



File: A103/19

Applicant: Marvin and Dana Godelewicz

Address: 211/215 Centre Street, Thornhill

Agents: Alex Akselrod / Jay Mason

Please note that comments received after the preparation of this Staff Report (up until 4:00 p.m. on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None.

Background History: B046/15 and A123/16 (see next page for details)

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, February 27, 2020



Minor Variance
Application

Agenda Item: 13

A103/19

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date of Hearing: Thursday, February 27, 2020

Applicant: Marvin and Dana Godelewicz

Agent: Jay Mason and Alex Akselrod

Property: 211/215 Centre Street, Thornhill

Zoning: The subject lands are zoned R1V Old Village Residential and subject to the provisions of Exception No. 9(1404), under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010: Low Rise Residential

Related Files: None.

Purpose: Relief from the Zoning By-Law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. One single and one semi-detached dwelling are permitted.	1. To permit a single detached dwelling on the subject lands.
2. A minimum interior side yard setback of 1.5 metres is required.	2. To permit a minimum westerly interior side yard setback of 1.46 metres to the dwelling.
3. A maximum lot coverage of 20% is permitted.	3. To permit a maximum lot coverage of 26.47% for the dwelling, garage, covered deck and front porch (22.93% dwelling, 0.31% covered porch, 3.16% covered deck).
4. A maximum building height of 9.5 metres is permitted.	4. To permit a maximum building height of 10.5 metres for the dwelling.
5. A maximum eave and gutter encroachment of 0.50 metres is permitted into a required yard.	5. To permit a maximum eave and gutter encroachment of 0.71 metres into the required yard.

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
B046/15	The purpose of this application to convey parcel of land as an ADDITION to an existing lot taken into the title of the lands to the EAST.	Approved – March 17, 2016
A123/16	To facilitate the severance of the lands and permit the construction of single detached dwellings. 1. To permit a minimum lot frontage of 15.1 metres. 2. To permit a maximum lot coverage of 26%, provided that the maximum lot coverage for the dwelling shall be 23%.	Approved – March 17, 2016

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on February 12, 2020

Applicant confirmed posting of signage on February 12, 2020

Property Information	
Existing Structures	Year Constructed
Vacant land	N/A

Applicant has advised that they cannot comply with By-law for the following reason(s): The client wants a bigger house to match the neighbourhood house sizes.

Adjournment Request: N/A

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

An air conditioning unit and/or pool equipment shall be setback a minimum of 0.60 metres from the interior side lot line; and a minimum of 6.0 metres from the rear lot line.

Lot coverage calculation: 22.99% dwelling, 0.31 covered porch, 3.16% covered deck

Recommended condition of approval:

A registered Consolidation of Parcels from the Land Registry Office is required for Part 4 and Part 9 as shown on the site plan attached to the application.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010: Low Rise Residential

The Owner is requesting permission to construct a 2-storey single-detached dwelling with the above variances. The Development Planning Department conducted a site visit on October 15, 2019. Variance #1 is technical in nature and seeks to formalize the permission of a single-detached residential dwelling on the subject lands.

The dwelling proposes a height of 10.5 metres (Variance #4) and lot coverage of 26.47% (22.99% dwelling, 0.31 covered porch, 3.16% covered deck) (Variance #3), which is an appropriate building type for the neighborhoods’ existing built form. The proposed building height is measured to the midpoint of the roof and is consistent with development approvals recieved throughout the neighborhood.

The Owner is proposing a westerly interior side yard setback of 1.46 metre to the dwelling (Variance #1) and a maximum eave and gutter encroachment of 0.71 metres into the required yard (Variance #2) which is considered minor in nature. Schedule A100 attached denotes the proposed dwelling in addition to the relationship with both neighboring properties located at 207 and 223 Centre Street. The proposed dwelling on the subject lands has increased the front yard setback to 16.72 metres to mitigate the impacts on the surrounding neighborhood and the eave and gutter encroachment will have minor impacts on either neighbor.

The Owner submitted an Arborist Report prepared by Green Haven Tree Service dated June 13, 2019, and amended December 16, 2019. The Urban Design Division of the Development Planning Department and Parks, Forestry and Horticulture Operations has reviewed the submitted Arborist Report and is satisfied.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the Minor Variance Application.

Cultural Heritage (Urban Design):

No comments or concerns

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A103/19 subject to the following conditions:

- 1) The owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property.
- 2) The Owner/applicant shall approach Development Inspection and Lot Grading division of Development Engineering to apply for the required service connections for the severed lands & service connection upgrades (if applicable) within the retained lands as per city standards, complete with a servicing and lot grading plan. The Owner/applicant shall pay the required connection fee(s) following confirmation of service connection estimates.

Parks, Forestry and Horticulture Operations:

Requested revisions have been addressed. Arborist report accepted.

TRCA has confirmed that they have no interest in the tree removals on the subject site(s).

Forestry conditions are as follows:

- 1) Prior to permit issuance, all fees shall be paid (i.e. boulevard tree removal value, removal fees, processing fees);
- 2) Prior to permit issuance, hoarding inspection shall be required by forestry staff

By-Law and Compliance, Licensing and Permit Services:

No Response.

Financial Planning and Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:

No Response.

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

None

Schedule C - Agency Comments

TRCA – comments with conditions

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

Consent Application – B046/15

Minor Variance Application – A123/16

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Building Standards Catherine Saluri 905-832-8585 x catherine.saluri@vaughan.ca	A registered Consolidation of Parcels from the Land Registry Office is required for Part 4 and Part 9 as shown on the site plan attached to the application.
2	Development Engineering Jason Pham 905-832-8585 x 8716 Jason.pham@vaughan.ca	1) The owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. 2) The Owner/applicant shall approach Development Inspection and Lot Grading division of Development Engineering to apply for the required service connections for the severed lands & service connection upgrades (if applicable) within the retained lands as per city standards, complete with a servicing and lot grading plan. The Owner/applicant shall pay the required connection fee(s) following confirmation of service connection estimates.
3	Parks, Forestry and Horticulture Operations Andrew Swedlo 905-832-8585 x 3615 Andrew.swedlo@vaughan.ca	3) Prior to permit issuance, all fees shall be paid (i.e. boulevard tree removal value, removal fees, processing fees); 4) Prior to permit issuance, hoarding inspection shall be required by forestry staff
4	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	That the applicant provides the required \$580.00 review fee for Minor Variance Application A103/19.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

WRITTEN SUBMISSIONS: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

ORAL SUBMISSIONS: If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

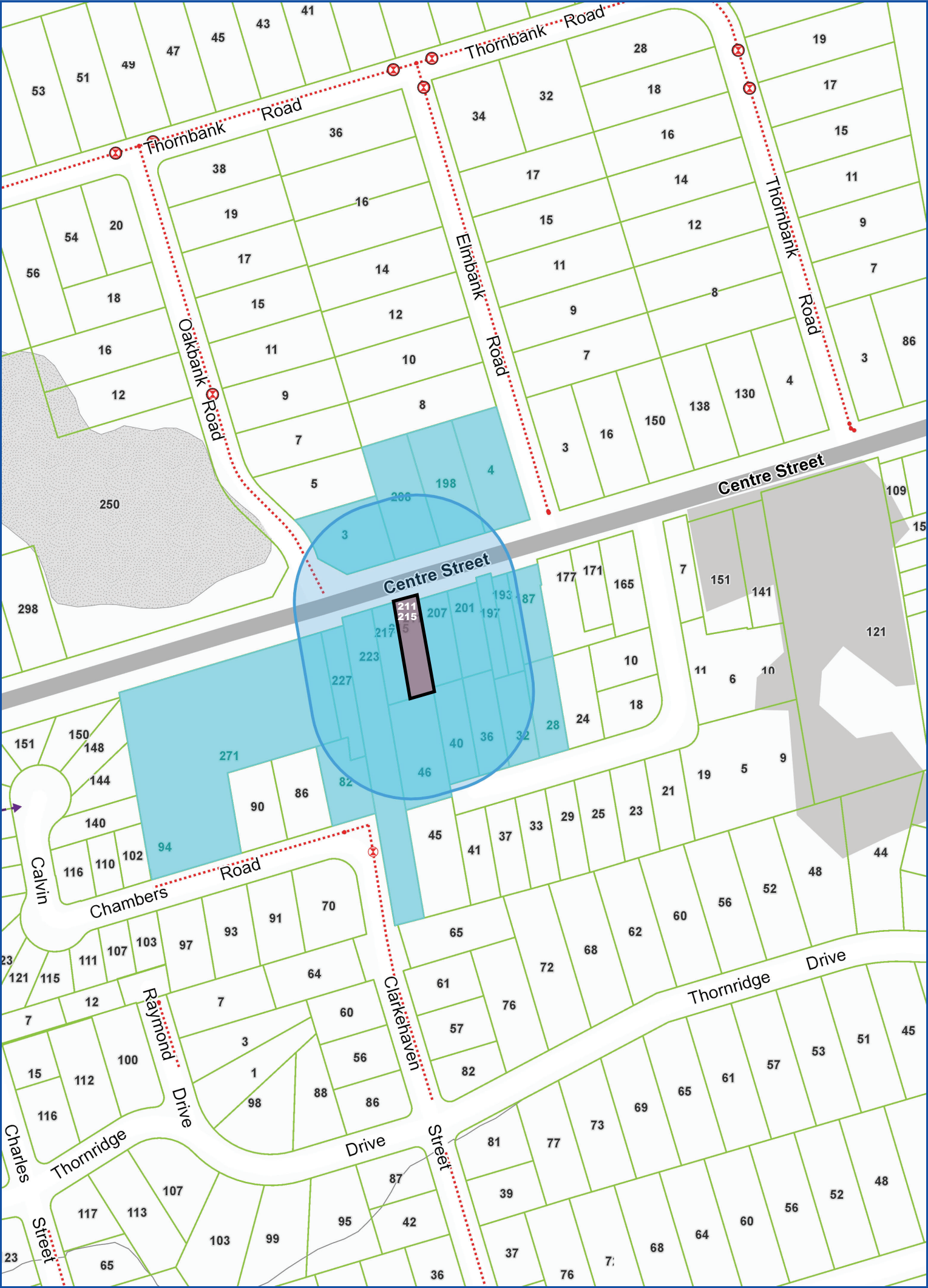
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

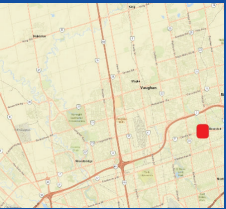
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map
Sketches



Map Information:



Title:

211/215 CENTRE STREET, THORNHILL

NOTIFICATION MAP - A103/19

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,177

0 0.05 km



Created By:

Infrastructure Delivery
Department
February 12, 2020 5:35 PM

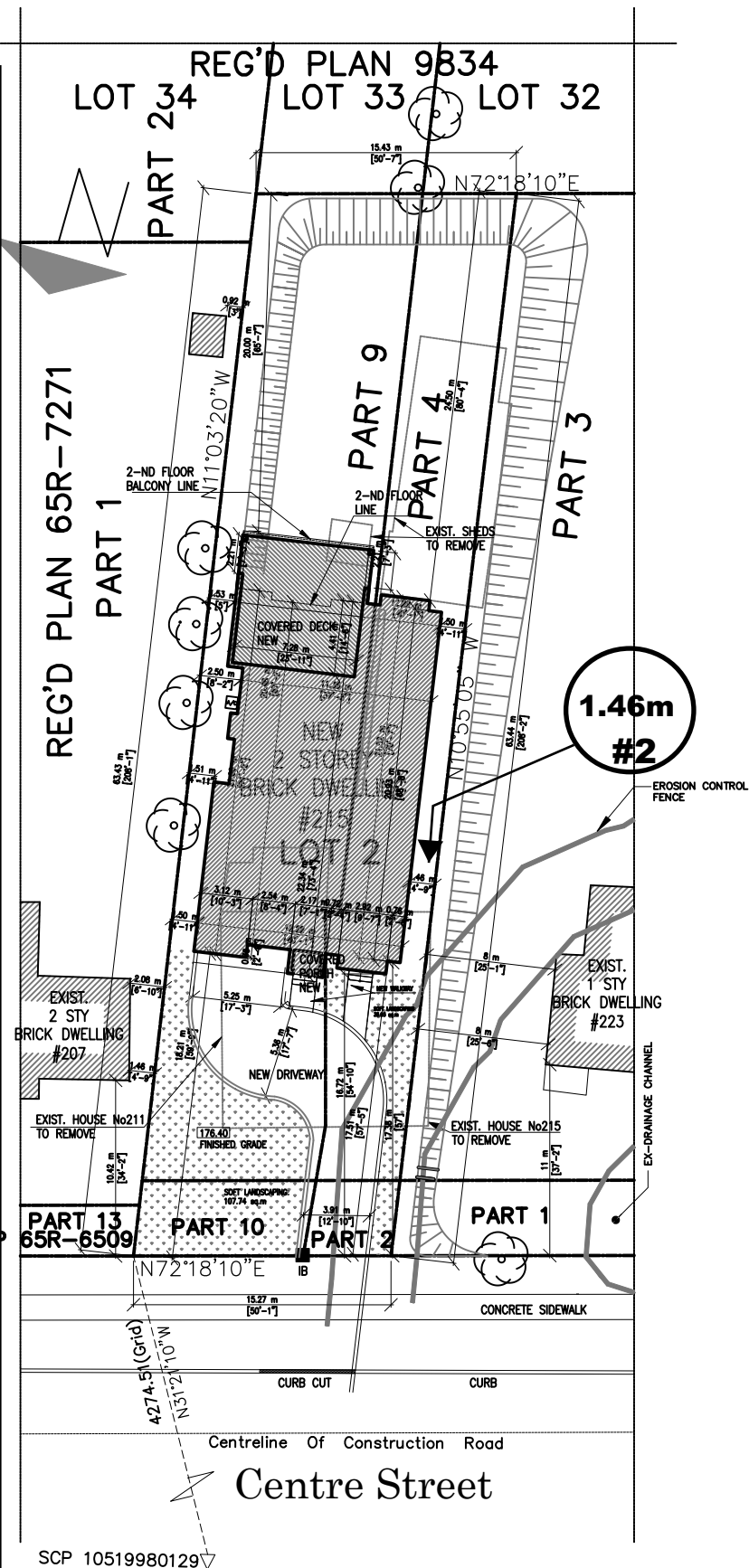
Projection:
NAD 83
UTM Zone
17N

Revised

February 5, 2020

A103/19

1. To permit a single detached dwelling on the subject lands.
2. To permit a minimum westerly interior side yard setback of 1.46 metres to the dwelling.
3. To permit a maximum lot coverage of 26.47% for the dwelling, garage, covered deck and front porch (22.93% dwelling, 0.31 covered porch, 3.16% covered deck).
4. To permit a maximum building height of 10.5 metres for the dwelling.
5. To permit a maximum eave and gutter encroachment of 0.71 metres into the required yard.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C – 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C – 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD 100624
FIRM NAME BCIN

DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO

THE DESIGNER BEFORE COMMENCING ANY WORK
DATE: 2020/01/29 PROJECT NO: 13-30

SCALE: 1 : 400 DWG. NO:

DRAWN: A.A. CHECKED: A100



5000 Yonge Street, Suite 1901
Toronto, Ontario M2N 7E9

office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

PROJECT: RENOVATION

215 Centre Street
Vaughan

REVISION / ISSUE

DRAWING TITLE: SITE PLAN
METRIC

Revised

February 5, 2020

A103/19

Address:	215 Centre Street, Vaughan		part of the city	
Description:	NEW 3 STOREY BRICK DWELLING		map	
Building Type:	sfd			
Parking:	new garage			
ZONING	LOT NO	PLAN NO	LOT AREA	
R1V				
			967.06 sq.m	10,409.34 sq.ft
				min.
DESCRIPTION	PROPOSED	TOTAL		%
LOT COVERAGE (main dwelling)	184.36 sq.m	184.36 sq.m	1,984.43 sq.ft	19.06%
GROSS FLOOR AREA	599.88 sq.m	599.88 sq.m	6,457.05 sq.ft	
GR. FLOOR	184.36 sq.m	184.36 sq.m	1,984.43 sq.ft	
2ND FLOOR	261.12 sq.m	261.12 sq.m	2,810.67 sq.ft	
3RD FLOOR	154.40 sq.m	154.40 sq.m	1,662.35 sq.ft	
Garage	38.05 sq.m	38.05 sq.m	409.57 sq.ft	3.93%
LOT COVERAGE (MAIN DWELLING+GARAGE)				22.93%
COVERED STRUCTURES				
front porch	2.99 sq.m	2.99 sq.m	32.18 sq.ft	0.31%
Covered deck	30.6 sq.m	30.60 sq.m	329.38 sq.ft	3.16%
LOT COVERAGE (covered structures)	33.59 sq.m	33.59 sq.m	361.56 sq.ft	3.47%
TOTAL LOT COVERAGE (Accessory and main)	256.00 sq.m	256.00 sq.m	2755.5584 sq.ft	26.47%
Floor space index				62.03%
HEIGHT	10.50 m			
LENGTH	23.00 m			
lot frontage	15.27 m			
LANDSCAPING:	PROPOSED			PROPOSED
Front Yard Total	264.95 sq.m			
Front Soft Landscaping	142.77 sq.m	Front Landsc. Front		53.89%
SETBACKS	PROPOSED			
FRONT YARD	16.51 m			
REAR YARD	20.00 m			
SIDE YARD(L) (EAST)	1.50 m			
SIDE YARD(R)(WEST)	1.46 m			
SIDE YARD TO THE INTERIOR SIDE				
YARD STAIRS	0.91 m			
INTERIOR SIDE YARD				
TO THE SECOND FLOOR BALCONY	0.49 m			

- #3
- #4
- #2
- To permit a single detached dwelling on the subject lands.
 -
 - To permit a maximum lot coverage of 26.47% for the dwelling, garage, covered deck and front porch (22.93% dwelling, 0.31 covered porch, 3.16% covered deck).
 -
 - To permit a maximum eave and gutter encroachment of 0.71 metres into the required yard.

REC'D PLAN 65R-

PART 1

2-ND FLOOR BALCONY LINE

2-ND FLOOR LINE

EXIST. SHEDS TO REMOVE

PART

COVERED DECK NEW

NEW 2 STOREY BRICK DWELLING #215 LOT 2

1.46 #2

EROSION FENCE

EXIST. 1 STY BRICK DWELLING

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)

AL AKSELROD 37139 BCIN

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CADAXX DESIGN LTD 100624 BCIN

DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO

THE DESIGNER BEFORE COMMENCING ANY WORK DATE: 2020/01/29 PROJECT NO: 13-30

SCALE: 1 : 200 DWG. NO:

DRAWN: A.A. CHECKED: A101



5000 Yonge Street, Suite 1901
Toronto, Ontario M2N 7E9

office 416.639.0904 cell 416.873.6899
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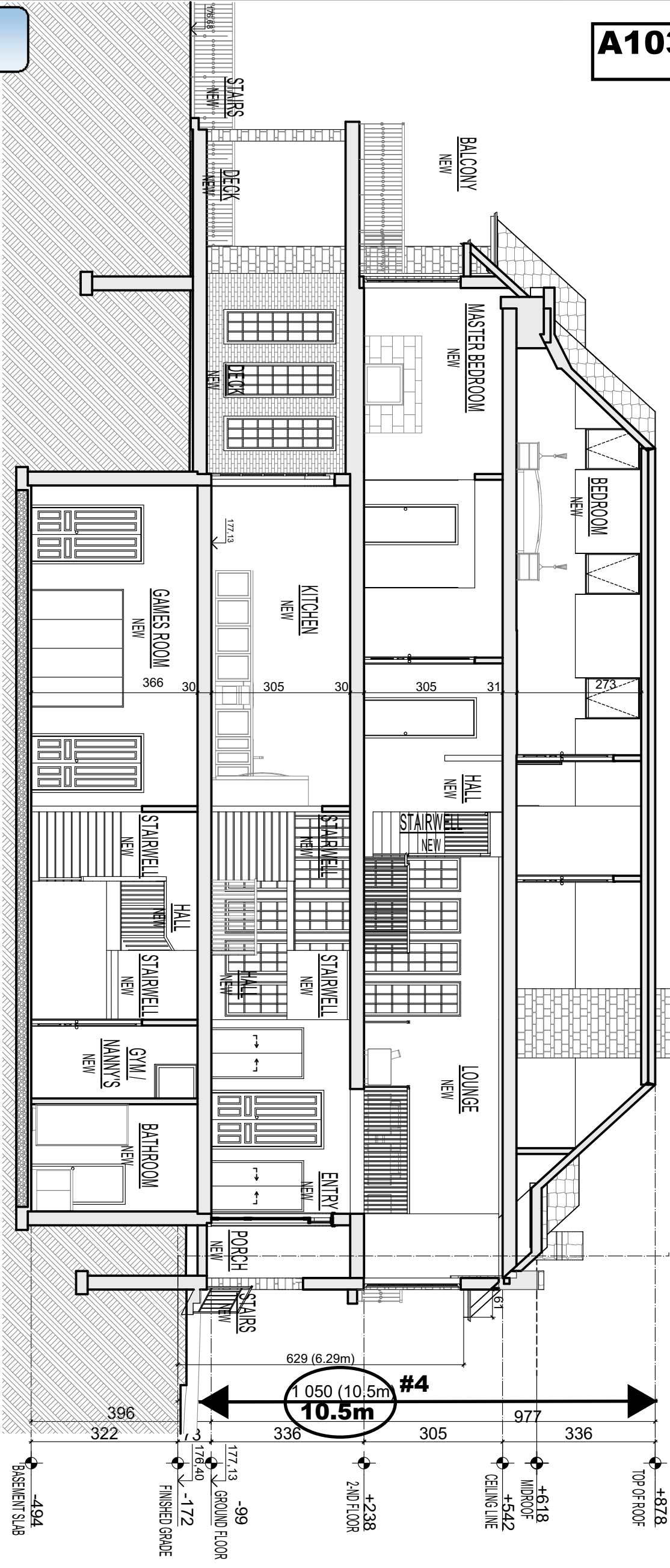
PROJECT:

RENOVATION

215 Centre Street
Vaughan

REVISION / ISSUE

DRAWING TITLE: SITE PLAN - DETAIL
METRIC



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QUALIFICATION INFORMATION

Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.3.1. of the 1997 Ontario Building Code)

A. AKSELROD

SIGNATURE

BCIN 37139

REGISTRATION INFORMATION

Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN

100624

FIRM NAME

BCIN



5000 Yonge Street, Suite 1901
Toronto, Ontario M2N 7E9
office 416.639.0804
www.cadaxx.com

cell 416.673.6899
info@cadaxx.com

DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

PROJECT:

PROPOSED
215 Centre St
Vaughan

REVISION / ISSUE

DATE:

29.01.2020

PROJECT NO:

13-30

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK

DRAWN:

SCALE: 1:100

CHECKED:

DRAWING TITLE:

SECTION B-B - PROPOSED

AA.

A205

CHIMNEY
EXST.

+878
TOP OF ROOF

+618
MIDROOF

+542
CEILING LINE

+238
2ND FLOOR

-99
GROUND FLOOR

-172
FINISHED GRADE

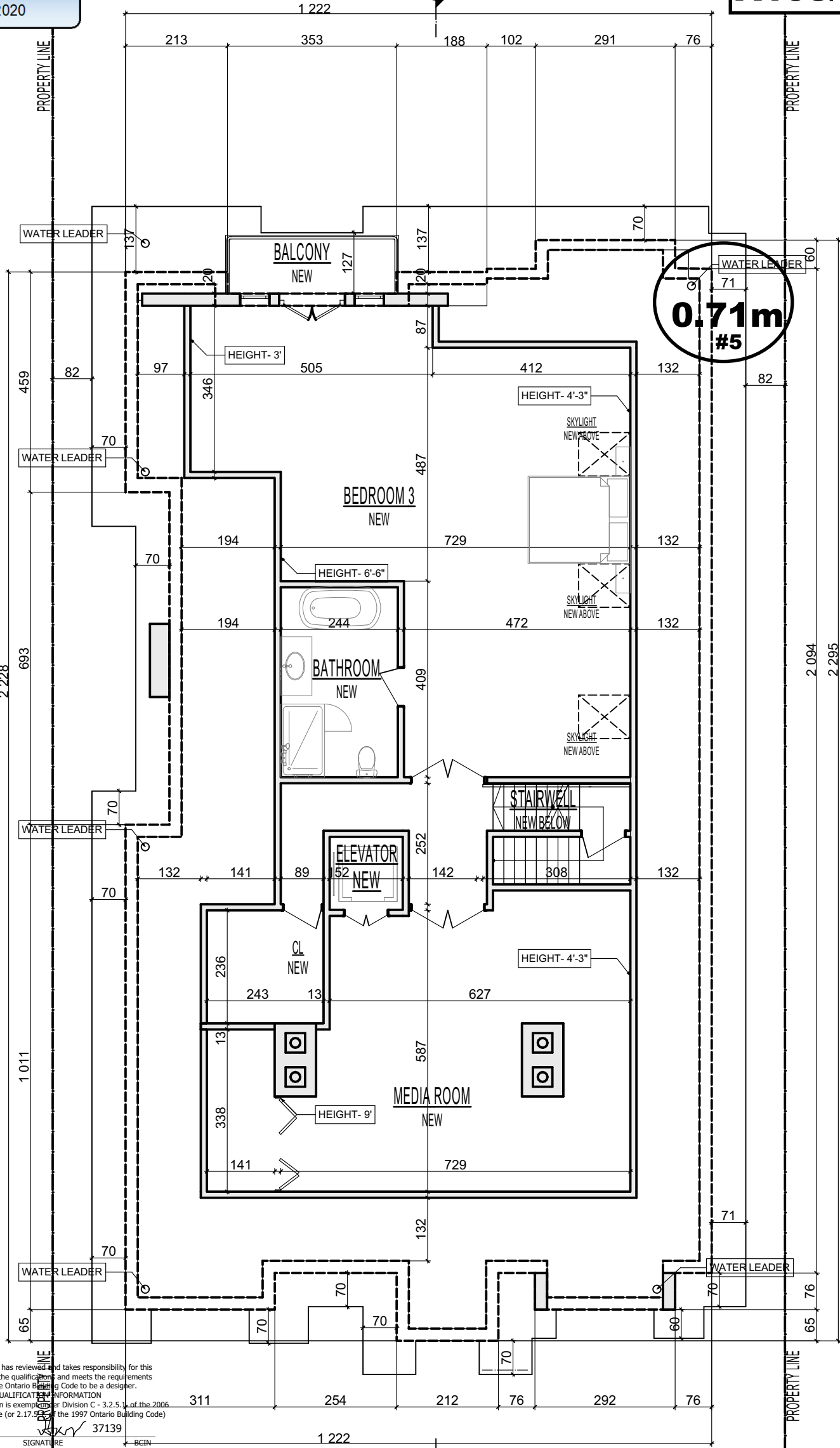
-494
BASEMENT SLAB

10.5m
#4

Revised

February 5, 2020

A103/19



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A. AKSELROD 37139

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CADAXX DESIGN 100624
FIRM NAME BCIN

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cell 416.873.6899
info@cadaxx.com

PROJECT:
PROPOSED
215 Centre St
Vaughan

REVISION / ISSUE
DRAWING TITLE:
ROOF PLAN - PROPOSED

DATE:
29.01.2020
SCALE:
1:100
DRAWN:
A.A.
CHECKED:

PROJECT NO:
13-30
DWG. NO:
A203

Revised

February 5, 2020

A103/19

REG'D PLAN 65R-7271

PART 1

PART 9

PART 4

PART 3

2-ND FLOOR
BALCONY LINE

2-ND FLOOR
LINE

EXIST. SHEDS
TO REMOVE

COVERED DECK
NEW

NEW
2 STOREY
BRICK DWELLING
#215
LOT 2

COVERED
PORCH
NEW

EXIST.
2 STY
BRICK DWELLING
#207

EXIST.
1 STY
BRICK DWELLING
#223

EXIST. HOUSE No211
TO REMOVE

EXIST. HOUSE No215
TO REMOVE

PART 13
P 65R-6509

PART 10

PART 2

PART 1

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A. AKSELROD 37139

NAME SIGNATURE BCIN

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FIRM NAME BCIN



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PROJECT:

RENOVATION

215 Centre Street
Vaughan

REVISION / ISSUE

DRAWING TITLE: SITE PLAN - DETAIL
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DO NOT START CONSTRUCTION
UNTILL A PERMIT IS ISSUED.
USE ONLY OFFICIAL CITY
STAMPED
PERMIT DRAWINGS FOR
CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL CHECK AND
VERIFY
DIMENSIONS AND REPORT ANY DISCREPANCIES
TO

THE DESIGNER BEFORE COMMENCING ANY WORK
DATE: 2020/01/29 PROJECT NO: 13-30

SCALE: 1 : 200 DWG. NO:

DRAWN: A.A. CHECKED: A100a

Revised

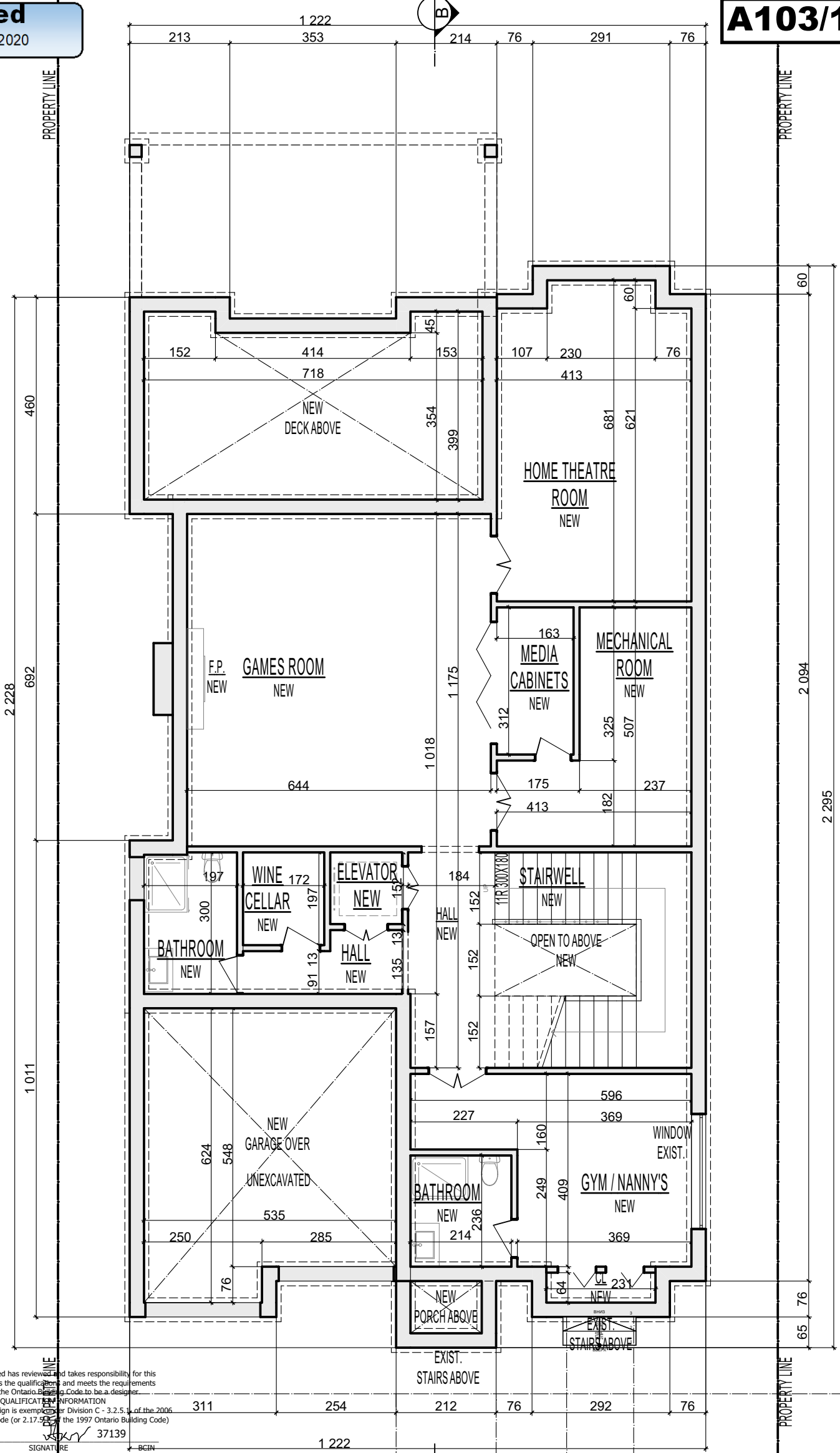
February 5, 2020

A103/19

PROPERTY LINE

PROPERTY LINE

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD 37139

NAME SIGNATURE
REGISTRATION INFORMATION

Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN 100624
FIRM NAME BCIN

DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED DRAWINGS FOR CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK



5000 Yonge Street, Suite 1901
Toronto, Ontario M2N 7E9

office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

PROJECT:

PROPOSED
215 Centre St
Vaughan

REVISION / ISSUE

DRAWING TITLE:

BASEMENT PLAN - PROPOSED

DATE:

29.01.2020

SCALE:

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DRAWN:

A.A.

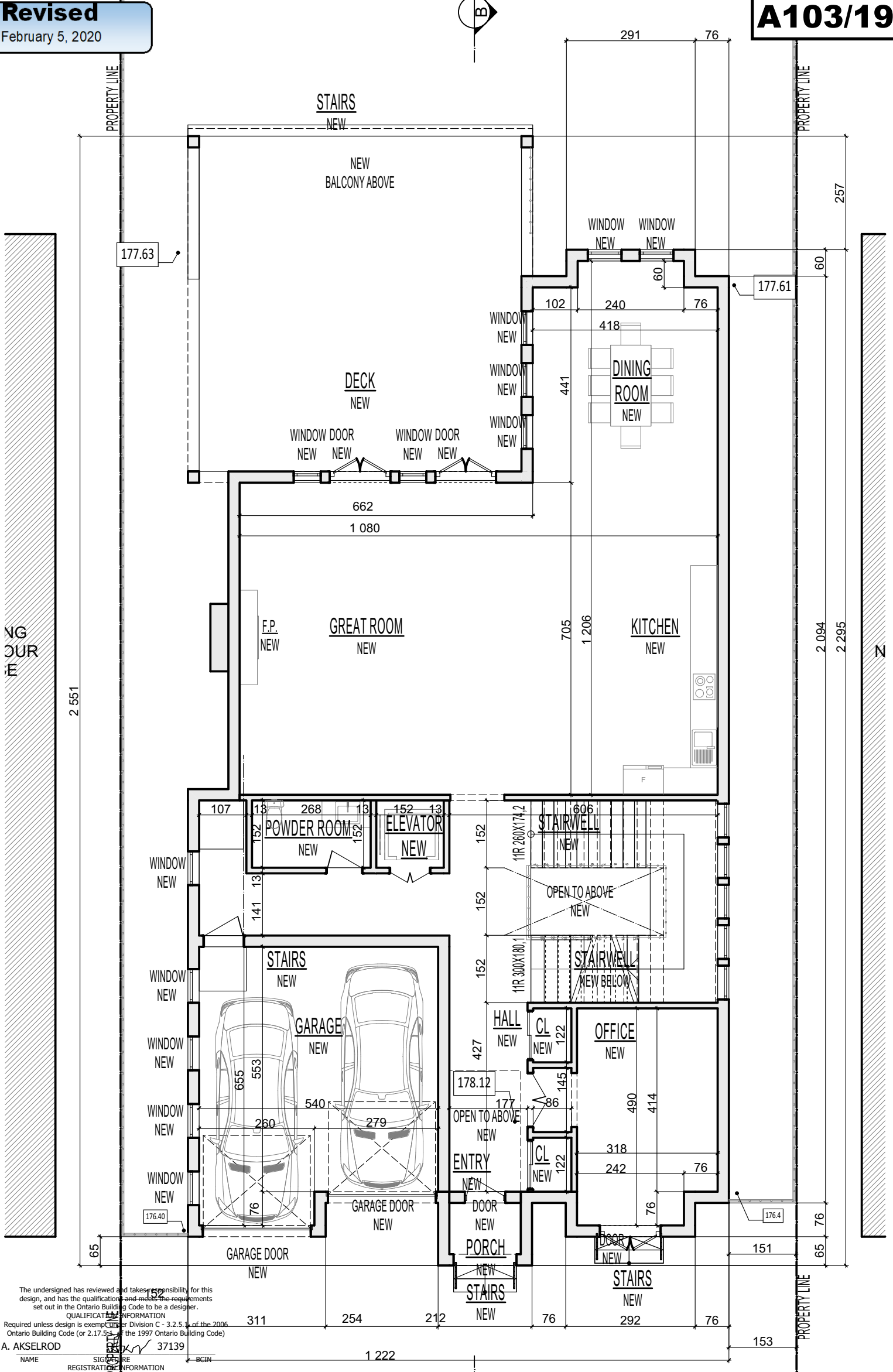
CHECKED:

PROJECT NO:

13-30

DWG. NO:

A200



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD
NAME
SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN
FIRM NAME
100624
BCIN

DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.		NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK	
USE ONLY OFFICIAL CITY STAMPED DRAWINGS FOR CONSTRUCTION.			
PROJECT: PROPOSED 215 Centre St Vaughan	REVISION / ISSUE		DATE: 29.01.2020
			PROJECT NO: 13-30
	DRAWING TITLE: GROUND FLOOR PLAN - PROPOSED		DWG. NO: A201
		SCALE: 1:100	
		DRAWN: A.A.	CHECKED:

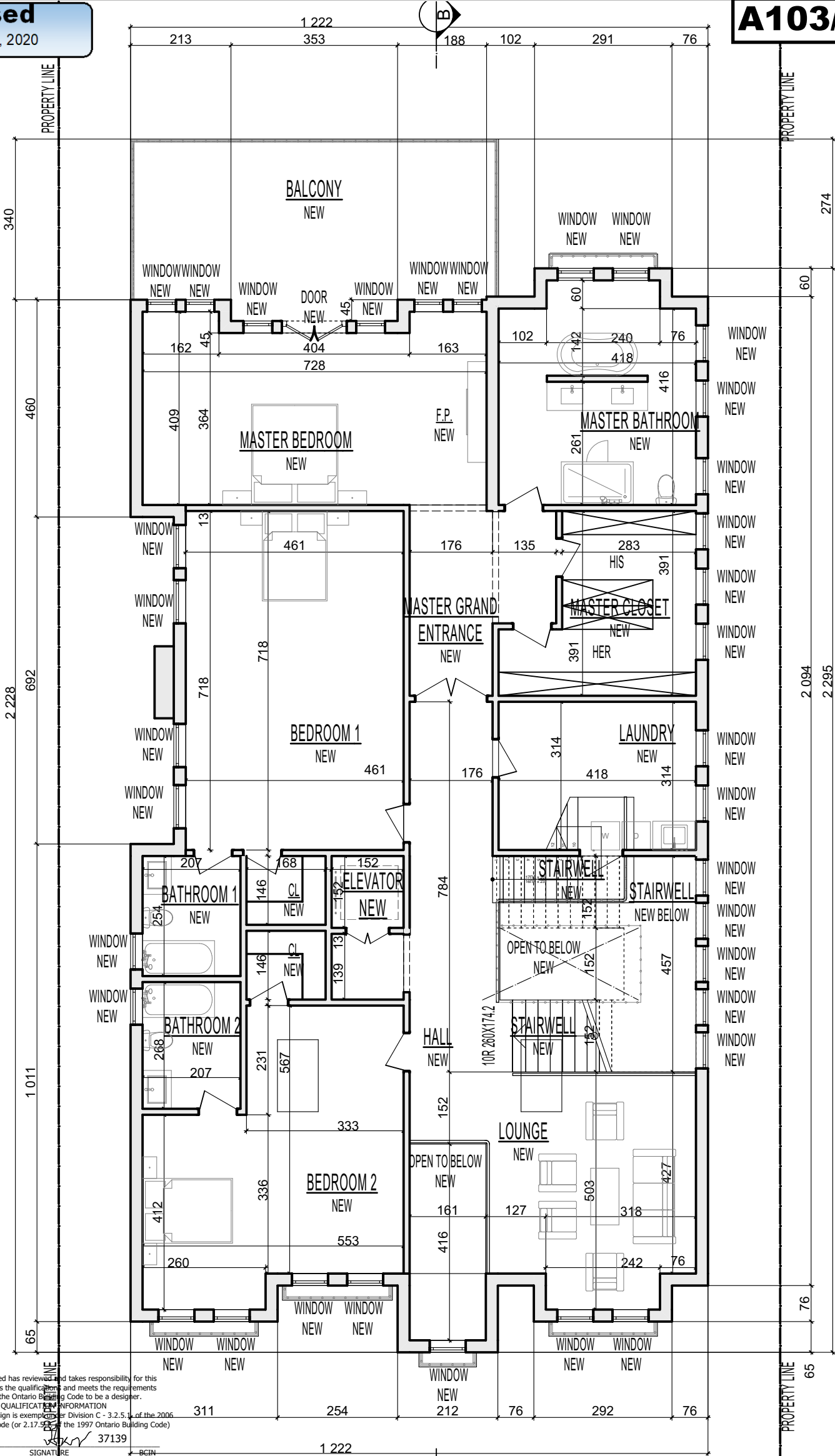


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Toronto, Ontario M2N 7E9
office 416.639.0904
www.cadaxx.com
cell 416.873.6899
info@cadaxx.com

Revised

February 5, 2020

A103/19



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QUALIFICATION INFORMATION
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A. AKSELROD 37139

NAME SIGNATURE
REGISTRATION INFORMATION
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CADAXX DESIGN 100624
FIRM NAME BCIN

