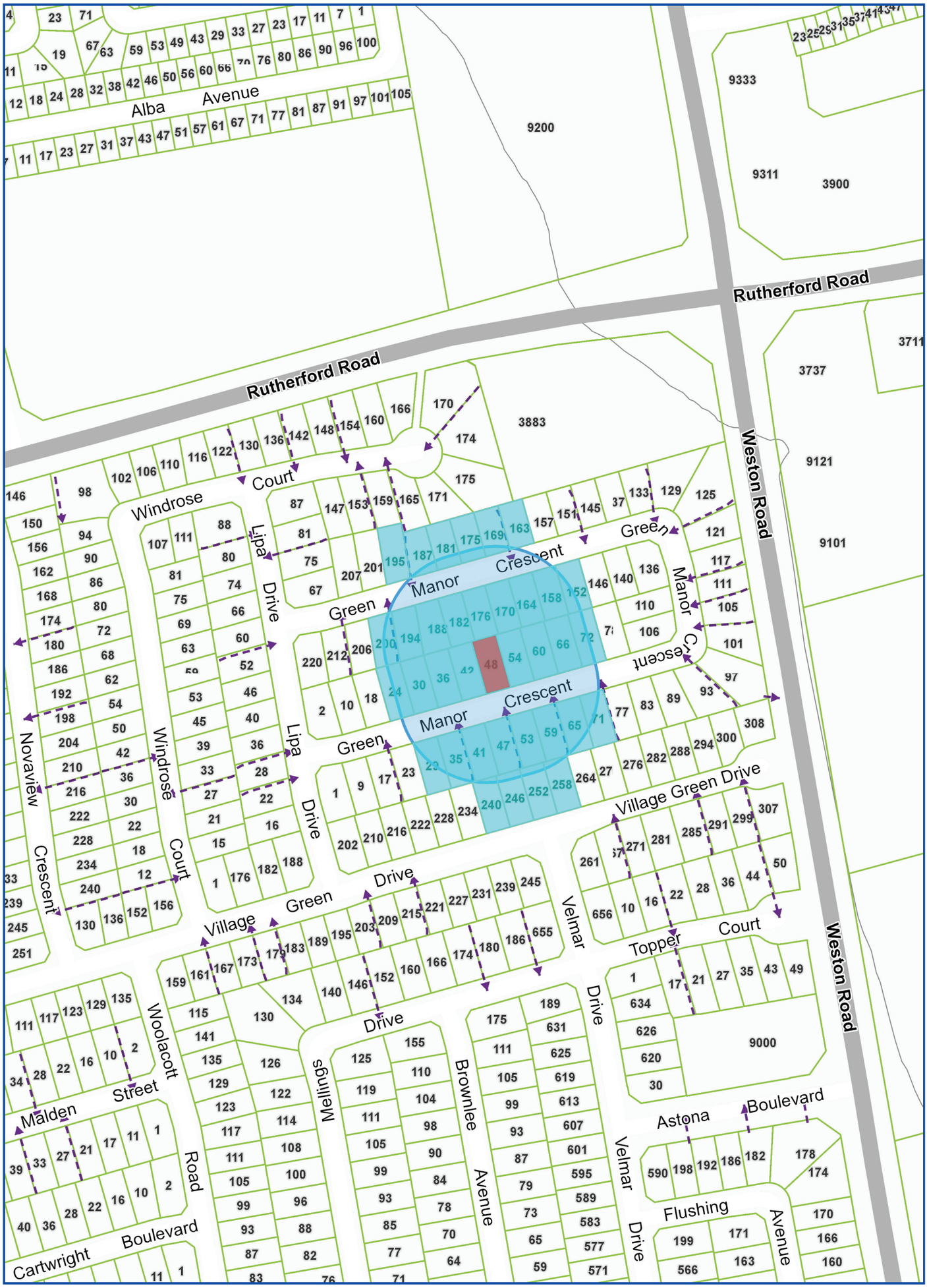
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

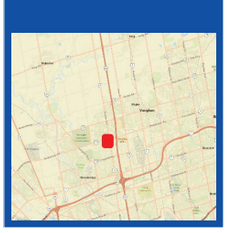
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches



Map Information:



Title:

48 GREEN MANOR CRESCENT, WOODBRIDGE

NOTIFICATION MAP - A008/20

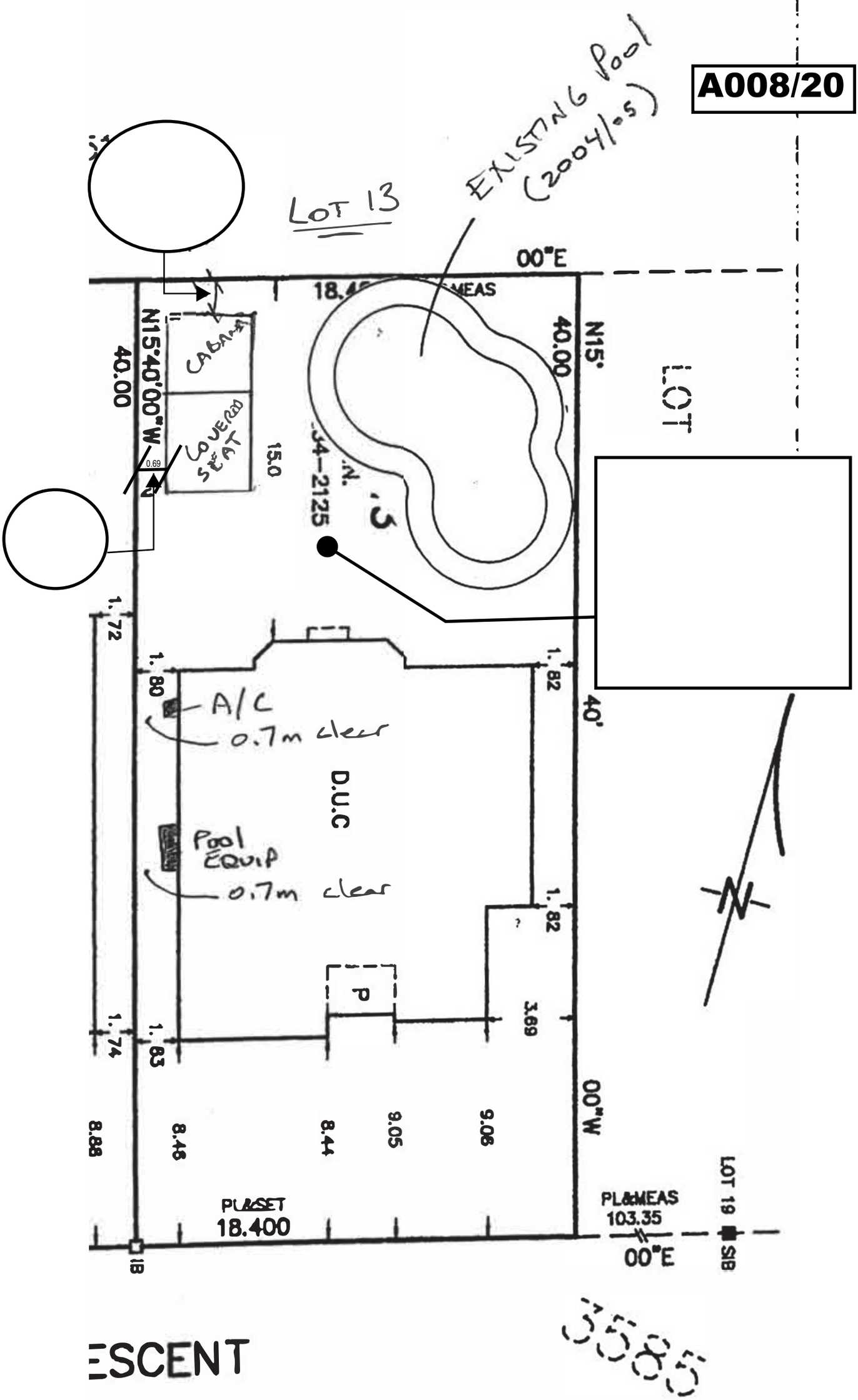
Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

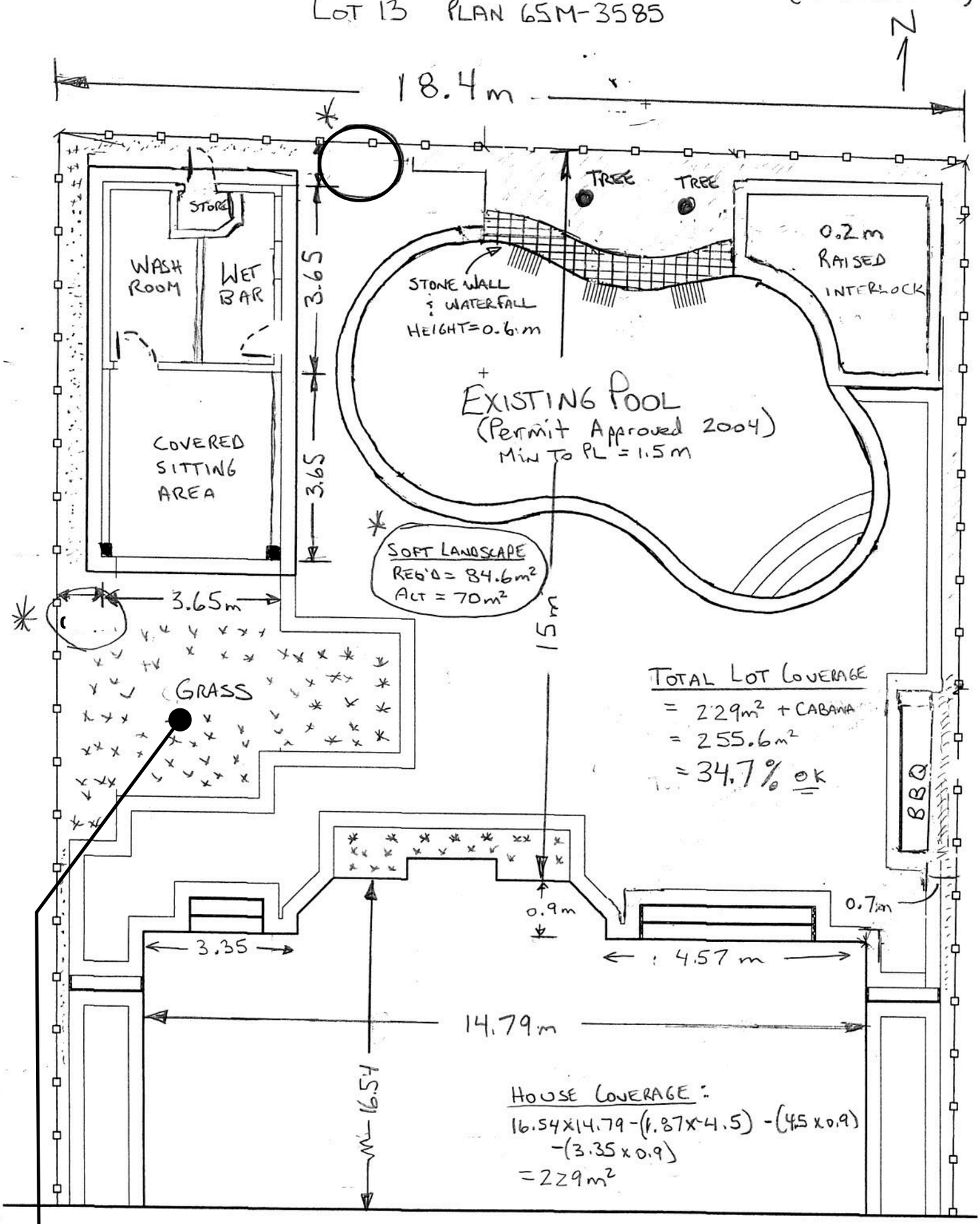
Scale: 1: 3,580
0 0.06 km

Created By:
Infrastructure Delivery Department
February 27, 2020 4:07 PM

Projection:
NAD 83
UTM Zone 17N


A008/20
LOT 13
EXISTING Pool (2004/05)
00"E
18.4 MEAS
N15°40'00"W
40.00
CABANA
COVERED SEAT
15.0
0.69
34-2125
.5
N15°
40.00
LOT
1.72
1.80
A/C
0.7m clear
1.82
40'
D.U.C
Pool EQUIP
0.7m clear
1.82
P
3.69
1.74
1.83
8.88
8.48
8.44
9.05
9.06
00"W
PL&MEAS
18.400
PL&MEAS
103.35
00"E
LOT 19
SIB
IB
ESCENT

48 GREEN MANOR CRES, WOODBRIDGE (18.4m x 40.0m)
LOT 13 PLAN 65M-3585



A008/20

VEYOR'S REAL PROPERTY REPORT
T 1
N OF LOTS 11,12 AND 13
N 65M-3585
OF VAUGHAN
ONAL MUNICIPALITY OF YORK

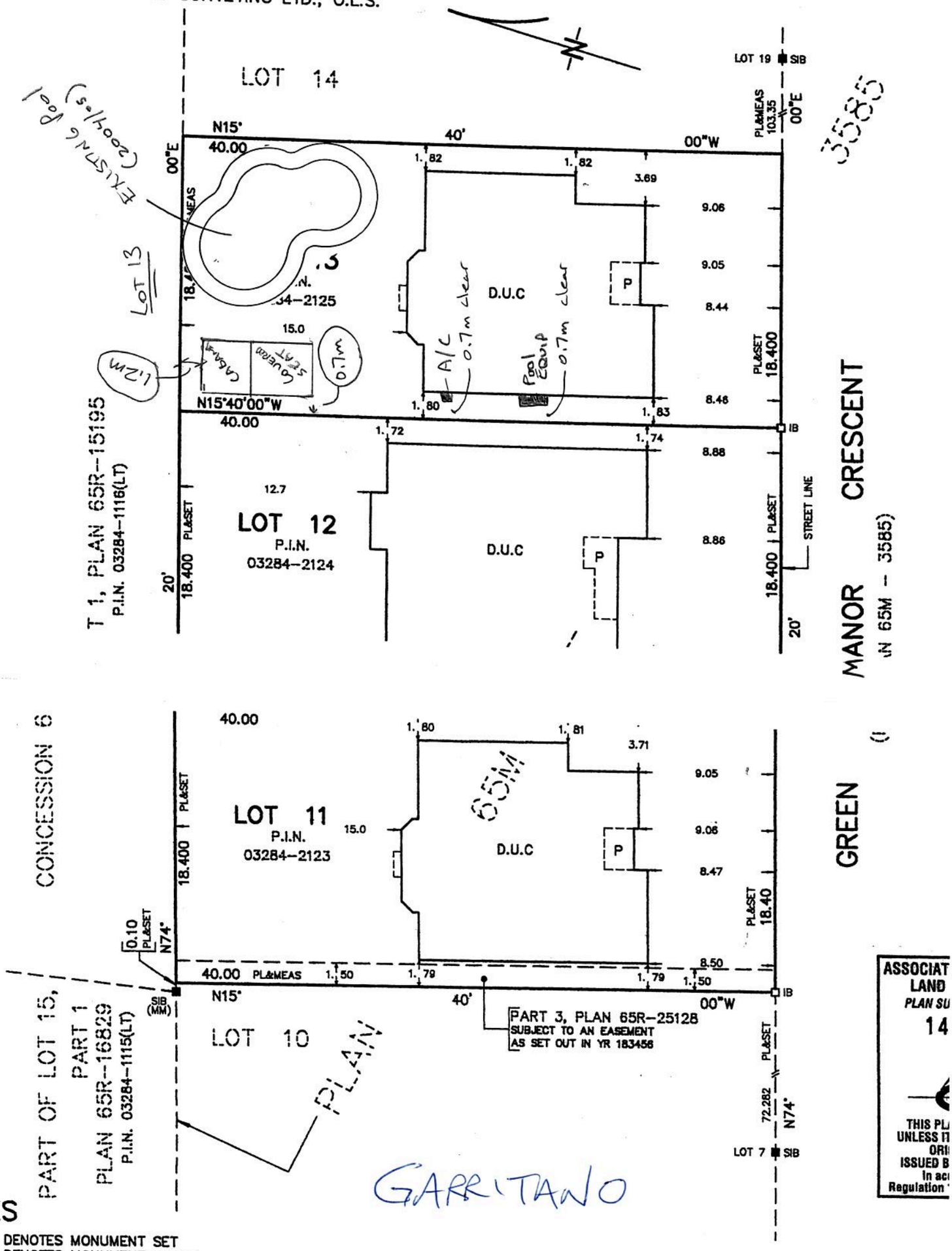
1:300

5m 0 10m 20metres

PENTEK & EDWARD SURVEYING LTD., O.L.S.

PART 2 (SURVEY REPORT)
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: PAR
DESIGNATED AS PART 3, PLAN 65R-25128 SUBJECT TO
AS SET OUT IN YR 183456
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METI
BE CONVERTED TO FEET BY DIVIDING BY 0.304



GARRITANO

S

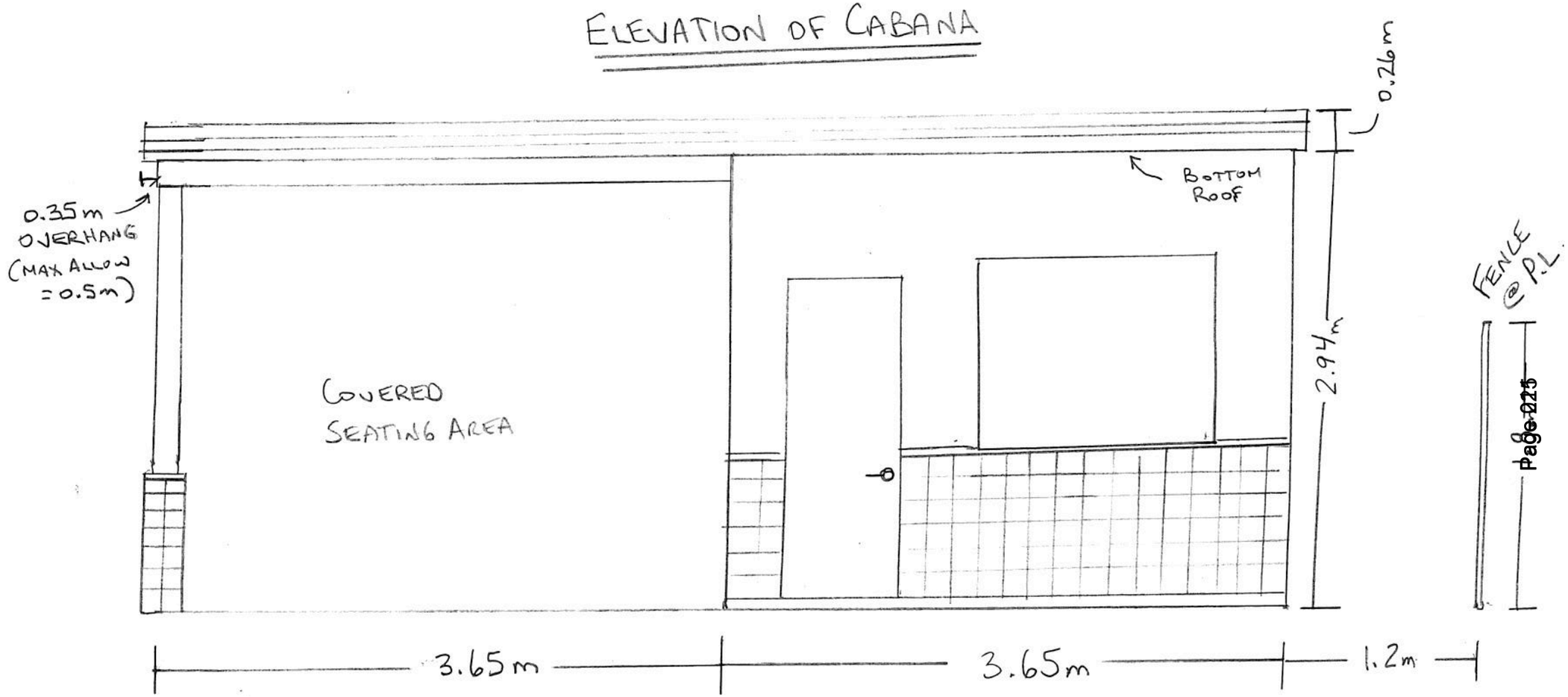
DENOTES MONUMENT SET
DENOTES MONUMENT FOUND
DENOTES STANDARD IRON BAR
DENOTES IRON BAR
DENOTES DWELLING UNDER CONSTRUCTION

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACC

48 GREEN MANOR CRES
LOT 13 PLAN 65M-3585

N

ELEVATION OF CABANA



Tyvek
Tyvek

Tyvek
HomeWrap
RONA
Tyvek
HomeWrap

yve
meWra
The miracles of science

Tyvek
Tyvek

Tyvek
Tyvek

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

A008/20 – Anonymous -Objection letter
A008/20 - 176 and 182 Green Manor Cres – Objection Letter
A008/20 - 54 Green Manor Cres – Support letter
Presentation to Committee (Applicant)

RECEIVED

Committee of Adjustment

To City Hall of Maple

2141 Major McKenzie Dr.

Maple Ont.

Attn: COFA

Re. File #A008-20

48 Green Manor Cres., Woodbridge

No one is above the law. Justice must be served.

Concerned resident

Providence, Lenore

Subject: FW: [External] Opposing letter and Request for Decision Form for Minor Variance #A008/20
Attachments: Request for Decision Form.pdf

From: Sam Rizza [redacted]

Sent: March-18-20 1:59 PM

To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] Opposing letter and Request for Decision Form for Minor Variance #A008/20

Hi Christine Vigneault,

First of all, thank you for informing us of the Notice of Hearing minor variance application #A008/20. Unfortunately due to work time schedules we cannot attend in person.

Please see below our **letter of opposition** on behalf of 176 and 182 Green Manor Cres with the attached request for Decision form for Minor Variance #A008/20

Even though there are many residents and neighbors in close proximity to this structure who are opposed, I will address the reasons we oppose the rear and side setback of this building.

Yes we refer to the "structure" or "cabana" as a building. It was constructed with complete disregard to the esthetics of the community and neighborhood. Many of us are the original residents of this crescent in Woodbridge and there is no other structure which looms so large or presents such a huge footprint in the rear of a home. The sheer size of the structure, casts an ominous shadow on all three neighboring backyards. It reduces the amount of light in these areas and with some who are affected by "seasonal affective disorders", this building will have a negative effect. The mental health of all neighbors should definitely be taken into consideration in this case.

As well, some of those neighboring backyards are owned by seniors and often their only opportunity to move beyond their own homes is to spend leisure time in their backyards. This structure and the shadow it casts affects their vegetable and flower gardens and their own sense of well-being with the impact on sunshine in the area.

Finally, the structure was built in clear violation and total disregard to the zoning by laws for the city of Vaughan. The structure was constructed without a permit. How is it possible that a resident would be permitted to proceed without abiding by the city by-laws? Had a permit been applied for, all neighboring residences would have had the opportunity to share their opinions, understand the size and more than likely would have officially opposed it. Please note that while the structure was being constructed, numerous calls were made to the city expressing our concerns. While several visits may have been made to the residence by city officials, the homeowners proceeded and ignored the bylaw notices provided to them and informing them that they were not in compliance.

Why were they allowed to complete the structure?

Why would the city of Vaughan allow such disregard for by laws?

As residents and taxpayers of this city we are requesting that the structure be removed, relocated and sized in compliance with city bylaws regarding these types of structures.

Regards,

Sam Rizza

Email address [redacted]

Providence, Lenore

Subject: FW: [External] Minor Variance Application A008/20

From: Frank Mondelli - Toronto Capital [redacted]

Sent: May-16-20 1:40 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] **Minor Variance Application A008/20**

Applicant – Enzo and Amalia Garritano
Property – 48 Green Manor Crescent, Woodbridge

We (Josie and Frank Mondelli) reside at 54 Green Manor Crescent – neighbours of the Applicant.

We are in support of the Minor Variance Application.
The landscape work including the accessory structure are of high quality and good workmanship.
Location of the accessory structure does not impact grading and drainage of the properties.
We do not have catch basins in the rear and all drainage is from back to front.

We are also in support of the soft landscaping variance.
The landscaping work was well planned and appropriate for the residence.

TORONTO Capital

FRANK MONDELLI

[redacted]

email: [redacted]

Garritano Residence
48 Green Manor Cres, Woodbridge

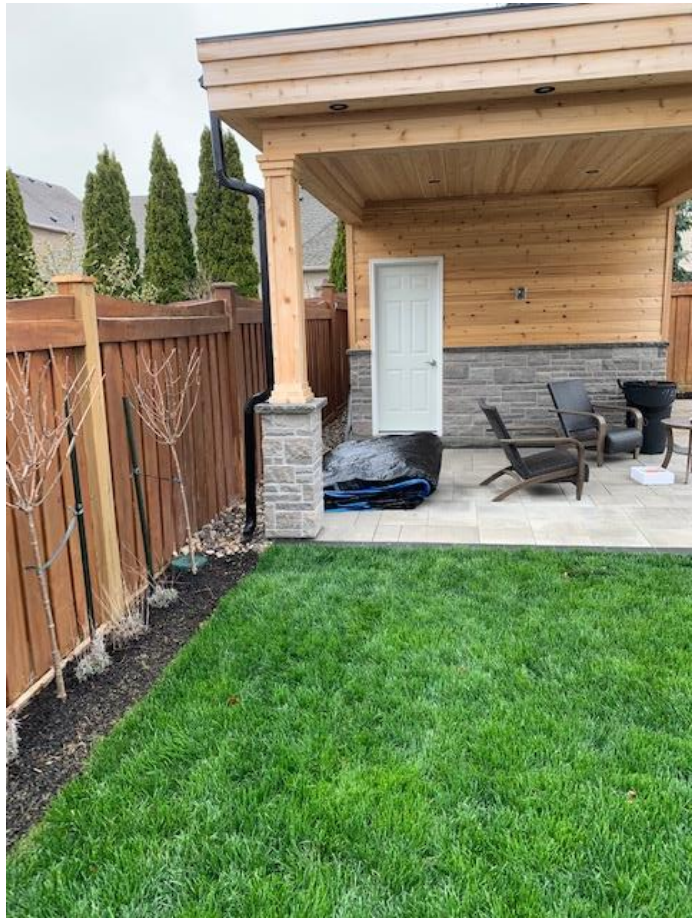
Minor Variance Application A008/20

May 28, 2020

1. Cabana – Overall context to backyard

2. Panoramic of Yard (skewed a bit)

3. West Property Line – Cabana 0.69 m to PL



4. North Property Line – Cabana 1.22 m to PL

5. Looking South West – context to house

Thank You

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A008-20 - REQUEST FOR COMMENTS (VAUGHAN- Committee of Adjustment)

From: Guida, Diana <Diana.Guida@york.ca>

Sent: February-19-20 1:01 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>
Subject: RE: A008-20 - REQUEST FOR COMMENTS (VAUGHAN- Committee of Adjustment)

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance application and has **no comment.**

Thank you,

Diana Guida | **Planning Assistant**

Planning and Economic Development Branch, Corporate Services Dept.

The Regional Municipality of York| 17250 Yonge Street | Newmarket, ON L3Y 6Z1
O: 1-877-464-9675 ext. 71550 | diana.guida@york.ca | www.york.ca

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

Staff Report Summary

Item 14

Ward 3

File: A009/20

Applicant: Tevfik & Zuhra Urkan

Address: 157 Headwind Blvd Woodbridge

Agent: Engin Nigdeli

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)		
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☒	

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 14

A009/20

Ward: 3

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, May 28, 2020 at 6:00 p.m. **As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.** A live stream of the meeting is available at **Vaughan.ca/LiveCouncil** Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **cofa@vaughan.ca** To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8585**. Ext. **8332.** **Written comments and public deputation requests must be received by noon on the last business day before the meeting.**
Applicant:	Tevfik & Zuhra Urkan
Agent:	Engin Nigdeli
Property:	**157 Headwind Blvd Woodbridge**
Zoning:	The subject lands are zoned RD3 and subject to the provisions of Exception 9(1288) under By-law 1-88 as amended.
OP Designation:	Low Rise Residential
Related Files:	None
Purpose:	Relief from the by-law is being requested to permit a side door entrance to be constructed within the interior side yard (east) to permit a secondary suite. The proposed side door will access the basement.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The minimum interior side yard setback to a door shall be 1.8 metres where a door is providing access tothe dwelling or an attached garage. [4.22.3 Schedule “A3”, General Note C]	1. The proposed interior side yard setback to a door providing access to the dwelling is 1.24m.
2. An entrance to a Secondary Suite shall be setback a minimum of 1.2m from the interior side lot line, except where the minimum interior side yard setback requirement to an entrance is greater (in this case, 1.8 metres). [4.1.8 vi. D.]	2. The proposed entrance to a Secondary Suite is 1.24m from the interior side lot line.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 13, 2020.

Property Information	
Existing Structures	**Year Constructed**
Dwelling	2014 (Purchased 2018)

Applicant has advised that they cannot comply with By-law for the following reason(s): As per Schedule A3 of Zoning by-law 1-88, the minimum interior side yard setback to a door shall be 1.8m where a door providing access to the dwelling is proposed. We want a side entrance with the current setback of 1.25m.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

The Owner is requesting permission to construct a side entrance for the purposes of a secondary suite with the above-noted variances.

The requested variances are considered minor in nature as the proposed entrance will not extend past the existing building envelope and no risers are required, maintaining a minimum 1.24m wide path of travel to the entrance which meets the general intent and purpose of the Zoning By-law.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A009/20.

Parks, Forestry and Horticulture Operations:
Forestry has no comments at this time.

