

# ***THE CITY OF VAUGHAN***

# ***BY-LAW***

## **BY-LAW NUMBER 150-2018**

**A By-law to amend City of Vaughan By-law 1-88, as amended.**

**WHEREAS** the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

**AND WHEREAS** there has been an amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are in conformity;

**NOW THEREFORE** the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
  - a) Adding clause aii) after clause ai) to Exception Paragraph 9(1097) as follows:

"aii) The following provisions shall apply to the lands shown on Schedule "E-1203(2)" zoned C1 Restricted Commercial Zone:

    - i) Definition of "Lot Line, Front" means the street line which abuts McNaughton Road East;
    - ii) Definition of "Lot Line, Rear" means the lot line which abuts the lands zoned OS2 Open Space Park Zone;
    - iii) Parking spaces and areas required for the lands zoned C1 Restricted Commercial Zone shall be provided and maintained on the adjacent lands zoned OS2;
    - iv) A canopy may encroach into the minimum Front Yard Setback a maximum of 3.5 m;
    - v) The minimum landscape strip where a Commercial Zone abuts an Open Space Zone shall not be required;
    - vi) The minimum Front Yard Setback shall be 6.3 m;
    - vii) The minimum Exterior Yard Setback shall be 6.3 m;
    - viii) The maximum Building Height shall be 23.4 m;
    - ix) The minimum Rear Yard Setback shall be 0 m;
    - x) The minimum Lot Depth shall be 30 m;"
  - b) Adding clause iv) after clause ei) iii) to Exception Paragraph 9(1097) as follows:

"iv) The following provisions shall apply to the lands shown on "E-1203(2)" zoned OS2 Open Space Park Zone:

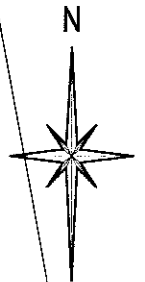
    - a) Parking spaces and areas for the lands zoned C1;
    - b) A canopy for the office building on the lands zoned C1, shall be permitted;

2. Add Schedule "E-1203(2)" attached hereto as Schedule "1".
3. Delete Schedule "E-1203(1)" and substitute therefor with Schedule "E-1203(1)" attached hereto as Schedule "2".
4. Delete Schedule "E-1203" and substitute therefor with Schedule "E-1203" attached hereto as Schedule "3".
5. Schedules "1", "2" and "3" shall be and hereby form part of this By-law.

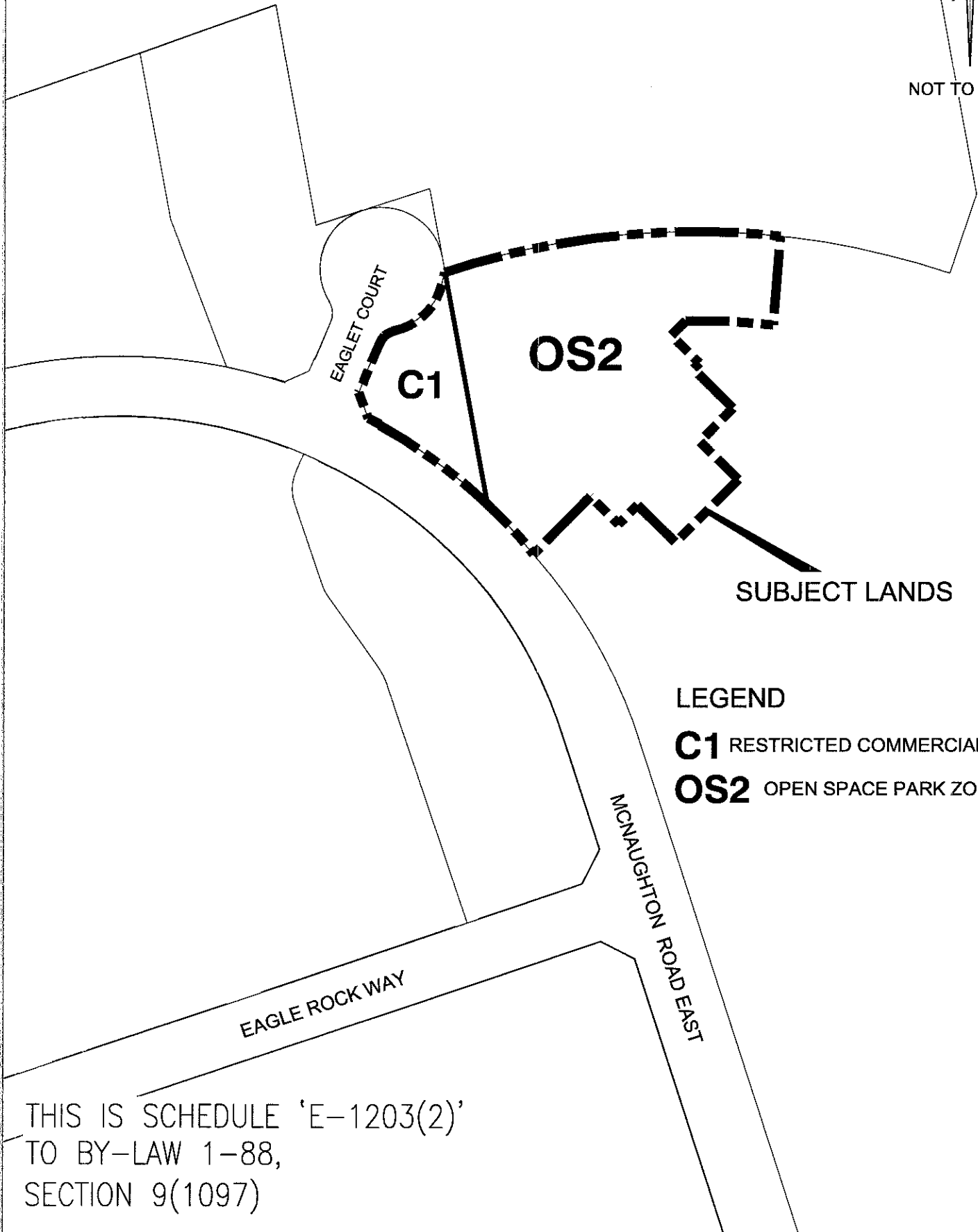
Enacted by City of Vaughan Council this 19<sup>th</sup> day of June, 2018.

