

Committee of the Whole (Public Hearing) Report

DATE: Tuesday, June 05, 2018

WARD: 2

**TITLE: OFFICIAL PLAN AMENDMENT FILE OP.17.016
ZONING BY-LAW AMENDMENT FILE Z.17.046
IMPORTANNE MARKETING INC.
VICINITY OF REGIONAL ROAD 27 AND HIGHWAY 407**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.17.016 and Z.17.046 for the Subject Lands shown on Attachments #1 and #2, to permit the development of two 12-storey office buildings, an 8-storey hotel and a 4-storey above ground parking structure, as shown on Attachments #3 to #9.

Report Highlights

- To receive input from the public and the Committee of the Whole regarding a development proposal for two 12-storey office buildings, an 8-storey hotel and a 4-storey above ground parking structure.
- Official Plan Amendment and Zoning By-law Amendment applications are required to permit the development.
- A technical report to be prepared by the Development Planning Department will be considered at a future Committee of the Whole meeting.

Recommendations

1. That the Public Hearing report for Files OP.17.016 and Z.17.046 (Importanne Marketing Inc.) BE RECEIVED; and that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The Subject Lands (the “Subject Lands”) are located on the west side of Regional Road 27, north of Highway 407, as shown on Attachment #2, and are municipally known as 7242 Regional Road 27. The Subject Lands are comprised of two parcels of land traversed by Toronto RV Road. The Owner is proposing to realign Toronto RV Road to the east, parallel to Regional Road 27, thereby merging the two parcels into one parcel (the Subject Lands), as shown on Attachment #3. The surrounding land uses are shown on Attachment #2.

On October 15, 2002, Vaughan Council approved Official Plan and Zoning By-law Amendment Files OP.00.022 and Z.00.107 to permit the development of the Subject Lands with a 9-storey hotel, a 2-storey conference/banquet and 7 and 8-storey office buildings with ground floor commercial uses and surface and underground parking, as shown on Attachment #10.

On November 11, 2002, Council adopted OPA #584, which redesignated the Subject Lands from “General Complementary Urban Area” under the Provincial Parkway Belt West Plan, to “Prestige Area” designation, subject to the “Service Node” policies under OPA #450 (Employment Area Plan). The Subject Lands were previously removed from the Provincial Parkway Belt West Plan by Amendment No. 129, which was approved by the Ministry of Municipal Affairs on October 23, 1997.

On November 28, 2002, the Catholic Cemeteries Archdiocese of Toronto (the Owner of the Queen of Heaven Cemetery immediately to the west of the Subject Lands) appealed the decision of Council to the Ontario Municipal Board (the “OMB”). Prior to the commencement of an OMB Hearing, 1168912 Ontario Incorporated and Importanne Marketing Inc. (the Owner) and the Catholic Cemeteries Archdiocese of Toronto (the Appellant) reached a settlement. In Decision/Order No. 1696, issued on October 27, 2004, the OMB approved a modified version of OPA No. 584, which incorporated development criteria to screen the proposed development from the adjacent cemetery lands, road improvements to Regional Road 27 and Toronto RV Road, and to not allow an above ground parking structure.

On December 2, 2013, the OMB partially approved Volume 2 of Vaughan Official Plan 2010 (VOP 2010), Site-Specific Policies, which included the previous OMB modified and approved OPA #584 for the Subject Lands as Site-Specific Policy 13.3, which includes Schedule 13.3.B as shown on Attachment #10.

Official Plan Amendment and Zoning By-law Amendment Applications are required to permit the proposed development

The Owner has submitted the following applications (the “Applications”) for the Subject Lands shown on Attachments #1 and #2 to permit the development of two, 12-storey office buildings, an 8-storey hotel and a 4-storey above ground parking structure (the “Development”), as shown on Attachments #3 and #9:

1. Official Plan Amendment File OP.17.016 to amend VOP 2010, Volume 2, Site Specific Policy 13.3, specifically to:
 - a) increase the maximum permitted building height for the office buildings from 7 and 8-storeys to 12-storeys;
 - b) remove the requirement for a 3000 m² landscape amenity area; and,
 - c) permit an above ground parking structure whereas, an above ground parking structure is specifically prohibited.
2. Zoning By-law Amendment File Z.17.046, to amend Zoning By-law 1-88 to rezone the Subject Lands from PB2 Parkway Belt Complementary Use Zone to C7 Service Commercial Zone in the manner shown on Attachment #3, together with the site-specific zoning exceptions identified in Table 1 of this report.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

- a) Date the Notice of Public Hearing was circulated: May 11, 2018

The Notice of Public Hearing was also posted on the City's web-site at www.vaughan.ca and Notice Signs were installed along the Toronto RV Road and Regional Road 27 frontages in accordance with the City's Notice Signs Procedures and Protocols.
- b) Circulation Area: 150 m, and to the West Woodbridge Homeowners' Association
- c) Comments Received:
 - i) M. Everard, email dated February 22, 2018, Acting on behalf of Catholic Cemeteries & Funeral Services – Archdiocese of Toronto, registered owners of Queen of Heaven Cemetery, expressing concerns that the previous OMB Decision on the Subject Lands should run with the lands and that the OMB's Decision should be implemented as approved.