By-Law and Compliance, Licensing and Permit Services:
No comment no concerns

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Letter of objection - 153 Headwind Blvd

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96 the following conditions are recommended: N/A

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

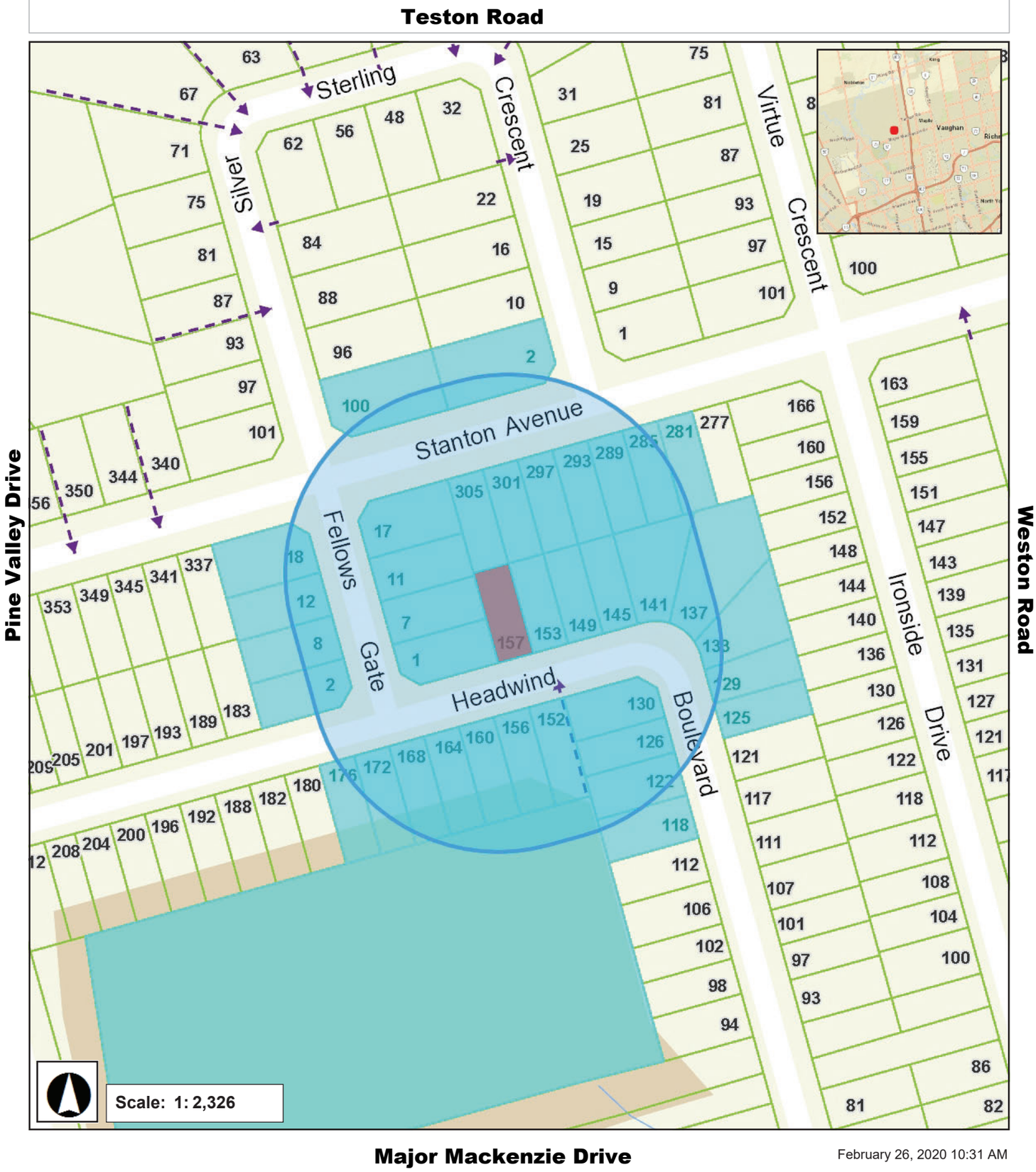
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches

LOCATION MAP - A009/20

157 HEADWIND BLVD, WOODBRIDGE



February 26, 2020 10:31 AM

GENERAL REQUIREMENTS

1. CONTRACTOR SHALL CROSS CHECK ALL STRUCTURAL DRAWINGS AND DIMENSIONS WITH ARCHITECTURAL DRAWING.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN SITE.
3. CONTRACTOR SHALL CONSIDER AND PERFORM ALL SAFETY MEASURES TO PROTECT LABORS AND PUBLIC.
4. CONTRACTOR SHALL VERIFY ALL OPENING SIZES.
5. NOTES AND DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
6. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY BEFORE PROGRESS, IN CASE OF ANY UNUSUAL CONSTRUCTION CONDITION THAT JEOPARDIZE SAFETY OF LABOR AND/OR PUBLIC, AT THE TIME AND/OR IN FUTURE.
7. IN CASE OF EXISTENCE OF DISCREPANCIES BETWEEN THE PROJECT SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE MOST CONSERVATIVE OPTION WILL GOVERN, UNLESS ENGINEER REPLY OTHERWISE, AND THIS WILL NOT BE A BASIS FOR CONTRACTOR FAILURE OR ANY BACK CHARGE OR ADDITIONAL CLAIM.
8. PERMIT DRAWINGS ONLY COVER GENERAL SCOPE OF WORK AND DESIGN ENGINEER'S SITE SUPERVISIONS IS REQUIRED TO ADDRESS ALL STRUCTURAL ISSUES AS APPLICABLE TO THE PROJECT. SITE INSTRUCTION BY DESIGN ENGINEER SUPERSEDES DESIGN DRAWINGS.
9. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL/MECHANICAL AND ALL OTHER SPECIFICATIONS.
10. LOADS DURING CONSTRUCTION SHALL NOT EXCEED DESIGN LOADS AS SPECIFIED.
11. TYPICAL STRUCTURAL DETAILS SHOWN ON DRAWINGS SHALL GOVERN THE WORK. IF DETAILS DIFFER ON OTHER DRAWINGS, THE MOST STRINGIEST SHALL GOVERN.
12. FLOOR JOISTS, STUDS AND ALL OTHER STRUCTURAL MEMBERS OTHER THAN SPECIFIED, SHALL COMPLY WITH MANUFACTURE'S SPECIFICATIONS.
13. A PRE CONSTRUCTION MEETING SHALL BE ARRANGED BY CONSTRUCTOR TO REVIEW PLANS WITH DESIGN ENGINEER.
14. STRUCTURAL PLANS ARE GENERAL AND ONLY SHOW ADEQUATE MEMBER SIZES. CONSTRUCTION DETAILS INCLUDING BUT NOT LIMITED TO LOCATION OF BEAMS/COLUMNS TO AVOID CONFLICT WITH OTHER MEMBERS OR HOW TO SUPPORT LVL BEAM ON STEEL POSTS ARE RESPONSIBILITY OF BUILDER.

NOTES:

45 MINUTES FIRE RATED CEILING 15.9mm TYPE X GYPSUM BOARD ON THE UNDERSIDE OF CEILING OBC 2012,9.9 2 TABLE 2.3.12.

1) INSTALL SMOKE ALARM IN EVERY BEDROOM ON BASEMENT
2) SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
3) CARBON MONOXIDE DETECTORS SHALL BE INSTALLED AS PER OBC 9.33.4.
6) D1,D9 & D8 (FR)=20 MIN. FIRE RATED INSULATED DOOR.

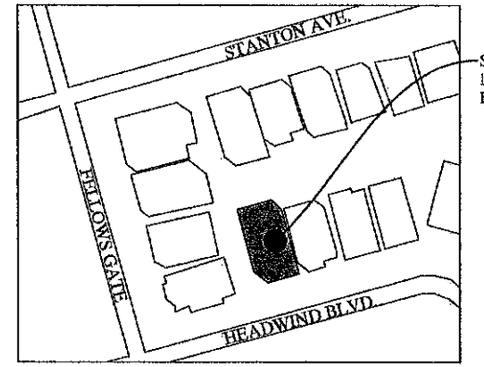
SM SMOKE ALARM
1. SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM.
2. SHALL HAVE A BATTERY BACKUP

CO CARBON MONOXIDE DETECTOR

DOOR REFERENCE

D1	32".X 80" NEW 20 Min. FIRE RATED DOOR WITH SELF CLOSING DEVICE
D2	30".X 80" NEW DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
D3	36".X 80" NEW CLOSET DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
D4	32".X 80" NEW DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
D5	36".X 80" EXISTING DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
D6	32".X 80" NEW 20 Min. FIRE RATED DOOR WITH SELF CLOSING DEVICE
D7	36".X 84" NEW DOOR - NEW ENTRANCE TO BASEMENT

KEY MAP



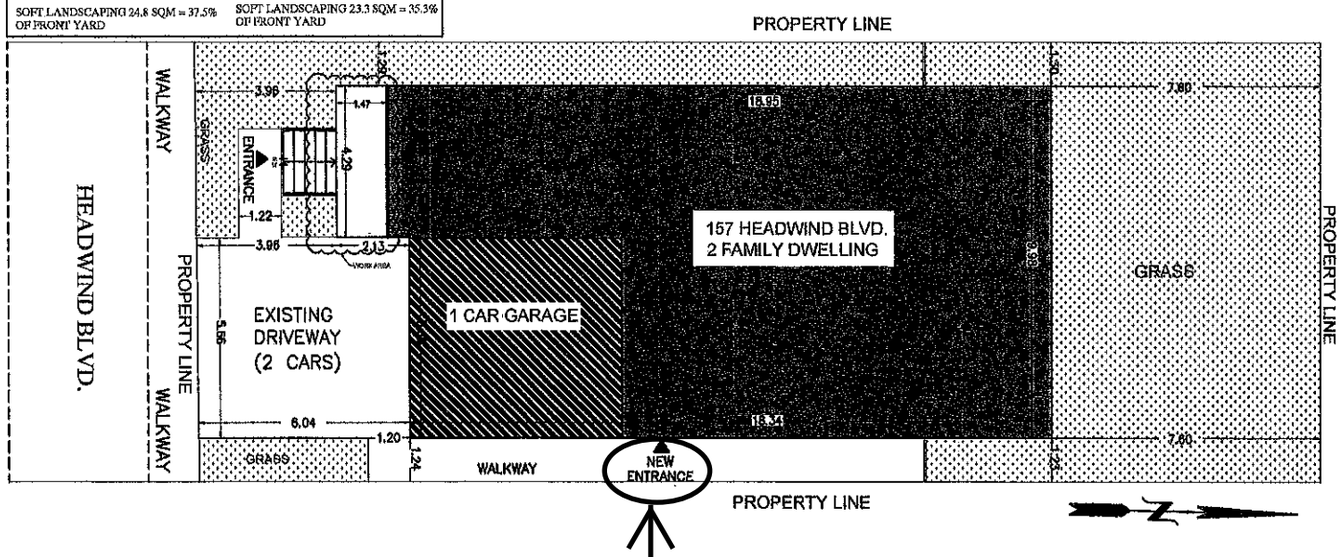
SECOND UNIT AREA @ BASEMENT	:	1,144SQFT (106.30M²)
WORK AREA @ BASEMENT	:	1,405 SQFT (130.5M²)
WORK AREA @ MAIN FLOOR	:	53 SQFT (5M²)
WORK AREA @ FRONT PORCH	:	70 SQFT (6.5M²)
TOTAL WORK AREA	:	1,528 SQFT (142M²)

EXISTING FRONT YARD= 66 SQM (Driveway, Walkway and Stairs)

SOFT LANDSCAPING 24.8 SQM = 37.5% OF FRONT YARD

PROPOSED FRONT YARD= 66 SQM (Driveway, Walkway and Stairs)

SOFT LANDSCAPING 23.3 SQM = 35.3% OF FRONT YARD



Proposed interior side yard setback to a door providing access to the dwelling = 1.24m

Proposed entrance to a secondary suite = 1.24m from interior side lot line.

SITE PLAN (SP1)

SCALE: 1/200

**Dimensions are in metric

Revised February 10, 2020

A009/20

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW
- ISSUED FOR TENDER
- ISSUED FOR PERMIT
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.6.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR C. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW	------	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

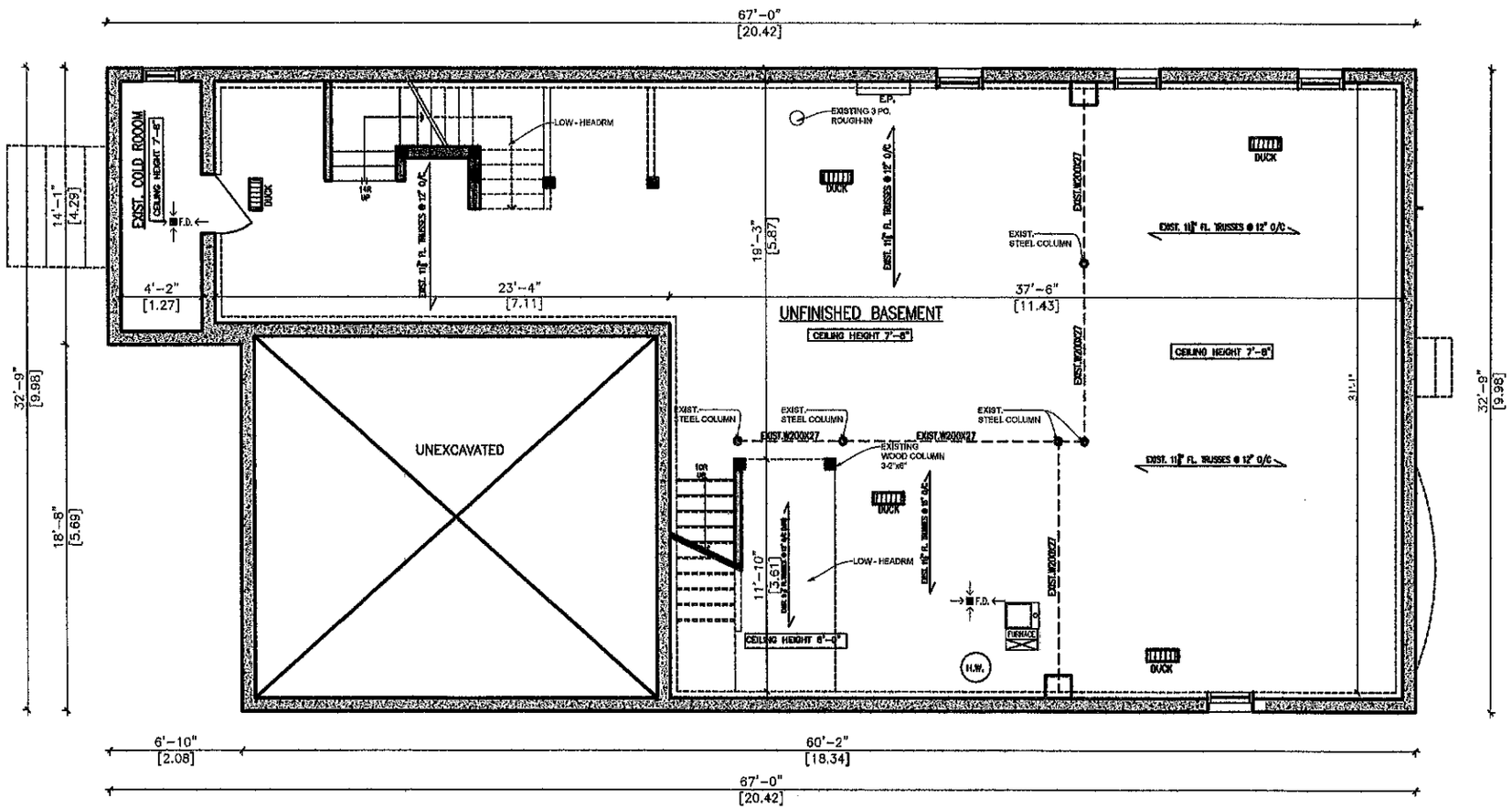
PROJECT NAME
SECONDRY UNIT AT THE BASEMENT
TEVFIK AND ZUHRA'S RESIDENCE AT
157 HEADWIND BLVD
VAUGHAN, ONTARIO

SHEET TITLE
SITE PLAN AND KEY MAP

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	
PROJECT NO.	
DWG. NO.	SP1
REV. NO.	1

WALL LEGEND

W1	EXTERIOR WALL : EXISTING CONCRETE WALL
W2	INTERIOR WALL : EXISTING PARTITION WALL
W3	INTERIOR WALL CONSTRUCTION : (PROPOSED) 1. ½" DRYWALL 2. 2" X 4" WOOD STUD @ 16" O.C. 3. ½" DRYWALL
W4	INTERIOR WALL CONSTRUCTION : (PROPOSED) 1. ⅝" DRYWALL 2. 2" X 4" WOOD STUD @ 16" O.C. 3. ⅝" DRYWALL 4. 45 Min. FIRE RATED
C1	1. EXISTING 11⅞" FL. TRUSSES @ 12" O/C 2. NEW 1 LAYER ⅝" TYPE "X" GYPSUM BOARD ON THE UNDERSIDE OF CEILING 3. 45 MIN. FIRE RATED 4. SOUND PROOF (MIN. 50 STC - 9.11.2.1 OBC)



1/A-1 EXISTING BASEMENT PLAN
SCALE: 1/100

**Dimensions are in metric

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW _____
- ISSUED FOR TENDER _____
- ISSUED FOR PERMIT _____
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.5.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR G. of A.	JAN. 20, 2020	F.C.
0	ISSUED FOR REVIEW	----	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY ON EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

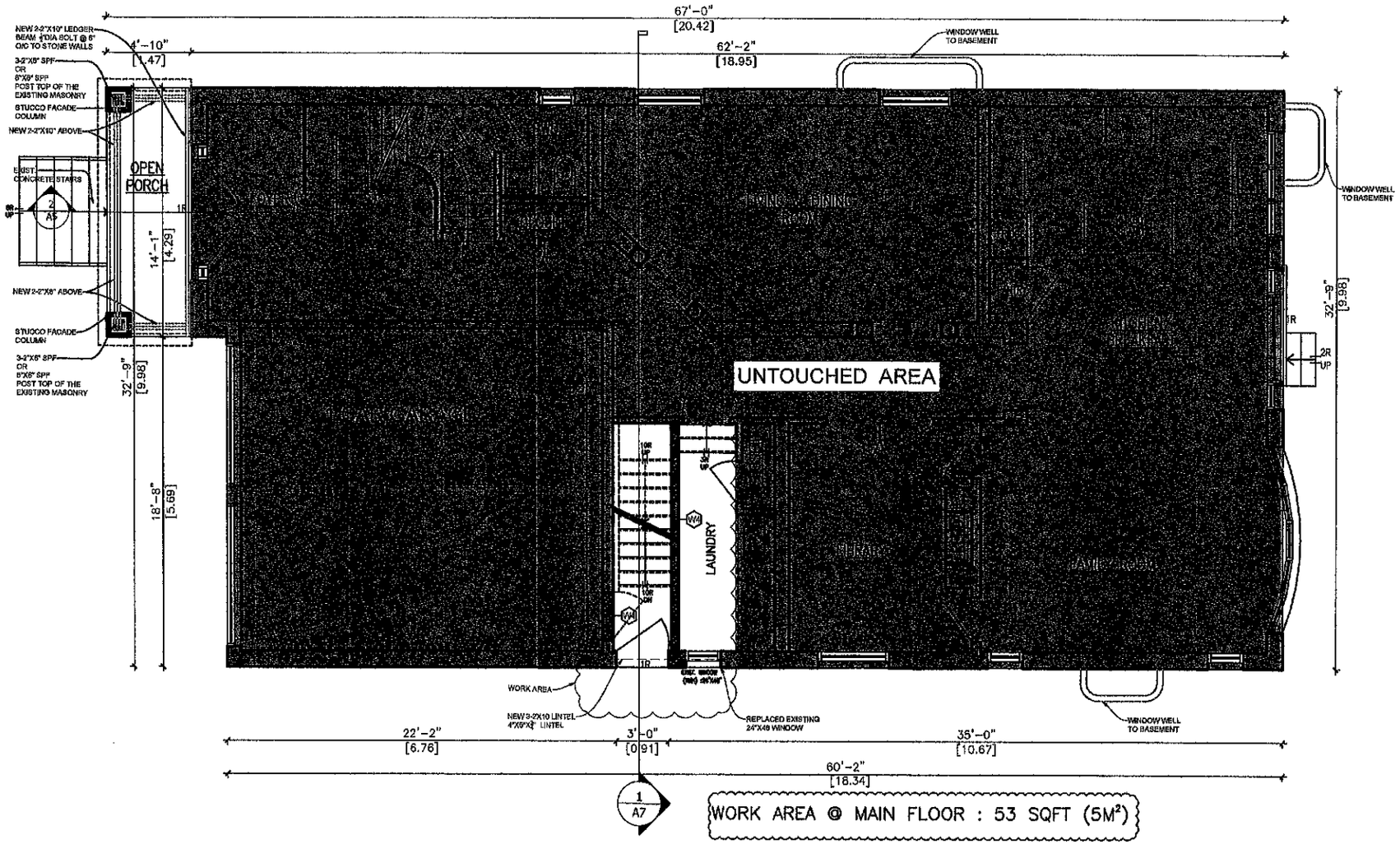
VAUGHAN, ONTARIO

SHEET TITLE
EXISTING BASEMENT PLAN

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

DWG. NO. A-1 REV. NO. 1



WORK AREA @ MAIN FLOOR : 53 SQFT (5M²)

1/A-2 EXISTING MAIN FLOOR PLAN

SCALE: 1/100

**Dimensions are in metric

Page 060

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW
- ISSUED FOR TENDER
- ISSUED FOR PERMIT
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.6.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR C. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW	—	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY ON EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

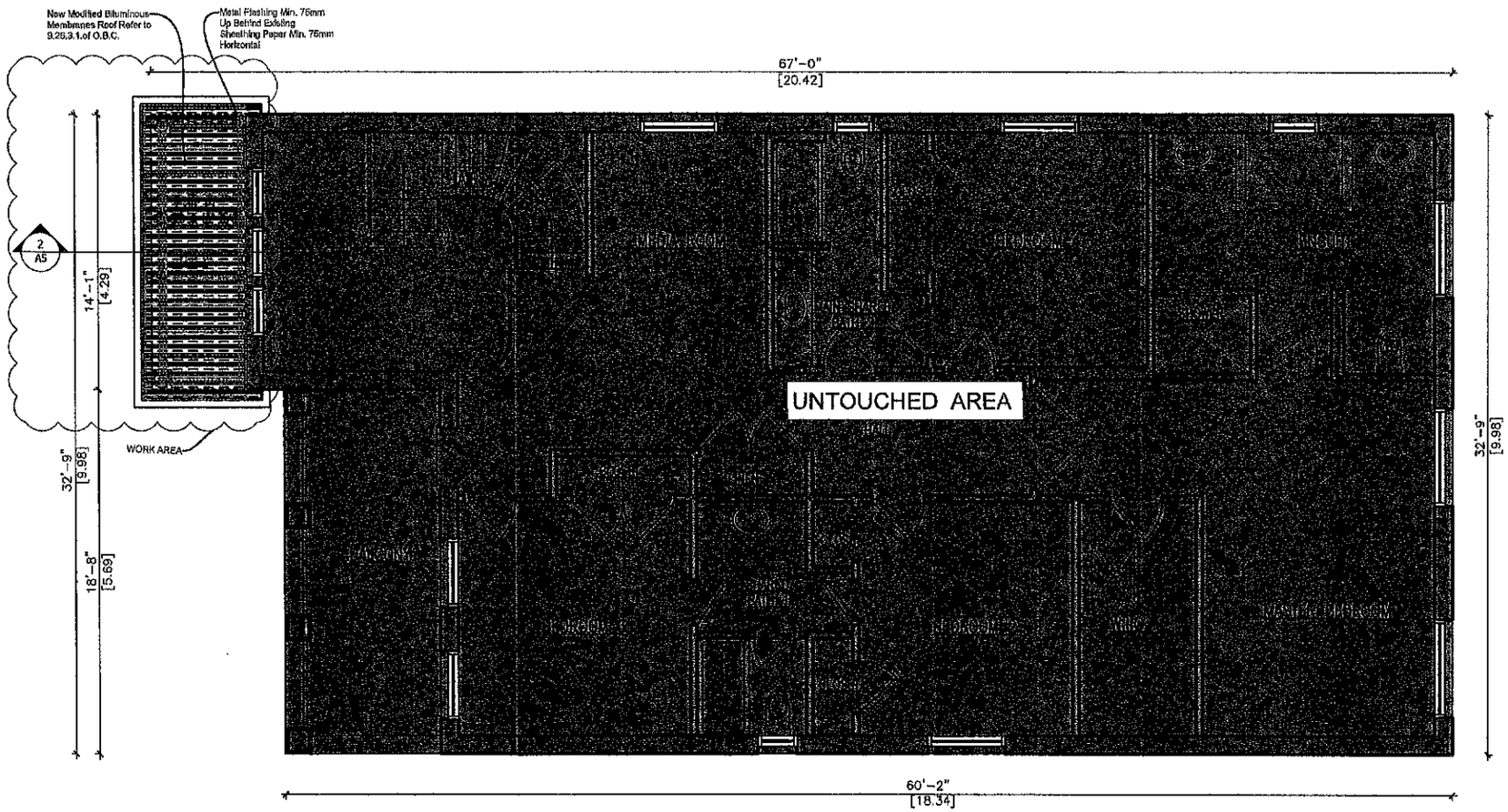
TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

VAUGHAN, ONTARIO

SHEET TITLE
EXISTING MAIN FLOOR PLAN

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	
PROJECT NO.	
DWG. NO.	A-2
REV. NO.	1



1 A-3 EXISTING SECOND FLOOR PLAN
SCALE: 1/100

**Dimensions are in metric

Page 061

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
  THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW _____
- ISSUED FOR TENDER _____
- ISSUED FOR PERMIT _____
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.5.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR G. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW	----	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT
TEVFIK AND ZUHRA'S RESIDENCE AT
157 HEADWIND BLVD
VAUGHAN, ONTARIO

SHEET TITLE
EXISTING SECOND FLOOR PLAN

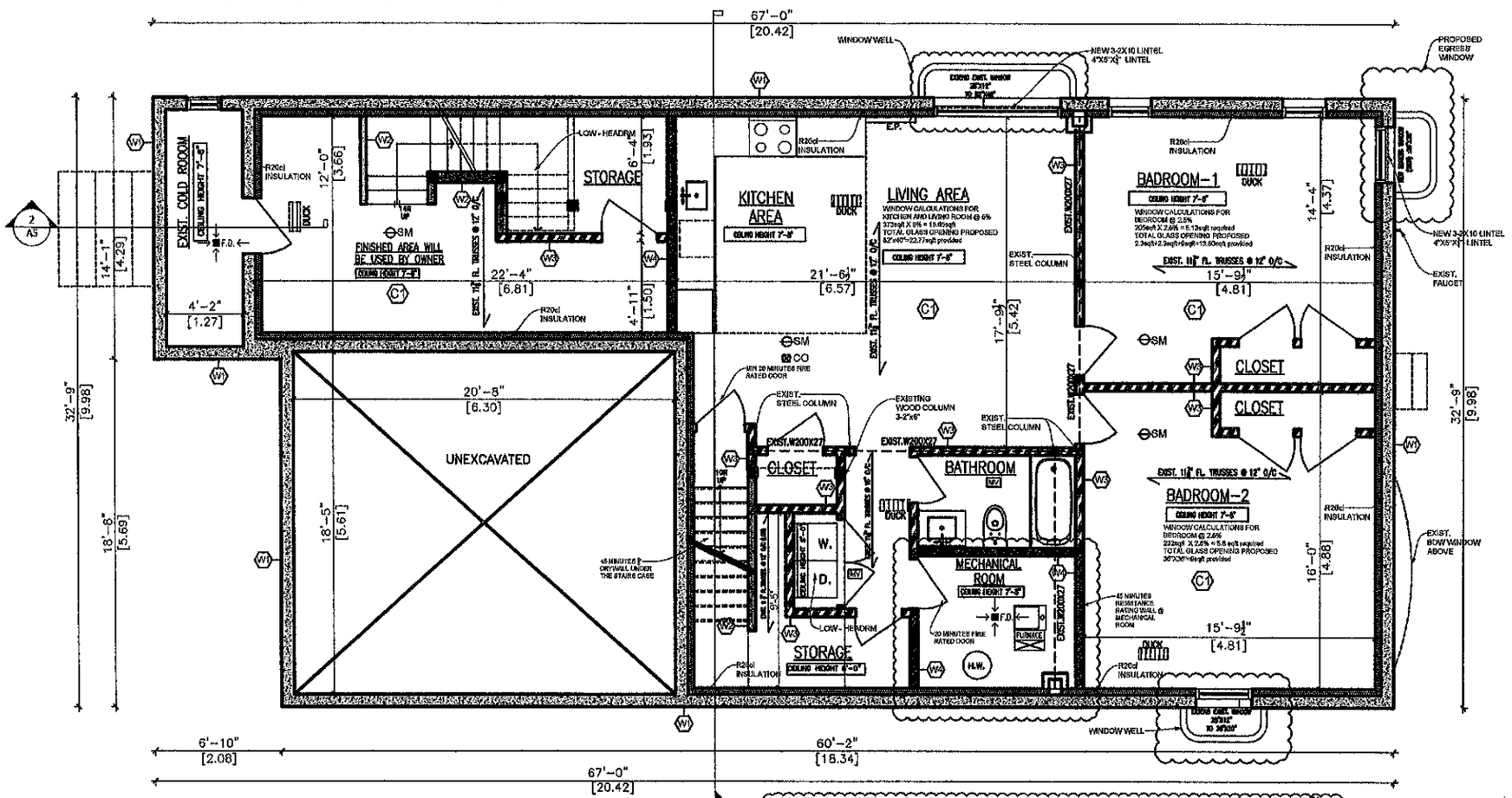
SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

DWG. NO. A-3 REV. NO. 1

WALL LEGEND

W1	EXTERIOR WALL : EXISTING CONCRETE WALL
W2	INTERIOR WALL : EXISTING PARTITION WALL
W3	INTERIOR WALL CONSTRUCTION : (PROPOSED) 1. ½" DRYWALL 2. 2" X 4" WOOD STUD @ 16" O.C. 3. ½" DRYWALL
W4	INTERIOR WALL CONSTRUCTION : (PROPOSED) 1. ½" DRYWALL 2. 2" X 4" WOOD STUD @ 16" O.C. 3. ½" DRYWALL 4. 45 Min. FIRE RATED
C1	1. EXISTING 11⅞" FL. TRUSSES @ 12" O/C 2. NEW 1 LAYER ½" TYPE "X" GYPSUM BOARD ON THE UNDERSIDE OF CEILING 3. 45 MIN. FIRE RATED 4. SOUND PROOF (MIN. 50 STC - 9.11.2.1 OBC)



WORK AREA @ BASEMENT : 1405 SQFT (130.5M²)
SECOND UNIT AREA @ BASEMENT: 1144SQFT (106.30M²)
31.4 % OF GROSS FLOOR AREA (GFA) OF MAIN DWELLING

PROPOSED BASEMENT PLAN

SCALE: 1/100

**Dimensions are in metric

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW _____
- ISSUED FOR TENDER _____
- ISSUED FOR PERMIT _____
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.8.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR G. of A.	JAN. 20, 2020	F.C.
0	ISSUED FOR REVIEW	------	