\_\_\_\_\_  
Hon. Maurizio Bevilacqua, Mayor

\_\_\_\_\_  
Todd Coles, City Clerk



NOT TO SCALE



LEGEND

- C1** RESTRICTED COMMERCIAL ZONE
- OS2** OPEN SPACE PARK ZONE

THIS IS SCHEDULE 'E-1203(2)'  
 TO BY-LAW 1-88,  
 SECTION 9(1097)

NOT TO SCALE

**THIS IS SCHEDULE '1'**  
**TO BY-LAW 150 - 2018**  
**PASSED THE 19<sup>th</sup> DAY OF JUNE, 2018**

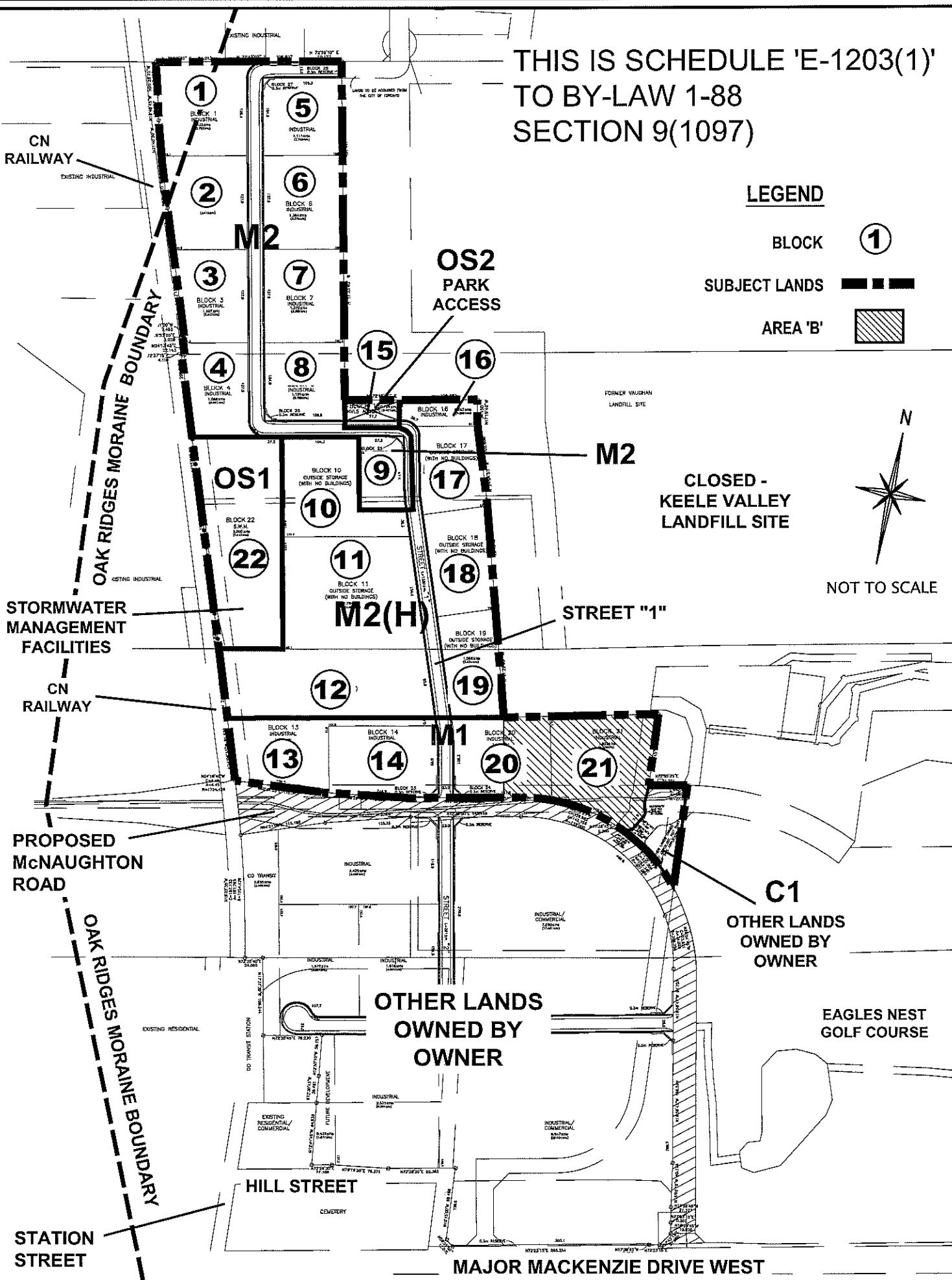
FILE No. Z.17.010  
 RELATED FILES: OP.17.004, DA.16.053 & DA.17.020  
 LOCATION: Part of Lots 21 & 22, Concession 3  
 APPLICANT: YORK MAJOR HOLDINGS INC.  
 CITY OF VAUGHAN

SIGNING OFFICERS

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

THIS IS SCHEDULE 'E-1203(1)'  
TO BY-LAW 1-88  
SECTION 9(1097)