Any additional written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not applicable

Analysis and Options

An amendment to Vaughan Official Plan 2010 is required to permit the proposed development

The Subject Lands are designated “Prestige Employment Area” by VOP 2010, Volume 2, Site-Specific Policy 13.3, which permits uses such as offices, hotels with related hospitality, eating establishment and conference/banquet hall facilities, and ancillary retail uses. The Site-Specific Policy also establishes the following development standards and includes a Site Plan (Map 13.3.B, as shown on Attachment #10) that are to be included in the implementing Zoning By-law:

- a) a passive landscaped amenity area containing a minimum area of 3000 m², with a minimum frontage along Toronto RV Road of 45 m immediately south of the adjacent cemetery lands;
- b) The northerly office building will consist of a maximum of 7-storeys, comprised of 6 typical storeys, in addition to the ground floor and a maximum height of 30 m. The southerly office building will consist of a maximum of 8-storeys, comprised of 7 typical storeys, in addition to the ground floor, and a maximum height of 34 m. Any retail facility located between the office buildings shall be a maximum of 1-storey and not exceed 12 metres in height. The hotel building on the Subject Lands will consist of a maximum of 9-storeys, comprised of 6 typical storeys, in addition to the ground floor, a second storey and a mezzanine and a maximum height of 40 m;
- c) All parking shall be located underground or at grade. No parking, shall be located in above ground structures;
- d) Landscaping and fencing requirements and window treatment shall be established by the City and to the satisfaction of the City in the Site Plan; and,
- e) Specific road improvements to the Regional Road 27 and Toronto RV Road intersection.

The proposed Development does not conform to VOP 2010. Amendments to VOP 2010 are required to increase the maximum permitted building height for the office buildings from 7 and 8-storeys to 12-storeys, to permit an above ground parking structure and to remove the requirement for a landscaped amenity area.

In addition, the proposed Development includes an 8-storey hotel building, whereas the Site-Specific Policy 13.3 permits a hotel building with a maximum building height of 9-storeys. The proposed 8-storey hotel building complies with the permitted maximum building height. Should the Applications be approved, the implementing Official Plan Amendment and Zoning By-law Amendment will cap the maximum building height for the hotel use at 8-storeys to reflect the approved development.

Amendments to Zoning By-law 1-88 are required to permit the development proposal

The Subject Lands are zoned PB2 Parkway Belt Complementary Zone, as shown on Attachment #2, by Zoning By-law 1-88, which does not permit the Prestige Employment uses. The Owner proposes to rezone the Subject Lands to C7 Service Commercial Zone with the following site-specific zoning exceptions:

Table 1

	By-law Standard	C7 Service Commercial Zone Requirements	Proposed Exceptions to the C7 Commercial Zone
a.	Minimum Exterior Side Yard (Easterly Lot Line)	9 m	3 m (Office “A” and Hotel) 4 m (Office “B”)
b.	Minimum Interior Side Yard (Westerly Lot Line)	6 m	3 m
c.	Minimum Interior Side Yard (South Lot Line to Parking Structure)	6 m	3 m
d.	Minimum Front Yard (Office “A” to South Lot Line)	9 m	4.1 m
e.	Minimum Rear Yard (North Lot Line)	22 m	16.9 m

	By-law Standard	C7 Service Commercial Zone Requirements	Proposed Exceptions to the C7 Commercial Zone
f.	Maximum Building Height	11 m	<p>47.6 m (12-storey Office Buildings)</p> <p>29 m (8-storey Hotel)</p> <p>19 m (4-storey Parking Structure)</p>
g.	Minimum Landscape Strip Along Realigned Toronto RV Road (South and East Lot Lines)	6 m	3 m
h.	Minimum Parking Requirement	<p>Office Use 33,868 m² @ 3.5 spaces/100 m² = 1186 spaces</p> <p>Retail Use 1076 m² @ 6 spaces/100 m² = 65 spaces</p> <p>Hotel Use 105 rooms @ 1 space/room = 105 spaces</p> <p>Total Required = 1356 spaces</p>	<p>Office Use 33,868 m² @ 2.7 spaces/100 m² = 915 spaces</p> <p>Retail Use 1076 m² @ 3.53 spaces/100 m² = 38 spaces</p> <p>Hotel Use 105 rooms @ 0.9 space/room = 95 spaces</p> <p>Total provided parking spaces = 1048 spaces</p>
i.	Loading Spaces	Not permitted between a building and a street	Permit a Loading Space between a building and a Street (Toronto RV Road)

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Provincial Policies, Regional and City Official Plan Policies. Previous OMB Decision	<ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of the applicable Provincial policies, the York Region Official Plan, the VOP 2010 policies and Volume 2 Site-Specific Policy 13.3 and the previous OMB Decision on the Subject Lands.
b.	Appropriateness of Proposed Site-Specific Zoning Exceptions	<ul style="list-style-type: none"> ▪ The appropriateness of the proposed rezoning and site-specific zoning exceptions required to permit the Development shown on Attachments #3 to #9, will be reviewed in consideration of the existing and planned surrounding land uses.
c.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner has submitted the following studies and reports in support of the Applications, which must be approved to the satisfaction of the City or respective approval authority: <ul style="list-style-type: none"> – Functional Servicing Report; – Phase 1 Environmental Site Assessment (ESA); – Parking Justification Study; – Traffic Impact Study; – Pedestrian Wind Conditions; – Community Services and Facilities Study; – Environmental Noise Report; – Market Impact Study; – Planning Justification Report; – Urban Design and Sustainability Brief; and – Sun/Shadow Study. ▪ Additional studies and/or reports may be required as part of the development application review process.

	MATTERS TO BE REVIEWED	COMMENT(S)
d.	Realignment of Toronto RV Road	<ul style="list-style-type: none"> ▪ The appropriateness of the proposal to realign Toronto RV Road parallel with Regional Road 27 to create one consolidated 1.93 ha parcel of land will be reviewed in consideration of, but not limited to the urbanization, ultimate servicing options, appropriate road width, alignment and the access configuration and design.
e.	VOP 2010 Policy 13.3, Site-Specific Road Requirements (Policy 13.3.1.8)	<ul style="list-style-type: none"> ▪ Policy 13.3 of VOP 2010 includes site-specific road improvement requirements that shall be undertaken to the satisfaction of the Ministry of Transportation Ontario (the "MTO"), York Region and the City including: <ul style="list-style-type: none"> – Traffic signal installation at the Regional Road 27 / Toronto RV Road intersection; – The construction of a southbound right turn lane at the Regional Road 27 / Toronto RV Road intersection; and, – The widening of the eastbound approach of the Regional Road 27 / Toronto RV Road intersection. The widening should accommodate two eastbound and one westbound lane. ▪ The appropriateness of the applicability of these road improvements or additional/modified requirements as may be necessary, will be reviewed.
f.	Parkland Dedication	<ul style="list-style-type: none"> ▪ The Owner will be required to pay to the City of Vaughan, cash-in-lieu of the dedication of parkland, prior to the issuance of a Building Permit, in accordance with the <i>Planning Act</i> and the City of Vaughan's Cash-in-lieu of Parkland Policy, should the Applications be approved. The final value of the cash-in-lieu of parkland dedication will be determined by the Real Estate Department.