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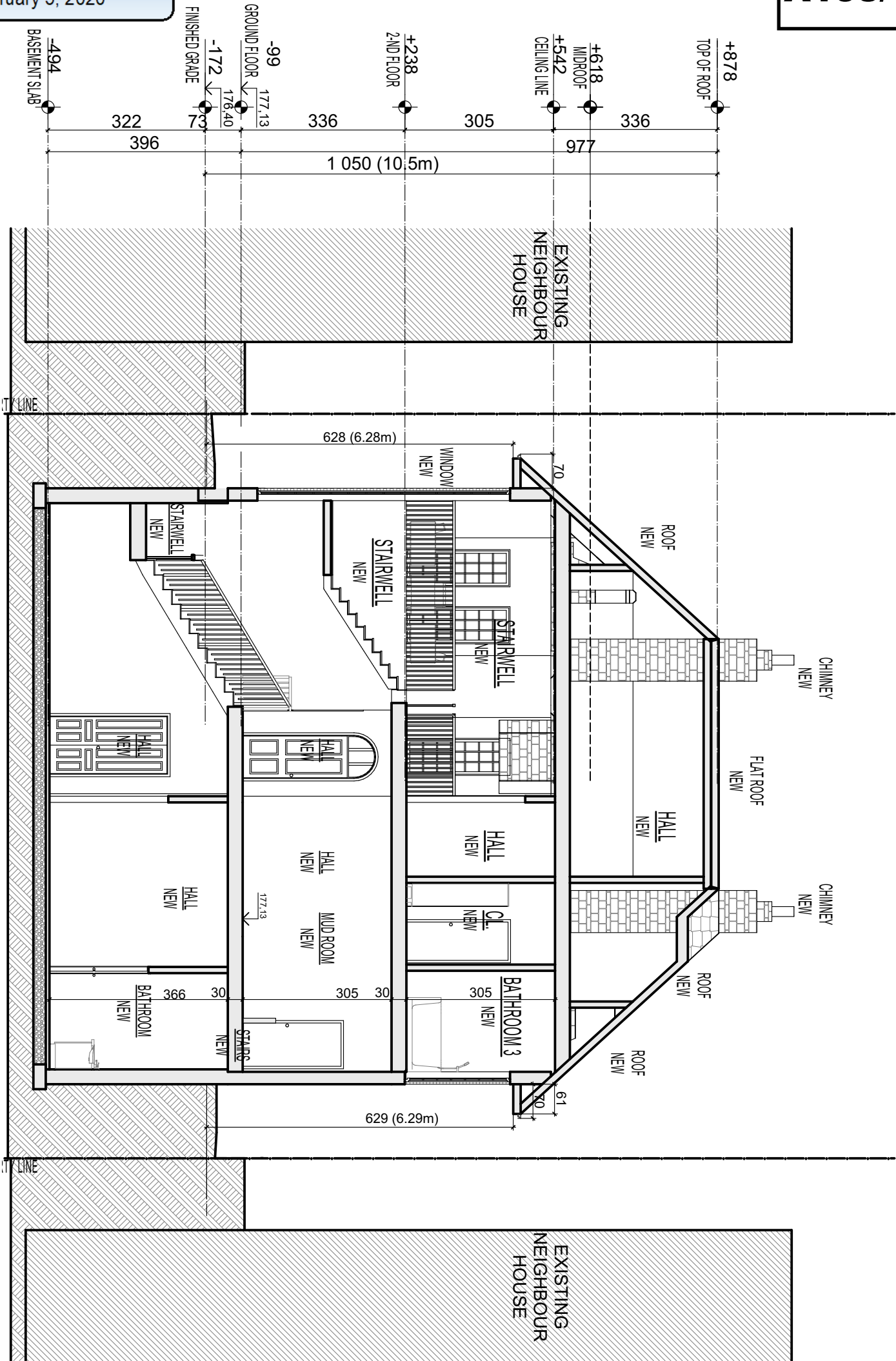
cell 416.873.6899
info@cadaxx.com

PROJECT:
PROPOSED
215 Centre St
Vaughan

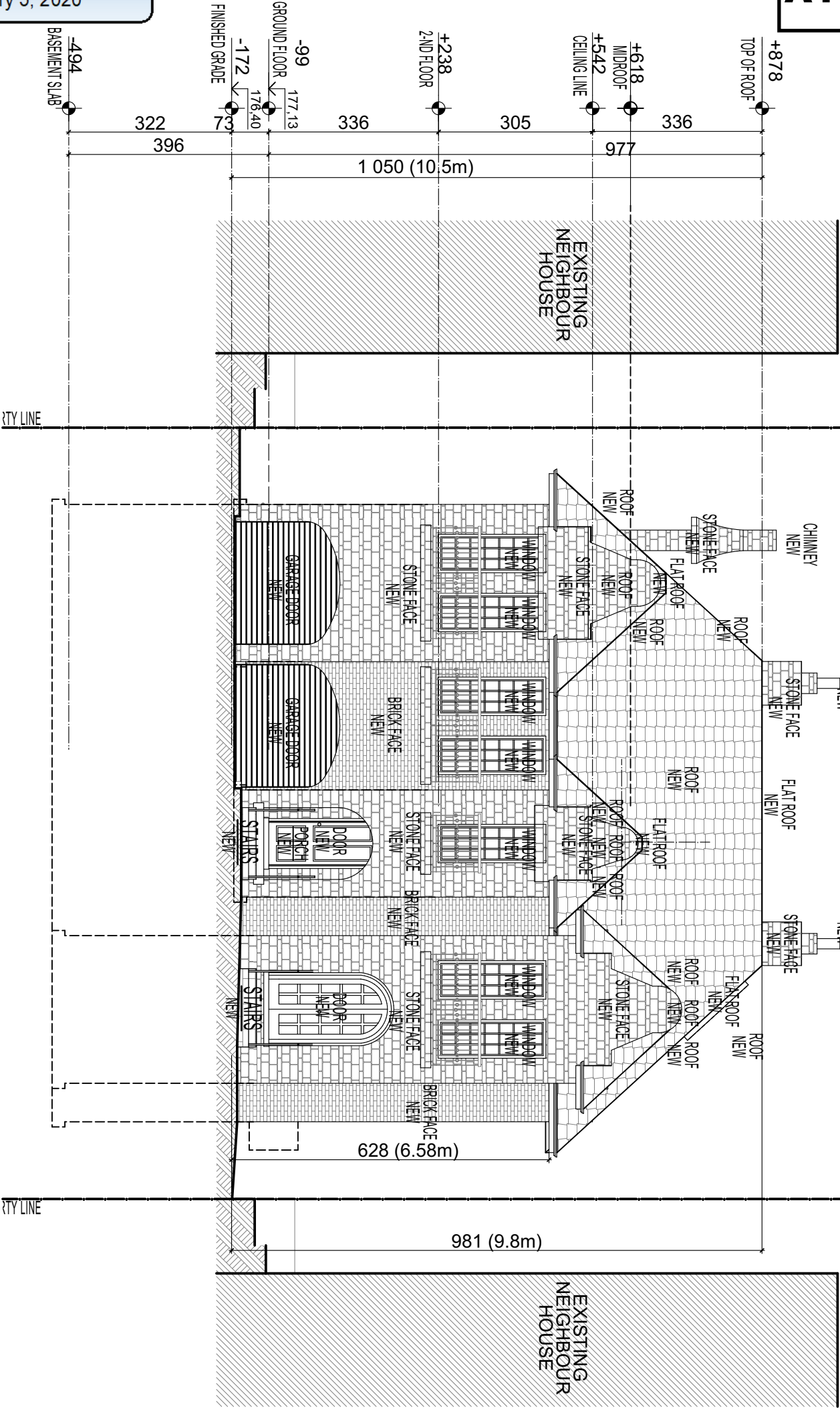
REVISION / ISSUE
DRAWING TITLE:
2-ND FLOOR PLAN - PROPOSED

DATE:
29.01.2020
SCALE:
1:100
DRAWN:
A.A.
CHECKED:

PROJECT NO:
13-30
DWG. NO:
A202



<p>NOTES:</p> <p>1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO REPORT THESE DISCREPANCIES, THE DESIGNER SHALL BE RESPONSIBLE FOR ANY AND ALL CONSEQUENCES OF THE DESIGNER UNDER ANY CIRCUMSTANCES.</p> <p>2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.</p> <p>USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.</p>	
<p>3.  DETAIL NUMBER</p>	<p>DRAWING NUMBER</p>
<p>4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.</p>	<p>5. DO NOT SCALE DRAWING</p>
<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>Required unless design is exempt under Division C - 3.2.5.1, of the 2006 Ontario Building Code (or 2.17.5.1, of the 1997 Ontario Building Code)</p> <p>A. AKSEL ROD  37139</p> <p>NAME SIGNATURE BCIN</p> <p>REGISTRATION INFORMATION</p> <p>Required unless design is exempt under Division C - 3.2.4.1, of the 2006 Ontario Building Code (or 2.17.4.1, of the 1997 Ontario Building Code)</p> <p>CADAXX DESIGN 100624 BCIN</p> <p>FIRM NAME</p>	
<p> 5000 Yonge Street Suite 1901 Toronto, Ontario M2N 7E9</p> <p>office 416.639.0904 cell 416.673.6899</p> <p>www.cadaxx.com info@cadaxx.com</p> <p>www.cadaxx.com info@cadaxx.com</p>	
<p>REVISION / ISSUE</p> <p>info@cadaxx.com</p>	
<p>PROJECT</p> <p>PROPOSED</p> <p>215 Centre St</p> <p>Vaughan</p>	
<p>DRAWING TITLE</p> <p>SECTION A-A - PROPOSED</p>	
<p>DRAWN BY</p> <p>A.A.</p>	<p>CHECKED BY</p>
<p>DATE DRAWN</p> <p>29.01.2020</p>	<p>SCALE:</p> <p>1:100</p>
<p>PROJECT NO.</p> <p>13-30</p>	<p>DRAWING NO.</p> <p>A204</p>



NOTES:

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2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.
3. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.
5. DO NOT SCALE DRAWING.