DO NOT SCALE DRAWINGS, THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

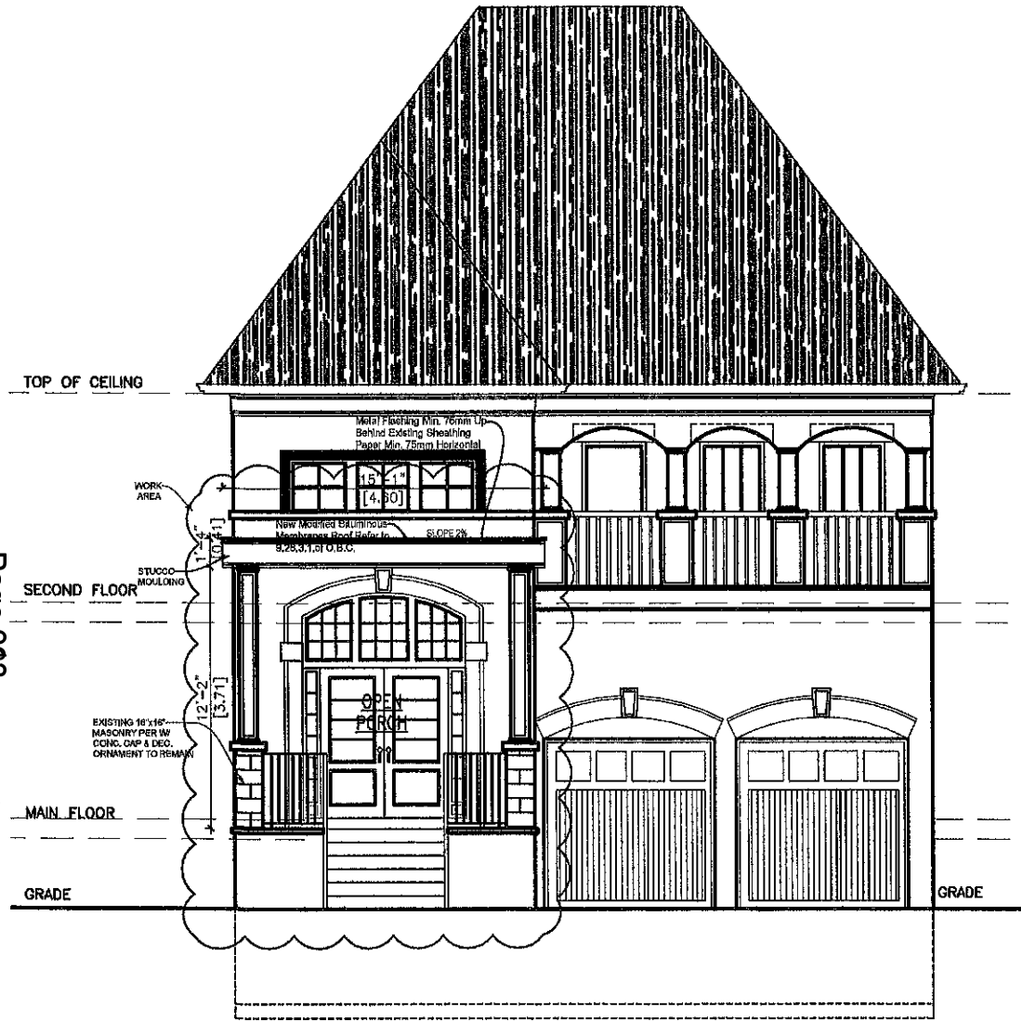
TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

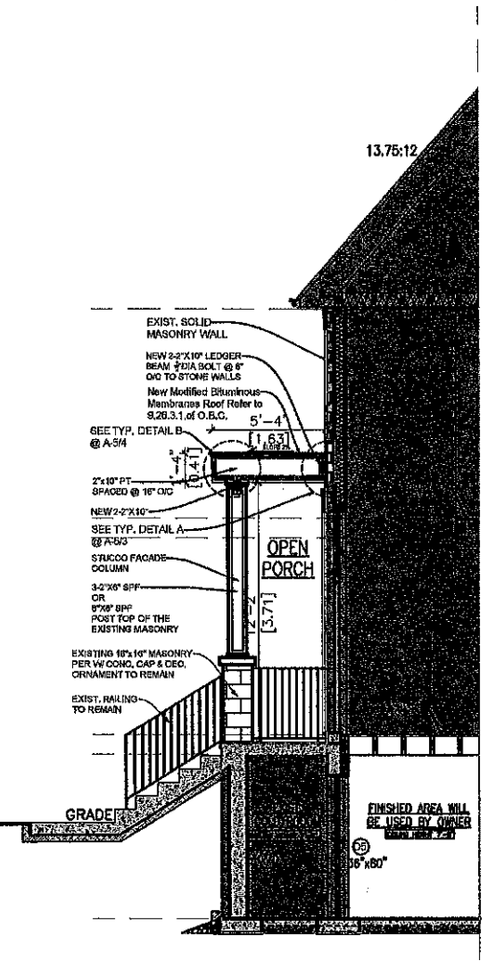
VAUGHAN, ONTARIO

SHEET TITLE
PROPOSED BASEMENT PLAN

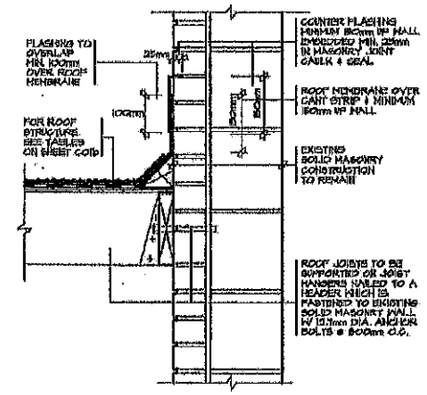
SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	
PROJECT NO.	
DWG. NO.	A-4
REV. NO.	1



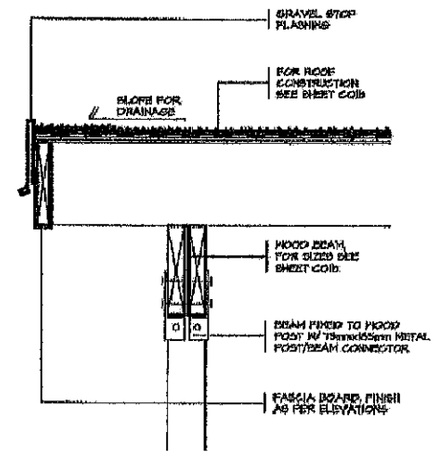
1/A-5 PROPOSED FRONT ELEVATION
SCALE: 1/100



2/A-5 PARTITION SECTION
SCALE: 1/100



3/A-5 TYPICAL DETAIL A
SCALE: N/S



4/A-5 TYPICAL DETAIL B
SCALE: N/S

**Dimensions are in metric

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
  THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ☐ ISSUED FOR REVIEW _____
- ☐ ISSUED FOR TENDER _____
- ☐ ISSUED FOR PERMIT _____
- ☐ ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE _____ DATE _____

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.5.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR C. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW	———	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

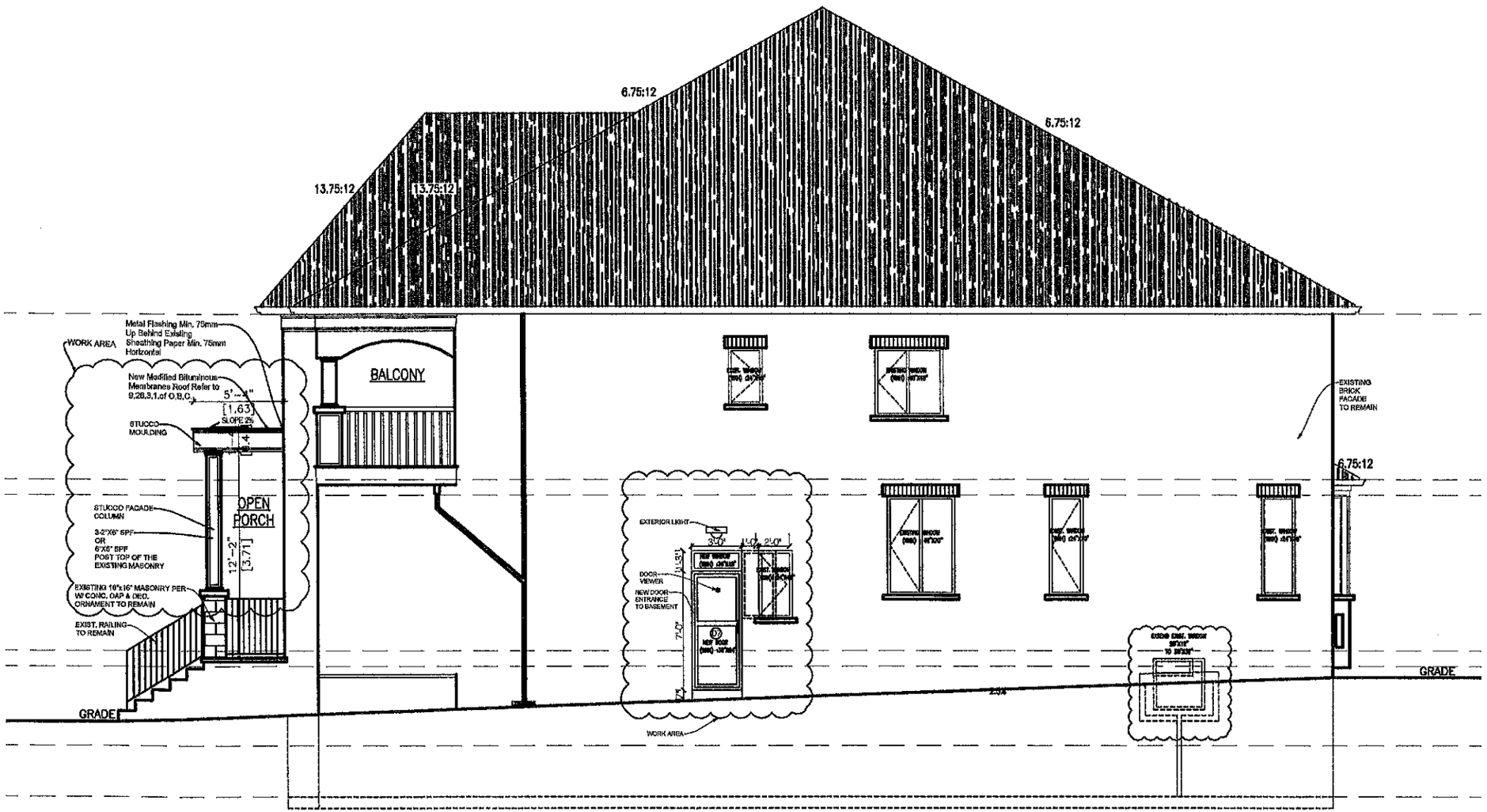
TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

VAUGHAN, ONTARIO

SHEET TITLE
PROPOSED FRONT ELEVATION & SECTION

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	
PROJECT NO.	
DWG. NO.	A-5
REV. NO.	1



WALL AREA	= 1279sqft
OPENINGS AREA	= 85sqft
OPENING PERCENTAGE	= 6.6%

1/A-6 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/100

**Dimensions are in metric

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW
- ISSUED FOR TENDER
- ISSUED FOR PERMIT
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.5.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.63 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR C. of A.	JAN. 20, 2020	F.C.
0	ISSUED FOR REVIEW	------	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

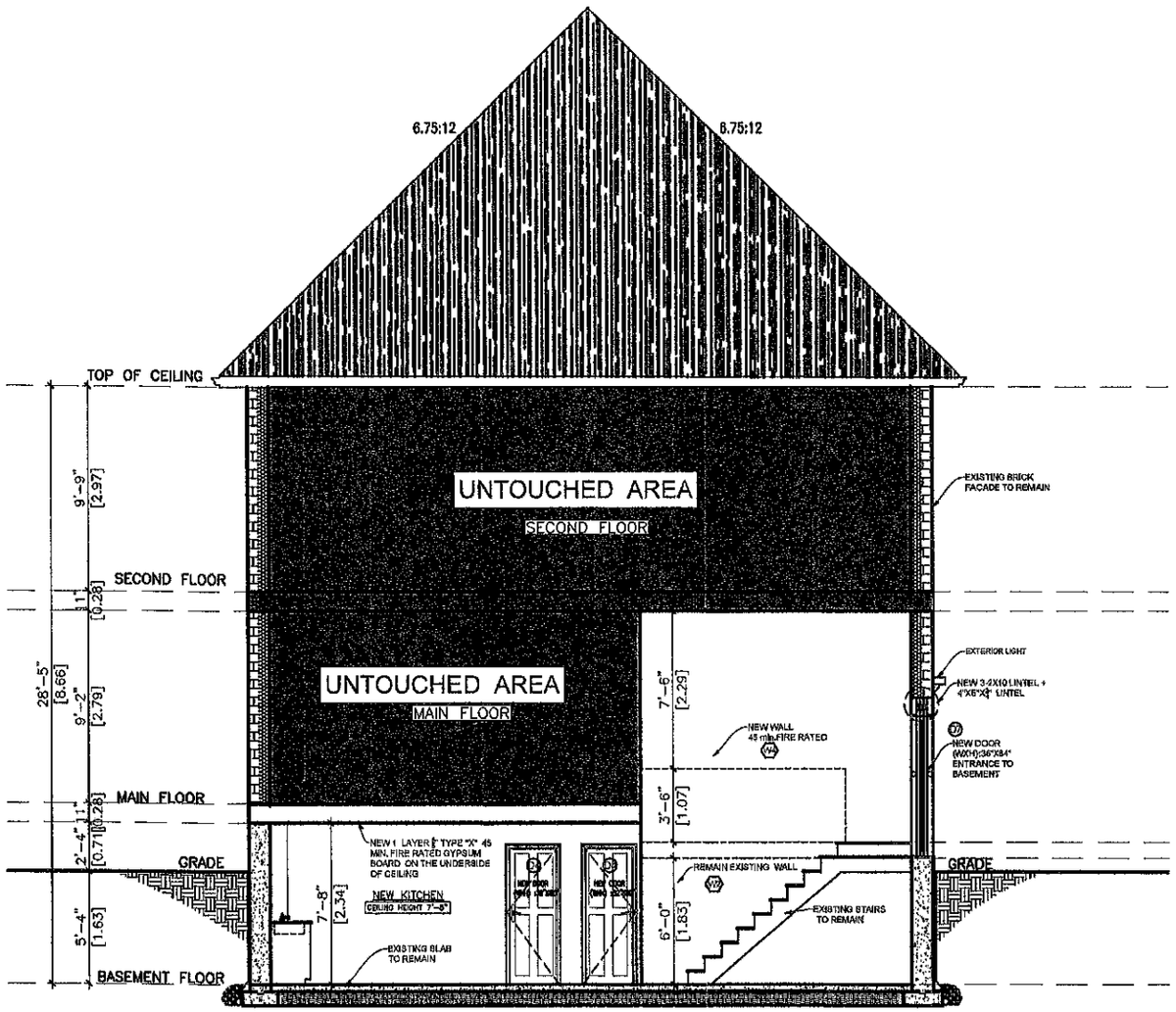
VAUGHAN, ONTARIO

SHEET TITLE
PROPOSED RIGHT ELEVATION

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

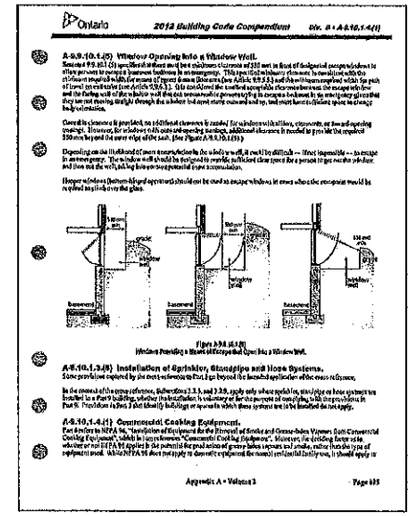
DWG. NO. A-6 REV. NO. 1



1/A-7 SECTION-1

SCALE: 1/100

**Dimensions are in metric



Ontario 2012 Building Code Compendium Div. B • A-9.10.1.4(1)

A-9.10.1.4(5) Window Opening Into a Window Well.

Section 9.9.10.1 (5) specifies that there must be a minimum clearance of 550 mm in front of the required casement window to allow persons to escape in a reasonable fashion in an emergency. This type of installation is acceptable with the window supplied with, for means of egress, dimensions (see Article 9.9.10.1) and the window supplied with the path of travel (as indicated in Article 9.9.10.1). Site conditions, the method of egress, the escape route from the window well and the fixing will of the window well do not necessarily permit fitting an escape ladder in the emergency situation. Thus, the window well should be designed to provide sufficient clear space for a person to get out the window and then out the well, including for experimental type accumulation.

Hopper windows (bottom-hinged operators) should not be used as escape windows in areas where the escapees would be required to climb over the glass.

Figure A-9.10.1.4(5)
Window Providing a Means of Emergency Egress Into a Window Well.

A-9.10.1.3.(8) Installation of Sprinkler, Standpipe and Hose Systems.

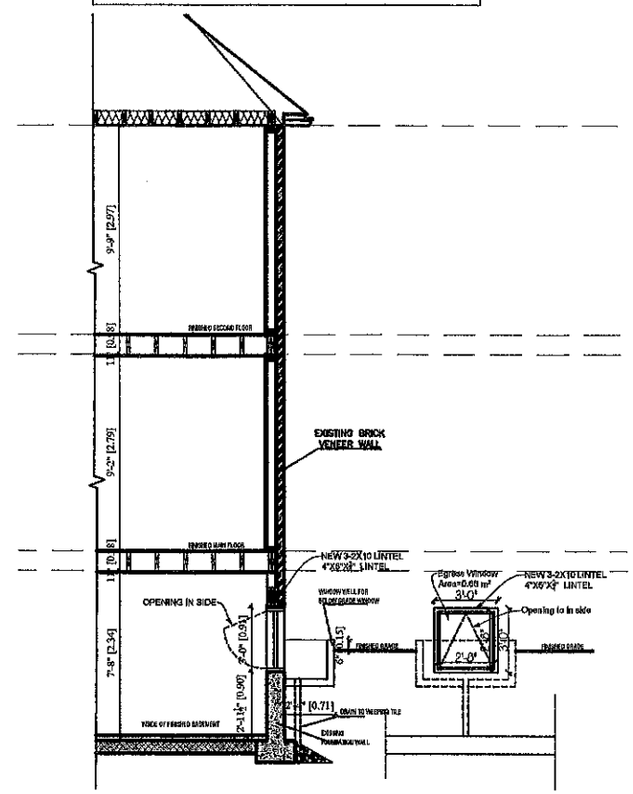
Some provisions contained in the cited references go to Part 3 or beyond the limited application of the cited reference.

In the context of the cited reference, Subsections 3.3.1. and 3.3.8. apply only where applicable, and plays or hose systems are installed in a Part 9 building, whether their installation is voluntary or for the purpose of meeting, with the provisions in Part 9. Provisions in Part 3 that identify buildings or areas in which these systems are to be installed do not apply.

A-9.10.1.4.(1) Commercial Cooking Equipment.

Part 6 refers to NFPA 96, "Ventilation of Equipment for the Removal of Smoke and Grease-laden Vapours, Gas Commercial Cooking Equipment", which is approximately "Commercial Cooking Equipment". However, the cooking factor is the whether or not NFPA 96 applies is the potential for the production of grease-laden vapours and smoke, rather than the type of equipment used. While NFPA 96 does not apply to domestic equipment for normal residential cooking, it should apply to

Appendix A • Volume 2 Page 105



2/A-7 EGRESS WINDOW SECTION

SCALE: 1/100

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW _____
- ISSUED FOR TENDER _____
- ISSUED FOR PERMIT _____
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.8.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR Q. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW	-------	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

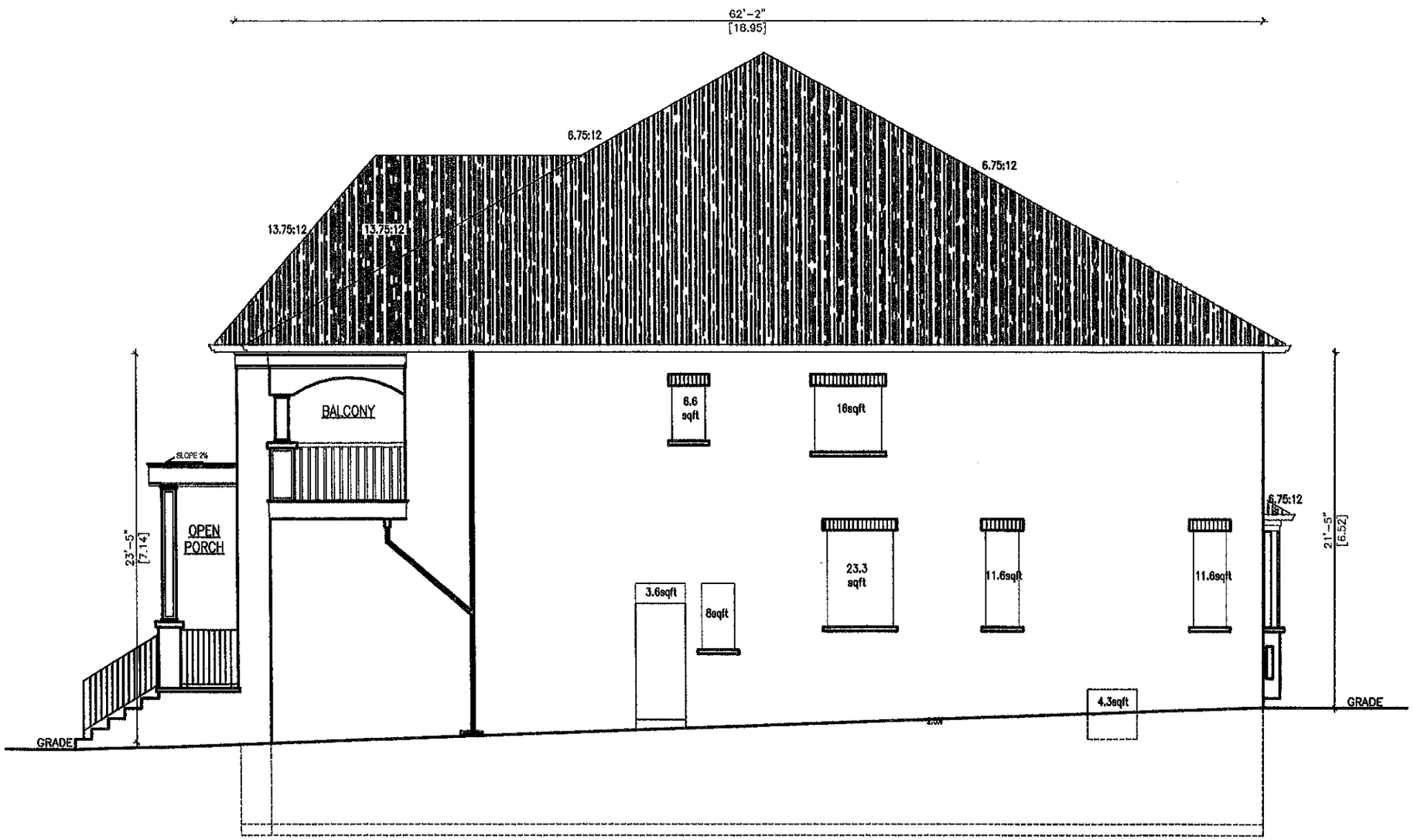
VAUGHAN, ONTARIO

SHEET TITLE
SECTION

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

DWG. NO. A-7 REV. NO. 1



WALL AREA	= 1279sqft
OPENINGS AREA	= 85sqft
OPENING PERCENTAGE	= 6.6%

1 / A-8 RIGHT SIDE OPENING CALCULATION
SCALE: 1/100

**Dimensions are in metric

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW
- ISSUED FOR TENDER
- ISSUED FOR PERMIT
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.9.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.63 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR O. of A.	JAN. 29, 2020	F.C.
0	ISSUED FOR REVIEW	------	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

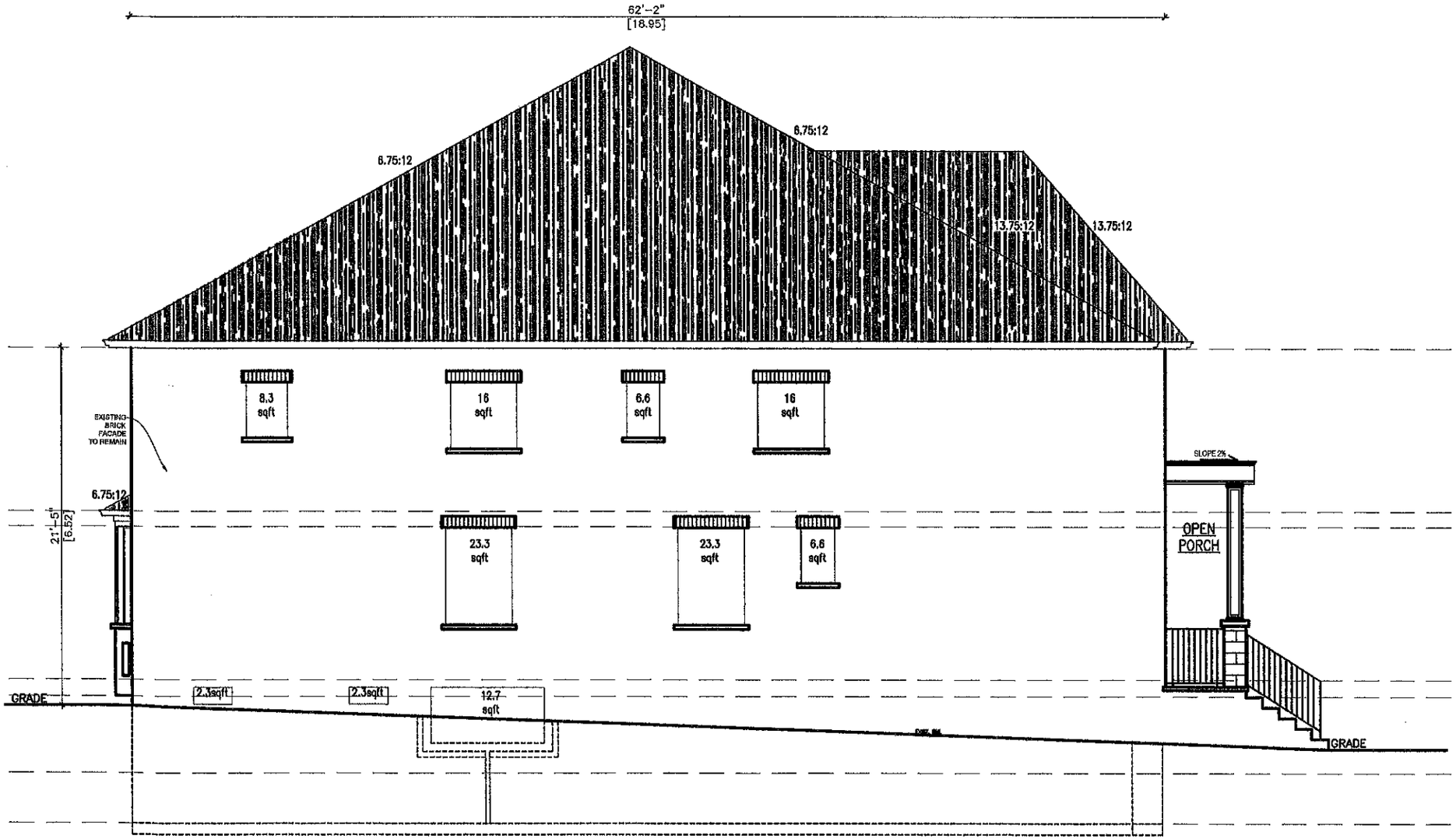
VAUGHAN, ONTARIO

SHEET TITLE
RIGHT SIDE OPENING CALCULATION

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

DWG. NO. A-8 REV. NO. 1



WALL AREA	= 1400sqft
OPENINGS AREA	= 117.4sqft
OPENING PERCENTAGE	= 8.4 %

1 / A-9 LEFT SIDE OPENING CALCULATION
SCALE: 1/100

**Dimensions are in metric

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW _____
- ISSUED FOR TENDER _____
- ISSUED FOR PERMIT _____
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE DATE

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.5.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR C. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW		

DO NOT SCALE DRAWINGS. THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT

TEVFIK AND ZUHRA'S RESIDENCE AT

157 HEADWIND BLVD

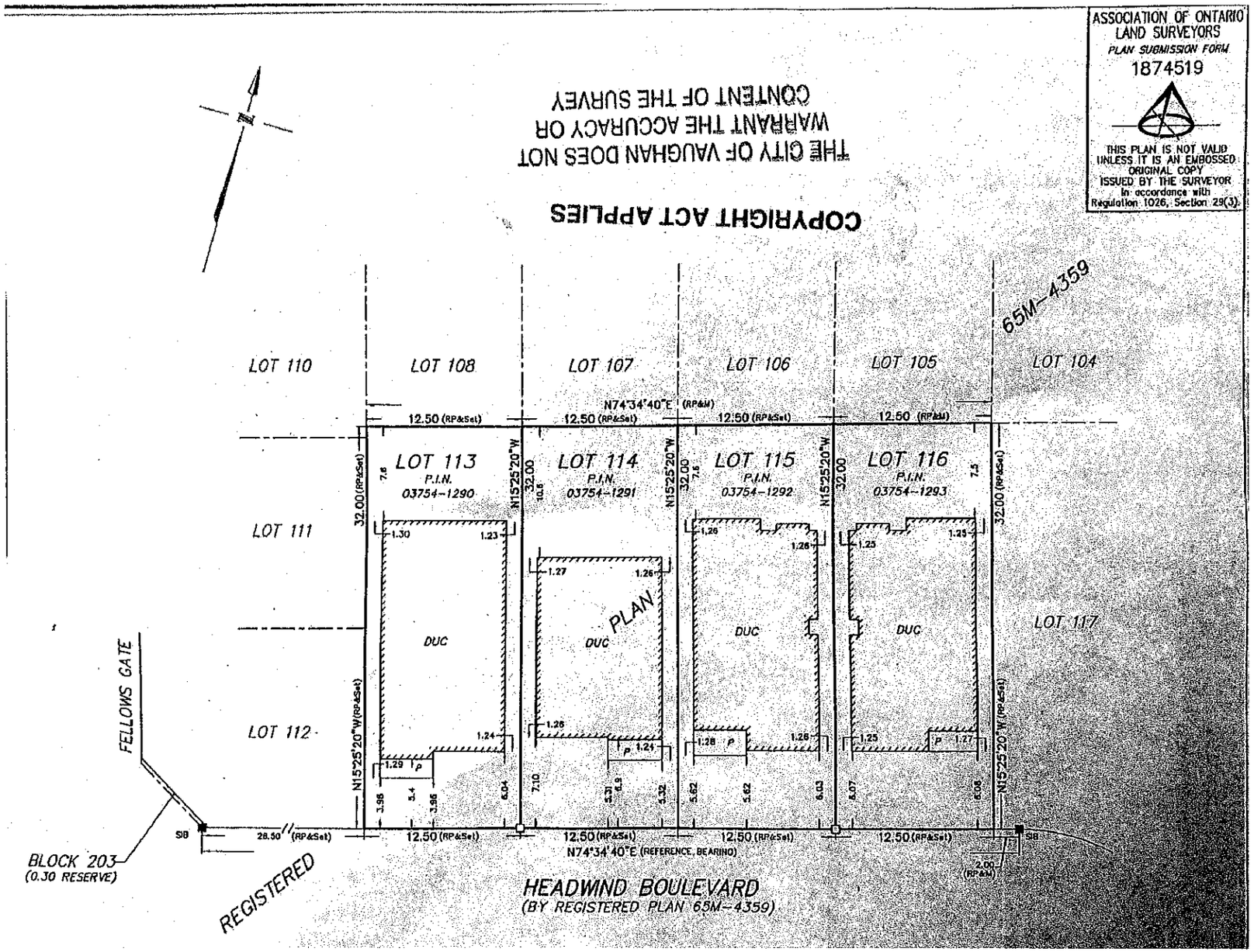
VAUGHAN, ONTARIO

SHEET TITLE
LEFT SIDE OPENING CALCULATION

SCALE	AS NOTED
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

DWG. NO. A-9 REV. NO. 1



1 SRV SURVEY

SCALE: N/S

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF CARE ENGINEERING OR CONSULTANTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT 1/4"=1'-0". REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CARE ENGINEERING IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATION, LEASE ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION.

