

ITEM #: 6.13	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A220/22 365 Firglen Ridge, Woodbridge
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Partial Approval no conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A220/22
365 Firglen Rdg Woodbridge ON**

FILE MANAGER: Adriana Bozzo, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.13	CITY WARD #: 2
APPLICANT:	Vita Diserio
AGENT:	Michael Persechini
PROPERTY:	365 Firglen Rdg Woodbridge ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed pool house and existing landscaping in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.67 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard of 1.5 metres is required [Section 4.1.2.1 a), Table 7-3].	To permit a minimum interior side yard of 0.6 metres.
2	A maximum lot coverage of 30% is permitted [Table 7-3].	To permit a maximum lot coverage of 31.99%
3	In the R1B zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape [Section 4.19.1.1].	To permit a minimum of 27% of soft landscape for the area of the rear yard in excess of 135 m ² .

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(145) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A minimum rear yard of 7.5 metres is required [Schedule A].	To permit a minimum rear yard of 0.6 metres.
5	A minimum interior side yard of 1.5 metres is required [Schedule A]	To permit a minimum interior side yard of 0.6 metres.
6	A maximum lot coverage of 30% is permitted [Schedule A].	To permit a maximum lot coverage of 31.99%.
7	In an R1 zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of 60% of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping [Section 4.1.2 b)].	To permit a minimum of 27% of soft landscape for the area of the rear yard in excess of 135 m ² .

HEARING INFORMATION

DATE OF MEETING: Thursday, October 27, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

HEARING INFORMATION

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	October 13, 2022	
Date Applicant Confirmed Posting of Sign:	October 11, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Proposed pool house is located near the property line in line with the existing house.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	<p>On October 6, 2022, Development Planning advised:</p> <p>Thank you for making the revisions to the cabana, Development Planning no longer has any concerns with that portion of the proposal. However, we still have concerns regarding the variance for the reduced soft landscaping. We would be challenged to support a variance to permit 27% soft landscaping and would require that percentage to be significantly higher to offer our support. In our last phone call, you indicated that the Owner may not be willing to make any changes to the landscaping. Does the Owner still wish to proceed with their application as is? If that is the case then we will be recommending a partial approval for this application, while recommending refusal for the 2 variances for soft landscaping.</p> <p>The applicant advised on October 11, 2022 that they wish to proceed with the application as is.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.		

COMMITTEE OF ADJUSTMENT COMMENTS	
An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed structures in the subject property is 34.75m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached).</p> <p>The proposed work by the owner/ applicant is increasing the lot coverage area from 30% to 32.44% in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.</p> <p>The Development Engineering (DE) Department does not object to variance application A220/22 subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca .

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comment at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	

BUILDING INSPECTION (SEPTIC) COMMENTS	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

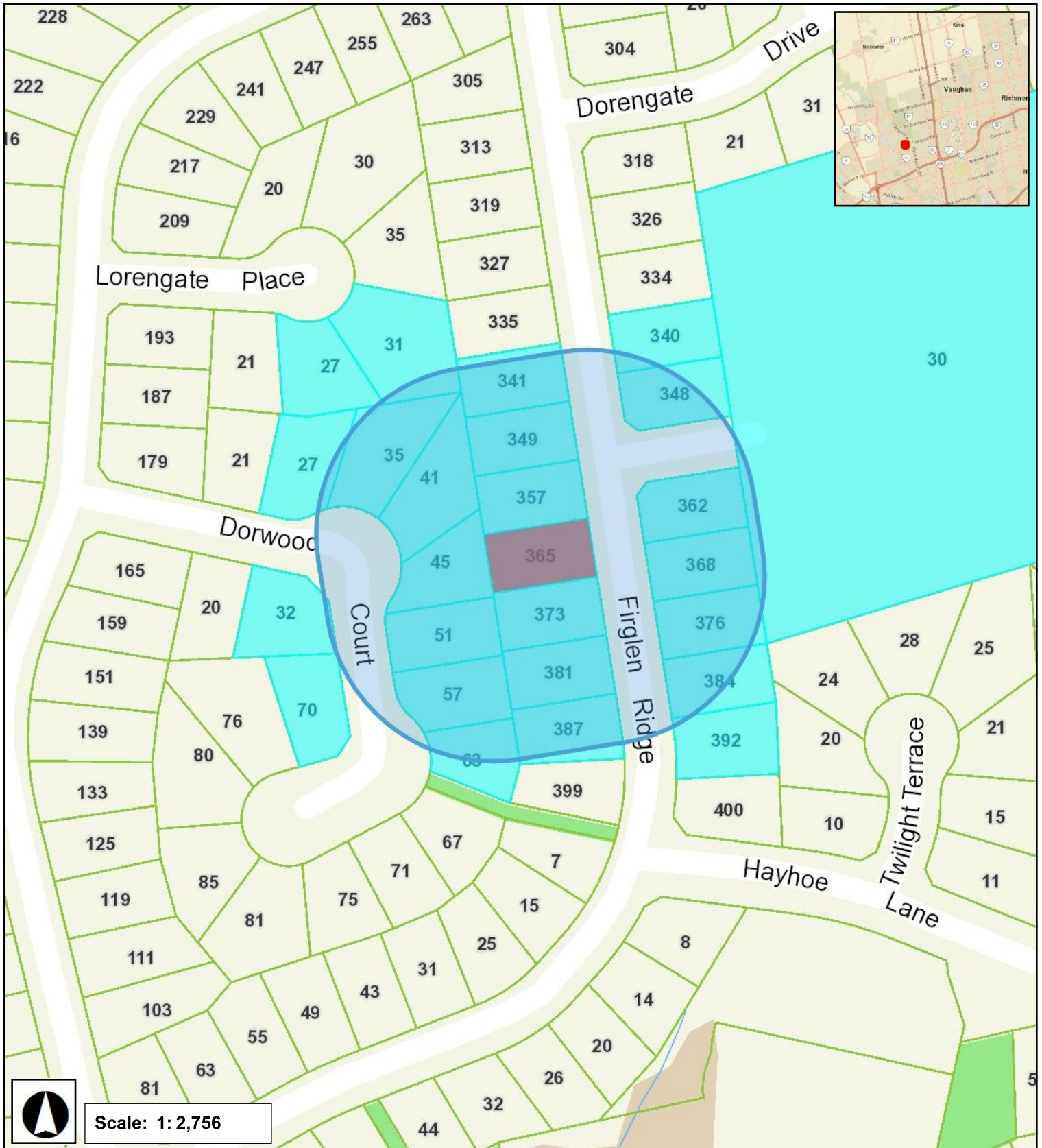
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