	MATTERS TO BE REVIEWED	COMMENT(S)
g.	Future Site Development Application	<ul style="list-style-type: none"> ▪ A future Site Development Application will be required to permit the Development, should the Applications be approved. The following matters, but not limited to, will be addressed together with the Applications in a comprehensive technical report to a future Committee of the Whole Meeting: <ul style="list-style-type: none"> – the appropriateness of the proposed site organization and built form; – the adequate buffering and screening of the parking garage to the neighbouring uses; – the design of all commercial signage and lighting; – the retention and preservation of mature trees on the Subject Lands; – proper vehicular (including service vehicles such as fire and garbage trucks) access and turning movements; – road designs that meet MTO, York Region and City Standards; – pedestrian and barrier free accessibility; – accessibility and the location of the proposed parking spaces; and – appropriate site design and building materials, snow storage areas, stormwater management, and servicing and grading.
h.	Sustainable Development	<ul style="list-style-type: none"> ▪ Opportunities for sustainable design, including CPTED (Crime Prevention Through Environmental Design), LEED (Leadership in Energy and Environmental Design), permeable pavers, bio-swales, drought tolerant landscaping, energy efficient lighting, reduction in pavement etc., will be reviewed and implemented through the Site Plan review process, if the Applications are approved.
i.	Ministry of Transportation (the “MTO”)	<ul style="list-style-type: none"> ▪ The Subject Lands are located within the MTO’s Permit Control Area.

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ The Applications have been circulated to the MTO for review and comment. Any issues identified by the MTO will be addressed when the Technical Report is considered. ▪ The Owner will be required to obtain a MTO Building and Land Use Permit prior to the commencement of any works on the Subject Lands, should the Applications be approved.

Financial Impact

Not applicable

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. The Owner has made a request to exempt the Official Plan Amendment Application from York Region's approval. To date, York Region has not issued a decision regarding the exemption request. Any issues will be addressed when the technical report is considered.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Mary Caputo, Senior Planner, at extension 8635.

Attachments

1. Context Location Map
2. Location Map
3. Conceptual Site Plan and Proposed Zoning
4. Conceptual Landscape Plan
5. Conceptual Elevations (Building "A")
6. Conceptual Elevations (Building "B")
7. Conceptual Elevations (Hotel)
8. Conceptual Elevations (Parking Garage)
9. Perspective Rendering
10. VOP 2010, Site Specific Map 13.3.B - Site Plan (Also OMB Approved)