- ISSUED FOR REVIEW _____
- ISSUED FOR TENDER _____
- ISSUED FOR PERMIT _____
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE _____ DATE _____

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:

DESIGN LOADS
From Table 2.0.1.1.(1) O.B.C.
Design Data For Selected Locations
(VAUGHAN, ONTARIO)

Snow = 1.1 KPa
Rain = 0.4 KPa
Hourly Wind Pressures
1/50 = 0.53 KPa

LIVE LOAD (ROOF) = 1.00 KPa
DEAD LOAD (ROOF) = 0.72 KPa
LIVE LOAD (FLOOR) = 1.92 KPa
DEAD LOAD (FLOOR) = 0.72 KPa

NO. REVISION	DESCRIPTION	DATE	BY
2			
1	ISSUED FOR C. of A.	JAN. 28, 2020	F.C.
0	ISSUED FOR REVIEW	—	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY ON EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.

PROJECT NORTH

PROJECT NAME
SECONDRY UNIT AT THE BASEMENT
TEVFIK AND ZUHRA'S RESIDENCE AT
157 HEADWIND BLVD
VAUGHAN, ONTARIO

SHEET TITLE
SURVEY 157 HEADWIND BLVD. LOT4

SCALE	N/S
DRAWN BY	F.C.
CHECKED BY	T.U.
DATE	JANUARY, 2020
FILE NAME	

PROJECT NO.

DWG. NO. SRV REV. NO. 1

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Letter of Objection - 153 Headwind Blvd

Attwala, Pravina

Subject: FW: [External] Minor Variance Application City File: A009/20 157 Headwind Blvd

-----Original Message-----
From: [redacted]
Sent: May-12-20 4:48 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] Minor Variance Application City File: A009/20 157 Headwind Blvd

I am writing in response to the application A009/20 for 157 Headwind Blvd for the relief of Zoning By-Law 1-88, request of side entrance construction.

My husband and I live at 153 Headwind Blvd and are directly next to 157. The letter we received earlier in March for this plan showed the entrance to be constructed on the side of 157 that is next to my house. We were planning to go to that meeting in March to oppose the construction but due to COVID-19, the meeting was cancelled.

My husband and I feel that the entrance will be too close to our house and property, as well as too close to our driveway. We do not want a side entrance so close to our house or driveway.

157 has many vehicles that visit their home, we are worried with the additional side entrance that vehicles visiting their home may use or drive onto our driveway.

We feel that if they want a side entrance, let them put it on the other side of their home as there is a fence on that side dividing their property from the neighbour's yard, not a home like on our side.

Also we do not want to construction noise, equipment, etc to interfere with our daily lives here on Headwind. At the moment, due to COVID-19, I am working from home, teaching remotely live classes several times a day for a private school and any disruption that would interfere with my job is not welcome.

Thank you and I hope that this email serves as a protest to the application made by 157 Headwind Blvd.

Patricia and Rogan De Freitas
153 Headwind Blvd.
L4H 4C7
[redacted]

Sent from my iPad

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Date:	February 12th , 2020
Attention:	**Christine Vigneault**
RE:	Request for Comments
File No.:	**A009-20**
Related Files:	
Applicant:	Tevfik & Zuhra Urkan
Location	157 Headwind Blvd

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A009/20 - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: February-20-20 11:30 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: RE: A009/20 - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment

Regards,

Gabrielle

Gabrielle Hurst | **MCIP, RPP**, Planning and Economic Development, Corporate Services
---
1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Staff Report Summary

Item # 15

Ward #2

File: A012/20

Applicant: Market Lane Holdings Inc.

Address: 166 Woodbridge Ave, Unit A, Woodbridge

Agent: Leonidas Woodbridge Inc

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department		
TRCA	☑	☑
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑ ☒	

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 15

A012/20

Ward: 2

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, May 28, 2020 at 6:00 p.m. **As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.** A live stream of the meeting is available at **Vaughan.ca/LiveCouncil** Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **cofa@vaughan.ca** To make an electronic deputation at the meeting please contactthe Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8504**. Ext. **8332** **Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.**
Agent:	Leonidas Woodbridge Inc
Property:	**166 Woodbridge Ave, Unit A, Woodbridge**
Zoning:	The subject lands are zoned RA2 9(1201) and subject to the provisions of Exception under By-law 1-88 as amended.
OP Designation:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Mixed-Use", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan
Related Files:	None
Purpose:	Relief from the By-law is being requested to permit an eating establishment within Unit A.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
In an RA2 Zone, an Easting Establishment is not a permitted use.	To permit the use of an Eating Establishment in Unit A.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 7, 2020.

Property Information	
Existing Structures	**Year Constructed**
Building	2006

Applicant has advised that they cannot comply with By-law for the following reason(s): Eating establishment use currently not permitted zoning by-law 1-88

Adjournment Request: None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 93-000567 for Retail Store Unit - ALTERATION (Wang), Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit. The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Mixed-Use", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan

The Owner is requesting permission to operate an eating establishment (café) within Unit A with the above-noted variance. The application would permit an eating establishment with a maximum gross floor area ('GFA') of 55.74m2, whereas an eating establishment is currently not permitted under the site-specific zoning by-law.

The property is zoned "RA2 Apartment Residential Zone" by Zoning By-law 1-88, subject to site specific exception 9(1201) which permits a maximum GFA of 578m2 of ground floor commercial space to be used for business and professional offices, a bank and/or financial institution, personal service shops and retail stores. Previously, Unit A was occupied by a retail store. Minor Variance File A082/08 was previously approved by the Committee of Adjustment, increasing the maximum GFA of ground floor commercial space to 700m2 through a conversion of two residential units.

The property is designated "Low-Rise Mixed-Use" within the Woodbridge Centre Secondary Plan of Vaughan Official Plan 2010 (VOP 2010, Section 11.11, Volume 2), which permits restaurants provided that they are located at grade level. The proposed eating establishment is located on the ground floor of the existing building. The proposed eating establishment use conforms to VOP 2010 and the City's draft comprehensive zoning by-law, which is intended to implement the policies of VOP 2010.

Accordingly, the Development Planning Department has no objection to permitting an eating establishment within Unit A as the proposed GFA is within the permitted maximum GFA of 700 m2, no additional parking is required, and the existing zoning permits a variety of other commercial uses on the ground floor. An eating establishment at grade level will activate the street and would be compatible with the broad range and mix of commercial uses currently existing along Woodbridge Avenue.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application, subject to a maximum GFA of 55.74 m2 as shown on the sketch provided.

Cultural Heritage (Urban Design):
No Response.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A012/20.

Parks, Forestry and Horticulture Operations: Prepared by: Patrick Courchesne
Forestry has no comments at this time, there is no significant vegetation within subject property.

By-Law and Compliance, Licensing and Permit Services:
No Response.

Financial Planning and Development Finance:
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Application Cover Letter
Public Correspondence (Letter of Opposition) – 160 Woodbridge Avenue, Unit 510
Public Correspondence (Letter of Opposition) – Addie Mattiace (Inkerman House)
Public Correspondence (Letter of Opposition) - 160 Woodbridge Avenue

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
MTO – Located outside of MTO permit control area
TRCA – comments with conditions

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	That the applicant provides the required fee amount of $1,100.00 payable to the Toronto and Region Conservation Authority.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

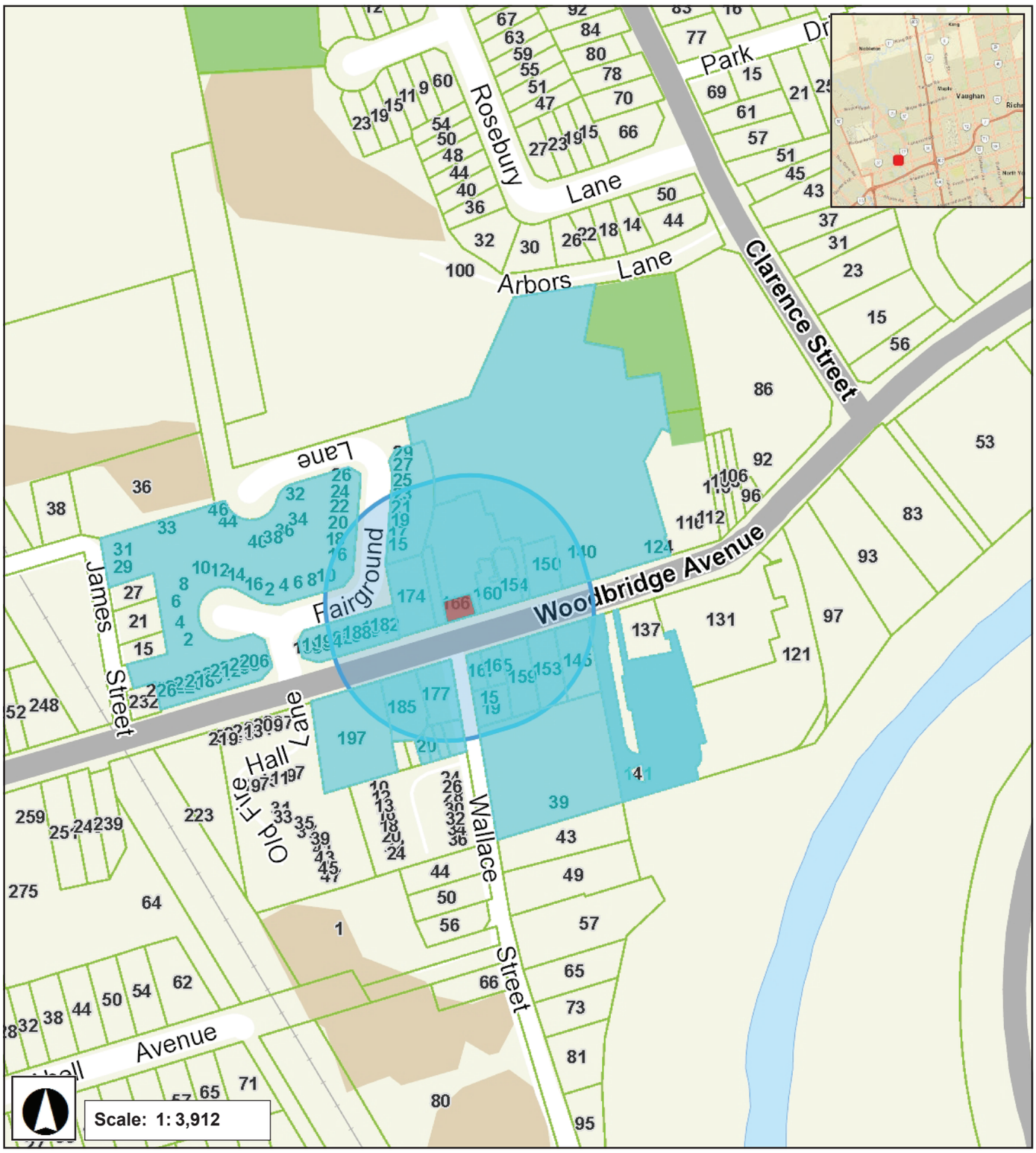
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

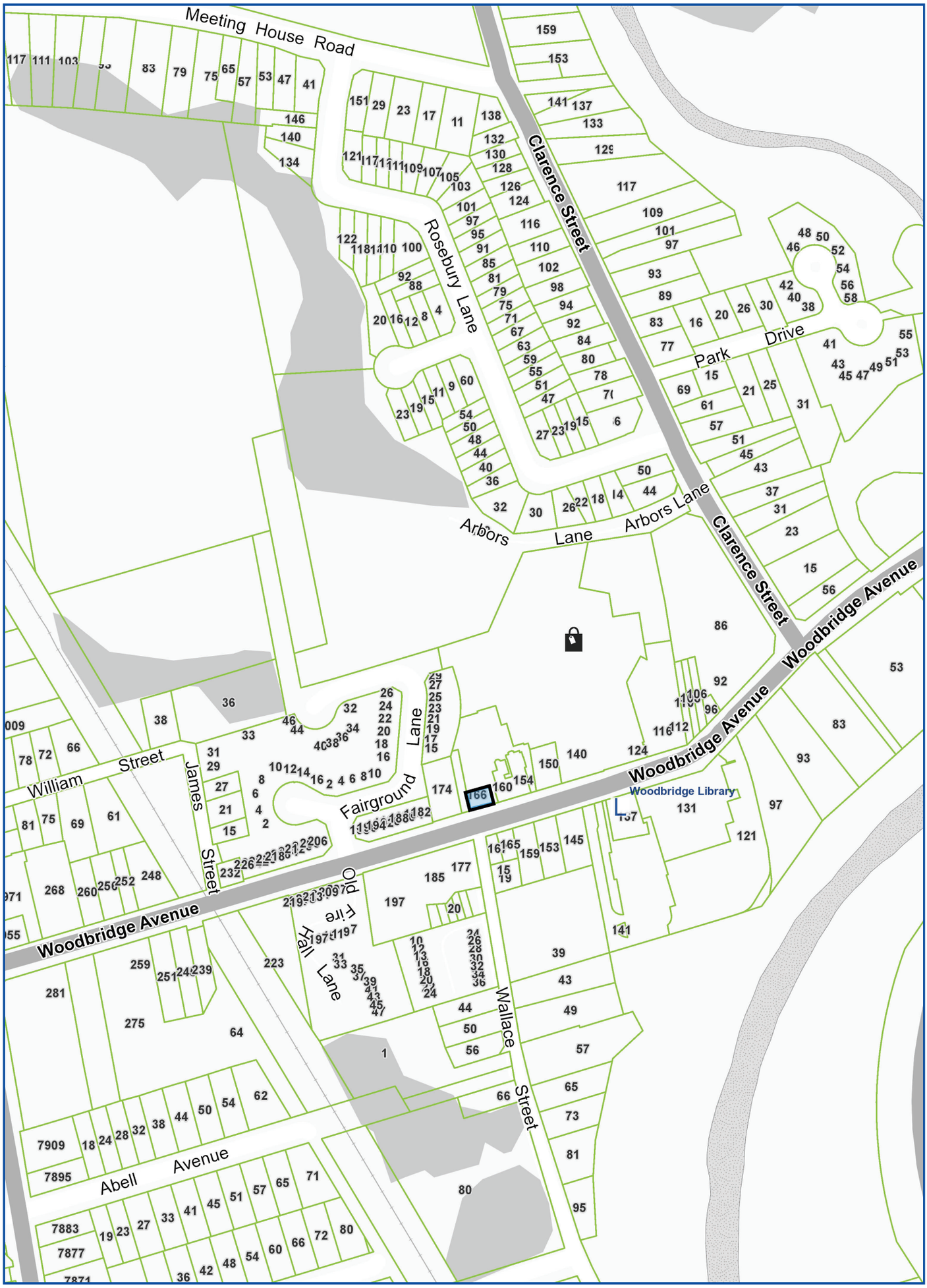
Location Map
Plans & Sketches

A012/20 - Notification Map

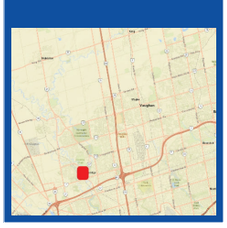
166 Woodbridge Avenue, Unit A, Woodbridge



March 3, 2020 11:00 AM



Map Information:



Title:

166 WOODBRIDGE AVENUE, WOODBRIDGE

LOCATION MAP - A012/20

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

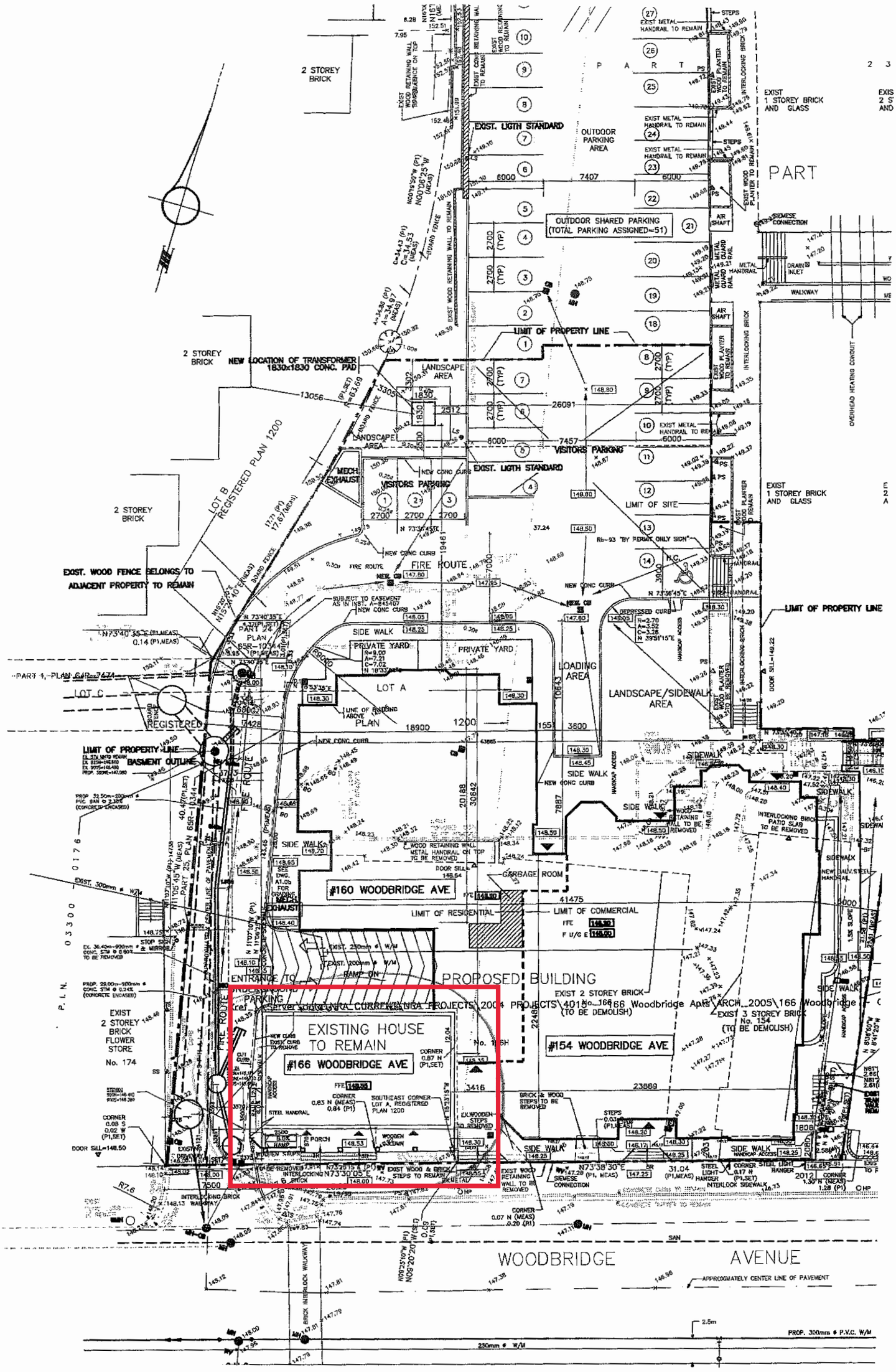
Scale: 1: 3,386
0 0.05 km

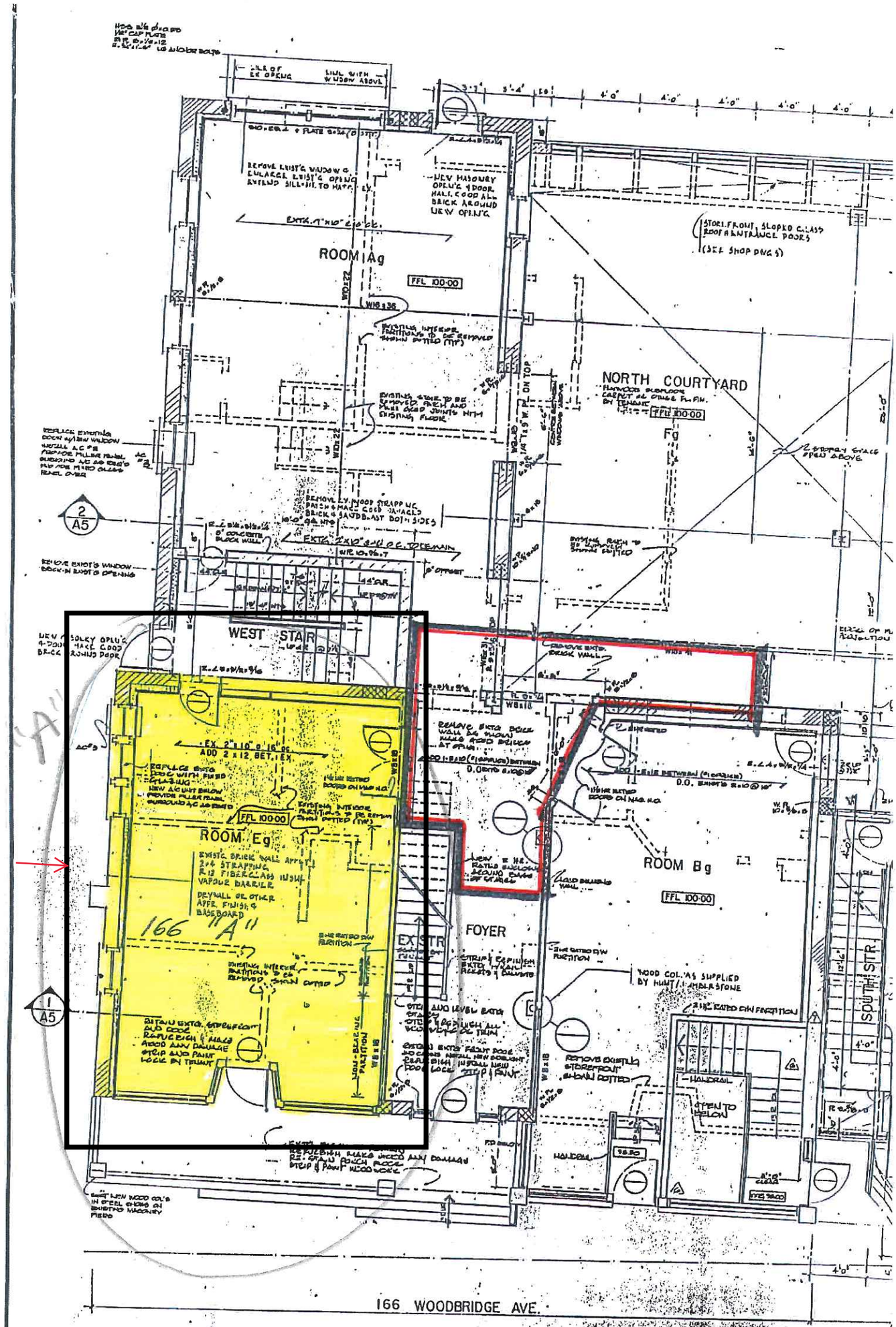
Created By:
Infrastructure Delivery Department
May 12, 2020 1:01 PM

Projection:
NAD 83
UTM Zone 17N

Proposal:
To permit the use of an Eating Establishment in Unit A.

A012/20

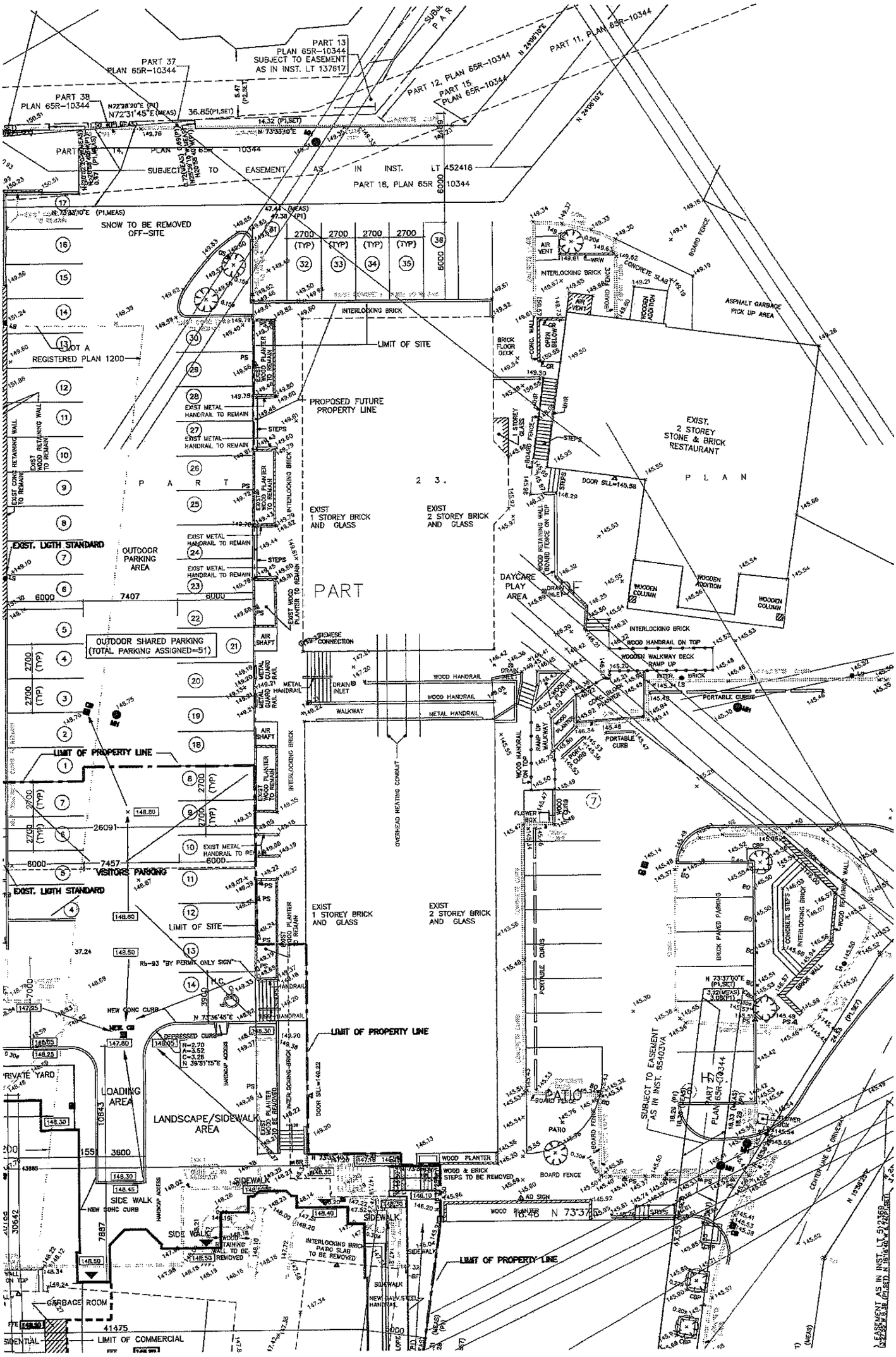




Unit A

To permit the use of an Eating Establishment in Unit A.

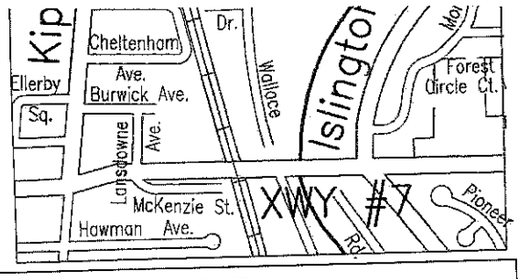
GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"
GROSS FLOOR AREA


PART 37 PLAN 65R-10344
PART 38 PLAN 65R-10344
PART 13 PLAN 65R-10344 SUBJECT TO EASEMENT AS IN INST. LT 137617
PART 12, PLAN 65R-10344
PART 15 PLAN 65R-10344
PART 11, PLAN 65R-10344
SUBJECT TO EASEMENT AS IN INST. LT 452418
PART 18, PLAN 65R 10344
SNOW TO BE REMOVED OFF-SITE
LOT A REGISTERED PLAN 1200
LIMIT OF SITE
PROPOSED FUTURE PROPERTY LINE
EXIST. 2 STOREY STONE & BRICK RESTAURANT
EXIST 1 STOREY BRICK AND GLASS
EXIST 2 STOREY BRICK AND GLASS
OUTDOOR PARKING AREA
OUTDOOR SHARED PARKING (TOTAL PARKING ASSIGNED=51)
DAYCARE PLAY AREA
ASPHALT GARBAGE PICK UP AREA
LIMIT OF PROPERTY LINE
VISITORS PARKING
EXIST. LIGTH STANDARD
LOADING AREA
LANDSCAPE/SIDEWALK AREA
PATIO
GARBAGE ROOM
LIMIT OF COMMERCIAL

DESCRIPTION

SURVEY OF
, B AND C
N 1200

N
PALITY OF YORK
HE VILLAGE OF WOODBRIDGE,
)



SITE DATA

LOT AREA	2,977.35 SM	32,047.9 SF
TOTAL BLDG. AREA COVERAGE	1,153.22 SM	38 %
TOTAL GROSS FL. AREA COVERAGE	6,653.02 SM	225 %

BUILDING AREA	EXIST	PROPOSED	TOTAL
GROUND FLOOR	144 SM	1,040.22 SM (INCLUDING 570.36 SM BANK)	1,184.22 SM
SECOND FLOOR	144 SM	1,085.43 SM	1,229.43 SM
THIRD FLOOR	0	1,083.77 SM	1,083.77 SM
FOURTH FLOOR	0	1,086.90 SM	1,086.90 SM
FIFTH FLOOR	0	1,084.25 SM	1,084.25 SM
SIXTH FLOOR	0	1,051.30 SM	1,051.30 SM
TOTAL AREA (TOTAL AREA WITHOUT BANK = 5,861.51 SM)	288 SM	6,431.87 SM	6,719.87 SM

	PROPOSED	TOTAL
GROUND FLOOR BANK (GROUPE D)	570.36 SM	570.36 SM
UNDERGROUND PARKING (SPRINKLER)	2,291.12 SM	

RESIDENTIAL UNITS

BLDG.	1 BED.	2 BED.	TOTAL
GROUND FL.	0	2	2
2ND FLOOR	7	4	11
3RD FLOOR	7	5	11
4TH FLOOR	7	4	11
5TH FLOOR	7	4	11
6TH FLOOR	6	4	10
TOTAL UNITS	33	23	56 UINTS

RESIDENTIAL DENSITY

UNITS / ha 188 UNITS / acre 76

PARKING:

PARKING REQUIRED (AS PER BY-LAW 1-88)

RESIDENTIAL PARKING (1.75 PER UNIT) — 98
COMMERCIAL PARKING (6 @ 100SQM.) — 35
TOTAL PARKING REQUIRED — 133

PARKING PROVIDED (AS PER BY-LAW # 221-2004)

SURFACE STALLS ON PROPOSED PROPERTY — 14
SURFACE STALLS OFF SITE PROPOSED PROPERTY — 36
(MUST BE RESERVED FOR PROPOSED DEVELOPMENT)
PROPOSED UNDER GROUND PARKING — 57
TOTAL PARKING PROVIDED 107

PAVED AREA	933.8 SM
LANDSCAPE AREA	890.33 SM

LOADING SPACES	REQUIRED	PROVIDED
RESIDENTIAL	1	1
COMMERCIAL	0	0

AMENITY AREA:

GROUND FLOOR:	
LANDSCAPE AREA (INCLUDING 2 PRIVATE YARD, 52.20 SQM.)	890.33 SQ.M
RECREATION ROOM AT GRD. FLR.	72.0 SQ.M
SUBTOTAL GRD. FLR.	962.33 SQ.M
SECOND FLOOR: BALCONIES	92.65 SQ.M
THIRD FLOOR: BALCONIES	122.05 SQ.M
FOURTH FLOOR: BALCONIES	97.90 SQ.M
FIFTH FLOOR: BALCONIES	103.75 SQ.M
SIXTH FLOOR: BALCONIES	142.62 SQ.M
ROOF: GARDENING AT ROOF	198.40 SQ.M

HED GRADE
S OR PLANTING
(SEE SITE PLAN)

450

AREA 2

UNDED

NTED 150mm DIA.
EEL PIPE CONC. FILLED

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL SIGNED "APPROVED FOR CONSTRUCTION" BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF NINO RICO INC. ARCHITECT AND SHALL NOT BE USED FOR ANY PURPOSE WITHOUT APPROVAL BY THE ARCHITECT.