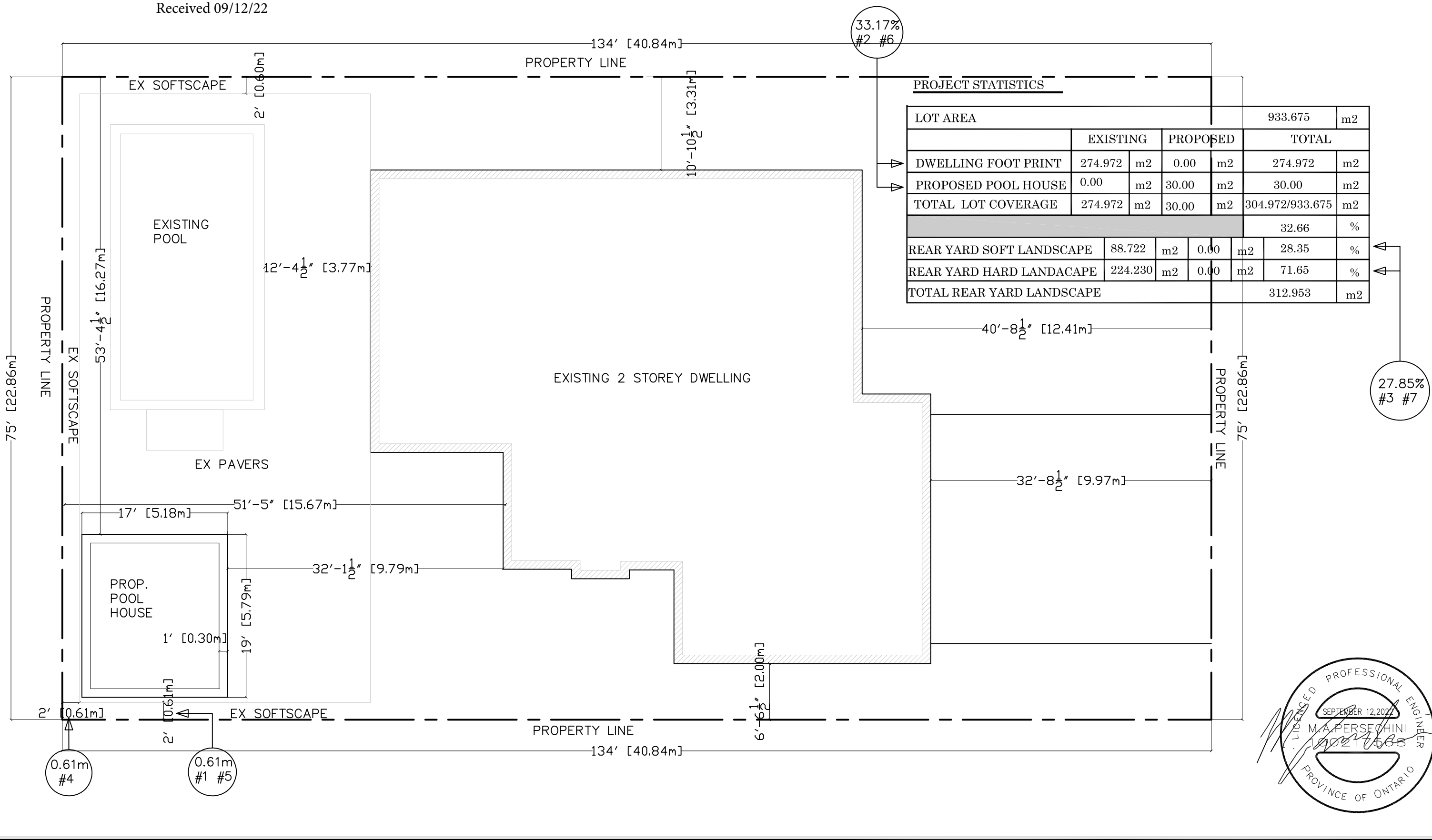
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p>

IMPORTANT INFORMATION – PLEASE READ
<p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

365 Firglen Ridge, Woodbridge





REF.	DATE	REVISIONS
5.	SEP 12-22	ISSUED FOR C.O.A
4.	AUG 3-22	ISSUED FOR C.O.A
3.	JUNE 23-22	ISSUED FOR C.O.A
2.	MAY 25-22	ISSUED FOR RE-APPROVAL
1.	MAY 5-22	ISSUED FOR APPROVAL

BLUE GROVE ENGINEERING
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1 SHEFFIELD STREET
Toronto, Ontario
M6M 3E5

Tel: (416) 540-0756
Web Site: www.bluegroveengineering.com
E-mail: info@bluegroveeng.com



PROJECT TITLE:

365 FRIGLEN RIDGE
VAUGHAN, ON

PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:

SITE PLAN

SCALE: 3/13" = 1'-0"

