

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 119-2018

A By-law to amend City of Vaughan By-law 1-88.

WHEREAS the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

AND WHEREAS there has been no amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are not in conformity;

NOW THEREFORE the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
 - a) Rezoning the lands shown as "Subject Lands" in the manner shown on Schedule "1"; attached hereto, from R1V Old Village Residential Zone to C1 Restricted Commercial Zone.
 - b) Adding the following Paragraph to Section 9.0 "EXCEPTIONS":

"(1464) Notwithstanding the provisions of:

 - a) Subsection 3.13 respecting minimum landscaped area respecting a landscape strip abutting a street line;
 - b) Section 3.17 respecting portions of buildings below grade;
 - c) Subsection 3.9 a) respecting loading space requirements;
 - d) Subsection 3.8 a) respecting parking requirements;
 - e) Subsection 3.8 g) respecting parking requirements;
 - f) Subsection 5.1.4 respecting Uses Permitted, All Commercial Zones and Subsection 5.2 respecting, Uses Permitted, in the C1 Restricted Commercial Zone,
 - g) Subsection 5.1.5 and Schedule "A" respecting the zone standards in the C1 Restricted Commercial Zone;

the following provisions shall apply to the lands shown as "Subject Lands" on Schedule "E-1594":

 - ai) a minimum landscape strip width of 3 m shall be permitted along Keele Street;
 - bi) a minimum setback from Keele Street (front yard) to the nearest part of the building below finished grade shall be 0 m;
 - ci) a minimum of 1 (one) loading space shall be permitted;
 - di) The minimum parking requirements shall be 2.22 spaces per 100 m² of

Gross Floor Area;

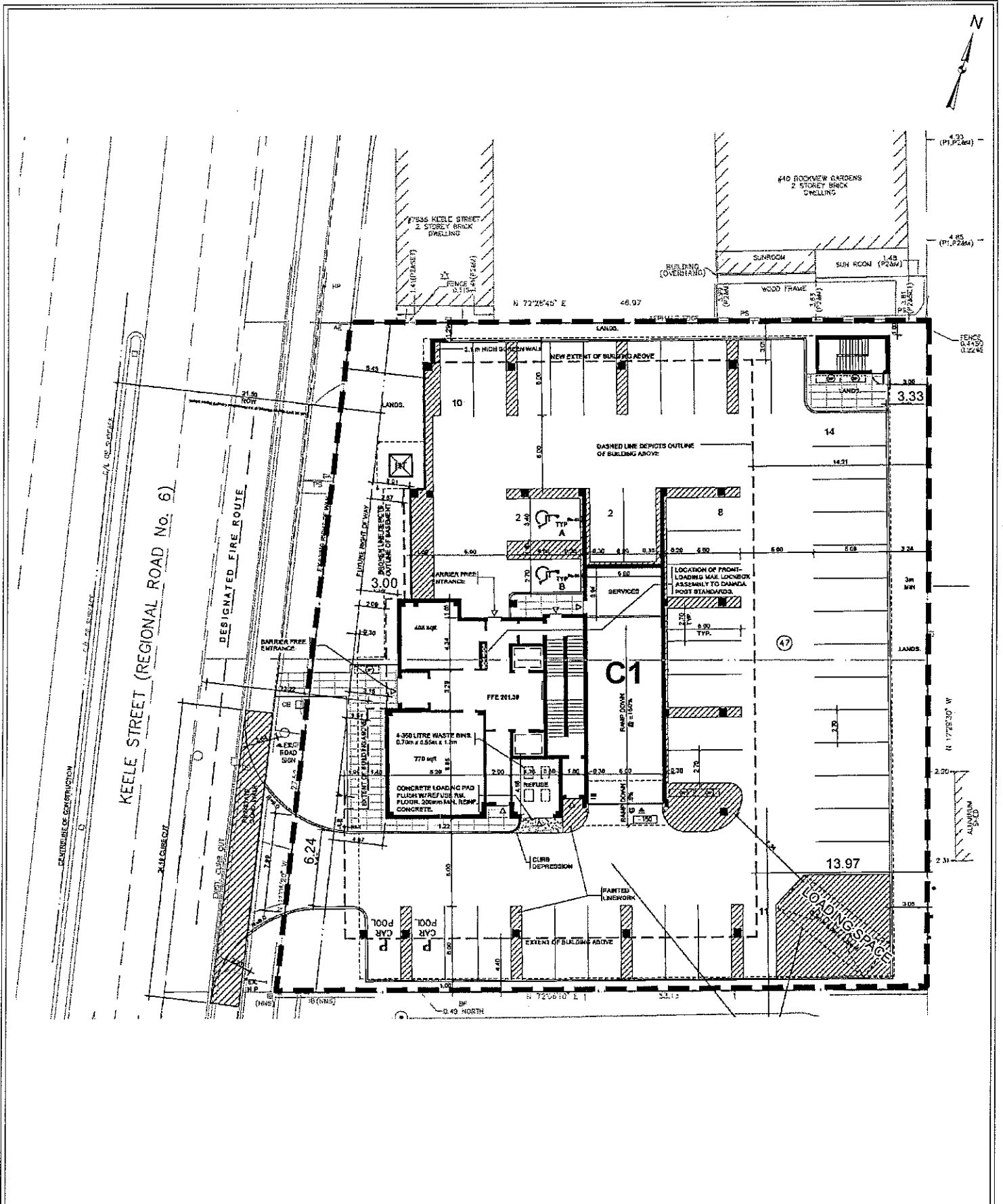
- ei) a joint ingress and egress driveway with a minimum width of 6.24 m shall be permitted;
 - fi) only Business and Professional Office Uses shall be permitted;
 - gi) the minimum front yard setback shall range from 0.64 m at the south end of the building to 3 m at the north end of the building;
 - gii) the minimum rear yard shall be 13.97 m to the main building and 3 m to the parking garage stairs;
 - giii) the maximum lot coverage shall be 55.5%;
 - giv) the minimum lot depth shall be 43 m;
 - gv) a maximum building height shall be 19.5 m, excluding the mechanical penthouse; and
 - gvi) the minimum setback from a Residential Zone to the parking garage stairs only shall be 3 m.
- c) Adding Schedule "E-1594" attached hereto as Schedule "1".
 - d) Deleting Key Map 3A and substituting therefor the Key Map 3A attached hereto as Schedule "2".

