

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 117-2018

A By-law to amend City of Vaughan By-law 1-88.

WHEREAS the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

AND WHEREAS there has been no amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are not in conformity;

NOW THEREFORE the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
 - a) Rezoning the lands shown as "Subject Lands" in the manner shown on Schedule "1", attached hereto, from R1V Old Village Residential Zone to C1 Restricted Commercial Zone.

- b) Adding the following Paragraph to Section 9.0 "EXCEPTIONS":

"9(1463) Notwithstanding the provisions of:

- a) Subsection 3.13 respecting Minimum Landscaped Area;
 - b) Subsection 5.1.1 b) respecting Landscaping Area;
 - c) Subsection 5.1.4 respecting Uses Permitted, All Commercial Zones and Subsection 5.2 respecting Uses Permitted in the C1 Restricted Commercial Zone, and 3.8 a) respecting Parking Requirements;
 - d) Subsection 5.1.5 respecting Commercial Zone Requirements and Schedule "A" respecting the zone standards in C1 Restricted Commercial Zone;

the following provisions shall apply to the lands shown as "Subject Lands" on Schedule "E-1593":

- a) a landscape strip width of 0 m shall be permitted between the C1 Restricted Commercial Zone and the R1V Old Village Residential Zone to the west;
 - b) a landscape strip width of 2.79 m shall be provided along a lot line which abuts a street line (Centre Street), and shall be used for no other purpose than landscaping;
 - c) only the business and professional offices for a maximum of two (2) Regulated Health Professionals shall be permitted;
 - d) a minimum front yard setback of 6.2 m shall be provided to the building

and a minimum of 3.9 m shall be provided to the covered porch; and 2.79 m to exterior stairway;

- eii) a minimum lot depth of 37.7 m shall be permitted;
- eiii) a minimum rear yard setback of 12.9 m shall be permitted.

- c) Adding Schedule "E-1593" attached hereto as Schedule "1".
- d) Deleting Key Map "1A" and substituting therefor the Key Map "1A" attached hereto as Schedule "2".

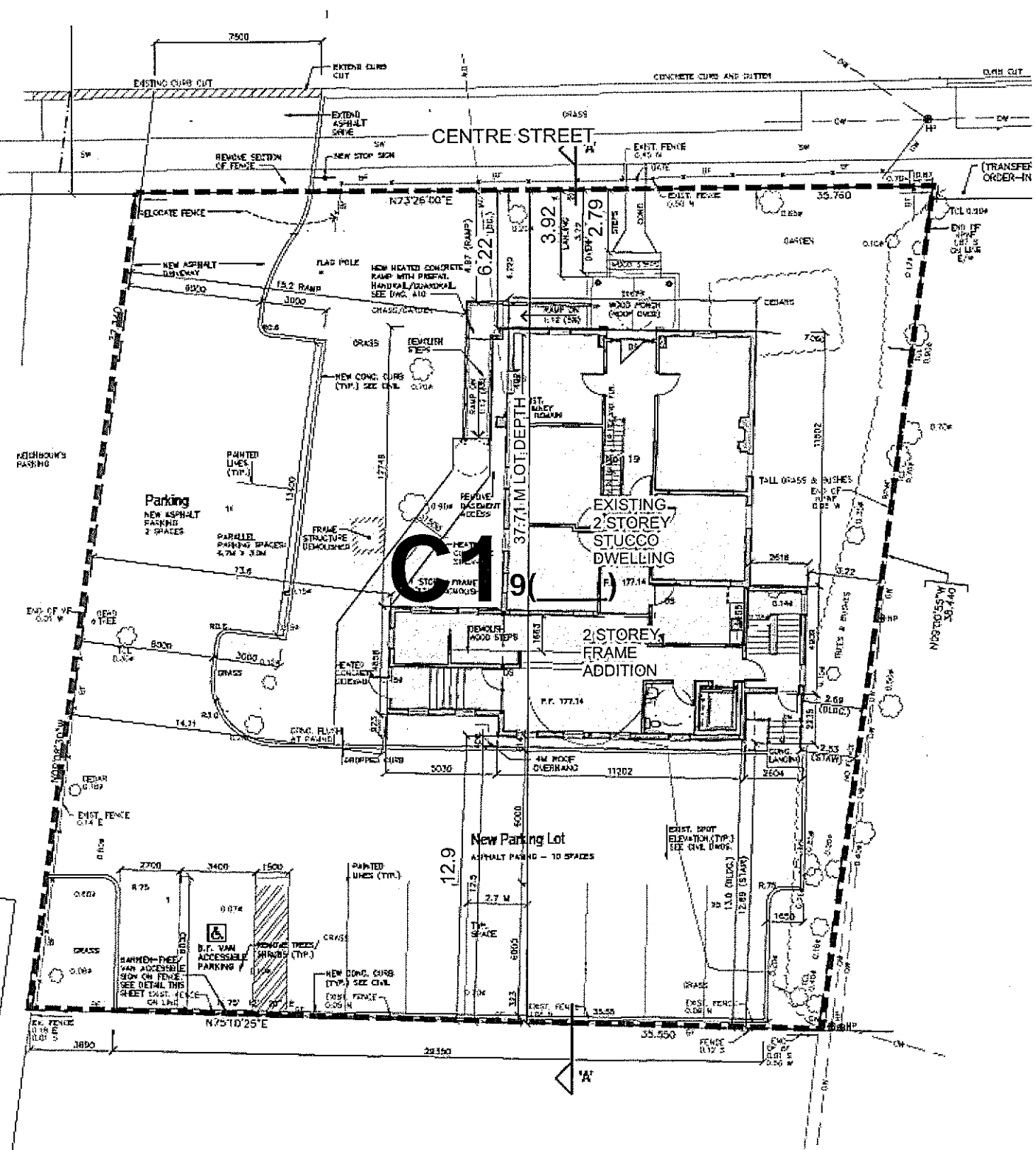
2. Schedules "1" and "2" shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 19th day of June, 2018.