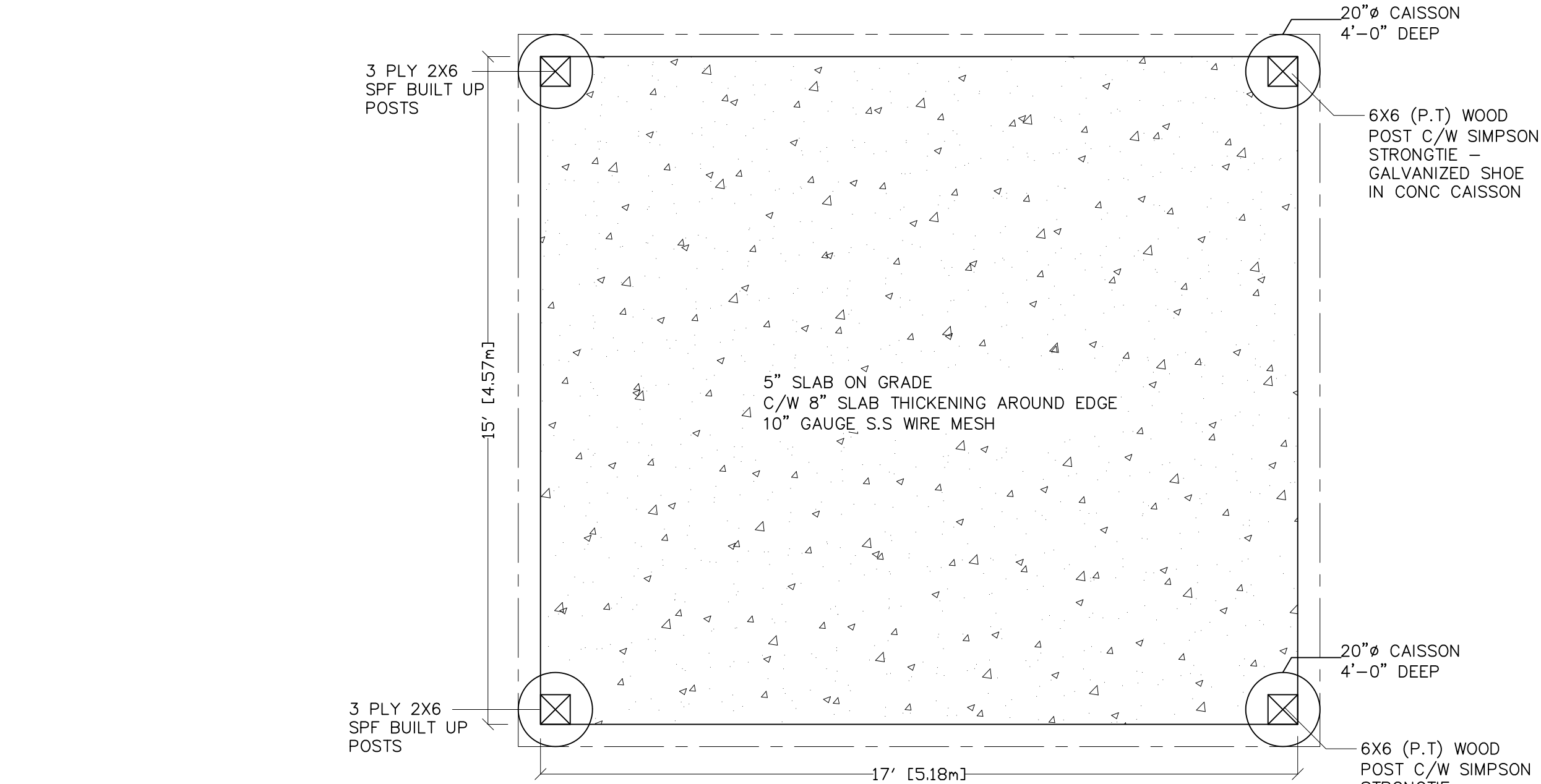
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.

SP1

PROJECT NO:

22-113



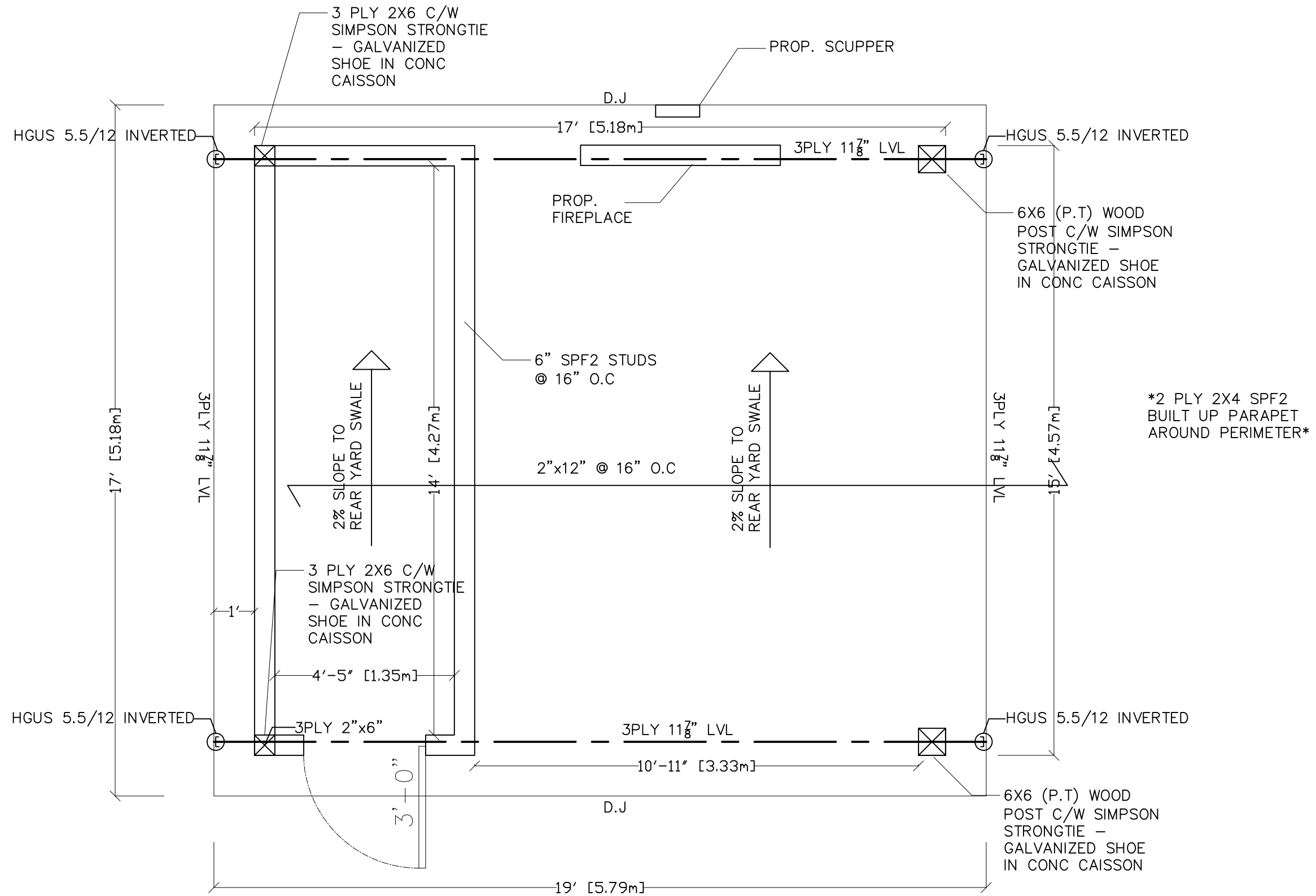
REF.	DATE	REVISIONS
4.	SEP 12-22	ISSUED FOR C.O.A
3.	AUG 3-22	ISSUED FOR C.O.A
2.	JUNE 23-22	ISSUED FOR C.O.A
1.	MAY 5-22	ISSUED FOR APPROVAL