2. Schedules "1" and "2" shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 19th day of June, 2018.

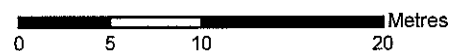
Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk



THIS IS SCHEDULE 'E-1594'
 TO BY-LAW 1-88
 SECTION 9(1464)

 Subject Lands



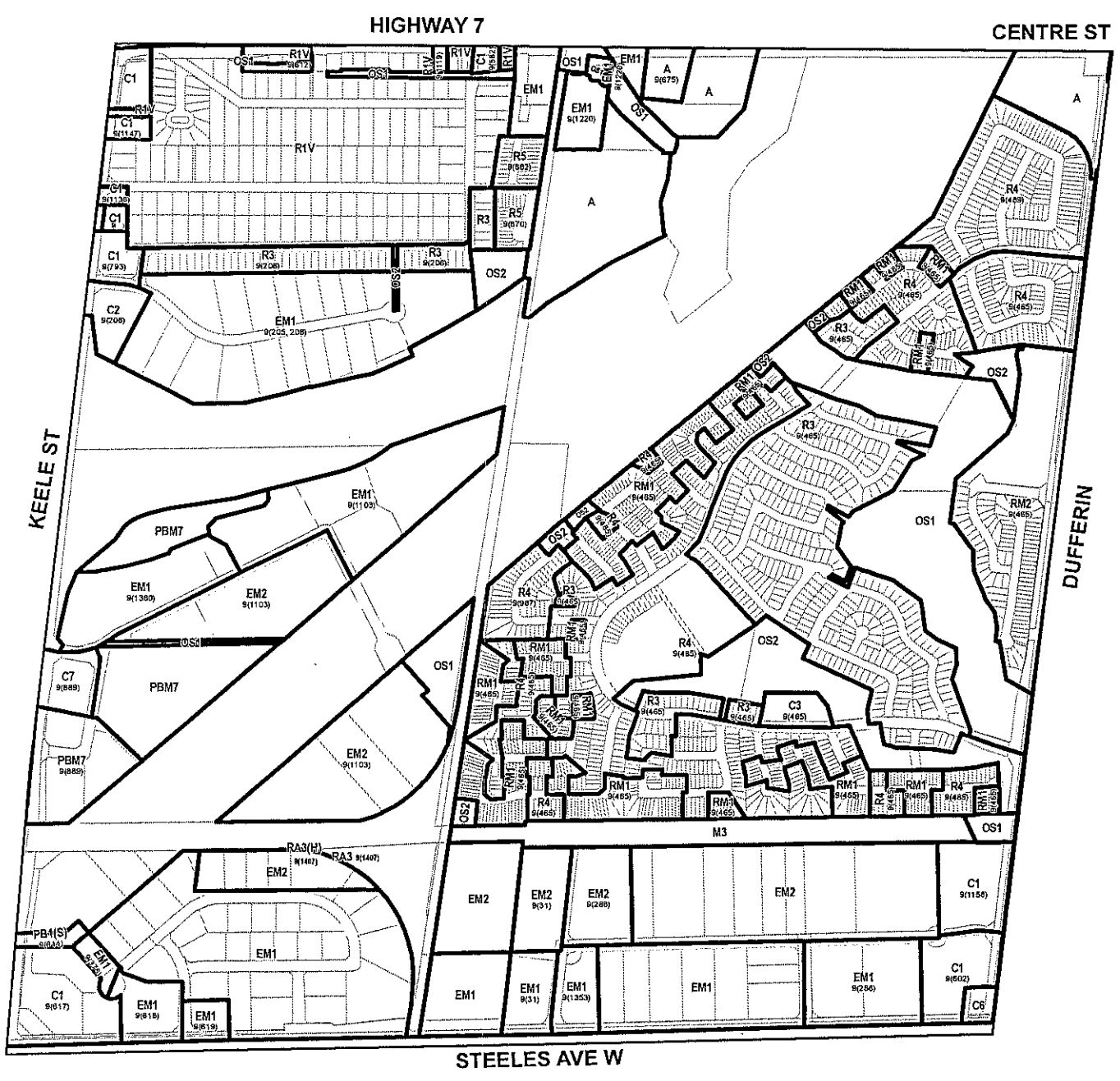
THIS IS SCHEDULE '1'
 TO BY-LAW 119 -2018
 PASSED THE 19th DAY OF JUNE, 2018

FILE: Z.17.029
 RELATED FILE: DA.17.063
 LOCATION: PART OF LOT 5, CONCESSION 3
 APPLICANT: LINMAR PROPERTIES INC.
 CITY OF VAUGHAN

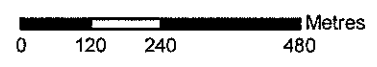
SIGNING OFFICERS

 MAYOR

 CLERK



KEY MAP 3A
BY-LAW NO. 1-88



THIS IS SCHEDULE '2'
TO BY-LAW 119 -2018
PASSED THE 19th DAY OF JUNE, 2018

FILE: Z.17.029
RELATED FILE: DA.17.063
LOCATION: PART OF LOT 5, CONCESSION 3
APPLICANT: LINMAR PROPERTIES INC.
CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