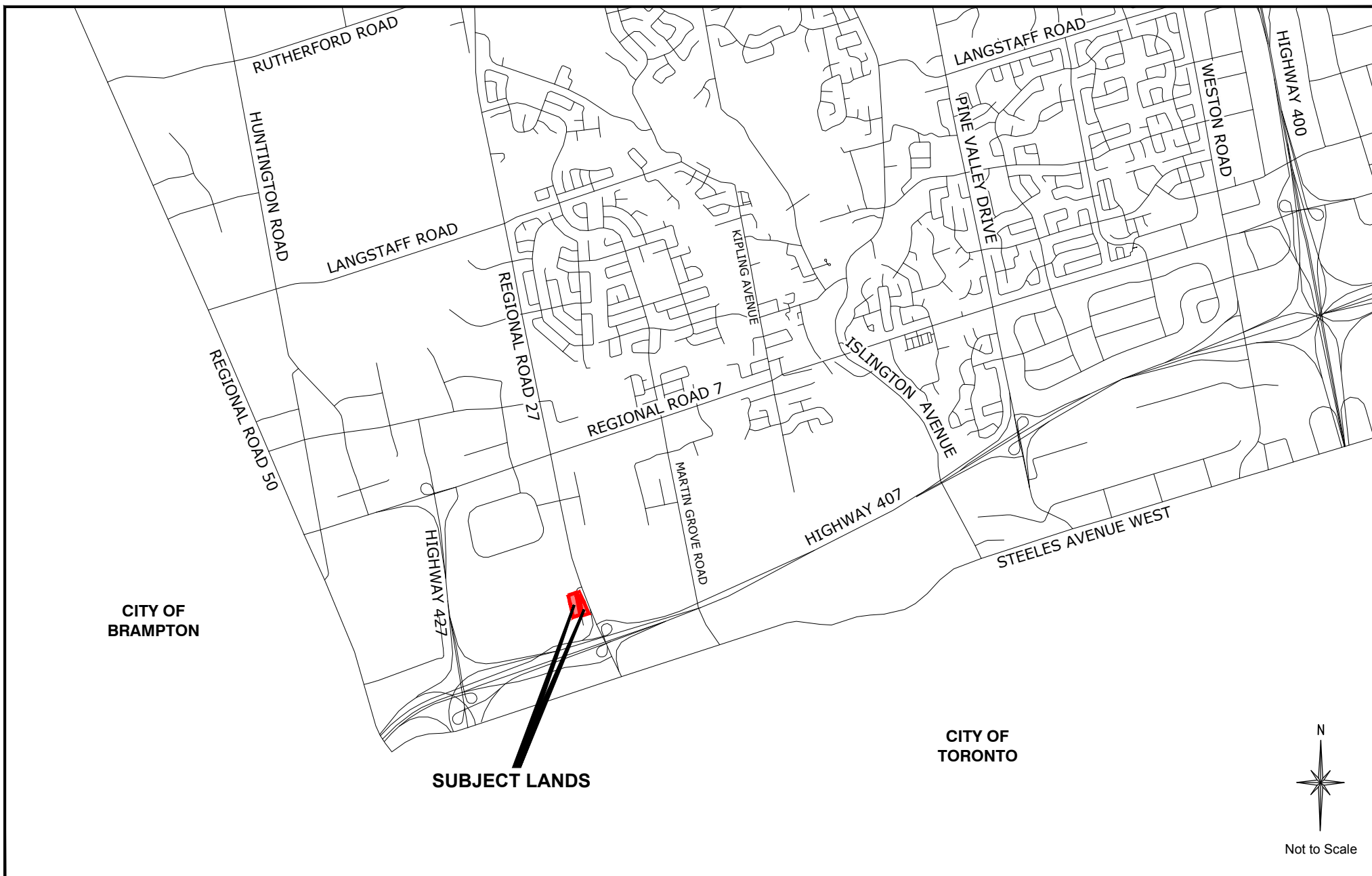
Prepared by

Mary Caputo, Senior Planner, ext. 8635

Carmela Marrelli, Interim Senior Manager of Development Planning, ext. 8791

Mauro Peverini, Director of Development Planning, ext. 8407

/LG



Context Location Map

Location: Part of Lot 2,
Concession 8

Applicant:
Importanne Marketing Inc.

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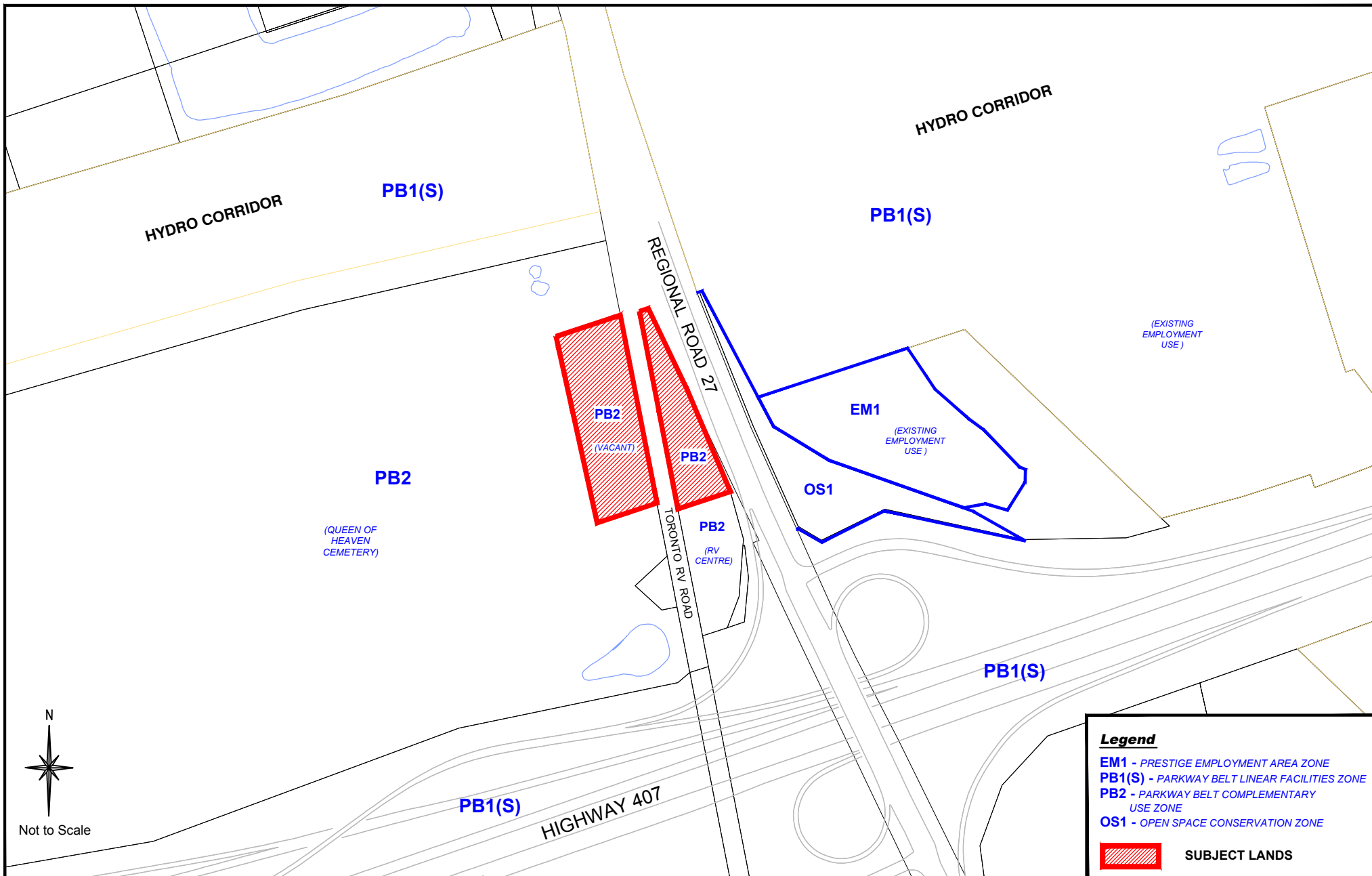


Attachment

Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

1



Location Map

Location: Part of Lot 2,
Concession 8

Applicant:
Importanne Marketing Inc.