BLUE GROVE ENGINEERING GROUP INC.
1 SHEFFIELD STREET
Toronto, Ontario
M6M 3E5
Tel: (416) 540-0756
Web Site: www.bluegroveengineering.com
E-mail: info@bluegroveeng.com



PROJECT TITLE:
365 FIRGLEN RIDGE
VAUGHAN, ON
PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:
FLOOR PLAN
SCALE: **3/8" = 1'-0"**
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.
SHEET NO. **A1**
PROJECT NO: **22-110**

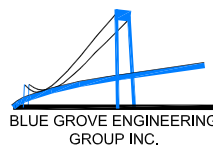


REF.	DATE	REVISIONS
4.	SEP 12-22	ISSUED FOR C.O.A
3.	AUG 3-22	ISSUED FOR C.O.A
2.	JUNE 23-22	ISSUED FOR C.O.A
1.	MAY 5-22	ISSUED FOR APPROVAL

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PROJECT TITLE:

365 FIRGLEN RIDGE
VAUGHAN, ON

PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:

FLOOR PLAN

SCALE: **3/8" = 1'-0"**

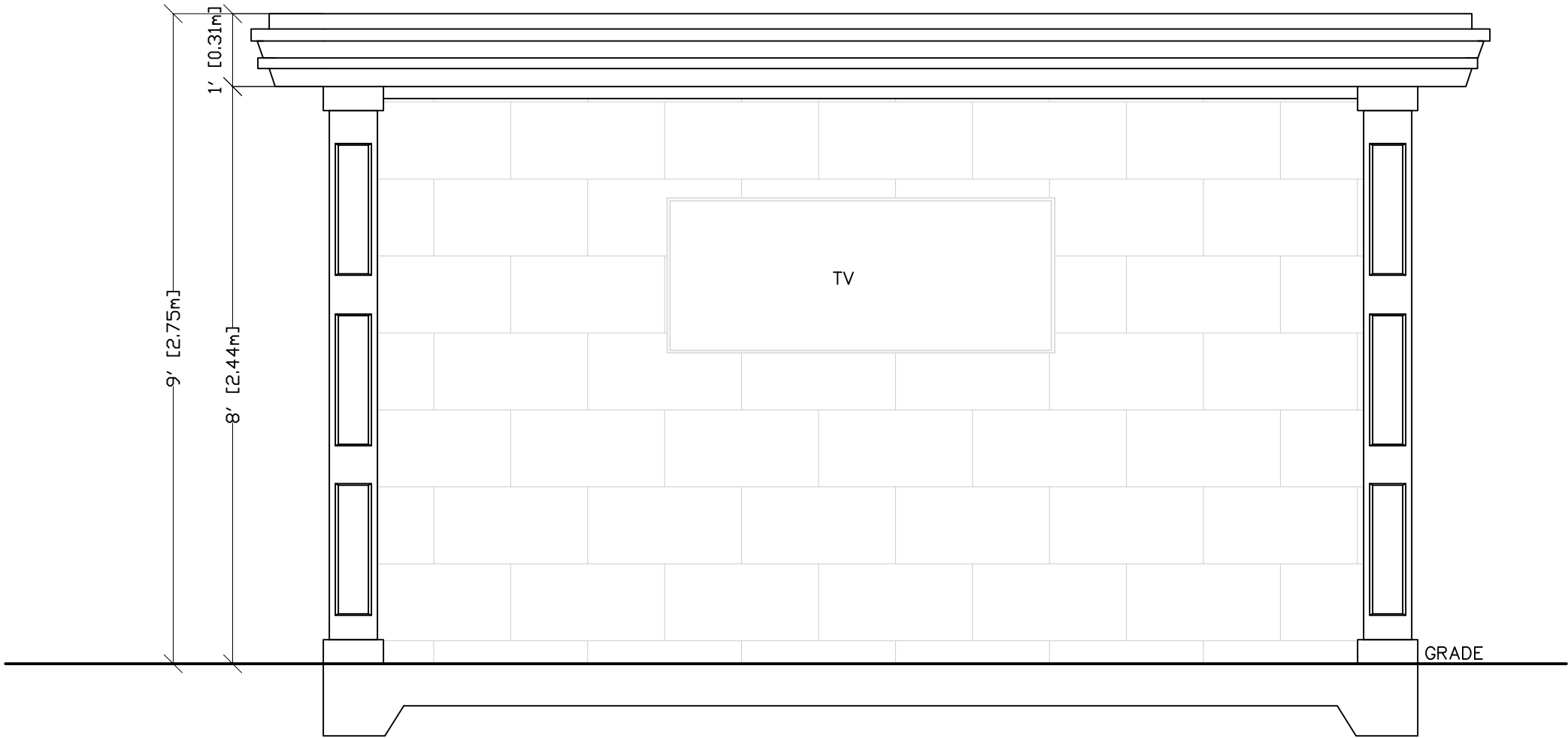
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.

A2

PROJECT NO:

22-110



REF.	DATE	REVISIONS
4.	SEP 12-22	ISSUED FOR C.O.A
3.	AUG 3-22	ISSUED FOR C.O.A
2.	JUNE 23-22	ISSUED FOR C.O.A
1.	MAY 5-22	ISSUED FOR APPROVAL

**BLUE GROVE ENGINEERING
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Tel: (416) 540-0756
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E-mail: info@bluegroveeng.com



PROJECT TITLE:

**365 FIRGLEN RIDGE
VAUGHAN, ON**

PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:

FRONT ELEVATION

SCALE: **1/2" = 1'-0"**

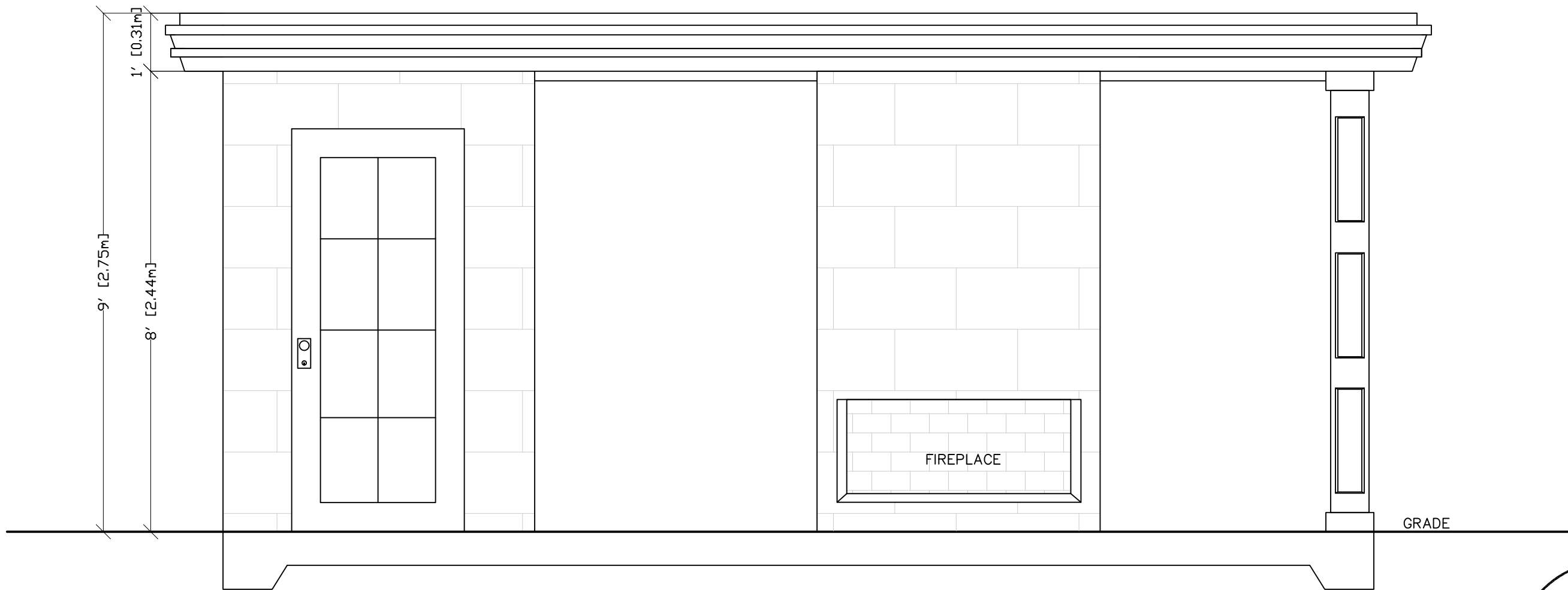
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.

A3

PROJECT NO:

22-110



REF.	DATE	REVISIONS
4.	SEP 12-22	ISSUED FOR C.O.A
3.	AUG 3-22	ISSUED FOR C.O.A
2.	JUNE 23-22	ISSUED FOR C.O.A
1.	MAY 5-22	ISSUED FOR APPROVAL

**BLUE GROVE ENGINEERING
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Tel: (416) 540-0756
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E-mail: info@bluegroveeng.com



PROJECT TITLE:

**365 FIRGLEN RIDGE
VAUGHAN, ON**

PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:

SIDE ELEVATION

SCALE: **1/2" = 1'-0"**

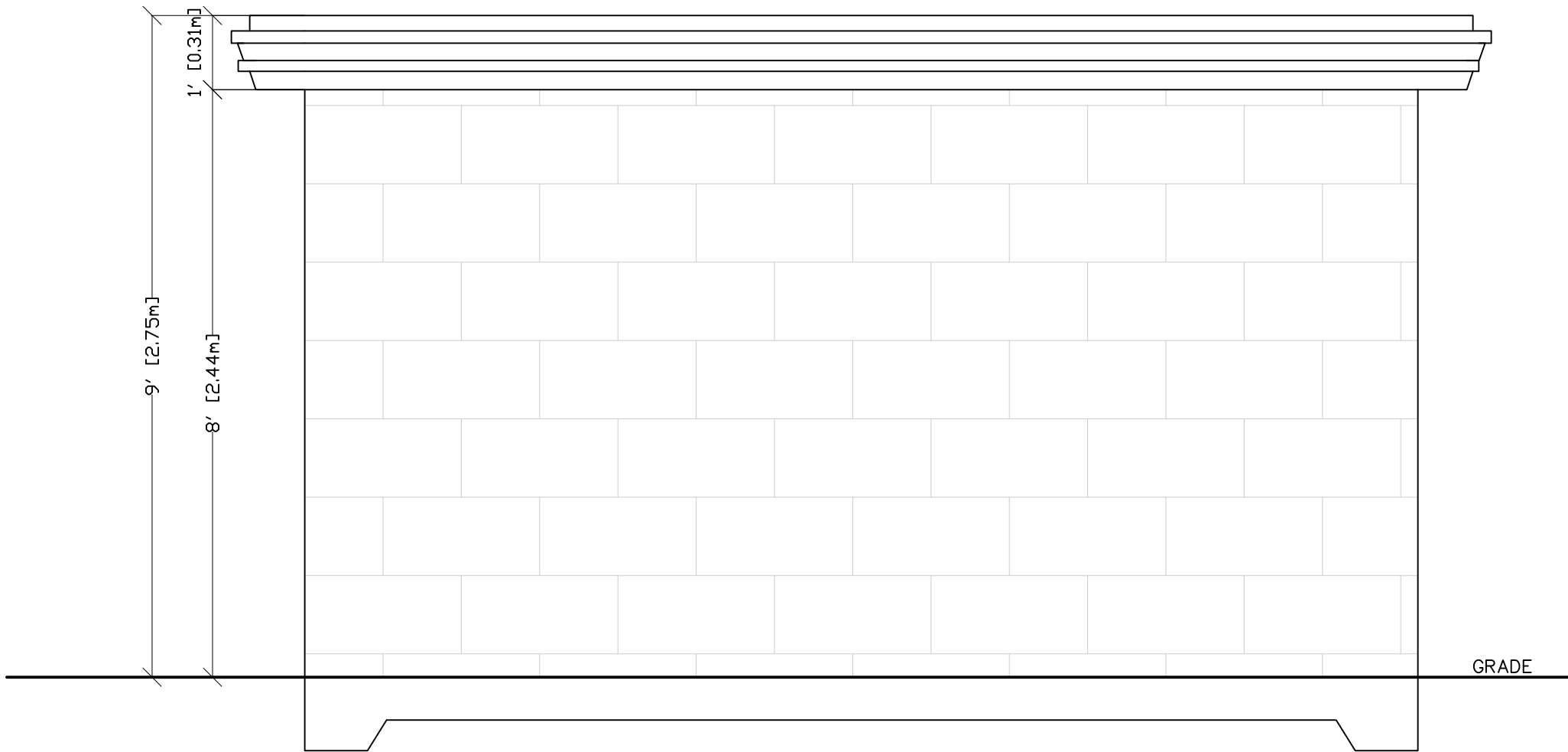
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.