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QUALIFICATION INFORMATION

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A. AKSEL ROD *[Signature]* 37139 BCIN

NAME SIGNATURE

REGISTRATION INFORMATION

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CADAXX DESIGN 100624 BCIN

FIRM NAME



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office 416.639.0904 cell 416.673.6899
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REVISION / ISSUE

PROJECT

PROPOSED
215 Centre St
Vaughan

DRAWING TITLE

NORTH ELEVATION - PROPOSED

DRAWN BY A.A. CHECKED BY

DATE DRAWN 29.01.2020 SCALE: 1:100

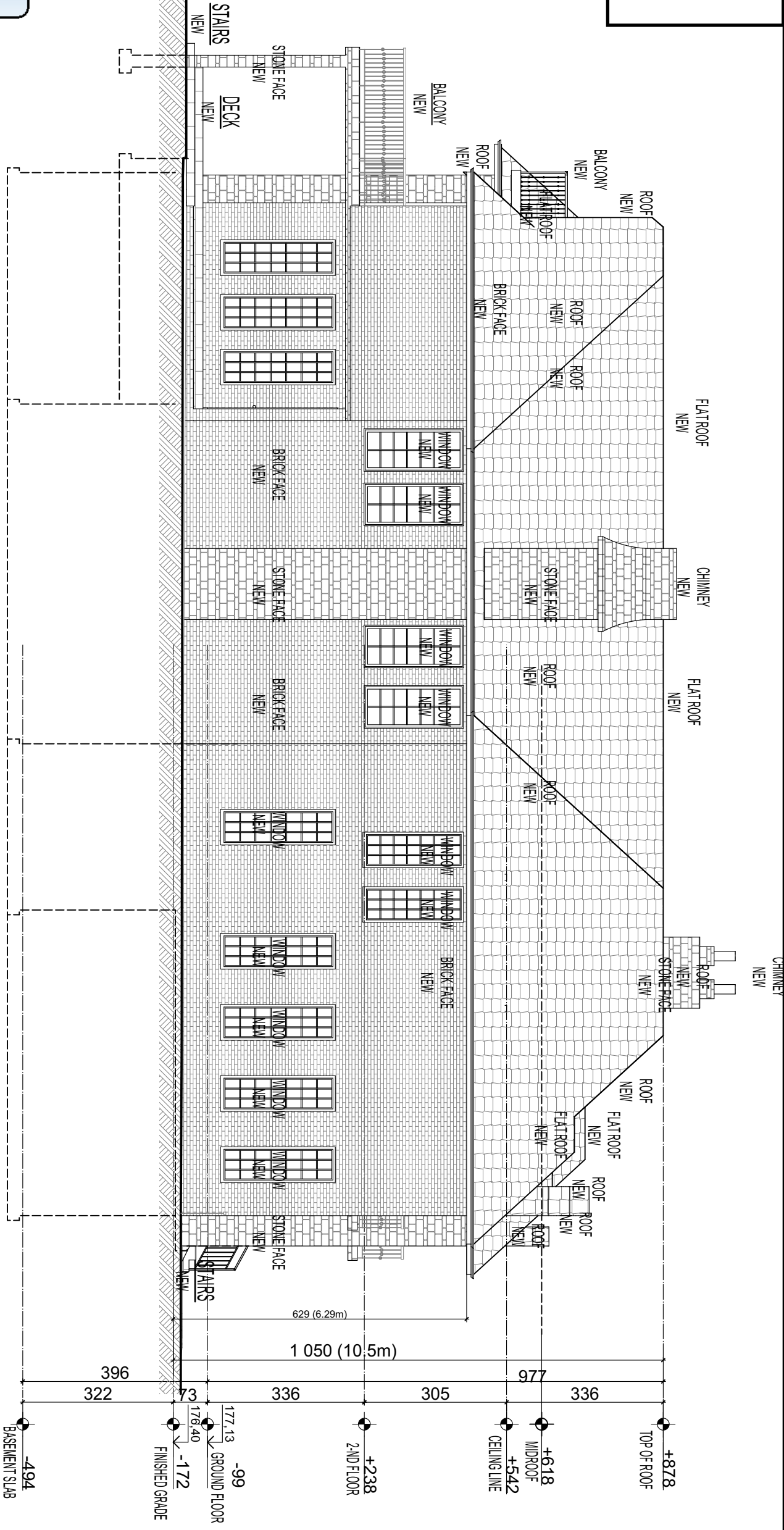
PROJECT NO. DRAWING NO.

13-30

A206

Revised

February 5, 2020



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QUALIFICATION INFORMATION

Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.3.1. of the 1997 Ontario Building Code)

A. AKSELROD

NAME

SIGNATURE

BCIN

37139

REGISTRATION INFORMATION

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CADAXX DESIGN

100624

FIRM NAME

BCIN



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USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

PROJECT:

PROPOSED
215 Centre St
Vaughan

REVISION / ISSUE

DATE:

29.01.2020

PROJECT NO:

13-30

DRAWING TITLE:

EAST ELEVATION - PROPOSED

DRAWN:

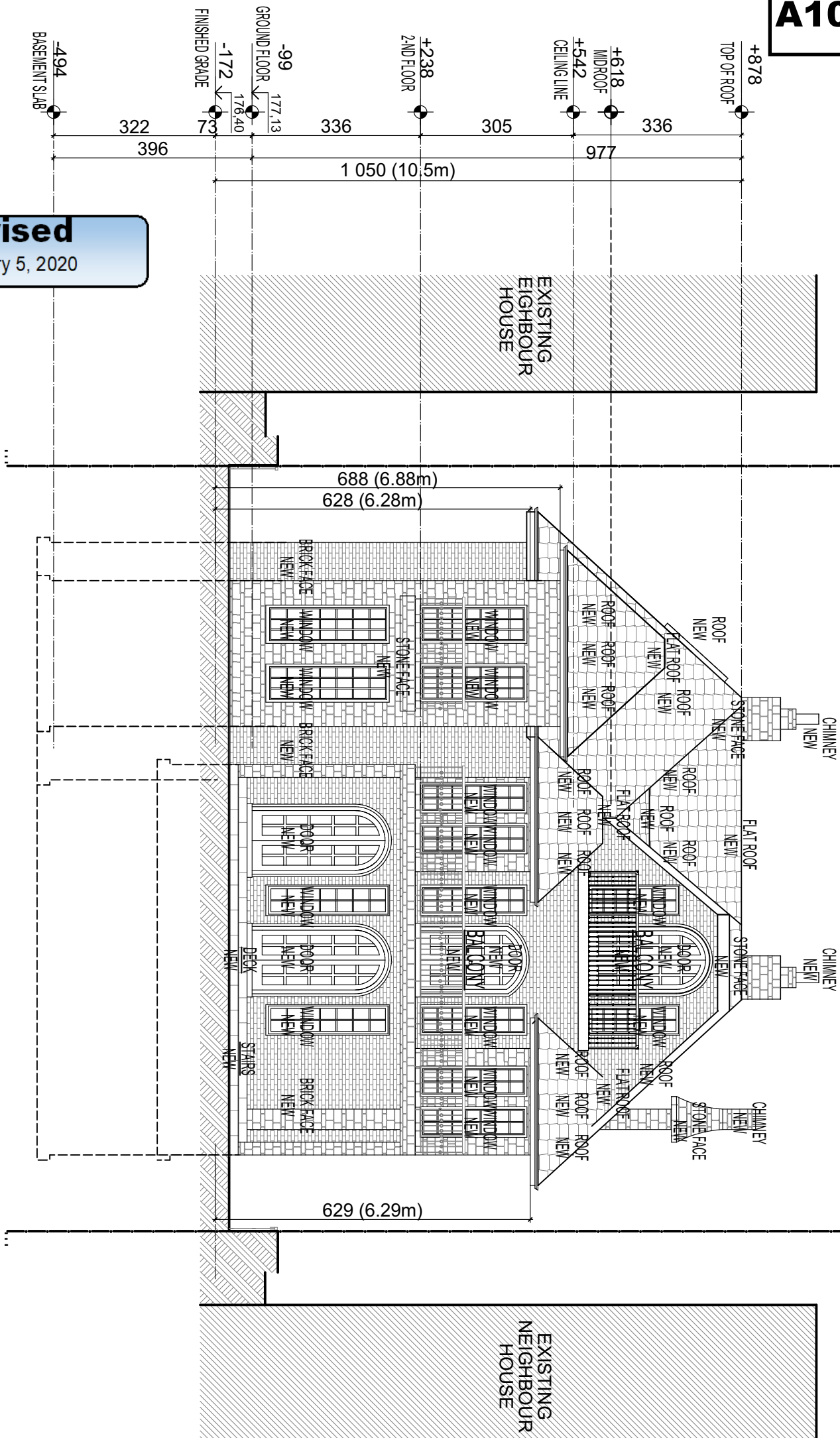
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CHECKED:

A.A.

DWG. NO:

A207



Revised
February 5, 2020

NOTES

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2.DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR

DETAIL NUMBER

 DRAWING NUMBER

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER

5. DO NOT SCALE DRAWING

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set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

Official Building Code (or E.T./S.T. or the 1997 Official Building Code)

AKSELROD 3/139

NAME	SIGNATURE	BCIN
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REGISTRATION INFORMATION

Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

ADAMX DESIGN 100624

FIRM NAME BCIN



5000 Yonge Street, Suite 1901

Toronto, Ontario M2N 7E9

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info@caday.com

adaxx.com

info@cadaxx.com

REVISION / ISSUE

info@ccadaxx.com

PROJECT

PROPOSED
215 Centre St
Vaughan

Vaughan

RAWING TITLE

SOUTH ELEVATION - PROPOSED

RAWN BY
A.A.

A.A

SCALE: 1:100

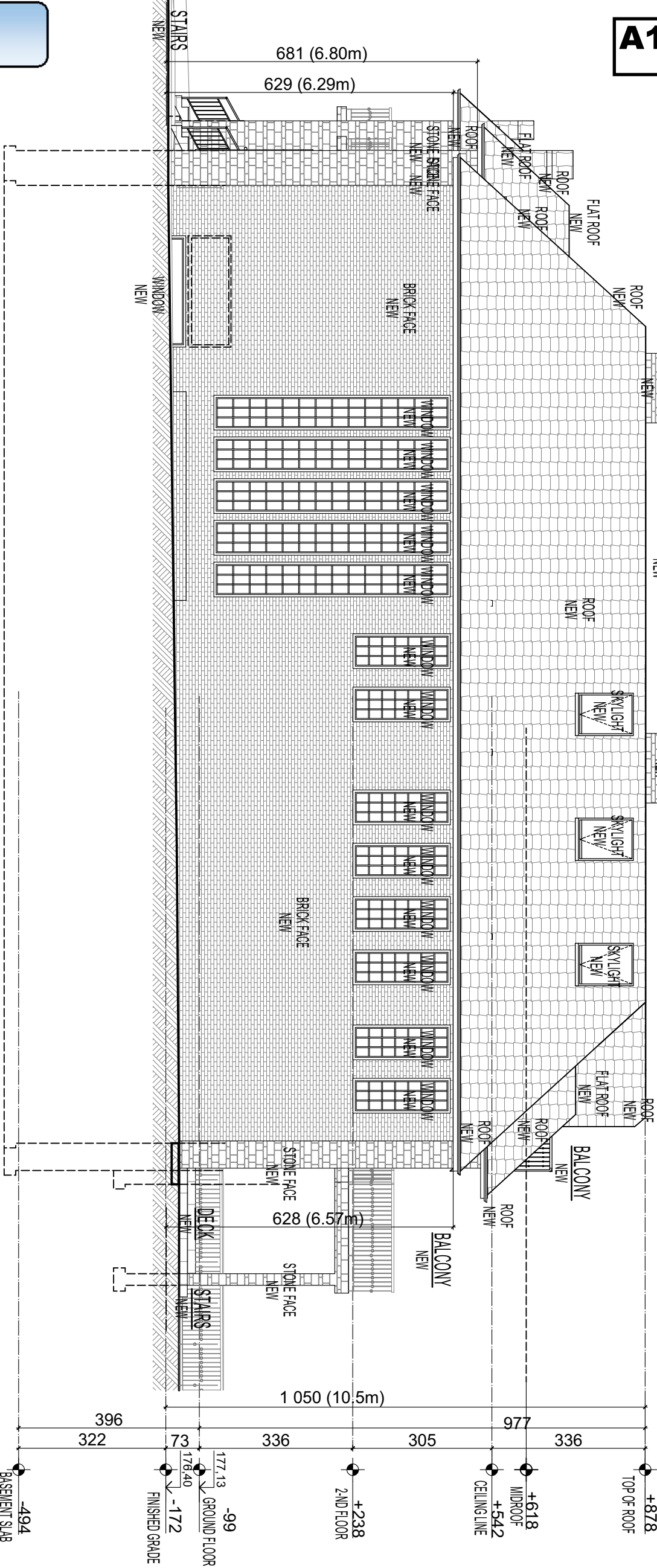
29.01.20

PROJECT NO. DRAWING NO.