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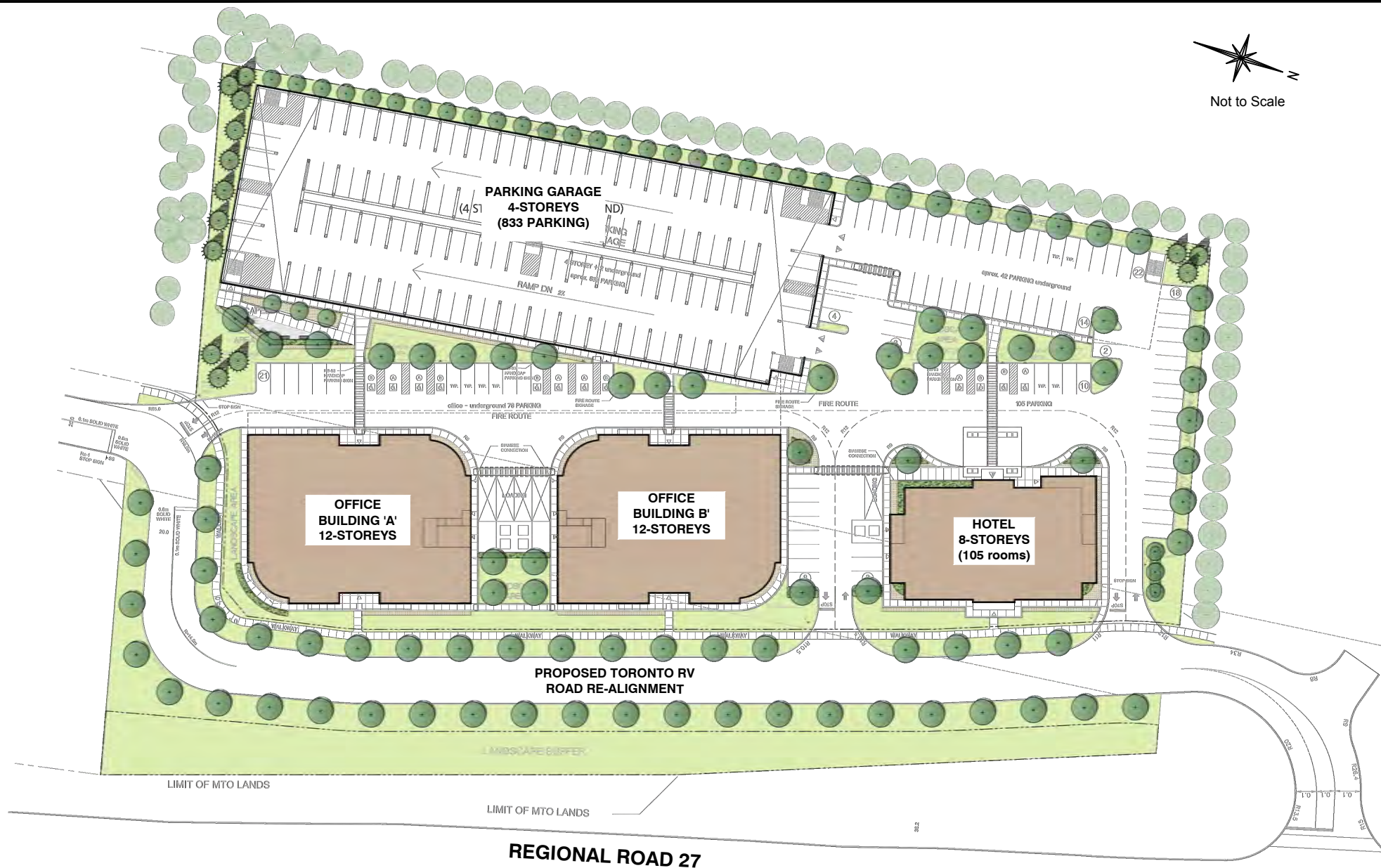


Attachment

Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

2



Conceptual Landscape Plan

Location: Part of Lot 2,
Concession 8

Applicant:
Importanne Marketing Inc.

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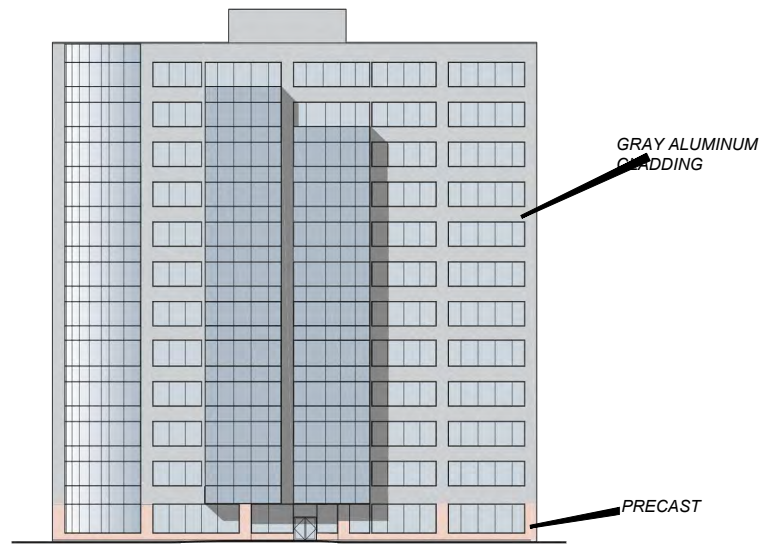


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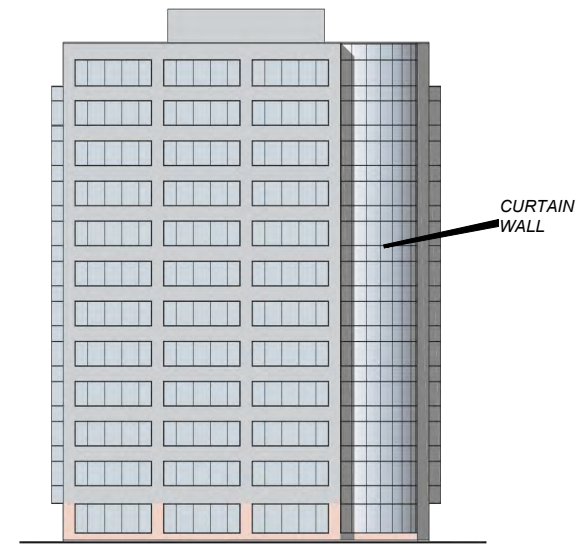
Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