YORK REGION STANDARD
CONDOMINIUM PLAN NO._____
PART 3
SHEET 1 OF 17 SHEETS

NO.	DATE	ISSUE OR REVISION
16	OCT. 19, 09	AS-BUILT DWG's
15	OCT. 23, 06	REVISED SITE DATA RE UNITS
14	OCT. 11, 06	REVISED SITE DATA RE UNITS
13	JULY 20, 06	RE-ISSUED FOR SITE PLAN APPR.
12	JUNE 23 06	3RD ISSUE FOR TENDER
11	JUNE 06 06	2ND ISSUE FOR TENDER
10	JUNE 02, 06	REVISED BSMT. OUTLINE
9	MAY 15, 06	ISSUED FOR BUILDING PERMIT
8	APR 11 06	RE-SUBMIT SITE PLAN APPROVAL
7	FEB 24 06	FIRST ISSUE FOR TENDER
6	FEB 07 06	RE-SUBMIT SITE PLAN APPROVAL
5	JAN 20 06	REVISED BLDG OUTLINE
4	DEC 21 05	REVISED BASED ON CITY COMMENTS
3	DEC 07 05	REVISED BASED ON CITY COMMENTS
2	OCT 05 05	ISSUED FOR SITE PLAN APPROVAL
1	FEB 07 05	ISSUED FOR SITE PLAN APPROVAL

CLIENT:

MARKET LANE HOLDINGS LIMITED

Drawing Approved For: Client Review

ONTARIO ASSOCIATION OF ARCHITECTS
GAETANO NINO RICO
LICENCE
3567

Permit

Construction

BCDN 3181

PROJECT NAME :

THE GRAND MANOR BY MARKET LANE
AS-BUILT

154-160-166 WOODBRIDGE AVE
VAUGHAN, ONTARIO

SCALE: 1 : 250

DRAWING TITLE :

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Application Cover Letter
Public Correspondence (Letter of Opposition) – 160 Woodbridge Avenue, Unit 510
Public Correspondence (Letter of Opposition) – Addie Mattiace (Inkerman House)
Public Correspondence (Letter of Opposition) - 160 Woodbridge Avenue

A012/20

January 20, 2020

HAND DELIVERED

Christine Vigneault
Secretary-Treasurer
City of Vaughan Committee of Adjustment
2141 Major MacKenzie Drive
Vaughan, ON L6A 1T1

Dear Ms. Vigneault:

Re: Minor Variance Application
166 Woodbridge Avenue, Unit A, City of Vaughan

Leonidas Woodbridge Inc. ("**Leonidas**") has entered into a lease agreement, in respect of Unit A, with Market Lane Holdings Inc., the owner of lands municipally referred to as 166 Woodbridge Avenue (the **"subject site"**), in the City of Vaughan (the **"City"**). The subject site is legally referred to Part of Lot 7, Concession 7. Unit "A" is approximately 600 (55.74 square metres) and Leonidas is proposing to use this unit for an eating establishment.

The subject site, formerly locally known as the Inkerman Hotel, was subject to a redevelopment application approved by the City in 2006. The subject site was part of a larger redevelopment parcel which included the surrounding lands. On February 13, 2006, City Council approved Site-specific Zoning By-law 48-2006, resulting in the site's current zoning permission of RA2 (Apartment Residential), under Zoning By-law 1-88, subject to Exception Number 9(1201).

Leonidas applied for a Zoning Search For Municipal License Clearance (the "**Zoning Search**"), on November 7, 2019 and was advised that the intended use is not permitted(copy of the Zoning Search is attached). As such, we are submitting an application for minor variance (the "**Minor Variance Application**") seeking a minor variance to permit the "eating establishment", which is defined by the City's Zoning By-law 1-88 to mean:

" *a building or place where food and drink are prepared and offered for sale and served at the same table or counter where the food and drink are ordered and are to be consumed. Such establishment may include an outdoor patio as an accessory use thereto and may offer limited take-out and delivery services. Accessory billiard tables shall not be permitted within 300 metres of a public or private school.*"

In this particular instance, while the Minor Variance Application is seeking permission for an eating establishment (as determined by the Zoning Search), there will be no cooking facilities on the premises. Rather, the eating establishment, while containing 4 tables accommodating

upwards to 16 patrons, will offer limited foods confined to chocolates, ice cream and coffee, functioning in a traditional European style cafe. Other than internal tenant improvements, no external building changes are necessary.

Based on the existing zoning, one parking space is required for every 4 persons comprised in the designated maximum capacity or 16.0 parking spaces per 100 square metres of gross floor area, whichever is greater. In this particular layout, a minim of 4 parking spaces to a maximum of approximately 8-9 parking spaces will be required.

OFFICIAL PLAN AND ZONING

The subject site is designated Low Rise Mixed-Use within the Woodbridge Centre Secondary Plan. Restaurants are permitted under the existing in-force Secondary Plan.

As mentioned above, the subject site is zoned RA2 (Apartment Residential), under Zoning By-law 1-88, subject to Exception Number 9(1201), copy attached. Beyond permitting the existing 6-storey building with the ground floor commercial, Exception 9(1201) limits the commercial uses of the subject site to business and professional offices, bank and/or financial institution, personal service shop and retail stores.

Of further significance is Section (ai) of Exception 9(1201) which provides the following:

"a minimum of 106 parking spaces shall be required, of which implement the Official Plan and accurately reflect the intent of policy direction under one consolidated, streamlined Zoning By-law shown as "Other Lands Owned by the Applicant" (Market Lane on Schedule "E"-1327".

These off-site parking spaces were subsequent secured, for the permanent benefit of the subject lands, through the condominium approval process and registered agreements, with the approval and support of the City.

Finally, the City of Vaughan is undertaking a City-wide comprehensive review of its Zoning By-law that aims to create a progressive By-law with updated, contemporary uses and standards. This review, as reported on the City's website states:

"*The City's Official Plan is in place to help shape the future of Vaughan and guide its continued transformation into a vibrant and sustainable city of the future. The new Zoning By-law will implement the Official Plan and accurately reflect the intent of policy direction under one consolidated, streamlined Zoning By-law*".

Under the emerging zoning, the site is proposed to be WMS (Main Street Mixed Use – Woodbridge) where a restaurant will be a permitted use. The new proposed Zoning By-law requires a minimum of 2.7 to a maximum of 10 parking spaces for a restaurant use.

This Minor Variance Application meets the four tests for minor variances established in Section 45(1) of the *Planning Act,* and specifically:

Maintains the general intent and purpose of the Official Plan

The subject site is located in the built-up area of the City where a wide-range of commercial uses exists to serve the residents and commuting public. Moreover, the Low Rise Mixed-Use within the Woodbridge Centre Secondary Plan permits a restaurant use. The intent of the Minor Variance Application is to capture and implement the vision of the existing Official Plan.

As such, the proposed minor variance meets the general intent and purpose of the Official Plan.

Maintains the general intent and purpose of the Zoning By-law

As indicated above, while the proposed use is not permitted under the existing zoning, it will become a recognized as-of-right use under the emerging zoning, which as stated by the City will "*implement the Official Plan and accurately reflect the intent of policy direction under one consolidated, streamlined Zoning By-law*"

In terms of parking, based on both the existing and emerging zoning, a supply in the range of a minimum of 2.7 to a maximum of 10 parking spaces are required. As provided in Exception Number 9(1201), the 36 secured off-site parking spaces on the Market Lane lands are more than sufficient for the intended use, including for all other existing uses on the subject lands.

In our opinion, the minor variance to permit an eating establishment continues to meet the general intent of the Zoning By-law.

Is desirable for the appropriate development of the subject lands

The proposed eating establishment will become a permitted by the new proposed Zoning By-law and will comply with all zoning requirements, including parking. These types of uses currently exist within the Woodbridge area and offer a small town urban feeling experience. The eating establishment of the nature proposed (chocolate/ice cream store and cafe) represents a compatible and complimentary use in respect of surrounding and committed land use without any negative off-site impacts both in terms of parking, vehicular and pedestrian access.

As such, it is our opinion that Minor Variance Application represents a desirable and appropriate development of the subject site.

Is minor in nature

It our submission, the requested minor variance is minor in nature for much of the same reasons cited above. The existing in-force Zoning By-law permits a variety of commercial uses (business and professional offices, bank and/or financial institution, personal service shop and retains stores) which generate similar traffic and parking demands. To the extent the Zoning By-law does not permit an eating establishment, the new emerging zoning will provide for that and bring the zoning into conformity with the Official Plan. Nevertheless, the Committee is being provided the opportunity to assess the request on the basis of the specifics related to the subject site. It is our belief that the permission sought herein has no on or off-site associated impacts. The existing site layout will not require any alterations and the parking supply will meet or exceed that which is required for zoning purposes. In our view, the requested variance is therefore minor in nature.

SUBMISSION REQUIREMENTS

In accordance with the Town's submission requirements listed in the application form, the following materials are submitted in support of the Minor Variance Application herein:

1. One (1) original copy of the completed and signed application form;
2. Application fee in the amount of $3,460.00, payable to the Treasurer, City of Vaughan,
3. One (1) copy of the existing site plan;
4. One (1) copy of the survey;
5. One (1) copy of Zoning Search; and,
6. One (1) copy of Exception Number 9(1201).

We trust that the enclosed documentation is sufficient for the Committee to proceed with this Minor Variance Application. If you have any comments or concerns, please do not hesitate to contact the undersigned.

Yours truly,

Sasa Petkovic (Leonidas Woodbridge Inc)

Encl.

MacPherson, Adriana

Subject: FW: Restaurant at 166 Woodbridge Ave - A012/20

-----Original Message-----
From: Sabrina D <[redacted]>
Sent: Tuesday, March 24, 2020 9:25 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] Restaurant at 166 Woodbridge Ave

To whom it may concern,
I am writing as a concerned homeowner of 160 Woodbridge Ave. I have heard that there may be plans of opening up a restaurant in a tiny adjacent space at 166 Woodbridge Ave. I strongly object to this as it is a safety hazard and will disrupt our quality of life with unwanted odours, noise, volume of people, limited parking, and of course fire hazards. I do not see how it can be a suitable space for such a hectic type of business. Please take this into consideration, as there are many elderly who live in the building as well.
Sincerely,
Sabrina Di Biase

MacPherson, Adriana

Subject: FW: [External] Fwd: 166 Woodbridge Avenue (Inkerman House) Minor Variance Application A012/20

From: Addie Mattiace Real Estate <[redacted]
Sent: March-17-20 4:44 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Cc: Addie Mattiace <[redacted]
Subject: [External] Fwd: 166 Woodbridge Avenue (Inkerman House) Minor Variance Application A012/20

Hello,

My family and I live in the adjacent property at 166 Woodbridge Avenue (Inkerman House) and have objections with regards to a restaurant being opened there due to the risk of fire, the odours, noise levels, increase in garbage and increase in demand for parking which is already a significant problem.

Kind regards,

Adelaide (Addie) Mattiace, BCom
[redacted]

---------- Forwarded message ---------
From: **Addie Mattiace Real Estate** <[redacted]>
Date: Tue., Mar. 17, 2020, 4:24 p.m.
Subject: 166 Woodbridge Avenue (Inkerman House) Minor Variance Application A012/20
To: <CoA@vaughan.ca>

Hello,

My family and I live adjacent to the above property and wish to express my concern with their request to open a restaurant in that space. Our concerns are the risk of fire, the noise levels, garbage and the odours commonly associated with restaurants.

Kind regards,

Adelaide (Addie) Mattiace, BCom
[redacted]

Attwala, Pravina

Subject: FW: [External] 166 Woodbridge Ave. restaurant proposal

---

From: ENNIO & JUDY PESCHIUTTA
Sent: Friday, March 13, 2020 4:08 PM
To: Committee of Adjustment <CofA@vaughan.ca>; David Pal
Subject: [External] 166 Woodbridge Ave. restaurant proposal

To whom it may concern,

Please note that we in unit 510, 160 Woodbridge ave. do not want a restaurant attached to our condo building. We feel it is neither sanitary nor should it be permitted.

Please accept this submission of concern.

Thank you for your time and consideration;
Judy and Ennio Peschiutta

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
TRCA – comments with conditions

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: A012/20 - Request for Comments

From: Guida, Diana <Diana.Guida@york.ca>
Sent: February-25-20 2:05 PM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Cc: Providence, Lenore <Lenore.Providence@vaughan.ca>
Subject: [External] RE: A012/20 - Request for Comments

Hi Adriana,

The Regional Municipality of York has completed its review of the above minor variance application and has no comment.

Thank you,

Diana Guida | **Planning Assistant**

Planning and Economic Development Branch, Corporate Services Dept.

The Regional Municipality of York| 17250 Yonge Street | Newmarket, ON L3Y 6Z1
O: 1-877-464-9675 ext. 71550 | diana.guida@york.ca | www.york.ca

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

March 4, 2020 CFN 62574.06

BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A012/20
166 Woodbridge Avenue, Unit A
Part of Lot 7 Concession 7
City of Vaughan
Applicant: Market Lane Holding Inc.

This letter will acknowledge receipt of the above noted application on February 19, 2020. Toronto and Region Conservation Authority (TRCA) staff reviewed the application and offer the following comments.

Background

It is our understanding that the purpose of the above-noted application is to request the following variance:

1. To permit the use of an Eating Establishment in Unit A.

Applicable Policies and Regulations

Ontario Regulation 166/06:
The subject property is located within TRCA's Regulated Area of the Humber River Watershed, and is located within the valley corridor associated with the Main Humber River. Under Ontario Regulation 166/06, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected. In this regard, TRCA must be contacted prior to any works taking place in the Regulated Area.

Living City Policies (LCP):
The Living Policies for Planning and Development in the Watersheds of the Toronto and Region Conservation Authority (LCP) describes a 'Natural System' made up of natural features and areas, water resources, natural hazards, potential natural cover and/or buffers. The LCP recommends that development not be permitted within the Natural System and that it be conveyed into public ownership for its long-term protection and enhancement. The LCP also provides policies for developing adjacent to, and in, the Natural System (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. These policies also seek to integrate the natural and built environments, maximizing opportunities for ecosystem services from across the entire landscape. It is these policies that guide TRCA's review of the subject application, along with those found in other Provincial and municipal plans, documents and guidelines.

Application Specific Comments
As noted above, the subject property is located within TRCA's Regulated Area, since it is located within the valley corridor associated with the Main Humber River. The subject property is not located within the hazardous area. As such, the current proposal will not impact any natural features or associated hazards and TRCA's policy interests are not affected; therefore, TRCA staff have no concern regarding the proposed variance.

Fees
By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a $1,100.00 (Variance-Commercial-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations
Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A012/20 subject to the following condition:

1. That the applicant provides the required fee amount of $1,100.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,

Hamedeh Razavi
Planner I
Development Planning and Permits

HR/jb
Cc: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Di Febo, Michael <Michael.DiFebo@vaughan.ca>

Staff Report Summary

Item 16

Ward 2

File: A022/20

Applicant: Conair Consumer Products

Address: 100 Conair Pkwy Woodbridge

Agent: ZZen Group

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	☑
Cultural Heritage (Urban Design)		
Development Engineering	☑	☑
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance	☑	
Financial Planning & Development	☑	☑
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 16

A022/20

Ward: 2

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, May 28, 2020 at 6:00 p.m. **As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.** A live stream of the meeting is available at **Vaughan.ca/LiveCouncil** Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **cofa@vaughan.ca** To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8585**. Ext. **8332.** **Written comments and public deputation requests must bereceived by noon on the last business day before the meeting.**
Applicant:	Conair Consumer Products
Agent:	ZZen Group
Property:	**100 Conair Pkwy Woodbridge**
Zoning:	The subject lands are zoned EM1 9(1256) and subject to the provisions of Exception under By-law 1-88 as amended.
OP Designation:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment Area", subject to Area Specific Policy 12.12 Huntington Business Park
Related Files:	Development Application DA.06.042 & Part Lot Control PLC.20.001
Purpose:	Relief from the by-law is being requested to facilitate a division of the subject land through Part Lot Control Application PLC.20.001.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 12.0 metres is required.	1. To permit a minimum rear yard setback of 7.5 metres.
2. The definition of a "LOT" shall be complied with.	2. For the purposes of zoning conformity, the subject lands known as Part 4 of Block 2 Plan 65M 3992 and Block 1 Plan 65M 3992, shall be deemed to be one lot regardless of the creation of a new lot by way of condominium, part-lot control, consent or any easements, or other rights or registrations given or made.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 13, 2020

Applicant confirmed posting of signage on May 1, 2020

Property Information	
Existing Structures	**Year Constructed**
Industrial Building	2007 (Lands purchased 2006)

Applicant has advised that they cannot comply with By-law for the following reason(s): The front lot line is considered as New Enterprise Way making the rear lot line the newly created severance line at 7.5m to the building. The load area is on the north side of building with a setback of approx. 42 metres and therefore 7.5m is sufficient to accommodate parking and driveway aisle. Also, to provide sufficient rear yard to newly created parcel.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 20-000172 for Warehouse Use Unit - Interior Unit Alteration, Issue Date: (Not Yet Issued).

Easements and agreements may be required on the lots for shared access and parking purposes.

The existing building may require further review at a later date to ensure compliance with the by-law after the proposed site changes have been submitted for Site Plan Approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "General Employment Area", subject to Area Specific Policy 12.12 Huntington Business Park

The Owner is requesting the above-noted variances to facilitate property line changes on the subject lands, as proposed through Part Lot Control Application PLC.20.001.

Variance #1 is considered minor in nature as the reduced rear yard is the result of the adjusted property line and maintains the required driveway access and parking along the west property line abutting Part 1 and 3 on the sketch provided. Variance #2 is also minor in nature as the variance permits the entirety of the subject lands to function as one lot for purposes of zoning conformity and will not have any physical impacts to neighbouring properties.

Accordingly, the Development Planning Department has no objection to the proposal and is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application, subject to the following condition(s):

If the Committee finds merit in the application, the following conditions of approval are recommended:

That the Owner of the land shall make an Application to Annex Restrictive Covenants S118 of the Land Titles Act for the registration of a restriction that no transfer or charge of the described lands being Block 1 and Part of Block 2, Plan 65M-3992 (municipally known as 100 Conair Parkway) shall be registered without the written consent of the Corporation of the City of Vaughan.

Development Engineering:
The Development Engineering (DE) Department has reviewed the minor variance application and has identified with the new property line setback to be reduced from 12.0m to 7.5m, it has re-located the service connection of the existing building of 100 Conair Parkway to be located outside of the property limits of the site. After further review, the Development Engineering (DE) Department does not object to variance application A022/20 subject to the following condition(s):

1. The Owner shall arrange to prepare and register a reference plan at their expense showing all required easements for mutual service connections within the proposed severed parcel to the west, all to the satisfaction of DE. The Owner shall submit a draft reference plan to DE for review prior to deposit.

2. The Owner shall provide proof of mutual servicing via transfer of easements (Draft LRO transfers) between the retained and severed parcel of land as described within Part Lot Control Application PLC.20.001. Transfer of easements shall be accompanied with detailed easement descriptions which shall include warning clauses for current and future landowners to confirm acceptance of the risks as noted below for shared servicing:

   • Potential blockages to the common lateral connections within the municipal right-of-way could impact internal private sewer connections for both parcels; • Operational risk or legal liability as a result of flooding and property damage due to potential blockages to the common lateral connections within the municipal right-of-way; • Potential issues with the enforcement of sewer-use bylaw (e.g. sampling, etc.)

   Clearance of the above noted condition shall be subject to final easement registration on the lands for both the retained and severed parcels pursuant to Part Lot Control Application PLC.20.001

3. The Owner/applicant shall submit the Grading Plan, Servicing Plan, and all Engineering reports in support of the proposed shared services within the submitted Draft Reference Plan for Block 2, Registered Plan 65M-3992 prepared by, Shaeffer Dzalbov Bennet LTD, to the satisfaction of the Development Engineering (DE) Department.

Parks, Forestry and Horticulture Operations:
Forestry has no comments at this time.

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns.

Financial Planning and Development Finance:
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

The following condition is recommended:

The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Application cover letter

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Brandon Bell 905-832-8585 x 8112 brandon.bell@vaughan.ca	That the Owner of the land shall make an Application to Annex Restrictive Covenants S118 of the Land Titles Act for the registration of a restriction that no transfer or charge of the described lands being Block 1 and Part of Block 2, Plan 65M-3992 (municipally known as 100 Conair Parkway) shall be registered without the written consent of the Corporation of the City of Vaughan.
2	Development Engineering Jason Pham 905-832-8585 x 8716 Jason.pham@vaughan.ca	1. The Owner shall arrange to prepare and register a reference plan at their expense showing all required easements for mutual service connections within the proposed severed parcel to the west, all to the satisfaction of DE. The Owner shall submit a draft reference plan to DE for review prior to deposit. 2. The Owner shall provide proof of mutual servicing via transfer of easements (Draft LRO transfers) between the retained and severed parcel of land as described within Part Lot Control Application PLC.20.001. Transfer of easements shall be accompanied with detailed easement descriptions which shall include warning clauses for current and future landowners to confirm acceptance of the risks as noted below for shared servicing: • Potential blockages to the common lateral connections within the municipal right-of-way could impact internal private sewer connections for both parcels; • Operational risk or legal liability as a result of flooding and property damage due to potential blockages to the common lateral connections within the municipal right-of-way; • Potential issues with the enforcement of sewer-use bylaw (e.g. sampling, etc.) Clearance of the above noted condition shall be subject to final easement registration on the lands for both the retained and severed parcels pursuant to Part Lot Control Application PLC.20.001 3. The Owner/applicant shall submit the Grading Plan, Servicing Plan, and all Engineering reports in support of the proposed shared services within the submitted Draft Reference Plan for Block 2, Registered Plan 65M-3992 prepared by, Shaeffer Dzalbov Bennet LTD, to the satisfaction of the Development Engineering (DE) Department.
3	Development Finance Nelson Pereira 905-832-8585 x 8393 nelson.pereira@vaughan.ca	The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

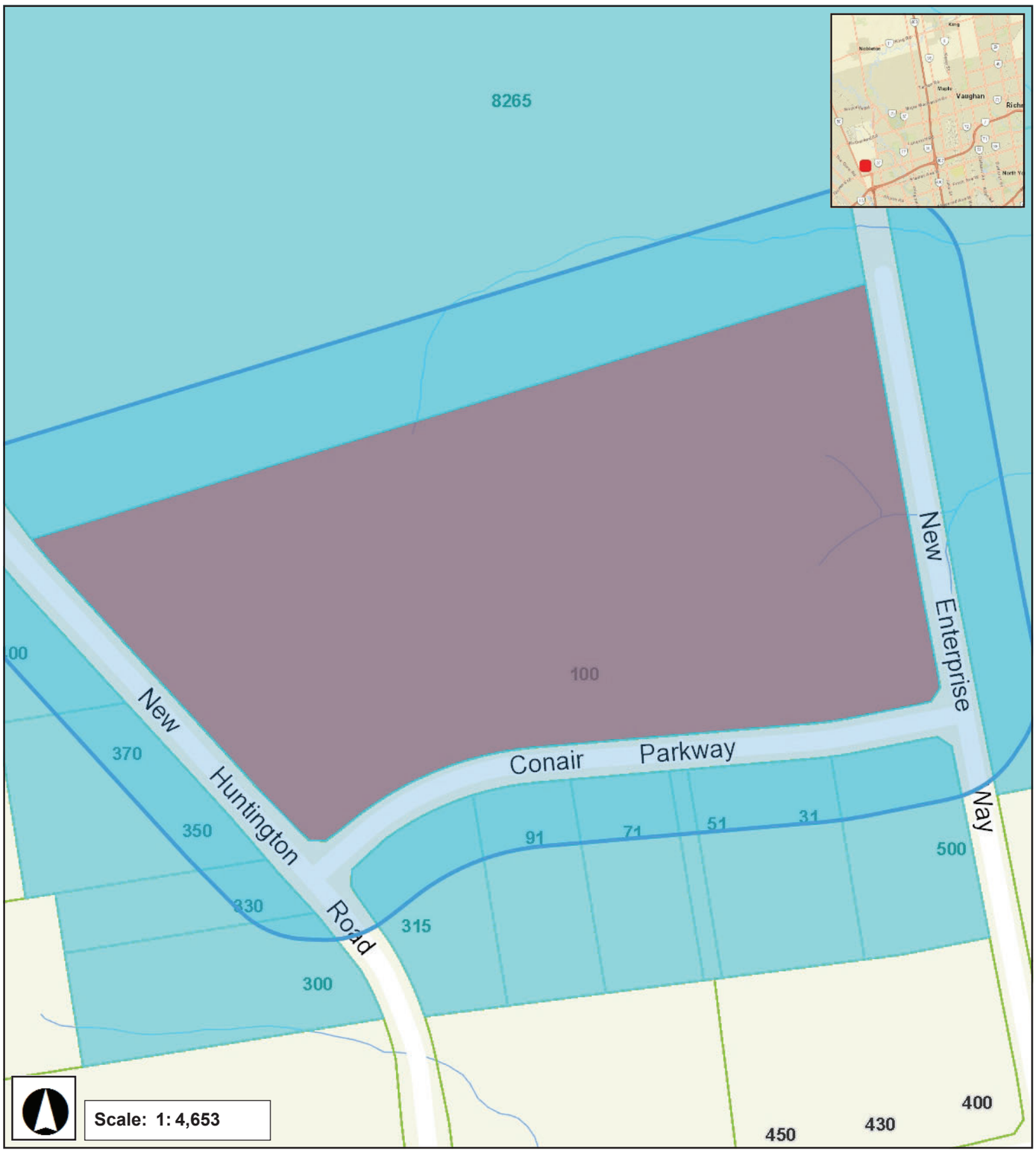
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches

LOCATION MAP - A022/20

100 CONAIR PARKWAY, WOODBRIDGE

Langstaff Road



Huntington Road

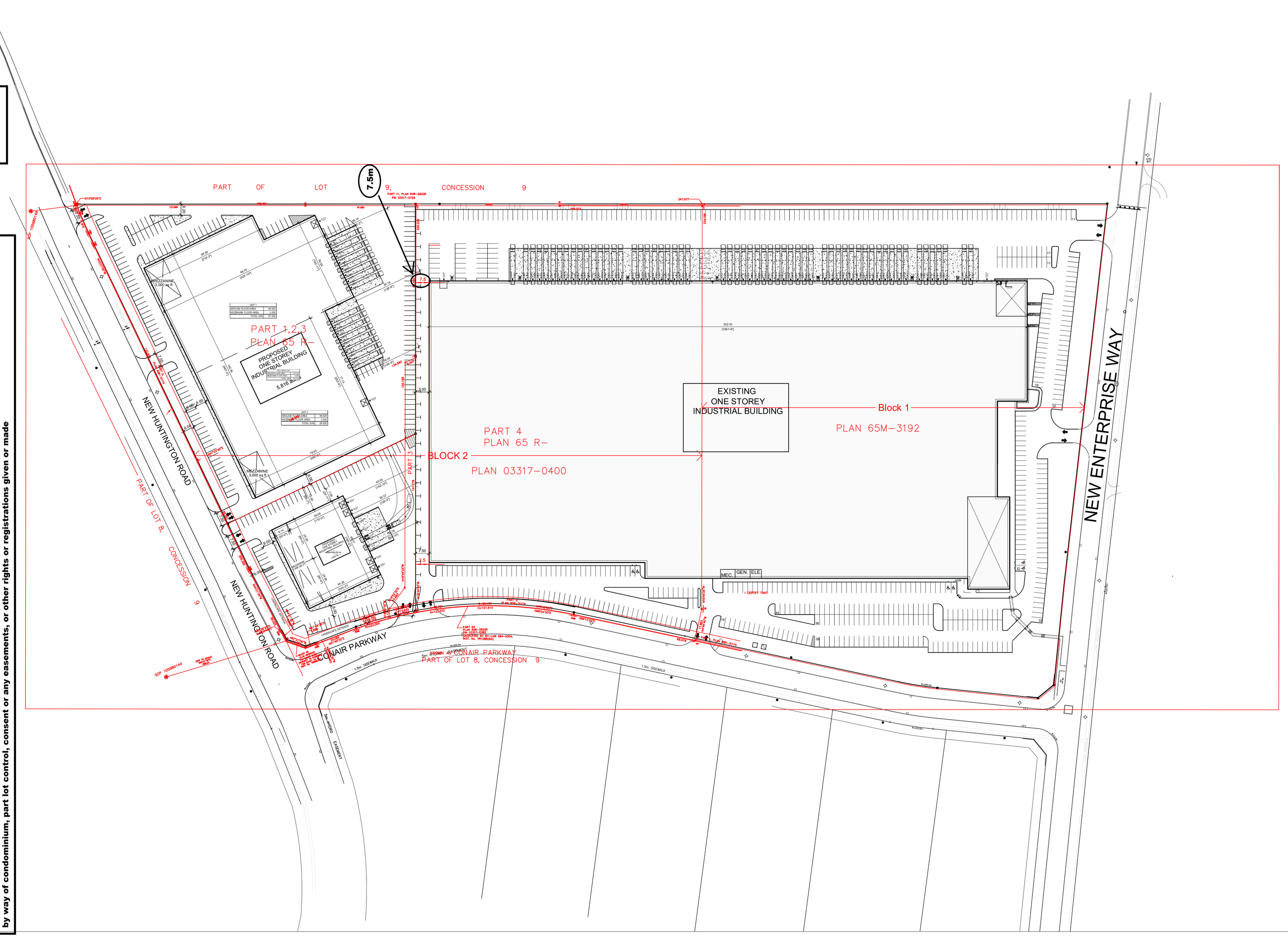
Highway 27

Highway 7

March 2, 2020 11:38 AM

A022/20

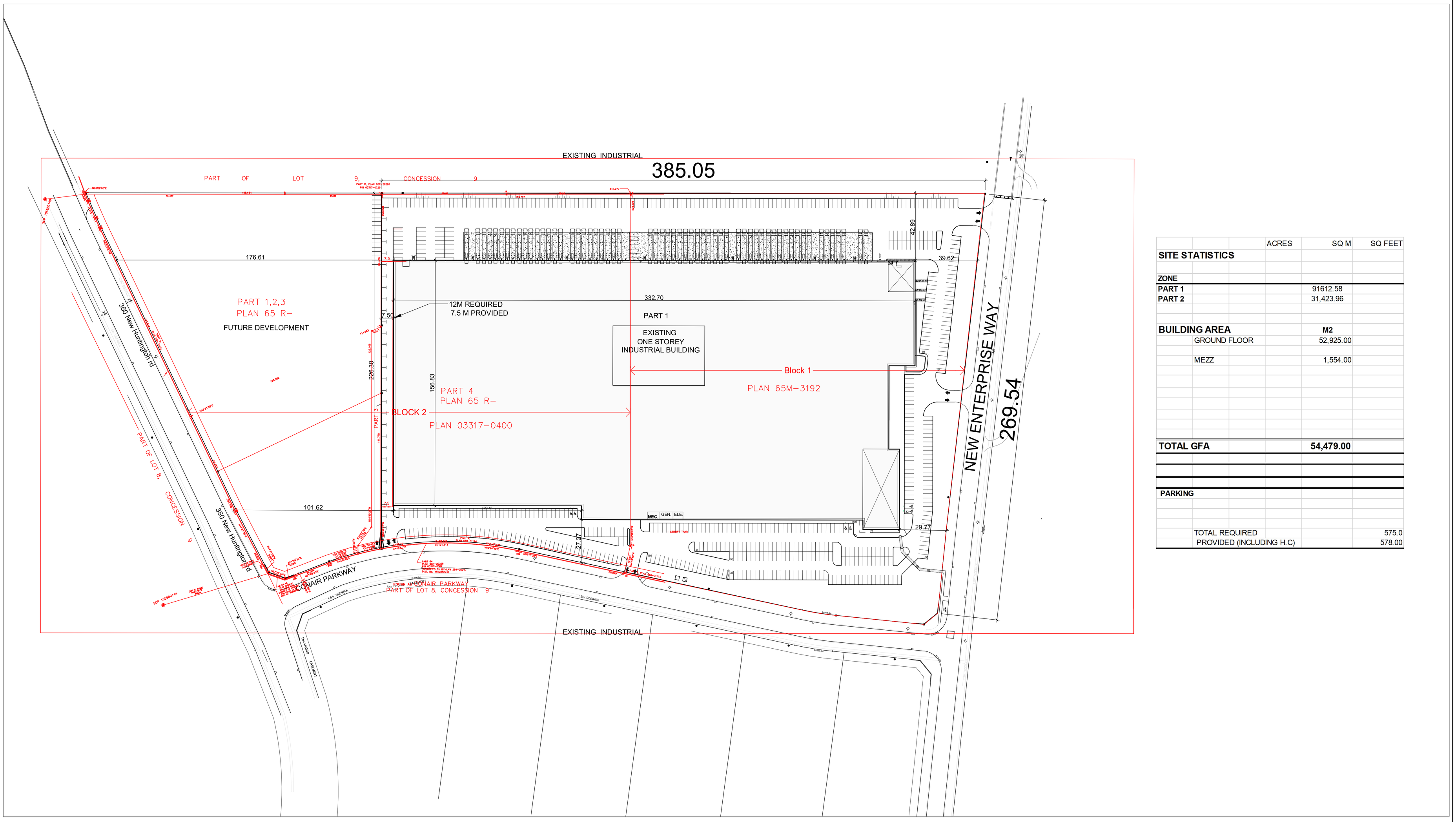
Subject lands known as Part 4 of Block 2 Plan 65M-3992 & Block 1 Plan 65M-3992, shall be deemed to be one lot regardless of the creation of a new lot by way of condominium, part lot control, consent or any easements, or other rights or registrations given or made



	ACRES	SQ M	SQ FEET
SITE STATISTICS			
ZONE			
PART 1		91612.58	
PART 2		31,423.96	
BUILDING AREA		**M2**	
GROUND FLOOR		52,925.00	
MEZZ		1,554.00	
TOTAL GFA		**54,479.00**	
PARKING			
TOTAL REQUIRED			575.0
PROVIDED (INCLUDING H.C)			578.00

ZZEN GROUP OF COMPANIES LIMITED

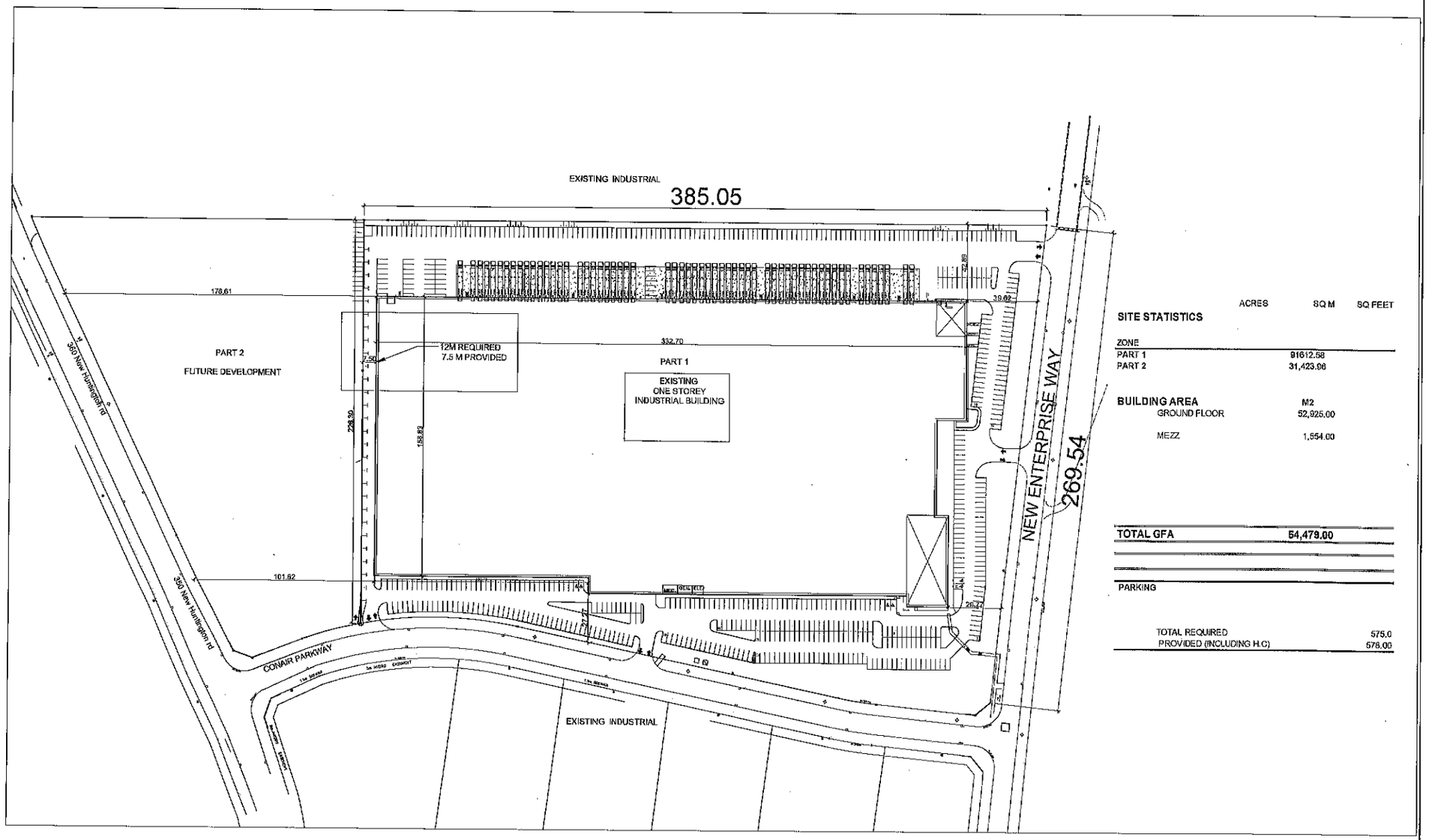
CITY OF VAUGHAN MINOR VARIANCE APPLICATION	100 CONAIR PARKWAY BLOCK 1 AND 2 PLAN 65M 3992	DRAWING: OVERALL CONCEPTUAL SITE PLAN	SCALE: NTS	DATE: FEB 28 2020	#: Z-1



	ACRES	SQ M	SQ FEET
SITE STATISTICS			
ZONE			
PART 1		91612.58	
PART 2		31,423.96	
BUILDING AREA		**M2**	
GROUND FLOOR		52,925.00	
MEZZ		1,554.00	
TOTAL GFA		**54,479.00**	
PARKING			
TOTAL REQUIRED			575.0
PROVIDED (INCLUDING H.C)			578.00

ZZEN GROUP OF COMPANIES LIMITED

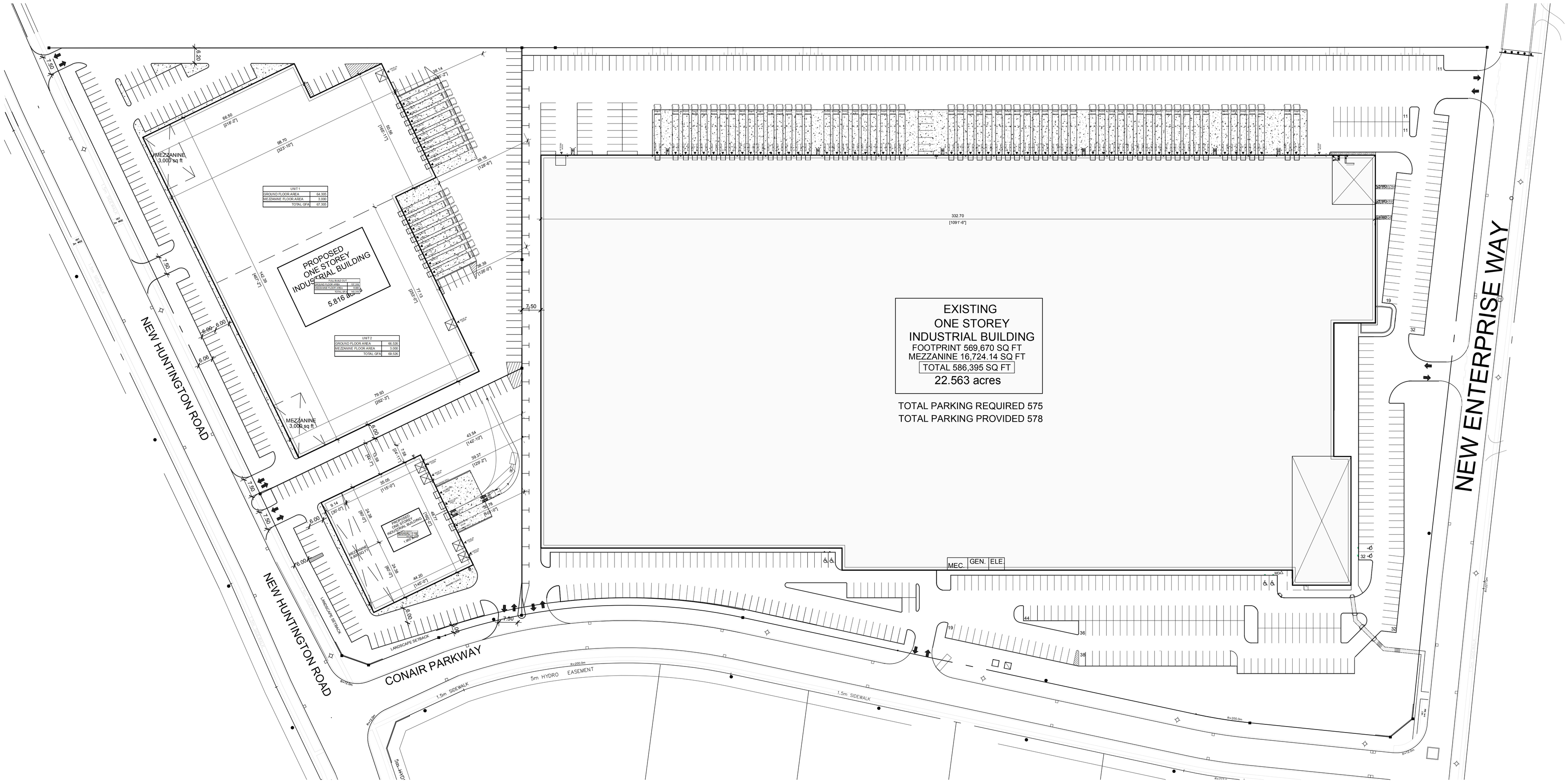
CITY OF VAUGHAN MINOR VARIANCE APPLICATION	100 CONAIR PARKWAY BLOCK 1 AND 2 PLAN 65M 3992	DRAWING: OVERALL CONCEPTUAL SITE PLAN	SCALE: NTS	DATE: FEB 28 2020	#: Z-1



SITE STATISTICS	ACRES	SQ M	SQ FEET
ZONE			
PART 1		91612.58	
PART 2		31,423.96	
BUILDING AREA		M2	
GROUND FLOOR		52,925.00	
MEZZ		1,554.00	
TOTAL GFA		54,479.00	
PARKING			
TOTAL REQUIRED			575.0
PROVIDED (INCLUDING H.C)			576.00

ZZEN GROUP OF COMPANIES LIMITED

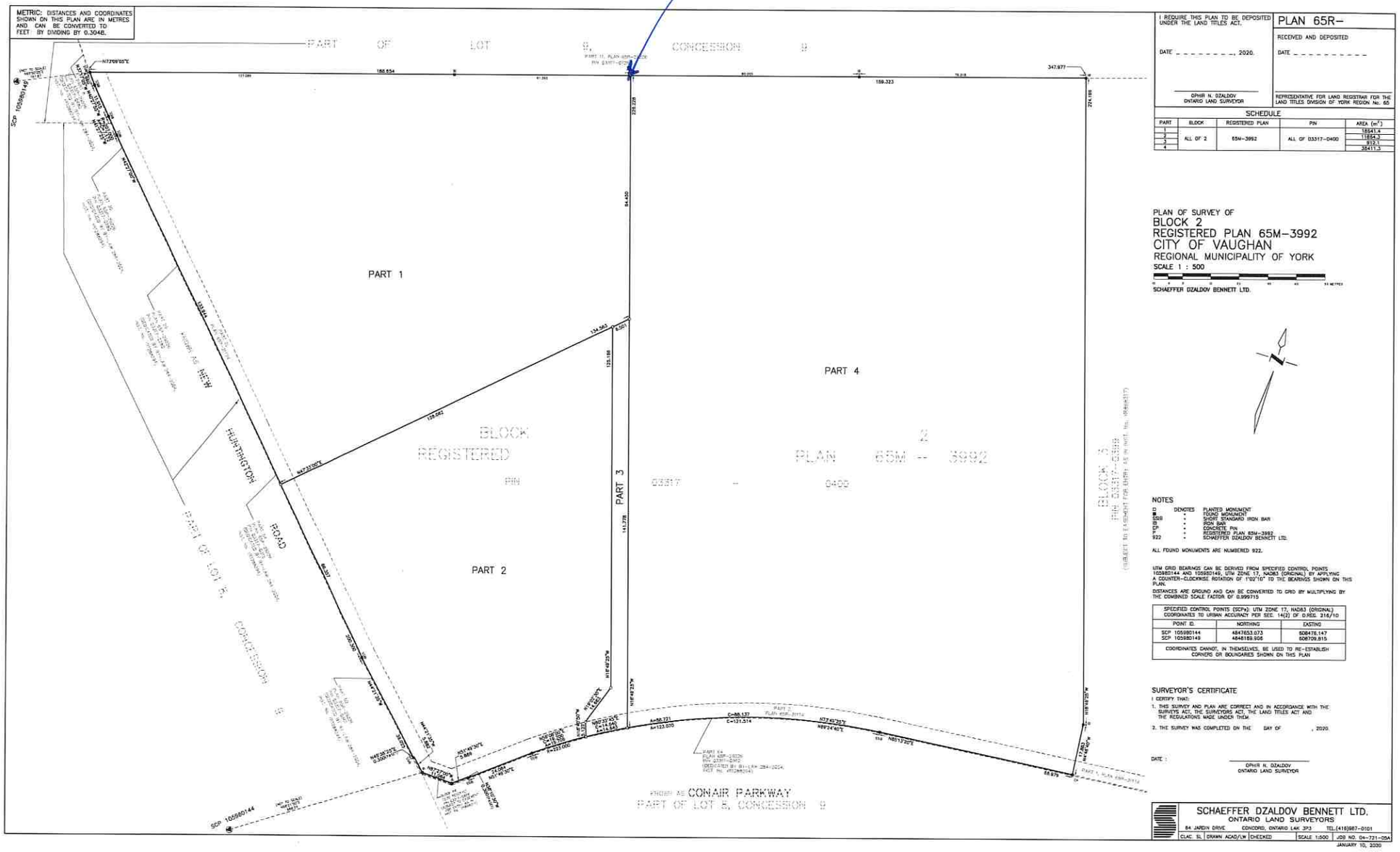
CITY OF VAUGHAN MINOR VARIANCE APPLICATION	100 CONAIR PARKWAY BLOCK 1 AND 2 PLAN 65M 3992	DRAWING: OVERALL CONCEPTUAL SITE PLAN	SCALE: NTS	DATE: FEB 21 2020	#: Z-1



ZZEN
GROUP OF COMPANIES LIMITED

PROPOSED INDUSTRIAL BUILDING	CONAIR PARKWAY AND NEW HUNTINGTON RD, VAUGHAN, ONT	DRAWING: OVERALL CONCEPTUAL SITE PLAN	SCALE: NTS	DATE: OCT 2019	#: Z-2

PROPOSED NEW PARCELS



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE _ _ _ _ _ _ _ _, 2020.

OPHIR N. DZALDOV
ONTARIO LAND SURVEYOR

PLAN 65R–

RECEIVED AND DEPOSITED

DATE _ _ _ _ _ _ _ _ _ _

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION No. 65

SCHEDULE

PART	BLOCK	REGISTERED PLAN	PIN	AREA (m^2)
1	ALL OF 2	65M–3992	ALL OF 03317–0400	18541.4
2				11854.3
3				812.1
4				38411.3

PLAN OF SURVEY OF
BLOCK 2
REGISTERED PLAN 65M–3992
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 500

SCHAEFFER DZALDOV BENNETT LTD.

NOTES

□	DENOTES	PLANTED MONUMENT
■	"	FOUND MONUMENT
SSB	"	SHORT STANDARD IRON BAR
IB	"	IRON BAR
CP	"	CONCRETE PIN
P	"	REGISTERED PLAN 65M–3992
922	"	SCHAEFFER DZALDOV BENNETT LTD.

ALL FOUND MONUMENTS ARE NUMBERED 922.

UTM GRID BEARINGS CAN BE DERIVED FROM SPECIFIED CONTROL POINTS 105980144 AND 105980149, UTM ZONE 17, NAD83 (ORIGINAL) BY APPLYING A COUNTER–CLOCKWISE ROTATION OF 1°02'10" TO THE BEARINGS SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999713

SPECIFIED CONTROL POINTS (SCPs): UTM ZONE 17, NAD83 (ORIGINAL) COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID.	NORTHING	EASTING
SCP 105980144	4847653.073	508476.147
SCP 105980149	4846153.906	506709.815

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE–ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE _ DAY OF _ , 2020.

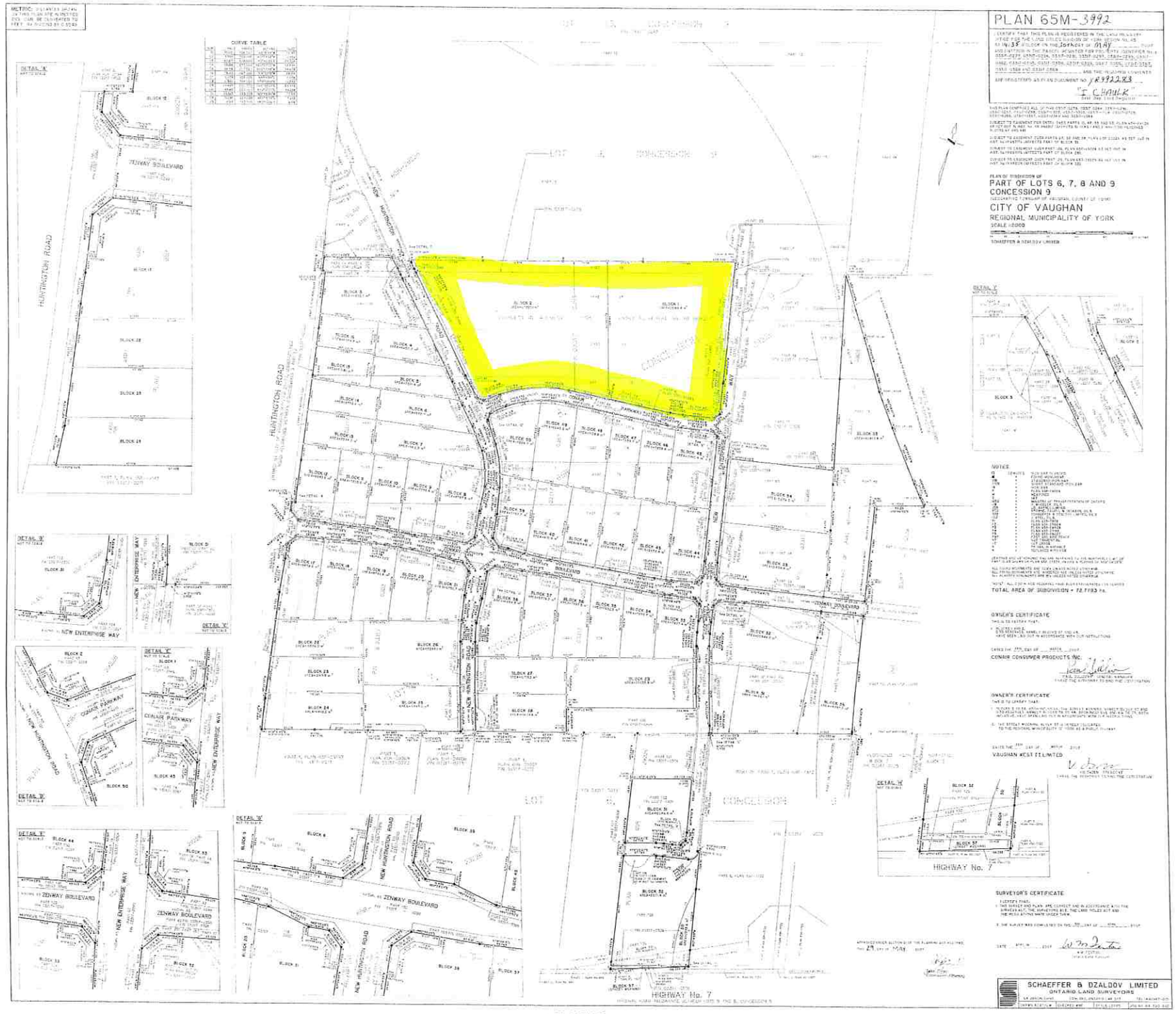
DATE :

OPHIR N. DZALDOV
ONTARIO LAND SURVEYOR

SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS
84 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL.(416)987–0101

CLAC SL	DRAWN ACAD/LM	CHECKED	SCALE 1:500	JOB NO. 04–721–05A

JANUARY 10, 2020


PLAN 65M-3992
PLAN OF SUBDIVISION OF
PART OF LOTS 6, 7, 8 AND 9
CONCESSION 9
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:2000
SCHAEFFER & DZALDOV LIMITED
TOTAL AREA OF SUBDIVISION = 12.7793 Ha.
OWNER'S CERTIFICATE
CONAIR CONSUMER PRODUCTS INC.
OWNER'S CERTIFICATE
VAUGHAN WEST II LIMITED
SURVEYOR'S CERTIFICATE
SCHAEFFER & DZALDOV LIMITED
ONTARIO LAND SURVEYORS
HUNTINGTON ROAD
NEW HUNTINGTON ROAD
ZENWAY BOULEVARD
NEW ENTERPRISE WAY
CONAIR PARKWAY
HIGHWAY No. 7
CURVE TABLE
DETAIL 'A'
DETAIL 'B'
DETAIL 'C'
DETAIL 'D'
DETAIL 'E'
DETAIL 'F'
DETAIL 'G'
DETAIL 'H'
DETAIL 'I'
NOTES

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE _____ 2020.

DPHN N. DZALDOV
ONTARIO LAND SURVEYOR

PLAN 65R–

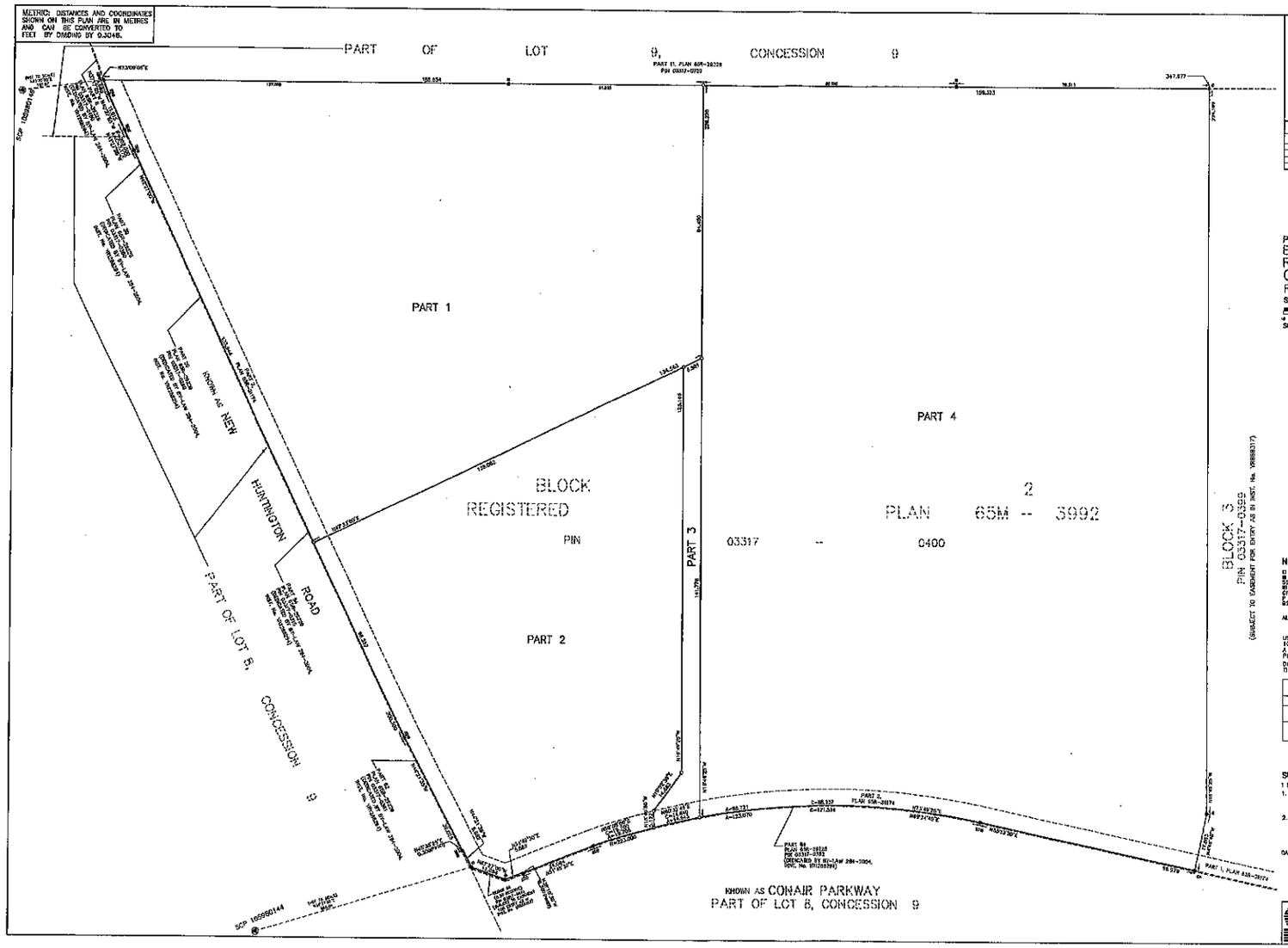
RECEIVED AND DEPOSITED

DATE _____

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION No. 65

SCHEDULE

PART	BLOCK	REGISTERED PLAN	PIN	AREA (m^2)
1				10841.4
2	ALL OF 2	65M–3992	ALL OF 03317–0400	11961.3
3				419.1
4				20111.3



PLAN OF SURVEY OF
BLOCK 2
REGISTERED PLAN 65M–3992
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 500

SCHAEFFER DZALDOV BENNETT LTD.

NOTES

□	DENOTES	PLANTED MONUMENT
■	:	FOUND MONUMENT
SIB	:	SHORT STANDARD IRON BAR
IB	:	IRON BAR
CP	:	CONCRETE PIN
R	:	REGISTERED PLAN 65M–3992
922	:	SCHAEFFER DZALDOV BENNETT LTD.

ALL FOUND MONUMENTS ARE NUMBERED 922.

UTM GRID BEARINGS CAN BE DERIVED FROM SPECIFIED CONTROL POINTS 105980144 AND 105980145, UTM ZONE 17, NAD83 (ORIGINAL) BY APPLYING A COUNTER-CLOCKWISE ROTATION OF 1°07'10" TO THE BEARINGS SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999715

SPECIFIED CONTROL POINTS (SCPs): UTM ZONE 17, NAD83 (ORIGINAL) COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10		
POINT NO.	NORTHING	EASTING
SCP 105980144	4847853.023	609478.147
SCP 105980145	4848188.526	609709.843
COORDINATES CHAN-3°, IN BRACKETS, ARE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN		

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE DAY OF , 2020.