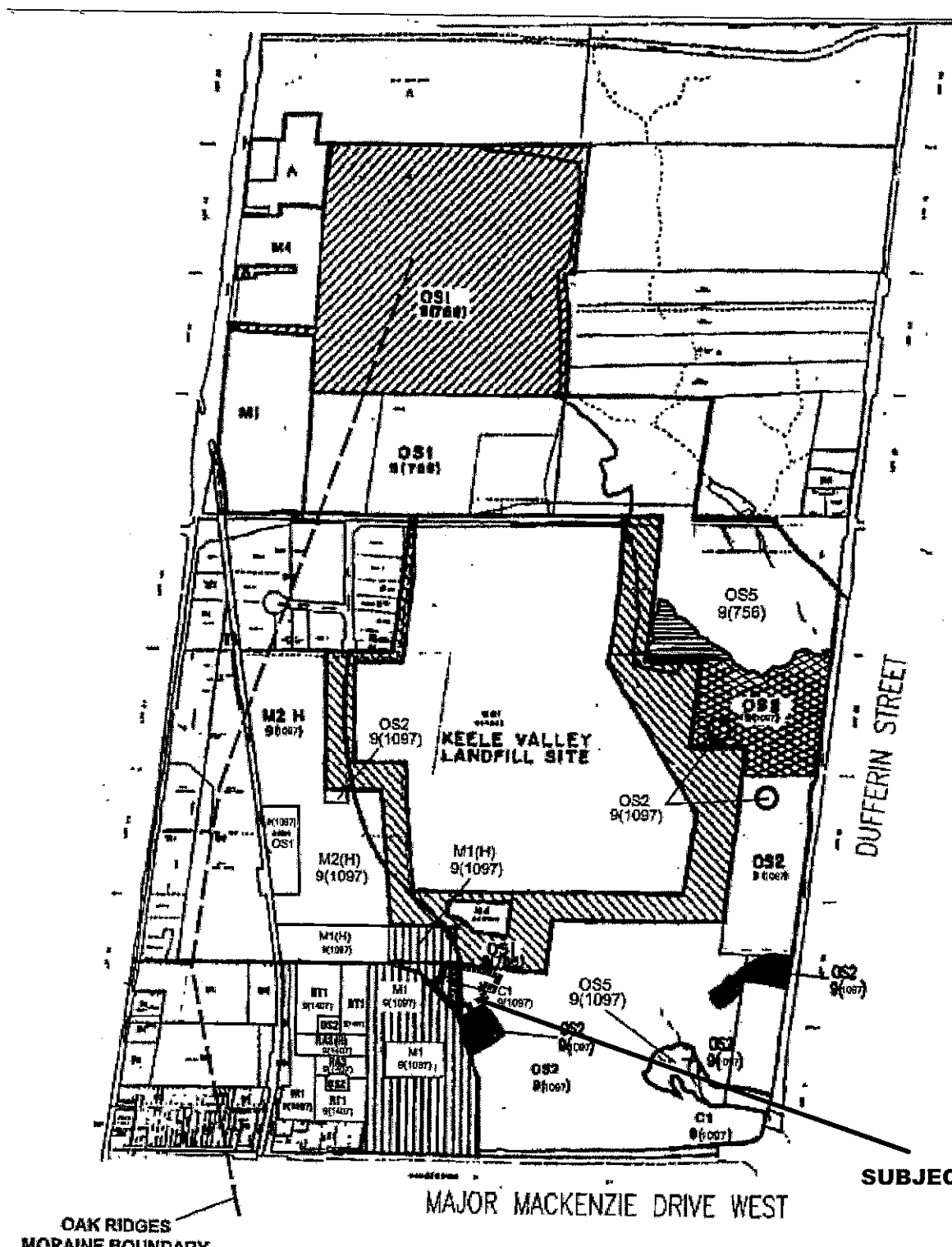


THIS IS SCHEDULE '2'  
TO BY-LAW 150 - 2018  
PASSED THE 19th DAY OF June, 2018

FILE No. Z.17.010  
RELATED FILES: OP.17.004, DA.16.053 & DA.17.020  
LOCATION: Part of Lots 21 & 22, Concession 3  
APPLICANT: YORK MAJOR HOLDINGS INC.  
CITY OF VAUGHAN

SIGNING OFFICERS

\_\_\_\_\_  
MAYOR  
\_\_\_\_\_  
CLERK



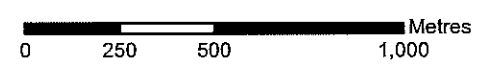
SUBJECT LANDS

MAJOR MACKENZIE DRIVE WEST

OAK RIDGES MORaine BOUNDARY

LEGEND

- AVONDALE
- PRIMARY BUFFER AREA
- SEE E-1203(1) FOR DETAILS
- AREA 'A'
- AREA 'B'
- AREA 'C'
- AREA 'D'



THIS IS SCHEDULE '3'  
 TO BY-LAW 150 -2018  
 PASSED THE 19th DAY OF June , 2018

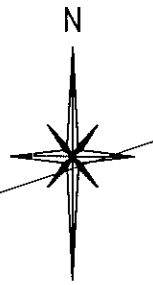
FILE: Z.17.010  
 RELATED FILES: OP.17.004, DA.16.053 & DA.17.020  
 LOCATION: PART OF LOTS 21 & 22, CONCESSION 3  
 APPLICANT: YORK MAJOR HOLDINGS INC.  
 CITY OF VAUGHAN