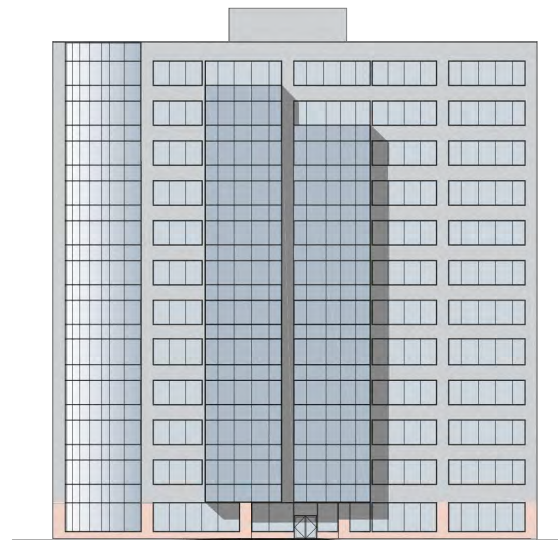
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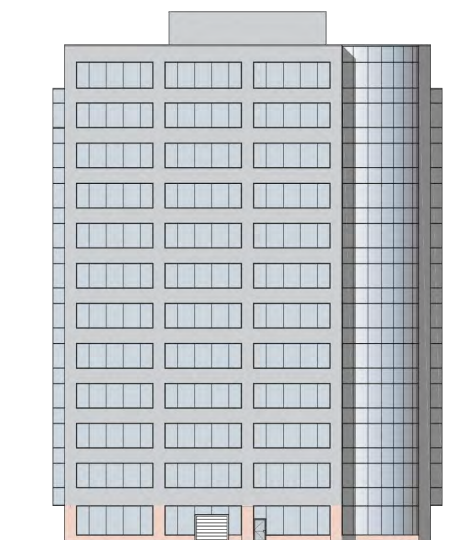
**EAST ELEVATION - FACING PROPOSED TORONTO RV ROAD
RE-ALIGNMENT & REGIONAL ROAD 27**



**SOUTH ELEVATION - FACING PROPOSED
TORONTO RV ROAD RE-ALIGNMENT**



WEST (REAR) ELEVATION



NORTH ELEVATION

Not to Scale

Conceptual Elevations (Building 'A')

Applicant:
Importanne Marketing Inc.

Location: Part of Lot 2,
Concession 8

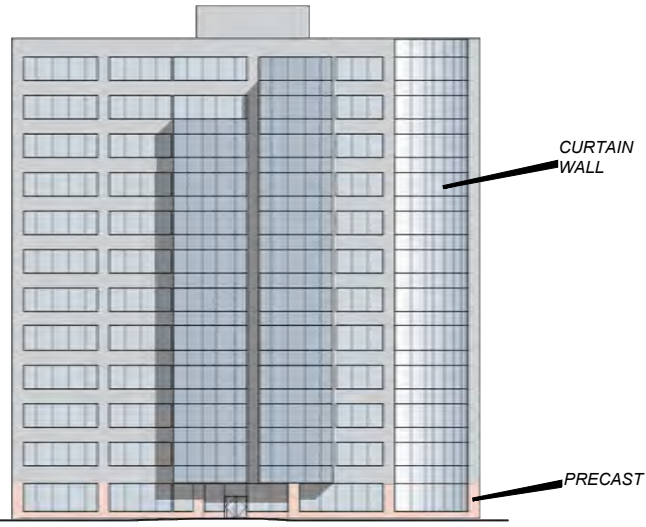


Attachment

Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

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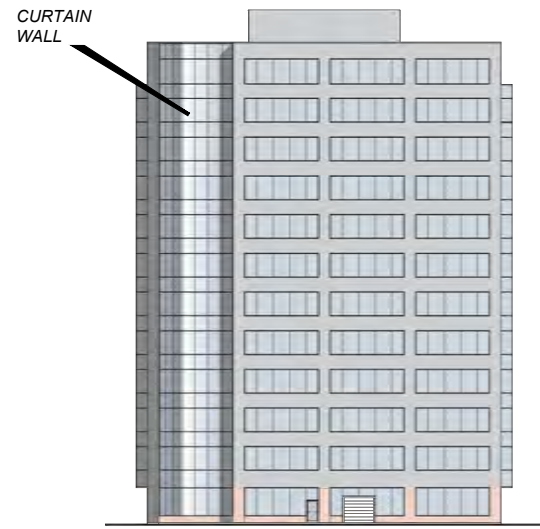
**EAST ELEVATION - FACING PROPOSED TORONTO RV ROAD
RE-ALIGNMENT & REGIONAL ROAD 27**



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Not to Scale

Conceptual Elevations (Building 'B')

Applicant:
Importanne Marketing Inc.