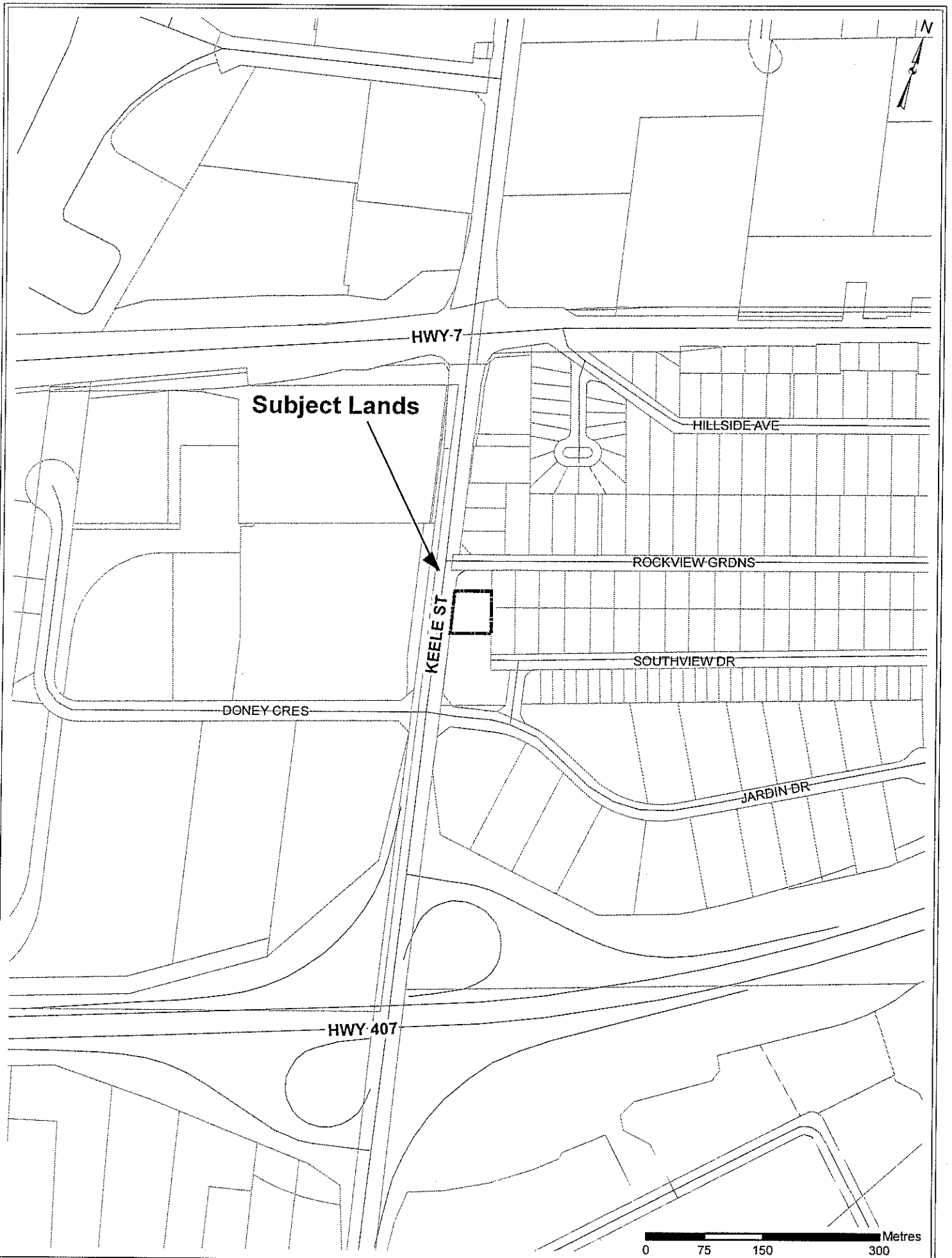
CLERK

SUMMARY TO BY-LAW 119-2018

The lands subject to this By-law are located on Keele Street, south of Regional Road 7, being Part of Lot 44 on Registered Plan 2468, in Lot 5, Concession 3, City of Vaughan.

The purpose of this By-law is to rezone the lands from R1V Old Village Residential Zone to C1 Restricted Commercial Zone to permit the use of the building only for the business and professional office uses, subject to the following site-specific development standards:

- a) A minimum 0 m setback to the nearest part of the building below grade garage
- b) A minimum landscape strip width of 3 m along Keele Street;
- c) A minimum of 1 (one) loading space;
- d) A minimum driveway width of 6.24 m for joint ingress egress access at Keele Street;
- e) A minimum of requirements of 2.22 spaces per 100 m² of GFA;
- f) A minimum front yard setback ranging from 0.64 m at the south limit of the building and 3 m at the north limit of the building;
- g) A minimum rear yard of 13.97 m to the main building and 3 m to the parking garage stairs;
- h) A minimum 3 m setback to a Residential Zone to the parking garage stairs only;
- i) A minimum lot depth of 43 m; and
- j) A maximum lot coverage of 55.5%.



**LOCATION MAP
TO BY-LAW 119 -2018**

FILE: Z.17.029
 RELATED FILE: DA.17.063
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 CITY OF VAUGHAN