SIGNING OFFICERS  
 \_\_\_\_\_  
 MAYOR  
 \_\_\_\_\_  
 CLERK

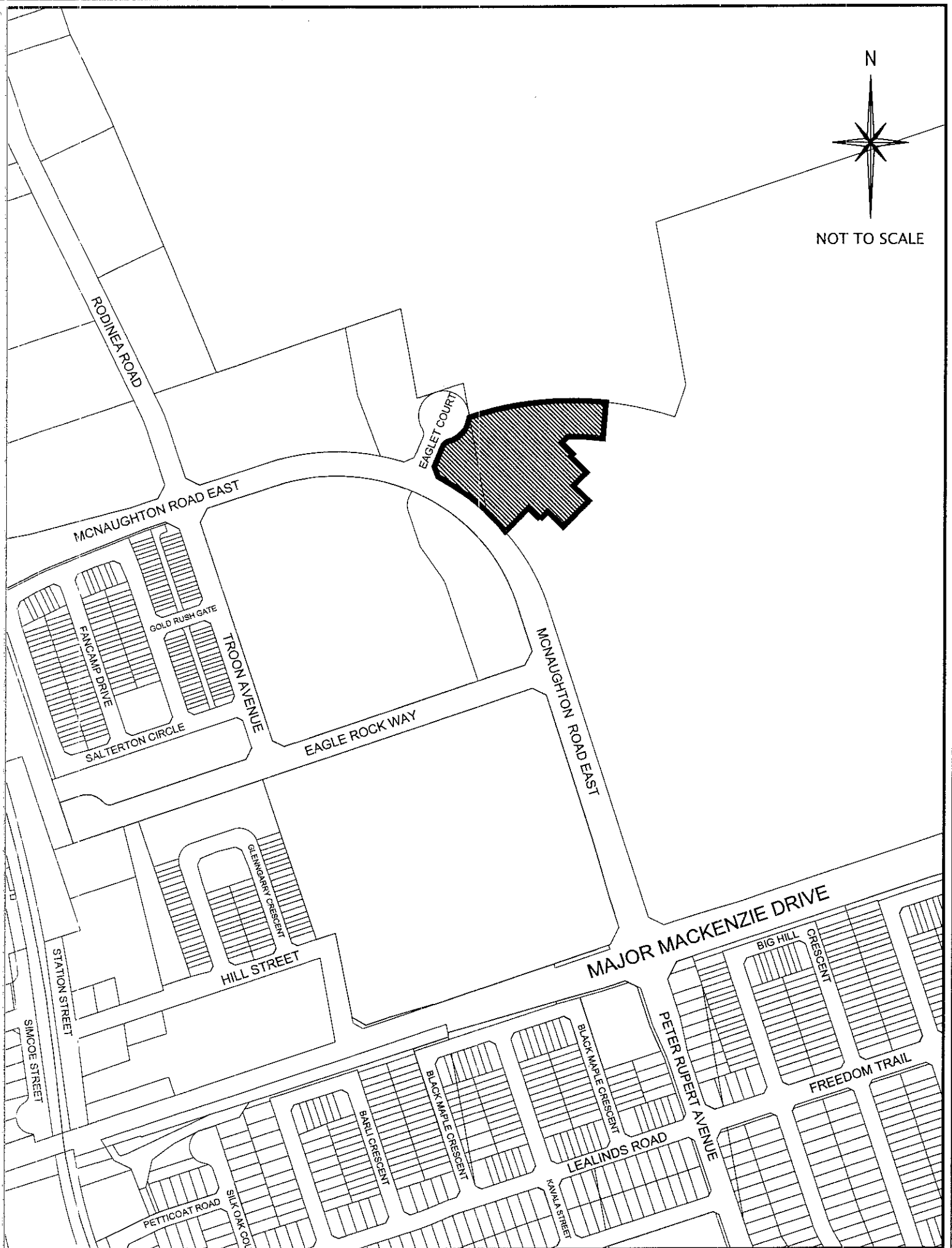
**SUMMARY TO BY-LAW 150-2018**

The lands subject to this By-law are located on the east side of McNaughton Road East and south of Eaglet Court, municipally known as 10,000 Dufferin Street and 1 Eaglet Court, in Part of Lots 21 and 22, Concession 3, City of Vaughan.

The purpose of this by-law is to amend Zoning By-law 1-88, Exception Paragraph 9(1097) to permit the site-specific zoning exceptions to the OS2 Open Space Park Zone and C1 Restricted Commercial Zone respecting the definition of front lot line and rear lot line, parking requirements, minimum landscape strip width, minimum front yard setback, minimum exterior yard setback, maximum building height, minimum rear yard setback and minimum lot depth to facilitate an office building with off-site parking.



NOT TO SCALE



# LOCATION MAP TO BY-LAW 150 - 2018

FILE No. Z.17.010  
RELATED FILES: OP.17.004, DA.16.053 & DA.17.020  
LOCATON: Part of Lots 21 & 22, Concession 3  
APPLICANT: YORK MAJOR HOLDINGS INC.  
CITY OF VAUGHAN



SUBJECT LANDS