Location: Part of Lot 2,
Concession 8



Attachment

Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

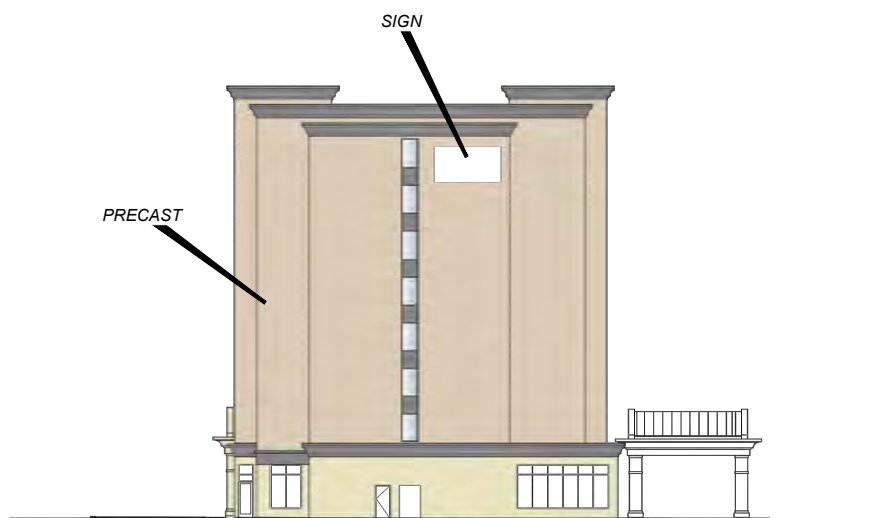
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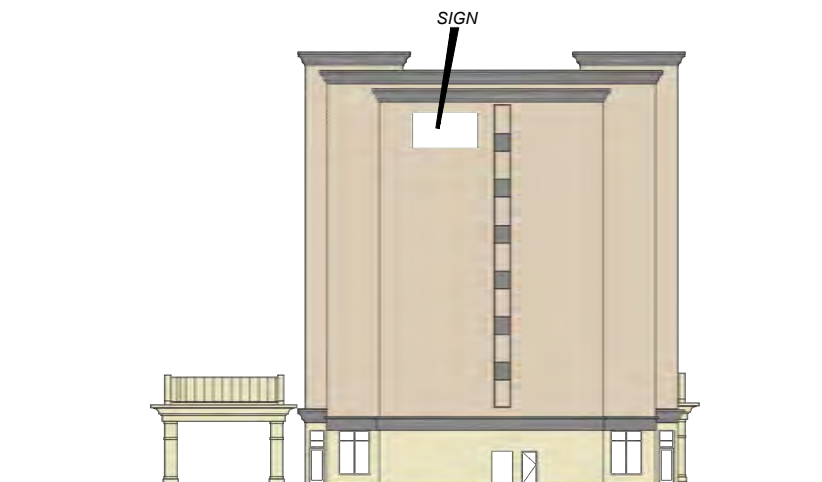
WEST (FRONT) ELEVATION



**EAST ELEVATION - FACING PROPOSED TORONTO RV ROAD
RE-ALIGNMENT & REGIONAL ROAD 27**



NORTH ELEVATION



SOUTH ELEVATION

Not to Scale

Conceptual Elevations (Hotel)

*Applicant:
Importanne Marketing Inc.*

*Location: Part of Lot 2,
Concession 8*

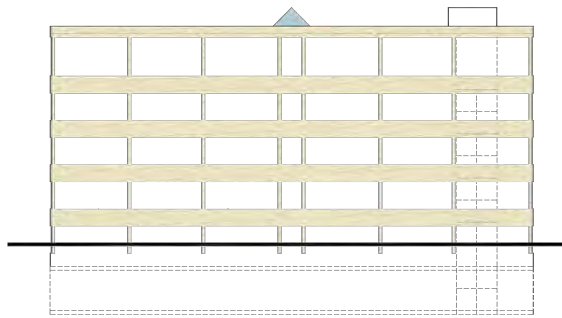


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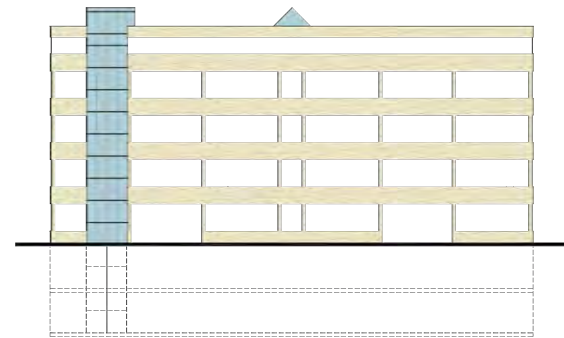
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OP.17.016 & Z.17.046*

*Date:
June 5, 2018*

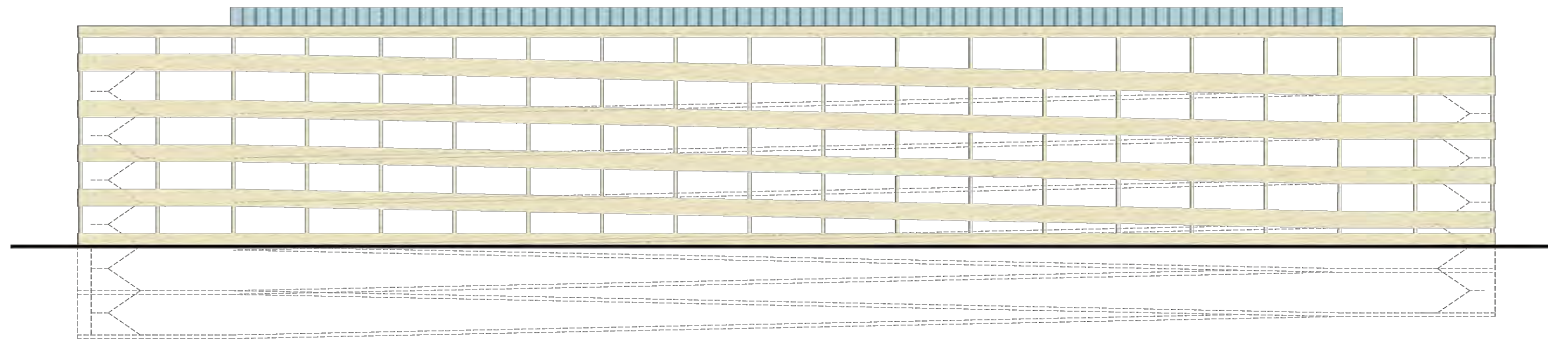
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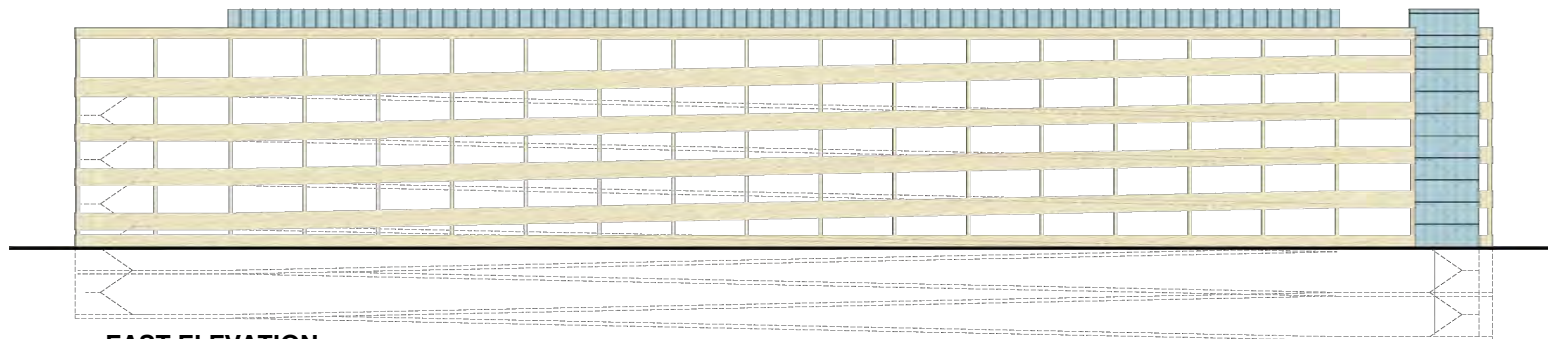
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Not to Scale