A4

PROJECT NO:

22-110



REF.	DATE	REVISIONS
4.	SEP 12-22	ISSUED FOR C.O.A
3.	AUG 3-22	ISSUED FOR C.O.A
2.	JUNE 23-22	ISSUED FOR C.O.A
1.	MAY 5-22	ISSUED FOR APPROVAL

BLUE GROVE ENGINEERING
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1 SHEFFIELD STREET
Toronto, Ontario
M6M 3E5
Tel: (416) 540-0756
Web Site: www.bluegroveengineering.com
E-mail: info@bluegroveeng.com



PROJECT TITLE:

365 FIRGLEN RIDGE
VAUGHAN, ON

PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:

REAR ELEVATION

SCALE: 1/2" = 1'-0"

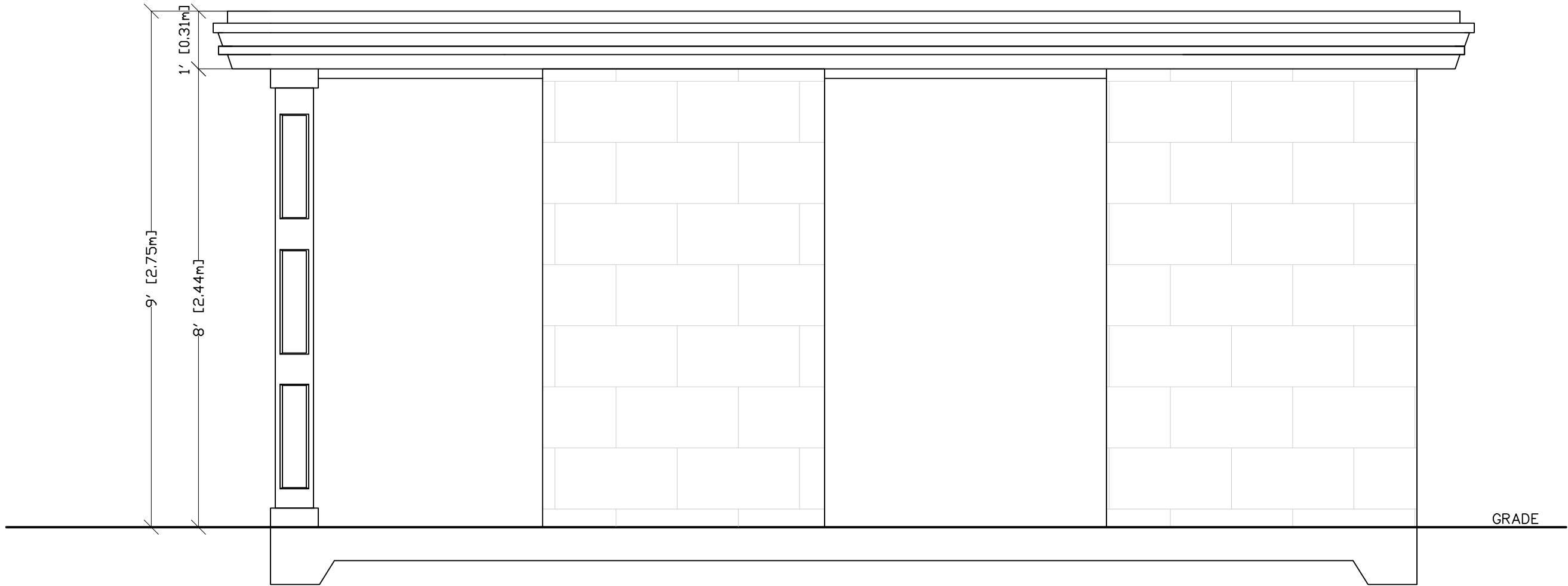
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.

A5

PROJECT NO:

22-110



REF.	DATE	REVISIONS
4.	SEP 12-22	ISSUED FOR C.O.A
3.	AUG 3-22	ISSUED FOR C.O.A
2.	JUNE 23-22	ISSUED FOR C.O.A
1.	MAY 5-22	ISSUED FOR APPROVAL

BLUE GROVE ENGINEERING
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M6M 3E5
Tel: (416) 540-0756
Web Site: www.bluegroveengineering.com
E-mail: info@bluegroveeng.com



PROJECT TITLE:

365 FIRGLEN RIDGE
VAUGHAN, ON

PREPARED FOR: CADETTA DRAIN COMPANY INC

SHEET TITLE:

SIDE ELEVATION

SCALE: 1/2" = 1'-0"

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.

A6

PROJECT NO:

22-110

CONSTRUCTION NOTES (Unless noted otherwise)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 350/06

1. ROOF CONSTRUCTION

No. 210 (10.25 kg/m²) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (900) FROM EDGE OF ROOF AND MIN. 12" (300) BEYOND INNER FACE OF EXTERIOR WALL. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2. SIDING WALL CONSTRUCTION (2"x6")

SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR GRADE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C., R19 (RSI 3.34) MINIMUM BATT INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. WALL ASSEMBLY R22 (RSI 3.8) (GYPSUM SHEATHING, RIGID INSULATION, AND FIBREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3)

2A. SIDING WALL CONSTRUCTION (2"x4")

SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS, ON R5 (RSI 0.9) EXT. RIGID INSUL. BD. WITH APPROVED CONT. SHEATHING PAPER, ON 2"x4" (38x89) STUDS @ 16" (400) O.C. WITH APPROVED DIAGONAL WALL BRACING, R14 (RSI 2.46) INSULATION WITH 6 mil POLYETHYLENE VAPOUR BARRIER, ON 1/2" (12.7) INT. DRYWALL FINISH. WALL ASSEMBLY R22 (RSI 3.80) (GYPSUM SHEATHING, RIGID INSULATION AND FIBREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - OBC 9.23.16.3.(1)) VERTICALLY APPLIED METAL/VINYL SIDING, WOOD SHAKES AND SHINGLES NOT FASTENED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING WILL REQUIRE 5/16" (7.5) EXT. PLYWOOD SHEATHING FOR ATTACHMENT AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3)

2B. SIDING WALL @ GARAGE CONSTRUCTION (2"x4")

SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS, ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON 2"x4" (38x89) SPRUCE STUDS @ 16" (400) O.C., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - OBC 9.23)

3. BRICK VENEER WALL CONSTRUCTION (2"x6")

4" (90) FACE BRICK 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. TIES TO BE IN CONTACT WITH WOOD STUDS ONLY. APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, 2"x6" (38x140) STUDS @ 16" (400) O.C., R24 (RSI 3.34) INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER. WALL ASSEMBLY R22 (RSI 3.80) AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3.