DATE :

DPHN N. DZALDOV
ONTARIO LAND SURVEYOR

SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS
64 JARVIS DRIVE, CONCORD, ONTARIO L4K 3P3 TEL(416)987–0101

CLAC. SL	DRAWN ADB/LW	CHECKED	SCALE 1:500	JOB NO. 04–721–03A

JANUARY 10, 2020

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Application Cover Letter

A022/20

100 Zenway Boulevard
Woodbridge, Ontario
Canada L4H 2Y7

ZZEN
GROUP OF COMPANIES LIMITED

Tel:905-264-5962
Fax: 905-264-9354
www.zzengroup.com

Via: email
February 24, 2020

City of Vaughan
Office of the City Clerk
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1t1

Attention: Ms. Pravina Attwala, Assistant Secretary to Committee of Adjustment

Dear Ms. Attwala,

Re: Minor Variance Application
100 Conair Parkway,
File No. A022/20

On behalf of the Conair Consumer Products, the "Owners" we wish to confirm that the above captioned minor variance application is to seek relief from the minimum rear yard setback requirement to 7.5 m rather than the 12.0 m requirement as set out in By law 1-88 as amend. The Owner has owned the property since 2007 with the aspiration of building out on the entire land holdings. However, the market has changed and the need for future expansion to the exiting 54,479 sq.m. building, is no longer required. Therefore, the Owner is proposing to sever the most westerly portion of the subject lands, thru part lot control exemption by law (File No. PLC.20.001).

The subject lands currently faces three roads, Conair Parkway, New Enterprise Way and New Huntington Road. By severing the most westerly portion of the subject lands, the actual lot front lot line is consider as New Enterprise Way, making the newly created severance line the rear lot line with a 7.5 m rear yard setback. As the loading area is on the north side of the building with a setback of approximately 42 meters, the 7.5 meter setback is sufficient to accommodate parking and a driveway aisle on the west side of the existing building. In addition by reducing this new rear yard setback by 4.5, it provides for additional land area to be added to the new created parcel and will accommodate for a larger building and proper vehicle truck circulation for the newly proposed buildings . (Refer to attached site plan).

In consideration of the existing building configuration, location of the loading areas and the fact that the proposed request does not have any negative impact or need for further relief from the bylaw for the subject lands, it is our submission that the said request can be considered minor in nature.

Should you require any additional information pertaining to the subject land s or this application, please contact me.

Regards

Sam Speranza, MCIP
Director of Developments

Cc: Mr. Clem MacMillan, Conair Consumer Products

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

alectra utilities

Discover the possibilities

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A022/20 - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: March-02-20 11:27 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: [External] RE: A022/20 - REQUEST FOR COMMENTS

Good Morning Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comments.
Regards,

Staff Report Summary

Item # 17

Ward # 2

File: A118/19

Applicant: 2602002 Ontario Inc.

Address: 7845 Highway 27, Woodbridge

Agent: Sabrina Sgotto
Weston Consulting Group Inc.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	☑
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	☑
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑	

Adjournment History: February 27, 2020 (see next page for details)

Background History: None

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, May 28, 2020

Minor Variance Application

Agenda Item: 17

A118/19

Ward: 2

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 28, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at **Vaughan.ca/LiveCouncil**

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa**@vaughan.ca** or **905-832-8504**. Ext. **8332**

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: 2602002 Ontario Inc.

Agent: Sabrina Sgotto - Weston Consulting Group Inc.

Property: **7845 Highway 27, Woodbridge**

Zoning: The subject lands are zoned EM1, Prestige Employment Area Zone, under By-law 1-88 as amended.

OP Designation: VOP 2010: "General Employment"

Related Files: Site Plan DA.19.031

Purpose: Relief from the by-law is being requested to permit the construction of a proposed six (6) storey self-storage facility with office (administrative) component to facilitate Site Plan Application DA.19.031.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum setback of 10.25 metres is required.	1. To permit a minimum Interior Side yard setback of 5.0 metres.
2. A minimum of 122 parking spaces is required.	2. To permit a minimum of 19 parking spaces.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History:

Hearing Date:	Members Absent from Hearing:	Status of Adjournment: (i.e. date/sine die)	Reason for Adjournment:
Feb. 27, 2020	None.	Adjournment	To permit time for the applicant to confirm variances with staff.

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on February 12. 2020 and March 4, 2020

Applicant confirmed posting of signage on February 11, 2020, March 9, 2020 and May 1, 2020.

Applicant has advised that they cannot comply with By-law for the following reason(s): The parking analysis undertook proxy surveys for 3 existing self-storage uses and their actual parking needs, which resulted in significantly lower required parking than the Zoning By-law rate. These findings support the recommendation for a reduction to 19 parking spaces which will support the proposed use peak demand parking supply as demonstrated by the proxy sites.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply:

Building Permit No. 19-000345 for Public Garage - Non-Res Demolition, Issue Date: Apr 03, 2019.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"

The Owner is requesting permission to construct a six-storey self-storage building on the subject lands, as proposed through Site Development File DA.19.031 with the above-noted variances.

Vaughan Council, on February 11, 2020, approved Site Development File DA.19.031. The Development Planning Department supports the approval of Site Development File DA.19.031 along with the requested variances, as the development is consistent with Provincial Policy, conforms to the York Region Official Plan and Vaughan Official Plan 2010, and is compatible with the existing and planned uses in the surrounding area.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application, subject to the following condition:

1. That Site Development File DA.19.031 be approved to the satisfaction of the Development Planning Department.

Cultural Heritage (Urban Design):
No Response

Development Engineering:
The Development Engineering (DE) Department, Transportation Division has reviewed the submitted parking study for the proposed parking supply of 19 spaces over the City by-law 1-88 parking requirement of 122 spaces. Please see our Transportation Engineering Department comments below:

The study is in support of subject development with a reduced parking supply of 19 spaces (0.14 spaces/100 m2) over the City by-law 1-88 parking requirement of 122 spaces. The submitted study concludes that the proposed parking supply would be sufficient for development's specific requirements (self-storage facility) since the proposed rates are justified based on the following studies: Note:

- Detailed parking survey of a similar type of existing development at 9000 Keele Street, City of Vaughan, (maximum parking rate was observed as 0.11 spaces/100 m2)
- Detailed parking survey of a similar type of existing development at 411 Cityview Blvd City of Vaughan (maximum parking rate was observed as 0.12 spaces/100 m2)

The proposed parking supply of 19 spaces is found adequate based on the supporting analysis provided in the consultant's report. The Development Engineering Department agrees with the conclusions reached in the Parking Study and have no objection with the proposed parking supply.

Note: By-law 1-88 has no specific ratio for the self-storage facility, therefore parking requirement is based on warehouse uses,

The Development Engineering (DE) department does not object to variance application A118/19 subject to the following condition(s):

1. The Owner/applicant shall obtain approval for the related Site Development Application (DA.19.031) from the Development Engineering (DE) Department.

Parks, Forestry and Horticulture Operations:
No comments or concerns

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns

Financial Planning and Development Finance:
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:
No comments or concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Planning Justification Letter & Site Plan

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None.

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

✓ That the general intent and purpose of the by-law will be maintained.

✓ That the general intent and purpose of the official plan will be maintained.

✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Brandon Bell 905-832-8585 x 8112 brandon.bell@vaughan.ca	That Site Development File DA.19.031 be approved to the satisfaction of the Development Planning Department.
2	Development Engineering Jason Pham 905-832-8585 x 8716 Jason.pham@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.19.031) from the Development Engineering (DE) Department.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

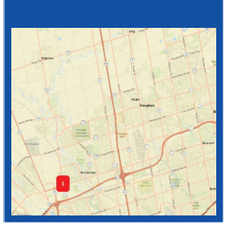
T 905 832 8585 Extension 8394
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Sketches

Map Information:



Title:

LOCATION MAP - A118/19

7845 Highway 27, Woodbridge

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

Scale: 1: 4,514
0 0.07 km

Created By:
Infrastructure Delivery Department
September 23, 2019 1:30 PM

Projection:
NAD 83
UTM Zone 17N

A118/19

SITE PLAN GENERAL NOTES:

1. THE OWNER MUST OBTAIN A ROAD OCCUPANCY AND ACCESS PERMIT FROM THE CITY OF VAUGHAN'S WORKS AND TRANSPORTATION DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONSTRUCTION OF WORKS WITHIN THE CITY'S ROAD ALLOWANCE.
2. AT THE REGIONAL ROAD ENTRANCES TO THE SITE, ANY ROAD CURB AND/OR SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH ANY EXISTING OR PROPOSED SIDEWALK.
3. AT ALL MUNICIPAL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER CITY OF VAUGHAN STANDARDS
4. STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE A SINGLE PARCEL OF LAND, UNDER ONE OWNER, UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR SEVERANCE, PART-LOT CONTROL, SUBDIVISION, CONDOMINIUM APPROVAL OR ANY OTHER FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS ASSUMPTION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THAT APPLICANT.
5. ALL UNDERGROUND SERVICES MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH THE CITY OF VAUGHAN'S LATEST STANDARDS AND CODES.
6. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
7. ALL STORM SEWER MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL & PROVINCIAL STANDARDS & SPECIFICATIONS
8. ALL PARKING AND DRIVEWAYS TO BE ASPHALTED
9. POST 'NO PARKING' SIGNS AT STRATEGIC LOCATIONS ALONG THE FIRE ROUTE.
10. SOLID WASTE & RECYCLING BY PRIVATE ENTERPRISE CONTAINED WITHIN BUILDING.
11. CAUTION: LOCATIONS OF ANY UNDERGROUND SERVICES ARE APPROXIMATE. OTHER BURIED SERVICES MAY EXIST WHICH ARE NOT SHOWN BECAUSE OF INSUFFICIENT INFORMATION. CONTACT ALL POTENTIAL OWNERS OF UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PROJECT DESCRIPTION:

NEW 6 STOREY SELF STORAGE FACILITY (GROUP F, DIVISION 2)

CONSTRUCTION IS NON-COMBUSTIBLE CONSISTING OF STEEL STRUCTURE & COMPOSITE FLOOR SLAB FOR THE 6 STOREY BUILDING. IT IS CLIMATE CONTROLLED & BARRIER FREE. BUILDING IS SPRINKLERED.

SITE STATISTICS:

ZONING (EXISTING):	EM1 - EMPLOYMENT AREA ZONE
ZONING (PROPOSED):	EM1 - EMPLOYMENT AREA ZONE
EXISTING LOT AREA:	4,738.48 SQ.M (1.17 ACRES) (0.47 HA)
BUILDING FOOTPRINT (LOT COVERAGE):	1,979.14 SQ.M (21,303.29 SQ.FT) (41.8%)
LANDSCAPE AREA:	1,621.49 SQ.M (17,453.57 SQ.FT) (34.2%)
ASPHALT AREA:	1,137.85 SQ.M (12,247.72 SQ.FT) (24.0%)
TOTAL:	(100%)

BUILDING AREAS:

PHASE 1

FLOOR	AREA SQ.M	AREA SQ.FT
GROUND FLOOR:	1,622.17 SQ.M	17,459.49 SQ.FT
2ND FLOOR:	1,392.27 SQ.M	14,986.27 SQ.FT
3RD-6TH FLOORS:	7,008.64 SQ.M	75,440.37 SQ.FT
TOTAL:	**10,022.95 SQ.M**	**107,886.13 SQ.FT**

PHASE 2

FLOOR	AREA SQ.M	AREA SQ.FT
GROUND FLOOR:	356.97 SQ.M	3,842.39 SQ.FT
2ND FLOOR:	356.97 SQ.M	3,842.39 SQ.FT
3RD-6TH FLOORS:	1,427.88 SQ.M	15,369.56 SQ.FT
TOTAL:	**2,141.82 SQ.M**	**23,054.36 SQ.FT**

PHASE 1 + PHASE 2

FLOOR	AREA SQ.M	AREA SQ.FT
GROUND FLOOR:	1,979.14 SQ.M	21,303.29 SQ.FT
2ND FLOOR:	1,749.24 SQ.M	18,828.66 SQ.FT
3RD-6TH FLOORS:	8,436.52 SQ.M	90,809.95 SQ.FT
TOTAL:	**12,164.90 SQ.M**	**130,941.89 SQ.FT**

PARKING:

TOTAL PARKING SPACES REQUIRED: 122 SPACES
BASED ON WAREHOUSING PARKING RATE OF
1 SPACE PER 100 sq.m --> 12,164.90m²/100m² = 122
TOTAL SPACES PROVIDED: 17

ACCESSIBLE PARKING SPACES PROVIDED: 2 TYPE 'A' SPACE
(BASED ON ONTARIO REGULATION NO. 191/11 "INTEGRATED ACCESSIBILTY STANDARDS" SENTENCE 80.36(2), FOR 13-100 PARKING SPACES MINIMUM 4% OF THE TOTAL IS TO BE ACCESSIBLE PARKING)
ACCESSIBLE PARKING REQUIRED: 0.04 x 17 SPACES = 1 SPACE

LOADING SPACE PROVIDED: 3 SPACES (3.5m x 15m x 7m VERTICAL HEIGHT) **- NONE REQUIRED**

BICYCLE SPACES: 4 SPACES PROVIDED (1800mm x 600mm SPACE C/W BICYCLE RACK)

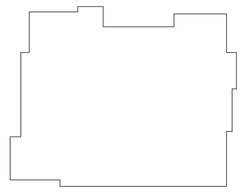
GARBAGE STORAGE:

GARBAGE IS STORED INSIDE THE BUILDING. SEPARATE EXTERIOR GARBAGE STORAGE FACILITIES ARE NOT REQUIRED.
NOTE: THE WASTE STORAGE FACILITY MEETS THE STANDARD FOR VENTILATION AND ODOUR CONTROL

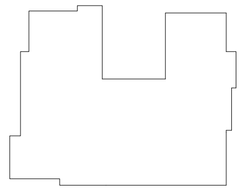
SNOW STORAGE:

2% OF LOT AREA IS REQUIRED FOR SNOW STORAGE.
STORAGE REQUIRED = EXISTING LOT AREA x 2%
= 4,738.48m² x 0.02
= 94.77m²
STORAGE PROPOSED = 95.00m²

CONTEXT PLAN

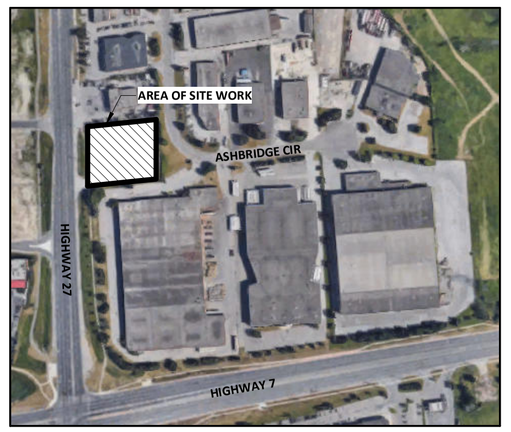


1ST FLOOR - 1,979.14m² (21,303.29 ft²)

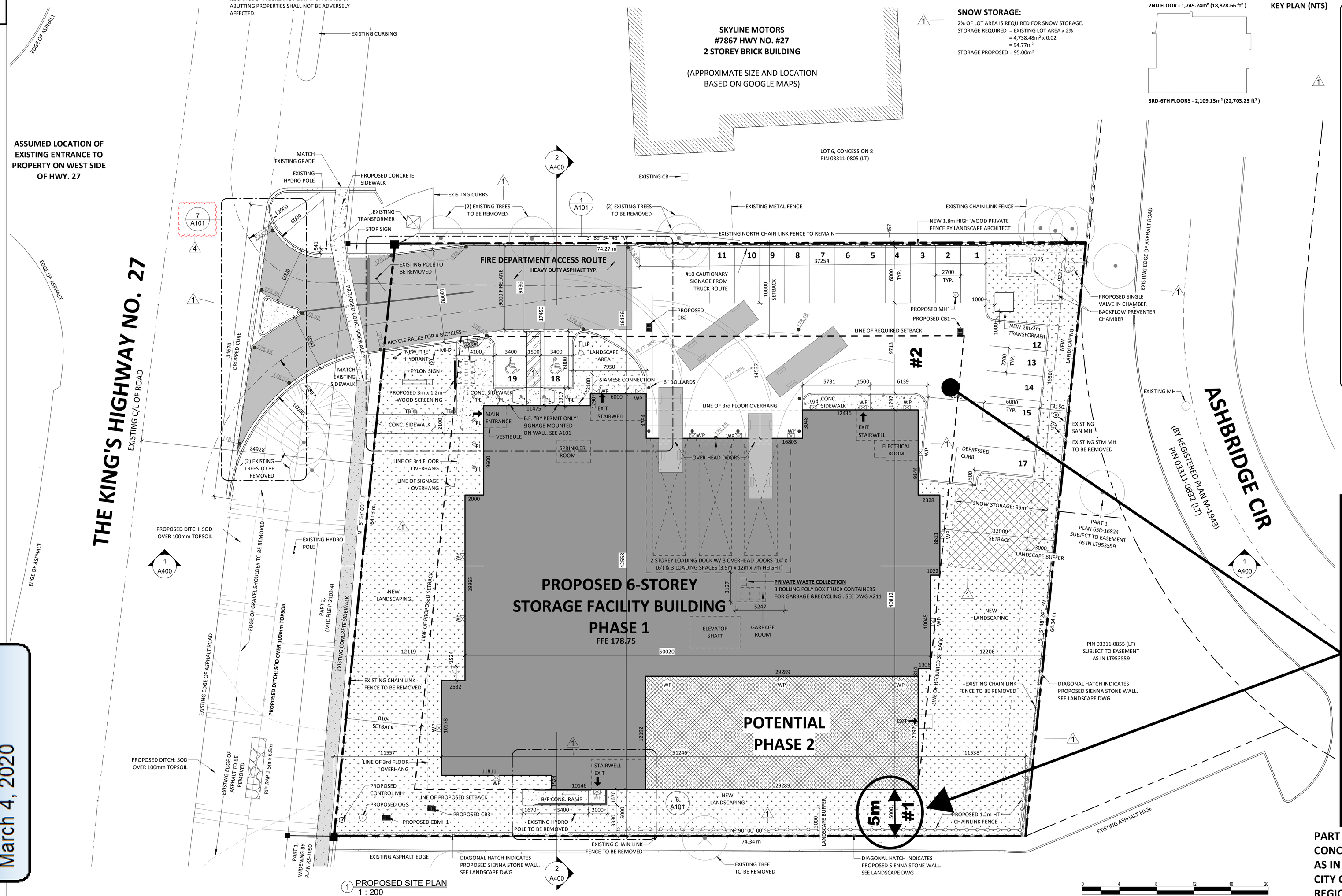


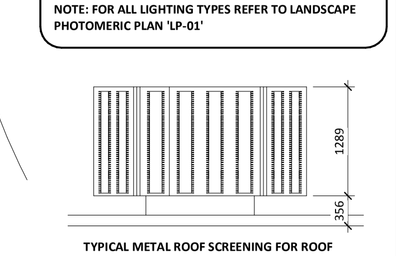
2ND FLOOR - 1,749.24m² (18,828.66 ft²)

3RD-6TH FLOORS - 2,109.13m² (22,703.23 ft²)



KEY PLAN (NTS)





TYPICAL METAL ROOF SCREENING FOR ROOF TOP MECHANICAL UNITS - COLOUR: GREY

SITE LEGEND:

- PROPERTY LINE
- EASEMENT
- SETBACK
- LANDSCAPE BUFFER
- CHAINLINK FENCE
- EXISTING CHAINLINK FENCE
- FIRELANE (HEAVY DUTY ASPHALT)
- BARRIER FREE CONCRETE WALKWAY
- EXISTING CONCRETE WALKWAY
- LANDSCAPED AREA
- PAINTED WALKWAY ON ASPHALT (NO PARKING)
- NEW DECORATIVE LIGHT STANDARD 2.5m HIGH
- FIRE HYDRANT
- BARRIER FREE SIGN (SEE A101)
- BOLLARD
- NEW TRAC BOLLARD
- NEW LED WALL PAK — WP
- NEW POT LIGHT — PL
- MANHOLE
- CATCH BASIN
- CATCH BASIN/MANHOLE
- TACTILE WALKING SURFACE

NOTE: FOR ALL LIGHTING TYPES REFER TO LANDSCAPE PHOTOMERIC PLAN 'LP-01'

TRUE NORTH — PROJECT NORTH

NOTE:
DIMENSIONS FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

FDF = FACE OF FINISH

GENERAL NOTE:
1. DESIGN & CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES MUNICIPAL BY-LAWS.
2. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY DISCREPANCES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER/ DESIGNER PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECS. ETC PREPARED BY THE ARCHITECT/ENGINIER/DESIGNER ARE HIS PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AT HIS REQUEST.
3. DO NOT USE DRAWINGS FOR CONSTRUCTION UNLESS ISSUED FOR THAT PURPOSE.
4. WORK TO DIMENSIONS- DO NOT SCALE!
5. THESE DRAWINGS ARE COPYRIGHT PROTECTED

DATE:	ISSUED FOR:
OCT 25/18	
FEB 15/19	CO-ORDINATION
FEB 21/19	CO-ORDINATION
APR 10/19	ISSUED FOR SITE PLAN APPROVAL
SEPT 26/19	SPA 2ND SUBMISSION
DEC 20/19	SPA 3RD SUBMISSION

No.	DATE:	REVISION:
1	SEPT 26/19	AS PER CITY COMMENTS
4	OCT 31/19	AS PER SPA COMMENTS

ONTARIO ASSOCIATION ARCHITECTS
LEONARDO ROMANESE
LICENCE
4684

SITE PLAN APPROVAL
3RD SUBMISSION
DECEMBER 20, 2019

Revised
March 4, 2020

ROMANESE
ARCHITECT INC.
42 GOODMARK PLACE, UNIT 10
ETOBICOKE, ONTARIO M9W 6S2
TEL: 416.674.5006 FAX: 416.674.9383

PROPOSED SELF STORAGE FACILITY

LOCATION:
#7845 HIGHWAY 27
VAUGHAN, ON

REGION FILE # SP.19.V.0119

SHEET TITLE:
SITE PLAN

PART OF LOT 6
CONCESSION 8 VAUGHAN
AS IN R469183
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

DRAWN BY: Author	CADD FILE:
CHECKED BY: Checker	SCALE: As indicated
	DATE: 03/07/18
DRAWING NUMBER: A100	REV NUMBER: 4

A118/19

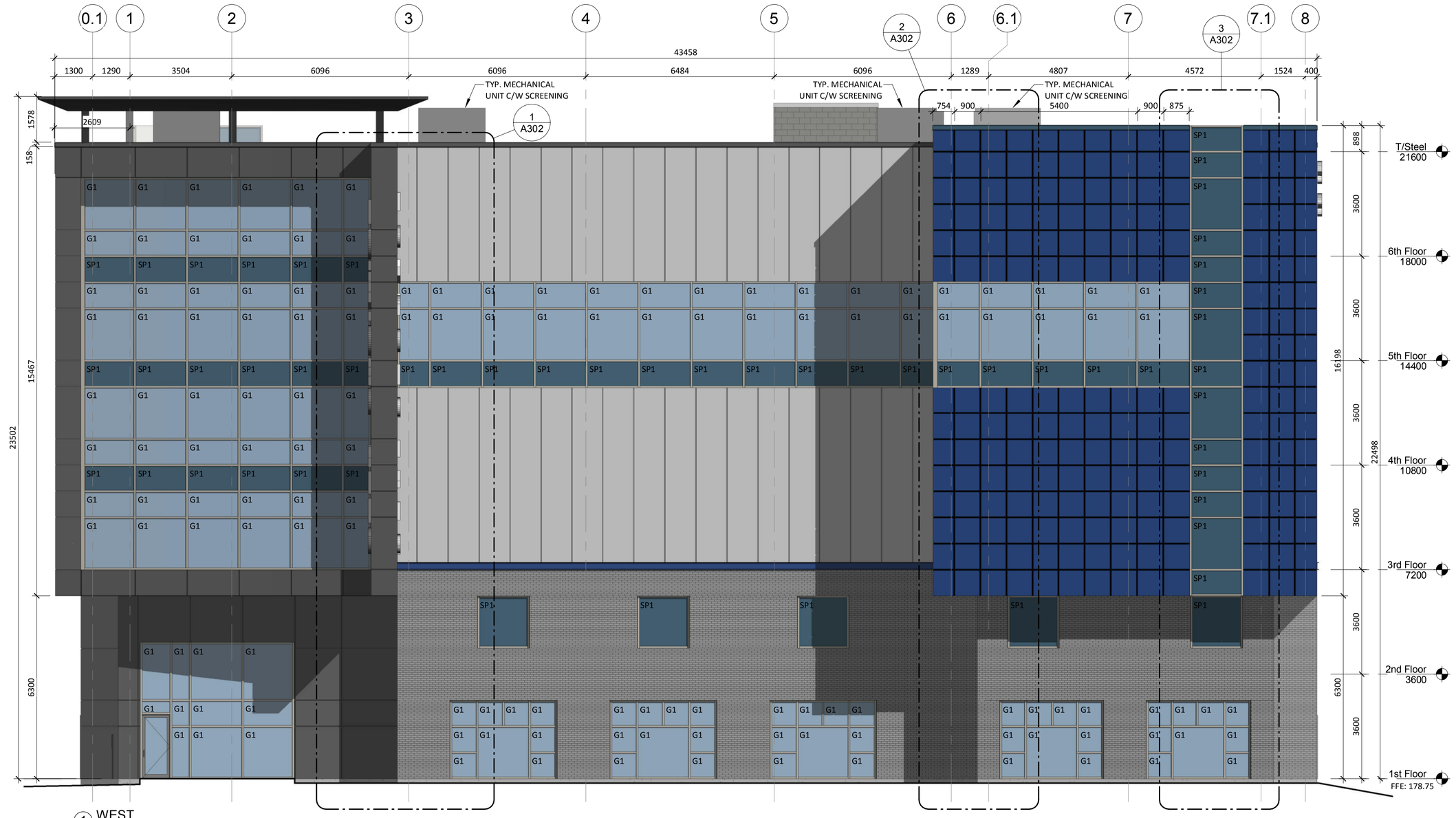
EXTERIOR FINISHES LEGEND:

- KINGSPAN: MICRO RIB PROFILE COLOUR: "DOVE GREY" 432R1021
- KINGPAN: MICRO-RIB PROFILE COLOUR: "WEATHERED ZINC" 439R21563M
- KINGSPAN: MICRO RIB PROFILE COLOUR: "SLATE BLUE" 436R1051
- KINGPAN: MICRO-RIB PROFILE COLOUR: "REGAL BLUE" 436R1030
- JAZBRICK ARCHITECTURAL BRICK COLOUR: "OBSIDIAN" (4"x 16")

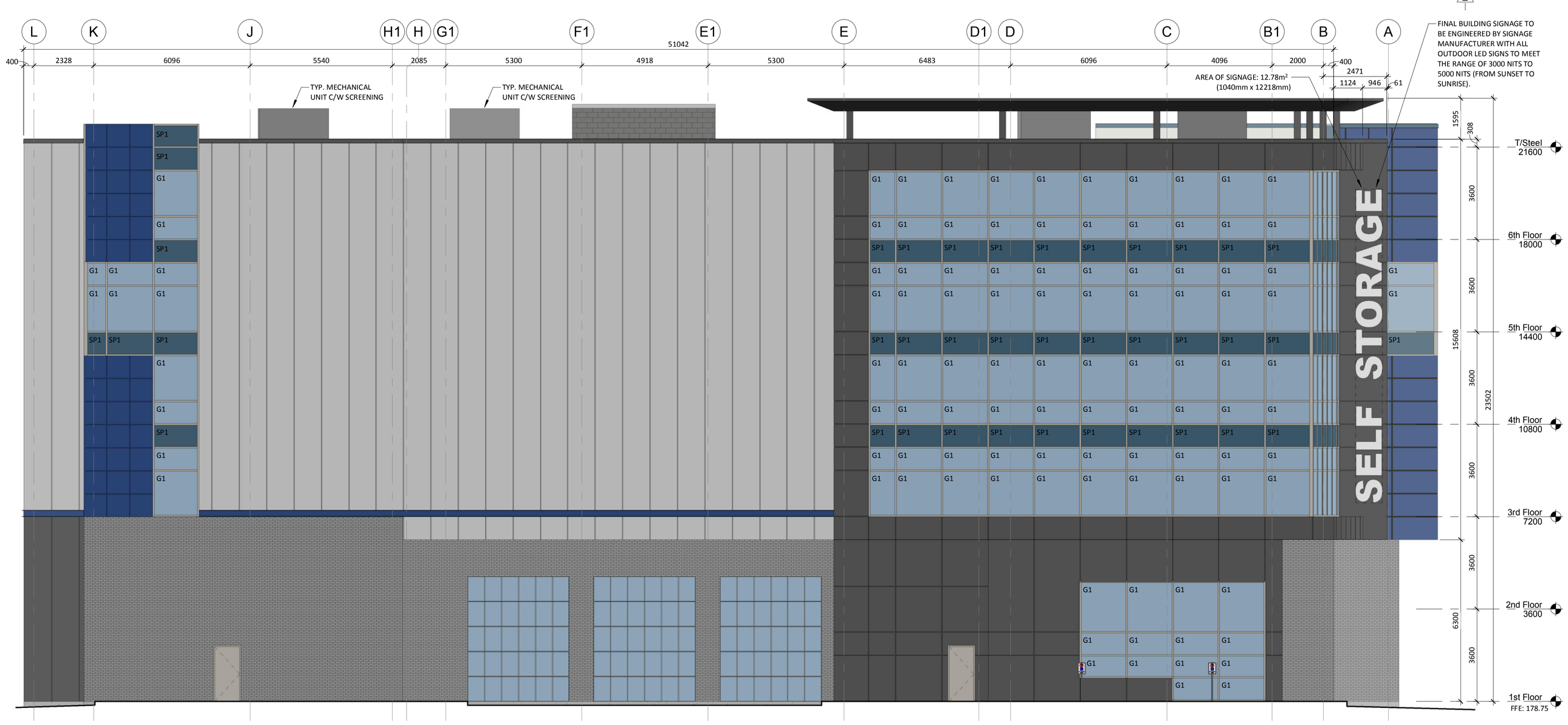
SP1 SPANDREL TO MATCH KINGSPAN SLATE BLUE 436R1051

G1 INDICATES BIRD FRIENDLY GLAZING "GUARDIAN SN 68 ON CRYSTAL BLUE" C/W CIRCULAR VISUAL MARKERS

1 **CITYSCAPE SERIES BY CONVENIENCE GROUP INC.** 1/4" DIAMETER CIRCULAR VISIBLE MARKERS SPACED 100mm (4") o.c.