PROJECT NO. _____

13-30

A208



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QUALIFICATION INFORMATION

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A. AKSELROD

37139

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

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CADAXX DESIGN

100624

FIRM NAME

BCIN



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Toronto, Ontario M2N 7E9
office 416.639.0904
www.cadaxx.com

cell 416.873.6899
info@cadaxx.com

PROJECT:

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK

REVISION / ISSUE

DATE:

29.01.2020

PROJECT NO:

13-30

SCALE:

1:100

DRAWN:

CHECKED:

AA.

DWG. NO:

A209

WEST ELEVATION - PROPOSED

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

None.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

- TRCA – comments with conditions**
- Alectra (Formerly PowerStream) – No concerns or objections**
- Region of York – No concerns or objections**

September 16, 2019

CFN: 60819.21
XCFN: 52340.10

BY E-MAIL: Christine.Vigneault@vaughan.ca

Ms. Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A103/19
215 Centre Street
Part lot 30, Concession 1
City of Vaughan
Owner: Marvin Godelewicz

This letter acknowledges receipt of the above noted application, received by Toronto and Region Conservation Authority (TRCA) on September 6, 2019. TRCA staff has reviewed the application and offers the following comments:

Background

The purpose of Application A103/19 is to request the following:

1. To permit a single detached dwelling on the subject lands.
2. To permit a minimum westerly interior side yard setback of 1.46m to the dwelling.
3. To permit a maximum lot coverage of 29.32% for the dwelling, garage, covered deck, and front porch.
4. To permit a maximum building height of 10.8m for the dwelling.
5. To permit a minimum front yard landscaping of 39.57%.
6. To permit a minimum interior side yard setback of 1.2m is required to the interior side yard stairs.
7. To permit a minimum interior side yard setback of 0.49m to the second floor balcony.
8. To permit a maximum eave and gutter encroachment of 0.81m into the required yard.

It is TRCA's understanding that the purpose of the above variance is to permit the development of a new single residential dwelling on the subject property.

Applicable TRCA Policies and Regulations

Living City Policies (LCP):

The Living City Policies for Planning and Development in the Watersheds of the Toronto and Region Conservation Authority (LCP) describes a 'Natural System' made up of natural features and areas, water resources, natural hazards, potential natural cover and/or buffers. The LCP recommends that development not be permitted within the Natural System and that it be conveyed into public ownership for its long term protection and enhancement. The LCP also provides policies for developing adjacent to, and in, the Natural System (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. These policies also seek to integrate the natural and built environments, maximizing opportunities for ecosystem services from across the entire landscape. It is these policies that guide TRCA's review of the subject application, along with those found in other Provincial and municipal plans, documents and guidelines.

Ontario Regulation 166/06:

The subject lands are located partially within the TRCA's Regulated Area of the Don River Watershed due to the presence of a watercourse with associated flood plain to the west of the subject property. In accordance with the *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected. From our review of the submitted materials, TRCA staff have no further concerns with the proposed development.

Application-Specific Comments

As part of previous Consent Applications reviewed by TRCA (B046/15 – B050/15) the subject property was determined to be outside of the Regional storm flood plain with sufficient developable area to support a new home. We find the current submission to be consistent with this previous approval and have no object to the approval of Minor Variance A103/19.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$580.00 Variance – Residential – Minor review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

From our review of the submitted materials TRCA has **no objection** to the approval of Minor Variance A103/19 subject to the following condition:

- 1) That the applicant provides the required \$580.00 review fee for Minor Variance Application A103/19.

Conclusion

We thank you for the opportunity to review the subject application and provide our comments as per our commenting and regulatory role. Further, we trust these comments are of assistance.

TRCA will continue to work closely with the City of Vaughan, the applicant, and their consultants to ensure that TRCA's expectations for meeting our requirements are met. Should you have any additional questions or comments, please do not hesitate to contact the undersigned.

Sincerely,



Anthony Syhlonyk
Planner I
Planning and Development
Extension 5272

AS/jb



COMMENTS:

☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.

☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Vigneault, Christine

From: Skouros, Julia <Julia.Skouros@york.ca>
Sent: Tuesday, September 17, 2019 10:10 AM
To: Vigneault, Christine
Cc: Attwala, Pravina
Subject: (A103/19) MVAR.19.V.0357 - 215 & 217 Centre Street

Hi Christine,

The Regional Municipality of York has completed its review of the above mentioned Minor Variance Application and has no comment.

Should you have any questions or concerns, please contact Sadaf Shahid, Assistant Planner at ext. 71516 or by email at joseph.mcmackin@york.ca

Best,

Julia Elena Skouros | Assitant Planner – Co-op Student,
Corporate Services

The Regional Municipality of York
1-877-464-9675 ext. 74886
Julia.skouros@york.ca

Schedule D: Previous Approvals (Notice of Decision)

Consent Application B046/15
Minor Variance Application A123/16

NOTICE OF DECISION

CONSENTS

FILE NUMBER: B046/15

APPLICANT: MARVIN GODELEWICZ & JOSEPH FREIMAN

PROPERTY: Part of Lot 30, Concession 1, (Lot 32, Registered Plan 9834) municipally known as 217 Centre Street, Thornhill.

ZONING: The subject lands are zoned R1V, Old Village Residential Zone under By-law 1-88 as amended.

PURPOSE: The purpose of this application is to request the consent of the Committee of Adjustment to convey parcel of land marked "A" on the attached sketch as an ADDITION to an existing lot taken into the title of the lands to the EAST, together with all required easements and right-of-ways, if required, and retain the lands marked "B" on the attached sketch.

Currently there is a semi-detached dwelling on the conveyed lands and a single detached dwelling on the retained lands.

BACKGROUND INFORMATION The lands which are subject to these applications were also the subject of other applications under the Planning Act:
Zoning By-law Amendment Z.13.016 - Approved (under appeal)
Consent Applications B046/15 to B050/15 & Minor Variance Applications A120/16 to A123/16 to be heard together.

Sketches are attached illustrating the request.

The above noted application was heard by the Committee of Adjustment on **MARCH 17, 2016**

MOVED BY:



SECONDED BY:



THAT Application No. **B046/15, MARVIN GODELEWICZ & JOSEPH FREIMAN**, be **APPROVED**, in accordance with the sketch attached and subject to the following conditions:

NOTE: All conditions below must be fulfilled and clearance letters must be received by the Secretary-Treasurer before any cheques can be accepted and Certificate of Official can be issued.

1. That the owner shall pay all taxes as levied, if required, to the satisfaction of the Reserves & Investments Department. Payment shall be made **by certified cheque**; (contact Brianne Clace in the Reserves & Investments Department to have this condition cleared).
2. That the Owner shall arrange to prepare and register a reference plan at their expense for the conveyance of the subject lands, showing all existing and proposed easements to the satisfaction of the Development Engineering and Infrastructure Planning Department. The Owner shall submit a draft reference plan to the Development Engineering and Infrastructure Planning Department for review prior to deposit, if required, to the satisfaction of the Development Engineering and Infrastructure Planning Department.
3. That the Owner shall provide conceptual site grading and servicing plans for the proposed residential lots, to the satisfaction of the Development Engineering and Infrastructure Planning Department. The conceptual plan(s) should identify all existing and proposed services, existing and proposed elevations, and include acceptable driveway accesses (with a minimum 4.5 metres curb cut at the street line, and/or in conformity with By-Law 1-88, as amended by By-Law 35-2003) for the proposed residential lots, if required, to the satisfaction of the Development Engineering and Infrastructure Planning Department.
4. That the applicant submit a hydraulic assessment, to the satisfaction of the TRCA, based on TRCA's updated hydraulic model to demonstrate Lots 1 and 2 are adequately buffered, to the satisfaction of the TRCA, from the Regional Storm Flood Plain associated with the drainage feature to the west, if required, to the satisfaction of the Toronto and Region Conservation Authority.

5. That the Owner shall submit an updated Arborist Report, Preservation Plan and Landscape Plan to be reviewed to the satisfaction of the Urban Design and Cultural Heritage Division of the Development Planning Department, if required, to the satisfaction of Urban Design and Cultural Heritage Division of the Development Planning Department.
6. That Consent Application Files B046/16 to B050/16 are approved, if required, to the satisfaction of the Development Planning Department.
7. That Minor Variance Application Files A120/16 to A123/16 are approved, if required, to the satisfaction of the Development Planning Department.
8. That the applicant provide to the Secretary Treasurer a letter of undertaking, stating that the **ADDITION** in question is in favour of lands to the **EAST**.
9. That consent applications B046/15, B047/15, B048/15, B049/15, B050/15 and minor variance applications A120/16, A121/16, A122/16 and A123/16, be approved.
10. This consent is given on the express understanding that Subsection 3 or Subsection 5 of Section 50 of the Planning Act shall apply to any subsequent conveyance in respect to the subject lands;
11. Submission to the Secretary-Treasurer of **FOUR (4)** white prints of a registered deposited reference plan of survey, showing the subject land which conforms with the application submitted and which shows the dimensions and areas of each part shown on the plan;
12. Upon fulfilling and complying with all of the above-noted conditions, the Secretary-Treasurer of the Committee of Adjustment must be provided with a letter **and three (3) copies of a legal size (8.5" by 14") "Schedule Page", in a format satisfactory to the Secretary-Treasurer**, from the Applicant's solicitor confirming the legal description of the subject lands, sufficient for registration purposes **the "Schedule Page" will be an attachment to the Certificate**. Upon being satisfied with said legal description and upon all other conditions for the consent having been satisfied, the Secretary-Treasurer shall provide a Certificate of Official to the applicant in accordance with Section 53(42) of the Planning Act, R.S.O. 1990, as amended;
13. A fee of **\$190.00** made payable to the Treasurer City of Vaughan shall, be submitted to the Secretary Treasurer for the issuance of the Certificate/stamping of the deeds. It will be necessary to allow up to **three (3) working days** after all conditions have been fulfilled and documentation filed. Same day service is also available for an additional cost of **\$145.00, provided all conditions of approval have been fulfilled and all required documents are submitted by 11:30 am that day**;
14. Prior to the issuance of a building permit, if required, the applicant shall fulfil and comply with all of the above noted consent conditions.