3A. BRICK VENEER WALL CONSTRUCTION (2"x4")

4" (90) CLAY BRICK 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. TIES TO BE IN CONTACT WITH WOOD STUDS ONLY. APPROVED SHEATHING PAPER, R5 (RSI 0.9) EXT. RIGID INSUL. BD., 2"x4" (38x89) STUDS @ 16" (400) O.C. WITH APPROVED DIAGONAL WALL BRACING, R14 (RSI 2.46) INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER. WALL ASSEMBLY R22 (RSI 3.80) AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3

3B. BRICK VENEER WALL @ GARAGE CONSTRUCTION (2"x4")

4" (100) BRICK VENEER TIED TO WOOD FRAMING MEMBERS W/ 7/8"x7"x0.03" 22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. AND 24" (610) O.C. VERT., 1" (25) AIR SPACE, APPROVED AIR BARRIER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON 2"x4" SPRUCE STUDS @ 16" (400) O.C., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MINIMUM BEHIND BUILDING PAPER.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 2"x4" (38x89) @ 16" (400) O.C. FOR 2 STOREYS AND 12" (300) O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (600) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2/2"x4" (2/38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED.

4A. EXTERIOR LOFT WALL CONSTRUCTION - NO CLADDING (2"x6")

3/8" (9.5) EXTERIOR TYPE SHEATHING, 2"x6" (38x140) STUDS @ 16" (400) O.C., R19 (RSI 3.34) INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. WALL ASSEMBLY CALC. AS PER O.B.C. 9.23. & 12.3.2.1 & 12.3.3.3

5. FOUNDATION WALL/FOOTINGS: -O.B.C. 9.15.4.-

10" CONC. BLK. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND OPT. DRAINAGE LAYER. DRAINAGE LAYER REQUIRED WHEN BASEMENT INSUL. EXTENDS 2'-11" (900) BELOW FIN. GRADE. MAXIMUM UNSUPPORTED HEIGHT 8'-2" (2500) WITH 6'-11" (2100) MAX. EARTH RETENTION FROM BASEMENT SLAB TO FIN. GRADE, ON CONC. FOOTING. JOIST SPANS GREATER THAN 16'-0" (4900) SHALL BE SIZED IN ACCORDANCE TO 9.15.3.4 (1) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY ENGINEERED FOOTINGS ARE REQUIRED.

# STOREYS SUPPORTED	W/ MASONRY VENEER	W/ SIDING ONLY
1	16" wide x6" DEEP	16" wide x6" DEEP
2	20" wide x6" DEEP	20" wide x6" DEEP
3	26" wide x9" DEEP	20" wide x6" DEEP

4" (100) Ø WEEPING TILE 6" (150) CRUSHED STONE OVER AND AROUND WEEPING TILES.

7. BASEMENT SLAB -O.B.C. 9.13 -

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB.

8. EXPOSED FLOOR TO EXTERIOR

PROVIDE R31 INSULATION, 6 mil POLY VAPOUR BARRIER AND CONTIN. AIR BARRIER, FINISHED SOFFIT. FLOOR ASSEMBLY R27 (RSI 4.7) O.B.C 12.3.2.1 & 12.3.3.3

R50 INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 5/8" (15.9) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQUIV. ROOF ASSEMBLY R41 (RSI 7.24) O.B.C. 12.3.2.1 & 12.3.3.3

10. ALL STAIRS/EXTERIOR STAIRS -O.B.C. 9.8.-

MAX. RISE = 7-7/8" (200) RAIL @ LANDING = 2'-11" (900) MIN. RUN = 8-1/4" (210) RAIL @ STAIR = 2'-8" (800) MIN. TREAD = 9-1/4" (235) MIN. STAIR WIDTH = 2'-11" (900) MAX. NOSING = 1" (25) FOR CURVED STAIRS MIN. HEADROOM = 6'-5" (1950) MIN. RUN = 6" (150) MIN. AVG. RUN = 8" (200)

GUARDS/RAILINGS -O.B.C. 9.8-

FINISHED NON-CLIMBABLE GUARD/RAILING (4" TO 35" ABOVE FLOOR) WITH 4" (100) O.C. MAXIMUM SPACING BETWEEN PICKETS. THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED SHALL BE:

- A UNIFORM LOAD OF 113 lb/ft OR A CONCENTRATED LOAD OF 225 lbs.
- A VERTICAL LOAD OF 168 lb/ft, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.
- INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 lbs AT ANY MOMENT.

GUARDS -O.B.C. 9.8.8-

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 3'-6" (1070) MIN.

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-10" (2400) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

R20 (RSI 3.52) INSULATION BLANKET OR BATTS WITH 2"x4" STUD WALL, 6 mil POLYETHYLENE VAPOUR BARRIER TO 2'-0" (610) BELOW FINISHED GRADE. DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. WALL ASSEMBLY R20 (RSI 3.52) NOTE: FULL HEIGHT INSULATION AFTER DECEMBER 31, 2008, INSULATION MUST EXTEND TO NOT MORE THAN 1'-3" (380 mm) ABOVE FIN. BASEMENT FLOOR. (12.3.2.4)

14. BEARING STUD PARTITION

2"x4" (38x89) STUDS @ 16" (400) O.C., 2"x4" (38x89) SILL PLATE ON DAMPPROOFING MATERIAL, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2400) O.C. 4" (100) HIGH CONC. CURB ON 14"x6" (350x150) CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN

9'-10" MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COL. CONFORMING TO CAN/COSB-7.2M, AND WITH 6"x6"x3/8" (150x150x9.5) STL. PLATE TOP & BOTTOM. FIELD WELD BM/COL CONNECTION. 34"x34"x16" (870x870x410) CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kPa MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COL. WITH 6"x6"x3/8" (150x150x9.5) STL. PLATE TOP & BOTTOM. FIELD WELD BM/COL CONNECTION. 42"x42"x18" (1070x1070x460) CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kPa MINIMUM AND AS PER SOILS REPORT.