1 WEST 1 : 100



2 NORTH 1 : 100

NEW
March 4, 2020

DATE:	ISSUED FOR:
OCT 25/18	
FEB 15/19	CO-ORDINATION
FEB 21/19	CO-ORDINATION
APR 10/19	ISSUED FOR SITE PLAN APPROVAL
SEPT 26/19	SPA 2ND SUBMISSION
DEC 20/19	SPA 3RD SUBMISSION

No.	DATE:	REVISION:
1	SEPT 26/19	AS PER CITY COMMENTS
2	OCT 18/19	NOTE ADDED FOR WALL MOUNTED SIGNAGE

ONTARIO ASSOCIATION OF ARCHITECTS
LEONARDO ROMANESE
LICENCE
4684

SITE PLAN APPROVAL
3RD SUBMISSION
DECEMBER 20, 2019

NOTE:
DIMENSIONS FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

FOF = FACE OF FINISH

GENERAL NOTE:
1. DESIGN & CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES MUNICIPAL BY-LAWS.
2. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY DISCREAPANCIES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER/ DESIGNER PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECS, ETC PREPARED BY THE ARCHITECT/ENGINEER/DESIGNER ARE HIS PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AT HIS REQUEST.
3. DO NOT USE DRAWINGS FOR CONSTRUCTION UNLESS ISSUED FOR THAT PURPOSE.
4. WORK TO DIMENSIONS- DO NOT SCALE!
5. THESE DRAWINGS ARE COPYRIGHT PROTECTED

ROMANESE
ARCHITECT INC.
42 GOODMARK PLACE, UNIT 10
ETOBICOKE, ONTARIO M9W 6S2
TEL: 416.674.5006 FAX: 416.674.9383

PROPOSED SELF STORAGE FACILITY

LOCATION:
#7845 HIGHWAY 27
VAUGHAN, ON

REGION FILE # SP.19.V.0119

SHEET TITLE:
ELEVATIONS

DRAWN BY: Author	CADD FILE:
CHECKED BY: Checker	SCALE: 1 : 100
	DATE: 03/07/18
DRAWING NUMBER: A300	REV NUMBER: 2

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Planning Justification Letter & Site Plan

REVISED

A118/19

WESTON
CONSULTING
planning + urban design

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON, L6A 1T1

August 14, 2019
File 9039

Attn: Christine Vigneault, Secretary Treasurer – Committee of Adjustment

Dear Madam,

RE: Application for Minor Variance
7845 Highway 27
City of Vaughan

Weston Consulting is the authorized agent for 2602002 Ontario Inc., the legally registered owner of the property located at 7845 Highway 27 in the City of Vaughan (the "subject lands"). This planning rationale and the enclosed materials are provided in support of this Minor Variance Application to address minor deficiencies with the proposed redevelopment for the Subject Lands to facilitate the Site Plan Application DA.10.031.

Description of Property

The subject property is located on the east side of Highway 27, north of Highway 7 in the City of Vaughan (Figure 1).

Figure 1: Air Photo of the Subject Land

Vaughan Office 201 Millway Avenue, Suite 19, Vaughan, Ontario L4K 5K8 T. 905.738.8080
Toronto Office 268 Berkeley Street, Toronto, Ontario M5A 2X5 T. 416.640.9917
westonconsulting.com
1-800-363-3558 F. 905.738.6637

The subject lands are rectangular in shape and has total lot area of approximately 0.47 hectares (1.172 acres) with frontage of approximately 64 metres on Highway 27. Access to the site is provided through a right-in/right-out movement driveway onto Highway 27 and located towards the southern limits of the property boundary. The subject lands are currently vacant and are being used for the outside storage of vehicles. The surrounding land uses includes of a mix of industrial and commercial operations in a low-rise built form.

Description of Development Proposal

The proposed development of subject lands is to permit the construction of a six (6) storey self-storage facility with an administrative office component (Figure 2). The building proposes a total gross floor area of 12,141.82 sq. m. The total coverage for the proposed self-storage building is based on a footprint area of 1,979.14 sq. m., which results in a coverage of approximately 41.8 % of the total site area. The proposed building is approximately 23.50 metres high.

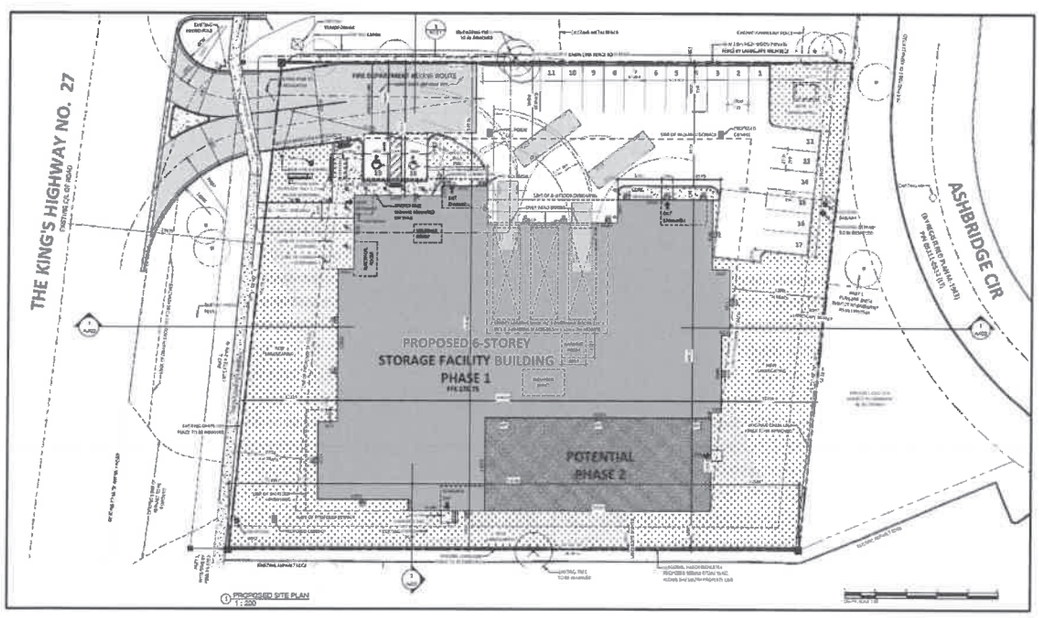


Figure 2: Proposed Site Plan

The site plan proposes a total of 17 parking spaces including 2 barrier free spaces as well as 3 loading spaces with loading dock doors. The development proposes one right-in/right-out driveway located at the northern property limit with access onto Highway 27. Landscape buffers have been provided along the Highway 27 frontage, the rear and southern property boundaries to screen parking areas and to create an attractive visual experience for motorists, pedestrians and neighbours. A pedestrian connection is proposed from the front entrance of the building extending to the existing sidewalk along Highway 27.

Application History

A Pre-Application Consultation meeting was held with City of Vaughan Staff on November 16th, 2018 to present the development proposal and established the requirements of a *'complete'* application in accordance with the requirements of the *Planning Act*. Following that meeting, Planning Staff issued a Letter of Understanding which confirmed the list of supporting information required for the submission of a Site Plan Approval application. On April 12, 2019, an Application for Site Development Approval was submitted with supporting documentation to the City of Vaughan for consideration and approval. On April 30th, 2019, the City of Vaughan issued a Notice of Complete Application in accordance with By-law 123-2013, the City of Vaughan Official Plan (VOP) 2010 and the *Planning Act*.

At the time of application, it was understood that a number of zoning exceptions would be required to fully implement the proposed development in order to accommodate design elements of the proposed building, including, but not limited to, a reduction to the minimum parking requirements for warehousing, a reduction to the front and interior side yard (south) building setbacks and an increase in building height. In recognition of the complexities of the project, it was acknowledged by Planning and Development Staff that a Minor Variance application could be supported for the proposed zoning exceptions in order to address deficiencies that may arise through the final design of the redevelopment plan, and, that this approach has been applied elsewhere in the City. It was further agreed upon that a Minor Variance application will be submitted to the Committee of Adjustments after formal receipt of the first round of Site Plan Application comments from the internal departments and external agencies in order to confirm and address all zoning deficiencies.

The City of Vaughan Staff issued correspondence on June 14, 2019 that provided comments and clarified specific resubmission expectations. Specifically, a number of zoning deficiencies were identified through the processing and technical review of the Application as outlined below:

1. *The proposed minimum Interior Side Yard setback of 5.0 metres on the South side of the building does not meet the meet the minimum required setback of 6.0 metres;*

2. *The proposed maximum building height of 23.5 metres exceeds the maximum permitted building height of 22.98 metres;*

3. *The proposed minimum number of parking spaces does not meet the minimum required number of 122 parking spaces; and,*

4. *The proposed exterior exit stair on the south side of the building exceed the maximum permitted encroachment into an interior yard of 0.3 metres as a 2.0m encroachment is proposed.*

An additional zoning deficiency related to the permitted encroachment of the proposed exterior exit stair on the South side of the building into an interior yard of (Maximum 0.3 metres) was identified by City Zoning Staff during their review of the Site Plan Application. This zoning deficiency will be addressed through modifications and adjustments to the building and Site Plan. Accordingly, this application will not bee seeking relief from this provision of the By-law.

Planning Analysis and Justification

Section 45 (1) of the *Planning Act* provides that a minor variance may be granted if, in the opinion of the Committee of Adjustment, the following conditions are met:

- *The variance requested maintains the general intent and purpose of the Official Plan;*
- *The variance requested maintains the general intent and purpose of the Zoning By-law;*
- *The variance is desirable for the appropriate use of the land; and,*
- *The variance is minor in nature.*

The following is a summary of how the application meets the four tests of the *Planning Act.*

Maintains the General Intent and Purpose of the Official Plan

Schedule '13' – Land Use of the VOP designates the subject property as *"General Employment"* which is generally characterized by an integrated mix of manufacturing, warehousing, processing, transportation, distribution, office and retail accessory.

The VOP does not provided a definition for a 'Warehouse' use. In the absence of a definition, the definition provided within the Zoning By-law has been evaluated to provide further clarification on the nature of the specific use and its intended function. The City of Vaughan Zoning By-law 1-88 defines a 'warehouse' as being "*a building or part of a building where wares of goods are stored but shall not include a retail store*". The proposed self-storage facility will function primarily as an employment use and is considered a type of warehouse use as the specific and particular nature of the intended use includes the storage of personal goods as warehousing, with accessory office to service this use.

Section 9.2.2.10 of the VOP states that "*General Employment Areas shall be characterized by high quality buildings in an attractive pedestrian-friendly, connected and transit-oriented working environment and provide flexibility for attracting and accommodating a wide range of employment uses*". The development proposal implements the VOP's vision for this designation as it proposes a built-form and design that is innkeeping with the surrounding employment uses. In addition, the development is proposed in a location that is easily accessible to major road networks, being Highway 27 and Highway 7, and will service the existing surrounding employee population and the residential communities to the northeast. The architectural form and urban design of the building is proposed to complement and integrate with the range of existing industrial and employment uses in the surrounding area and conforms with the Citywide Urban Design Guidelines. Accordingly, the proposed use is considered an appropriate form of development within the General Employment Area and is similar and is generally compatible with other uses in the surrounding area.

It is in our opinion that the proposed development and the requested variances meet the general intent and purpose of the VOP and comply with the Section 9.2.2.10 of the Vaughan 2010 Official Plan.

Maintains the General Intent and Purpose of the Zoning By-law

The City of Vaughan Comprehensive Zoning By-law 1-88 zones the subject property as Prestige Employment Area 'EM1' Zone. The *Prestige Employment Area* zone permits a number of employment uses including accessory retail sales to employment, accessory office, banquet hall, bowling alley, business and professional offices, club, health centre, convention centre, motel, hotel, funeral home, car brokerage, office building, recreational uses, service and repair shop and any public garage. No outdoor storage is permitted in the EM1 Zone.

The proposed self-storage facility is a permitted use in the EM1 zone given that the nature of the proposed intended use includes the internal storage of goods and materials which is considered a type of warehousing and employment use.

The proposed variances are consistent with the intent and purpose of the By-law. The general intent of the interior side yard setback provision is to maintain an appropriate separation distance to adjacent lots allowing for comfortable access to the rear yard, sidewalls for maintenance and to reduce overlook issues. Minimum parking ratios and standards are used to control number of parking spaces that are required to service a building (usually based on the type of use and the size of the area occupied) and ensure that there is adequate provision on-site to accommodate for vehicles. The purpose and intent of regulating building height is to prevent impact related to the obstruction of views, overshadowing and to preserve a consistent and uniform streetscape character and pedestrian-orientated scale of buildings. Lastly, regulating projections such as exterior stairs aims to limit encroachments and obstructions within the required side yards.

The proposed variances are contextually appropriate and compatible within the existing employment area and surrounding industrial uses. The proposed building will not appear oversized because of the minor technical increase in height (0.52 metres) – the area consists of a variety of building sizes and types and the height deployed to facilitate the proposed self-storage facility development is undiscernible in terms of its scale. The elevation does not result in a built form that is out of character with the immediate adjacent properties or the employment area.

The proposed interior side yard (south) setback condition of 5.0 metres would occur at the southern property limit and adjacent to an existing industrial building (101 Ashbridge Circle). The southern side of the site, where the variance is required, will be adjacent to the parking lot of adjoining industrial property. The proposed reduction will be further mitigated by a 3.0 metres landscape buffer deployed along the length of the property line. The effect is a condition that will not compromise the intended function of the proposed self-storage facility and other uses for the adjacent property.

Zoning By-law 1-88 does not provide parking requirements specifically for self-storage facilities, and as such the parking rate for a Warehouse use (1 parking space per 100 m2) is utilized. This rate does not accurately reflect the parking demand for a self-storage facility. The applicant has submitted a Traffic Impact Study and Parking Assessment prepared by NexTrans Engineers, dated April 2019, to address the requested parking deficiency, which has been reviewed and considered by the Transportation Division of the Development Engineering Department. The

proposed parking supply of 19 parking spaces has been demonstrated through the parking study to be adequate to serve the proposed use of the site.

Further, it is our opinion that it is appropriate to provide relief of the technical variance related to the encroachment of exterior stairs into an interior yard, as it responds to the buildings architectural design and accommodates safe circulation and means of emergency access. It should be noted that the proposed encroachment of 2.0 metres, instead of the permitted 0.3 metres is well contained within the proposed side yard mitigating impacts on adjacent properties.

In my professional opinion, the requested variances maintain the purpose and intent of the Zoning By-law and represent good planning.

Desirable and Appropriate:

Whether a minor variance is desirable and appropriate can be addressed by assessing the compatibility of the use within the context of the surrounding area. It is my opinion that the requested variance is desirable for the subject lands as the proposed development is consistent with the function and intensity of uses permitted in the VOP and Zoning By-law and is therefore in keeping with the character and mix of employment and industrial uses in the immediate area. The proposal represents a reasonable and compatible development for the subject lands provides an appropriate built form within an employment area to serve a permitted employment use.

With respect to compatibility, the self-storage use is a low intensity land use that does not generate noise, odour or significant traffic volumes. The use is typically staffed by one or two employees at any one time and is visited by patrons on an infrequent basis. In my view, there are no foreseeable adverse impacts to neighbouring properties, the larger employment area, or the Highway 27 streetscape.

It is our opinion that the proposal is desirable and appropriate for the use of the lands and will facilitate the implantation of the Site Plan Approval application (DA.10.031).

Minor in Nature:

The proposed use is not expected to pose any adverse impacts on the surrounding area and function of the existing surrounding industrial and employment uses. The proposed uses and requested variances will not materially alter the character of the area which is generally comprised of an integrated mix of manufacturing, warehousing, processing, transportation, distribution, office and retail accessory uses.

Additionally, the proposed variances are minor in their revision to the development standards and the relief sought is comparatively modest in the overall context of the employment area and based on previous similar minor variance approvals. In my opinion, it is appropriate under these circumstances to grant relief from the requested variances. The impact of doing so is minor in nature.

Conclusion

Having regard to S.45(1) of the Planning Act, it is my professional planning opinion the proposed development represents good planning and the requested variances, individually and collectively:

- Maintain the general intent and purpose of the official plan;
- Maintain the general intent and purpose of the zoning by-law;
- Are desirable for the appropriate development of the land, building or structure; and,
- Are minor in nature.

Submission Materials

In support of the Minor Variance Application, please find enclosed:

1) (2) copies of the completed Minor Variance Application Form with original signatures;
2) (2) copies of the Site Plan, prepared by Romanese Architect Inc.;
3) (2) copies of the Building Standards Department Zoning Review;
4) (2) copies of the Transportation Impact Study and Parking Assessment;
5) (2) copies of the Parcel Register;
6) (1) cheque in the amount of $3,359.00 for the applicable application fee; and
7) (1) USB containing a complete electronic copy of the submission materials.

We request that the enclosed materials be received and circulated for review and comment so that the application can proceed to the earliest available Committee of Adjustment meeting. Should you have any questions or require any additional copies of these materials, please contact the undersigned at ext. 224 or Jon Sasso at ext. 258.

Yours truly,
Weston Consulting
Per:

Sabrina Sgotto, HBA, MCIP, RPP
Associate

c. Walcor Properties Inc.

SITE PLAN GENERAL NOTES:

1. THE OWNER MUST OBTAIN A ROAD OCCUPANCY AND ACCESS PERMIT FROM THE CITY OF VAUGHAN'S WORKS AND TRANSPORTATION DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONSTRUCTION OF WORKS WITHIN THE CITY'S ROAD ALLOWANCE.

2. AT THE REGIONAL ROAD ENTRANCES TO THE SITE, ANY ROAD CURB AND/OR SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH ANY EXISTING OR PROPOSED SIDEWALK.

3. AT ALL MUNICIPAL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER CITY OF VAUGHAN STANDARDS

4. STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE A SINGLE PARCEL OF LAND, UNDER ONE OWNER, UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR SEVERANCE, PART-LOT CONTROL, SUBDIVISION, CONDOMINIUM APPROVAL OR ANY OTHER FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS ASSUMPTION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THAT APPLICANT.

5. ALL UNDERGROUND SERVICES MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH THE CITY OF VAUGHAN'S LATEST STANDARDS AND CODES.

6. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.

7. ALL STORM SEWER MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL & PROVINCIAL STANDARDS & SPECIFICATIONS

8. ALL PARKING AND DRIVEWAYS TO BE ASPHALTED

9. POST 'NO PARKING' SIGNS AT STRATEGIC LOCATIONS ALONG THE FIRE ROUTE.

10. SOLID WASTE & RECYCLING BY PRIVATE ENTERPRISE CONTAINED WITHIN BUILDING.

11. CAUTION: LOCATIONS OF ANY UNDERGROUND SERVICES ARE APPROXIMATE. OTHER BURIED SERVICES MAY EXIST WHICH ARE NOT SHOWN BECAUSE OF INSUFFICIENT INFORMATION. CONTACT ALL POTENTIAL OWNERS OF UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PROJECT DESCRIPTION:

NEW 6 STOREY SELF STORAGE FACILITY (GROUP F, DIVISION 2)

CONSTRUCTION IS NON-COMBUSTIBLE CONSISTING OF STEEL STRUCTURE & COMPOSITE FLOOR SLAB FOR THE 6 STOREY BUILDING. IT IS CLIMATE CONTROLLED & BARRIER FREE. BUILDING IS SPRINKLERED.

SITE STATISTICS:

ZONING (EXISTING):	EM1 - EMPLOYMENT AREA ZONE
ZONING (PROPOSED):	EM1 - EMPLOYMENT AREA ZONE
EXISTING LOT AREA:	4,738.48 SQ.M (1.17 ACRES) (0.47 HA)
BUILDING FOOTPRINT (LOT COVERAGE):	1,979.14 SQ.M (21,303.29 SQ.FT) (41.8%)
LANDSCAPE AREA:	1,621.49 SQ.M (17,453.57 SQ.FT) (34.2%)
ASPHALT AREA:	1,137.85 SQ.M (12,247.72 SQ.FT) (24.0%)
TOTAL:	(100%)

BUILDING AREAS:

PHASE 1

FLOOR	AREA SQ.M	AREA SQ.FT
GROUND FLOOR:	1,622.17 SQ.M	17,459.49 SQ.FT
2ND FLOOR:	1,392.27 SQ.M	14,986.27 SQ.FT
3RD-6TH FLOORS:	7,008.64 SQ.M	75,440.37 SQ.FT
TOTAL:	**10,022.95 SQ.M**	**107,886.13 SQ.FT**

PHASE 2

FLOOR	AREA SQ.M	AREA SQ.FT
GROUND FLOOR:	356.97 SQ.M	3,842.39 SQ.FT
2ND FLOOR:	356.97 SQ.M	3,842.39 SQ.FT
3RD-6TH FLOORS:	1,427.88 SQ.M	15,369.56 SQ.FT
TOTAL:	**2,141.82 SQ.M**	**23,054.36 SQ.FT**

PHASE 1 + PHASE 2

FLOOR	AREA SQ.M	AREA SQ.FT
GROUND FLOOR:	1,979.14 SQ.M	21,303.29 SQ.FT
2ND FLOOR:	1,749.24 SQ.M	18,828.66 SQ.FT
3RD-6TH FLOORS:	8,436.52 SQ.M	90,809.95 SQ.FT
TOTAL:	**12,164.90 SQ.M**	**130,941.89 SQ.FT**

PARKING:

TOTAL PARKING SPACES REQUIRED: 122 SPACES
BASED ON WAREHOUSING PARKING RATE OF
1 SPACE PER 100 sq.m --> 12,164.90m²/100m² = 122
TOTAL SPACES PROVIDED: 17

ACCESSIBLE PARKING SPACES PROVIDED: 2 TYPE 'A' SPACE
(BASED ON ONTARIO REGULATION NO. 191/11 "INTEGRATED ACCESSIBILTY STANDARDS" SENTENCE 80.36(2), FOR 13-100 PARKING SPACES MINIMUM 4% OF THE TOTAL IS TO BE ACCESSIBLE PARKING)
ACCESSIBLE PARKING REQUIRED: 0.04 x 17 SPACES = 1 SPACE

LOADING SPACE PROVIDED: 3 SPACES (3.5m x 15m x 7m VERTICAL HEIGHT) **- NONE REQUIRED**

BICYCLE SPACES: 4 SPACES PROVIDED (1800mm x 600mm SPACE C/W BICYCLE RACK)

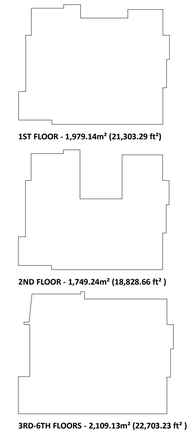
GARBAGE STORAGE:

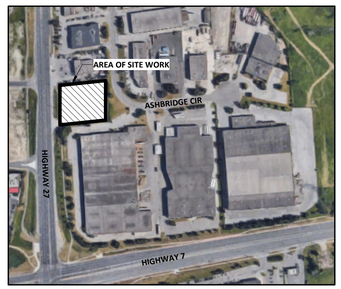
GARBAGE IS STORED INSIDE THE BUILDING. SEPARATE EXTERIOR GARBAGE STORAGE FACILITIES ARE NOT REQUIRED.
NOTE: THE WASTE STORAGE FACILITY MEETS THE STANDARD FOR VENTILATION AND ODOUR CONTROL

SNOW STORAGE:

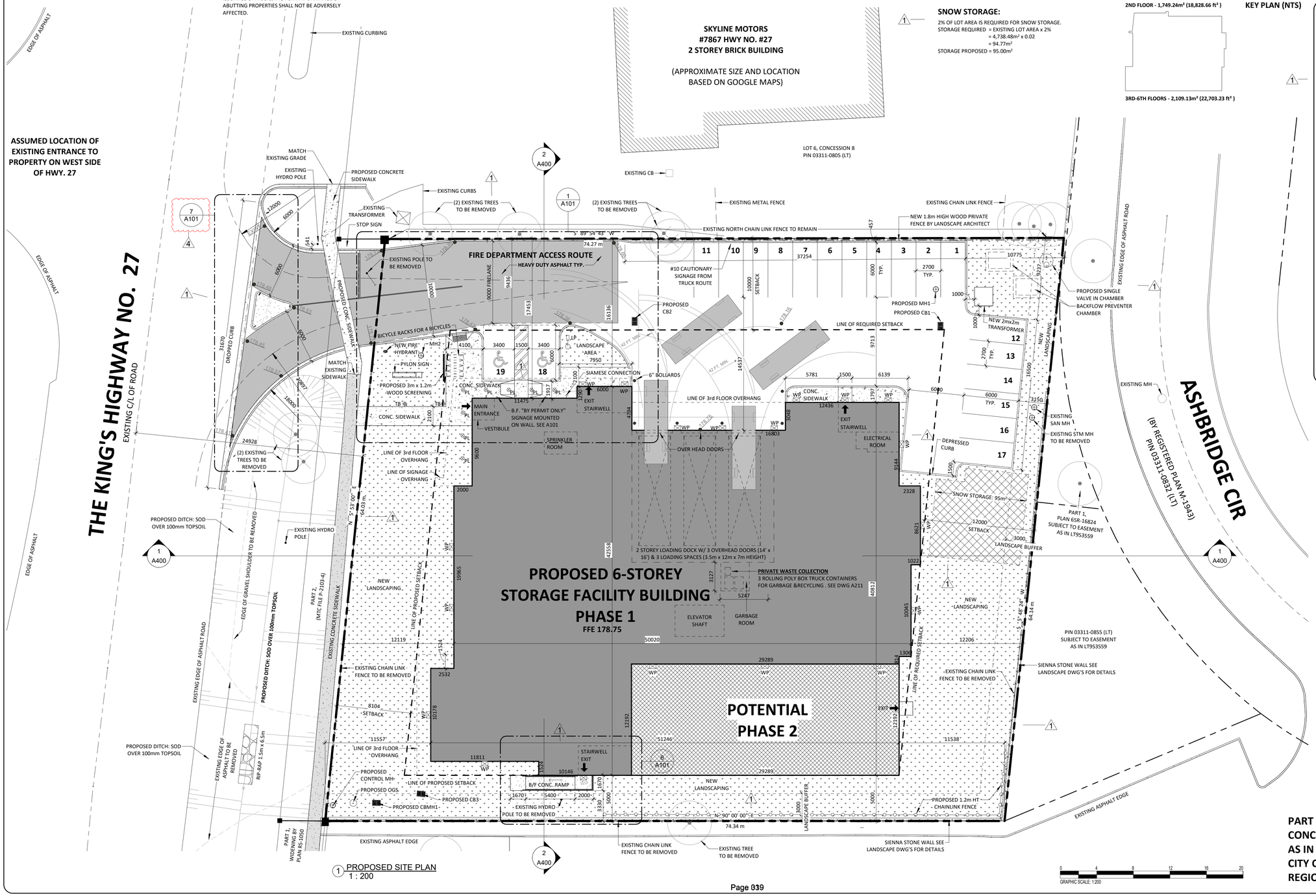
2% OF LOT AREA IS REQUIRED FOR SNOW STORAGE.
STORAGE REQUIRED = EXISTING LOT AREA x 2%
= 4,738.48m² x 0.02
= 94.77m²
STORAGE PROPOSED = 95.00m²

CONTEXT PLAN





KEY PLAN (NTS)



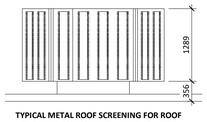
1 PROPOSED SITE PLAN
1 : 200

PART OF LOT 6
CONCESSION 8 VAUGHAN
AS IN R469183
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SITE LEGEND:

- PROPERTY LINE
- EASEMENT
- SETBACK
- LANDSCAPE BUFFER
- CHAINLINK FENCE
- EXISTING CHAINLINK FENCE
- FIRELANE (HEAVY DUTY ASPHALT)
- BARRIER FREE CONCRETE WALKWAY
- EXISTING CONCRETE WALKWAY
- LANDSCAPED AREA
- PAINTED WALKWAY ON ASPHALT (NO PARKING)
- NEW DECORATIVE LIGHT STANDARD 2.5m HIGH
- FIRE HYDRANT
- BARRIER FREE SIGN (SEE A101)
- BOLLARD
- NEW TRAC BOLLARD
- NEW LED WALL PAK — WP
- NEW POT LIGHT — PL
- MANHOLE
- CATCH BASIN
- CATCH BASIN/MANHOLE
- TACTILE WALKING SURFACE

NOTE: FOR ALL LIGHTING TYPES REFER TO LANDSCAPE PHOTOMERIC PLAN 'LP-01'



TYPICAL METAL ROOF SCREENING FOR ROOF TOP MECHANICAL UNITS - COLOUR: GREY

TRUE NORTH | PROJECT NORTH

NOTE:
DIMENSIONS FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

FOF = FACE OF FINISH

GENERAL NOTE:
1. DESIGN & CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES MUNICIPAL BY-LAWS.
2. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER/ DESIGNER PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECS. ETC PREPARED BY THE ARCHITECT/ENGINEER/DESIGNER ARE HIS PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AT HIS REQUEST.
3. DO NOT USE DRAWINGS FOR CONSTRUCTION UNLESS ISSUED FOR THAT PURPOSE.
4. WORK TO DIMENSIONS- DO NOT SCALE!
5. THESE DRAWINGS ARE COPYRIGHT PROTECTED

DATE:	ISSUED FOR:
OCT 25/18	
FEB 15/19	CO-ORDINATION
FEB 21/19	CO-ORDINATION
APR 10/19	ISSUED FOR SITE PLAN APPROVAL
SEPT 26/19	SPA 2ND SUBMISSION
DEC 20/19	SPA 3RD SUBMISSION
APR 2/20	SPA 4TH SUBMISSION

No.	DATE:	REVISION:
1	SEPT 26/19	AS PER CITY COMMENTS
4	OCT 31/19	AS PER SPA COMMENTS

ONTARIO ASSOCIATION ARCHITECTS
LEONARDO ROMANESE
LICENCE
4604

SITE PLAN APPROVAL
4th SUBMISSION
APRIL 2, 2020

ROMANESE
ARCHITECT INC.
42 GOODMARK PLACE, UNIT 10
ETOBICOXE, ONTARIO M9W 6S2
TEL: 416.674.5006 FAX: 416.674.9383

PROPOSED SELF STORAGE FACILITY

LOCATION:
#7845 HIGHWAY 27
VAUGHAN, ON

REGION FILE # SP.19.V.0119

SHEET TITLE:
SITE PLAN

DRAWN BY: Author	CADD FILE:
CHECKED BY: Checker	SCALE: As indicated
	DATE: 03/07/18
DRAWING NUMBER: A100	REV NUMBER: 4

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A118/19 - REQUEST FOR COMMENTS (VAUGHAN - Committee of Adjustment)
Attachments: A118-19 - CIRCULATION.pdf

From: Wong, Tiffany <Tiffany.Wong@york.ca>
Sent: September-12-19 2:26 PM
To: Providence, Lenore <Lenore.Providence@vaughan.ca>
Subject: FW: A118/19 - REQUEST FOR COMMENTS (VAUGHAN - Committee of Adjustment)

Hello Lenore,

The Regional Municipality of York has completed its review of the above Minor Variance Application- A118/19 (7845 Highway 27) and has **no comments.** Conditions will be addressed through the various site plan application related to this file. Please feel free to e-mail me in regards to any questions or concerns.

Thank you,
Tiffany