Conceptual Elevations (Parking Garage)

Applicant:
Importanne Marketing Inc.

Location: Part of Lot 2,
Concession 8



Development Planning Department

Attachment

Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

8



Not to Scale

Perspective Rendering

Location: Part of Lot 2,
Concession 8

Applicant:
Importanne Marketing Inc.

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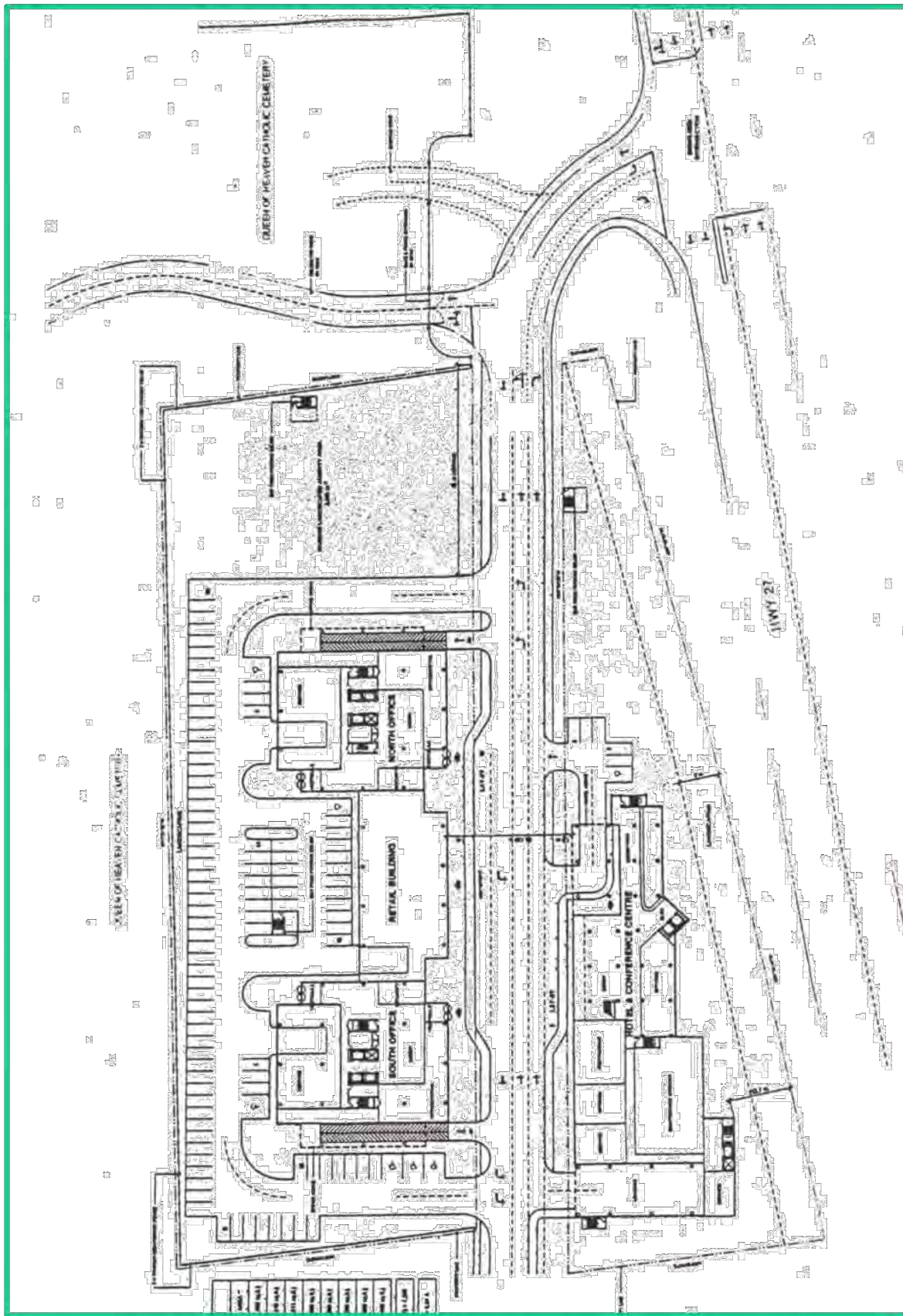


Attachment

Files:
OP.17.016 & Z.17.046

Date:
June 5, 2018

9



Not to Scale

**VOP 2010 Site Specific Map
13.3.B : 7242 Highway 27 -
Site Plan (Also OMB Approved)**

Applicant: Importanne Marketing Inc. Location: Part of Lot 2,
Concession 8



Attachment
Files: OP.17.016 & Z.17.046
Date: June 5, 2018
10