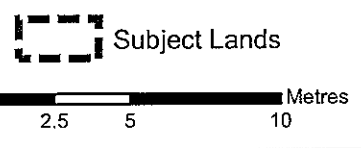
Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk

Authorized by Item No. 2 of Report No. 21
of the Committee of the Whole
Adopted by Vaughan City Council on
June 19, 2018.



THIS IS SCHEDULE 'E-1593'
 TO BY-LAW 1-88
 SECTION 9(1463)



THIS IS SCHEDULE '1'
 TO BY-LAW 117 -2018
 PASSED THE 19th DAY OF JUNE, 2018

FILE: Z.16.029
 RELATED FILE: DA.16.059
 LOCATION: PART OF LOT 30, CONCESSION 1
 APPLICANT: 2423089 ONTARIO CORP.
 CITY OF VAUGHAN

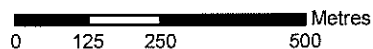
SIGNING OFFICERS

 MAYOR

 CLERK



KEY MAP 1A
 BY-LAW NO. 1-88



THIS IS SCHEDULE '2'
 TO BY-LAW 117 -2018
 PASSED THE 19th DAY OF JUNE, 2018

FILE: Z.16.029
 RELATED FILE: DA.16.059
 LOCATION: PART OF LOT 30, CONCESSION 1
 APPLICANT: 2423089 ONTARIO CORP.
 CITY OF VAUGHAN