IMPORTANT:

Pursuant to Section 53(41) of the Planning Act, the applicant shall have a period of one year from the date of the Committee of Adjustment giving Notice of the herein Decision to the Applicant to fulfill and comply with all of the (above-noted) conditions of Consent. Failing to comply with this requirement will result in the application to be deemed to be refused.

ALL CONDITIONS MUST BE FULFILLED.

Please contact each Agency and/or Department listed above whether "**if required**" appears in the condition or not.

Please Note:

1. That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.
2. That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.
3. That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment
4. That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

CARRIED.

CHAIR: MP

Signed by all members present who concur in this decision:

A. Perrella
A. Perrella,
~~Chair~~
J. Cesario
J. Cesario,
Member

H. Zheng
H. Zheng,
~~Chair~~

R. Buckler
R. Buckler,
Member
M. Mauti
M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	MARCH 17, 2016
Date of Notice:	MARCH 24, 2016
Last Date of Appeal:	APRIL 13, 2016

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$690.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

NOTES

1. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.
2. A Certificate pursuant to Subsection 53(21) of The Planning Act cannot be given until all conditions of consent have been fulfilled.

DRAWING 1 OF 5

THE KING'S HIGHWAY No. 7B
(CENTRE STREET)
(ROAD ALLOWANCE BETWEEN LOTS 30 AND 31, CONVESSION 1)
Centre of Construction Road

ROAD WIDENING

Schedule

PART	LOT	REGISTERED PLAN	ALL OF P.I.S.L.	AREA m ²
1				68.2
2				22.7
3	32		03257-0340	808.9
4				320.1
5				1446.5
6				1516.1
7			03257-0341	698.0
8	33			675.4
9				578.8
10				45.5

PLAN OF SURVEY OF
LOTS 32 AND 33
REGISTRAR'S COMPILED PLAN 9834
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:400
erli surveyors 2015
Ontario Land Surveyors

ADDITION TO EAST
PART 2 & 4
342.8 M²

PARTS 1, 3, 5 & 6
3929.7 M²

'B'

DONNA MAE CRESCENT
DEDICATED BY INST No. 347862
PART 9
P.I.N. 03257 - 0344

LEGEND

SUBJECT

RETAINED

LOT 21, REGISTERED PLAN 4061

LOT 32, REGISTERED PLAN 03257 - 0358

LOT 33, REGISTERED PLAN 03257 - 0359

LOT 35, REGISTERED PLAN 03257 - 0343

LOT 36, REGISTERED PLAN 03257 - 0342

LOT 37, REGISTERED PLAN 03257 - 0341

LOT 38, REGISTERED PLAN 03257 - 0340

LOT 39, REGISTERED PLAN 03257 - 0339

LOT 40, REGISTERED PLAN 03257 - 0338

LOT 41, REGISTERED PLAN 03257 - 0337

LOT 42, REGISTERED PLAN 03257 - 0336

LOT 43, REGISTERED PLAN 03257 - 0335

LOT 44, REGISTERED PLAN 03257 - 0334

LOT 45, REGISTERED PLAN 03257 - 0333

LOT 46, REGISTERED PLAN 03257 - 0332

LOT 47, REGISTERED PLAN 03257 - 0331

LOT 48, REGISTERED PLAN 03257 - 0330

LOT 49, REGISTERED PLAN 03257 - 0329

LOT 50, REGISTERED PLAN 03257 - 0328

LOT 51, REGISTERED PLAN 03257 - 0327

LOT 52, REGISTERED PLAN 03257 - 0326

LOT 53, REGISTERED PLAN 03257 - 0325

LOT 54, REGISTERED PLAN 03257 - 0324

LOT 55, REGISTERED PLAN 03257 - 0323

LOT 56, REGISTERED PLAN 03257 - 0322

LOT 57, REGISTERED PLAN 03257 - 0321

LOT 58, REGISTERED PLAN 03257 - 0320

LOT 59, REGISTERED PLAN 03257 - 0319

LOT 60, REGISTERED PLAN 03257 - 0318

LOT 61, REGISTERED PLAN 03257 - 0317

LOT 62, REGISTERED PLAN 03257 - 0316

LOT 63, REGISTERED PLAN 03257 - 0315

LOT 64, REGISTERED PLAN 03257 - 0314

LOT 65, REGISTERED PLAN 03257 - 0313

LOT 66, REGISTERED PLAN 03257 - 0312

LOT 67, REGISTERED PLAN 03257 - 0311

LOT 68, REGISTERED PLAN 03257 - 0310

LOT 69, REGISTERED PLAN 03257 - 0309

LOT 70, REGISTERED PLAN 03257 - 0308

LOT 71, REGISTERED PLAN 03257 - 0307

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LOT 75, REGISTERED PLAN 03257 - 0303

LOT 76, REGISTERED PLAN 03257 - 0302

LOT 77, REGISTERED PLAN 03257 - 0301

LOT 78, REGISTERED PLAN 03257 - 0300

LOT 79, REGISTERED PLAN 03257 - 0299

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LOT 110, REGISTERED PLAN 03257 - 0268

LOT 111, REGISTERED PLAN 03257 - 0267

LOT 112, REGISTERED PLAN 03257 - 0266

LOT 113, REGISTERED PLAN 03257 - 0265

LOT 114, REGISTERED PLAN 03257 - 0264

LOT 115, REGISTERED PLAN 03257 - 0263

LOT 116, REGISTERED PLAN 03257 - 0262

LOT 117, REGISTERED PLAN 03257 - 0261

LOT 118, REGISTERED PLAN 03257 - 0260

LOT 119, REGISTERED PLAN 03257 - 0259

LOT 120, REGISTERED PLAN 03257 - 0258

LOT 121, REGISTERED PLAN 03257 - 0257

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LOT 125, REGISTERED PLAN 03257 - 0253

LOT 126, REGISTERED PLAN 03257 - 0252

LOT 127, REGISTERED PLAN 03257 - 0251

LOT 128, REGISTERED PLAN 03257 - 0250

LOT 129, REGISTERED PLAN 03257 - 0249

LOT 130, REGISTERED PLAN 03257 - 0248



Location Map- B046/15 - B050/15 & A120/16 - A123/16

211 & 217 CENTRE STREET, THORNHILL



0 0.05 0.1 0.2 Kilometers

Steeles Avenue W. City of Vaughan
The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A123/16

APPLICANT: MARVIN & DANA GOLDELEWICZ and JOSEPH & RONY FREIMAN

PROPERTY: Part of Lot 30, Concession 1, (Lots 32 & 33, Registered Plan 9834) municipally known as 211 & 217 Centre Street, Thornhill.

ZONING: The subject lands are zoned R1V, Old Village Residential Zone under By-law 1-88 as amended.

PURPOSE: To facilitate the severance of the lands and permit the construction of single detached dwellings.

PROPOSAL:

1. To permit a minimum lot frontage of 15.1 metres.
2. To permit a maximum lot coverage of 26%, provided that the maximum lot coverage for the dwelling shall be 23%.

BY-LAW REQUIREMENT:

1. A minimum lot frontage of 30 metres is required.
2. A maximum lot coverage of 20% is permitted.

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:
Zoning By-law Amendment Z.13.016 - Approved (under appeal)
Consent Applications B046/15 to B050/15 & Minor Variances A120/16 to A123/16 to be heard together.

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A123/16, MARVIN & DANA GOLDELEWICZ and JOSEPH & RONY FREIMAN**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That the applicant submit a hydraulic assessment, to the satisfaction of the TRCA, based on TRCA's updated hydraulic model to demonstrate Lots 1 and 2 are adequately buffered, to the satisfaction of the TRCA, from the Regional Storm Flood Plain associated with the drainage feature to the west, if required, to the satisfaction of the Toronto and Region Conservation Authority.
2. That the applicant submits the application fee of \$550.00 payable to the Toronto and Region Conservation Authority, if required, to the satisfaction of the Toronto and Region Conservation Authority.
3. That the applicants obtain the necessary permits pursuant to Ontario Regulation 166/06 from the TRCA for the proposed works, if required, to the satisfaction of the Toronto and Region Conservation Authority.
4. That the Owner shall submit an updated Arborist Report, Preservation Plan and Landscape Plan to be reviewed to the satisfaction of the Urban Design and Cultural Heritage Division of the Development Planning Department, if required, to the satisfaction of Urban Design and Cultural Heritage Division of the Development Planning Department.

COMMITTEE OF ADJUSTMENT VARIANCE

A123/16

5. That Consent Application Files B046/16 to B050/16 are approved, if required, to the satisfaction of the Development Planning Department.
6. That Minor Variance Application Files A120/16 to A123/16 are approved, if required, to the satisfaction of the Development Planning Department.
7. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.


FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.


THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.


CARRIED.

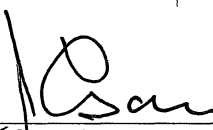
CHAIR: 

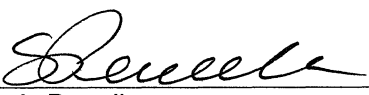
Signed by all members present who concur in this decision:


H. Zheng,
Chair


M. Mauti,
Vice Chair

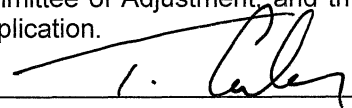

R. Buckler,
Member


J. Cesario,
Member


A. Perrella,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:

MARCH 17, 2016

Last Date of Appeal:

APRIL 6, 2016

**COMMITTEE OF ADJUSTMENT VARIANCE
APPEALS**

A123/16

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

APRIL 6, 2017



Location Map- B046/15 - B050/15 & A120/16 - A123/16

211 & 217 CENTRE STREET, THORNHILL



Steeles Avenue W. City of Vaughan

0 0.05 0.1 0.2 Kilometers

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.