SIGNING OFFICERS

 MAYOR

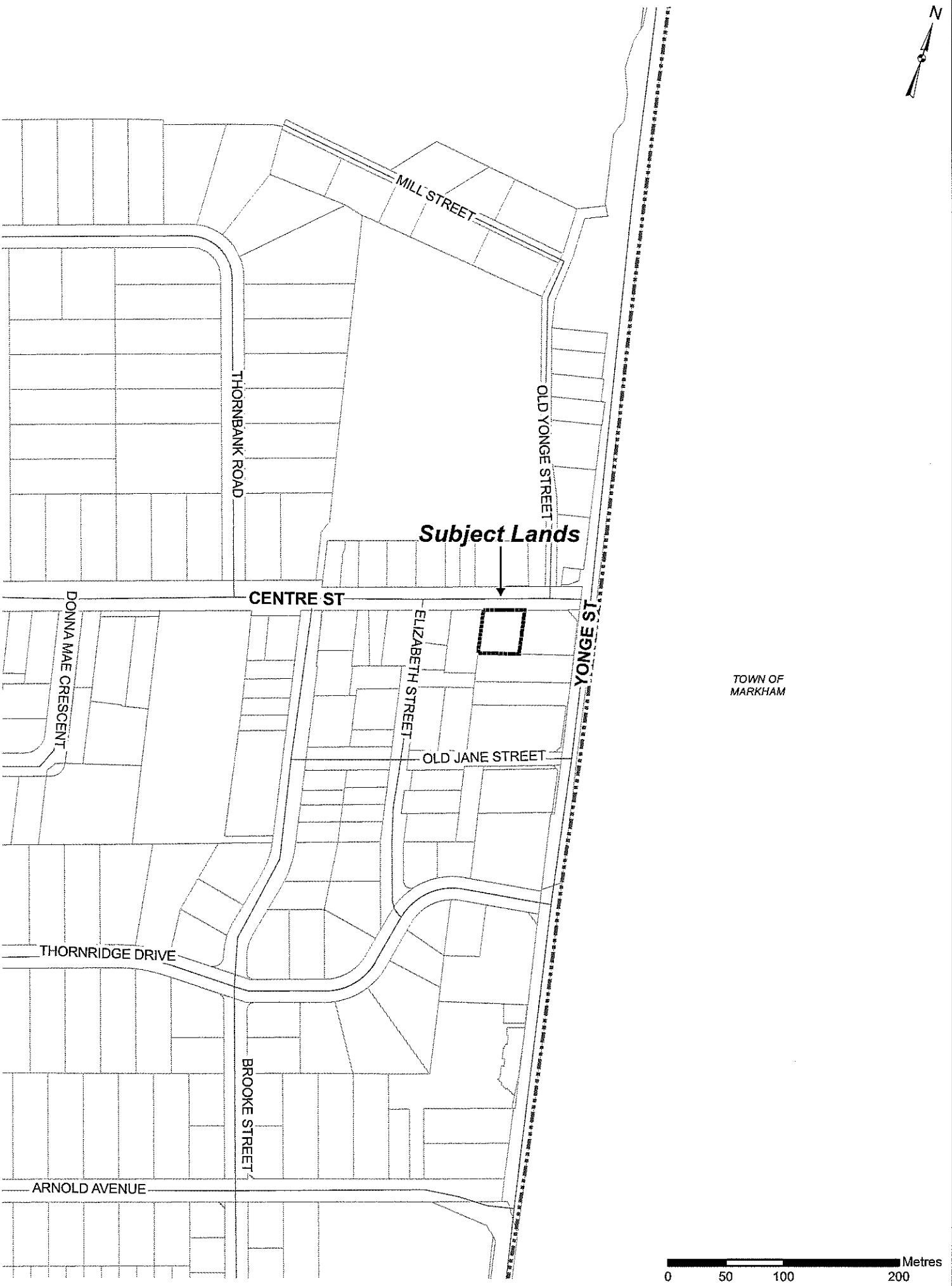
 CLERK

SUMMARY TO BY-LAW 117-2018

The lands subject to this By-law are located west of Yonge Street, on the south side of Centre Street (19 Centre Street), being Part of Lot 56 on Plan 9834, in Lot 30, Concession 1, City of Vaughan.

The purpose of this By-law is to rezone the lands from R1V Old Village Residential Zone to C1 Restricted Commercial Zone to permit the use of the building only for the offices of two (2) Regulated Health Professionals, subject to the following site-specific development standards:

- a) a reduction in the required landscape strip width abutting a Residential Zone to 0 m along the west property line;
- b) the landscape strip adjacent to a street line shall have a minimum width of 2.79 m;
- c) a minimum rear yard setback of 12.9 m;
- d) a minimum front yard setback of 6.2 m to the building, 3.9 m to the covered porch, and 2.79 m to the steps
- e) a minimum lot depth of 37.7 m.



LOCATION MAP
TO BY-LAW 117 -2018

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