15B. STEEL COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COL. TO BE ON 6"x6"x3/8" (150x150x9.5) STL. TOP PLATE & 6"x4"x3/8" (150x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COL. TO BASE PLATE AND BEAMS.

BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS. MIN. BEARING 3 1/2" (90).

1"x3" (19x64) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB:

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

1/2" (12.7) GYPSUM BD. ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. R24 IN WALLS, R31 IN CEILING. TAPE AND SEAL ALL JOINTS GAS TIGHT.

DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING.

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 7-7/8" (200), MIN. TREAD 9-1/2" (235).

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. CONFORMING TO PART 6, OBC 9.32.1.5.(1).

ATTIC ACCESS HATCH MIN. 0.32m² WITH NO DIM. LESS THAN 545mm WITH WEATHERSTRIPPING. R40 (RSI 7.00) RIGID INSUL. BACKING. OBC 9.19.2.1

24. FIREPLACE CHIMNEYS

TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (900) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (600) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3000) FROM THE CHIMNEY.

LINEN CLOSET, 4 SHELVES MIN. 14" (350) DEEP.

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

27. STEEL BEARING PLATE FOR MASONRY WALLS

11"x11"x5/8" (280x280x15.9) STL. PLATE FOR STL. BEAMS AND 11"x11"x1/2" (280x280x12.7) STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2- 3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT. OR SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.17.4.2.(2).

RESERVED

3-2"x6" (3-38x140) BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING.

STEP FOOTINGS: MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING

5/8" (15.9) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE OBC 9.30.6. ALL JOISTS TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2100) O.C. MAX. ALL JOIST TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2100) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

35. EXPOSED BUILDING FACE -O.B.C. 9.10.14.4. & 9.10.15.4

EXPOSED BUILDING FACE WITH A LIMITING DISTANCE LESS THAN 3'-11" (1200) REQUIRING A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES AND CONFORMING TO O.B.C. 9.10.14.4. & 9.10.15.4. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

36. COLD CELLAR PORCH SLAB -O.B.C. 9.40

FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (125) 32 MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINFORCE WITH 10M BARS @ 8" (200) O.C. EACH WAY IN BOTTOM THIRD OF SLAB, 2" (30mm) COVER 24"x24" (610x610) 10M DOWELS @ 24" (600) O.C. ANCHORED IN PERIMETER FLOOR. WALLS. SLOPE SLAB 1.0% FROM DOOR. PROVIDE (17) LINTELS OVER CELLAR DOOR.

THE FOUND. WALL SHALL NOT BE REDUCED TO LESS THAN 3-1/2" (90) THICK TO A MAX. DEPTH OF 24" (610) AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 8" (200) O.C. VERTICALLY AND 36" (915) O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING -O.B.C. 9.23

2"x6" (38x140) RAFTERS @ 16" (400) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (400) O.C. FOR MAX. 9'-3" (2830) SPAN & 2"x6" (38x140) @ 16" (400) O.C. FOR MAX. SPAN 14'-7" (4450). R50 (RSI 8.81) BATT INSUL. UNLESS OTHERWISE SPECIFIED.

59. TWO STOREY VOLUME SPACES

- FOR WIND LOADS <= 0.5 kPa (q50): FOR A MAXIMUM 18'-4" (5600) HEIGHT. PROVIDE 2-2"x6" (2-38x140) SPR.#2 CONTINUOUS STUDS @ 12" (300) O.C. FOR BRICK AND 16" (400) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY. (O.B.C. 9.23.10.1) - FOR WIND LOADS > 0.5 kPa (q50): FOR A MAXIMUM 18'-4" (5600) HEIGHT. PROVIDE 2-2"x6" (2-38x140) SPR.#2 CONTINUOUS STUDS @ 8" (200) O.C. FOR BRICK AND 12" (300) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY. - FOR HORIZONTAL DISTANCES LESS THAN 9'-6" (2900) PROVIDE CONTINUOUS 2"x6" (38x140) STUDS @ 16" (400) O.C. WITH CONTINUOUS 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MINIMUM OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

TYPICAL 1 HOUR FIRE RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. STUCCO WALL CONSTRUCTION (2"x6")

STUCCO CLADDING CONFORMING TO O.B.C. REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1" (25) MINIMUM EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXT. TYPE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C., R24 (RSI 4.23) BATT INSUL., APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.8) O.B.C 12.3.2.1 & 12.3.3.3

41A. STUCCO WALL CONSTRUCTION (2"x4")

STUCCO CLADDING CONFORMING TO OBC REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS ON R5 (RSI 0.9) 1" (25) MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXTERIOR TYPE SHEATHING ON 2"x4" (38x89) SPRUCE STUDS @ 16" (400) O.C., R14 (RSI 3.25) BATT INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.80) O.B.C. 12.3.2.1 & 12.3.3.3.

41B. STUCCO WALL @ GARAGE CONST. (2"x4")

STUCCO CLADDING CONFORMING TO OBC REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1" (25) MINIMUM EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXTERIOR TYPE SHEATHING ON 2"x4" (38x89) SPRUCE STUDS @ 16" (400) O.C., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH.

42. FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL - BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2'-0" (600) BEYOND BOTH SIDES OF OPENING

43. STUD WALL REINFORCEMENT - OBC 9.5.2.3:

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. 3.8.3.8.(1)(d) FOR WATER CLOSETS AND O.B.C. 3.8.3.13.(1)(f) FOR SHOWERS OR BATHTUBS.

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/2"x8" (2/38x184) SPR.#2
B1	3/2"x8" (3/38x184) SPR.#2
B2	4/2"x8" (4/38x184) SPR.#2
B7	5/2"x8" (5/38x184) SPR.#2
L3	2/2"x10" (2/38x235) SPR.#2
B3	3/2"x10" (3/38x235) SPR.#2
B4	4/2"x10" (4/38x235) SPR.#2
B8	5/2"x10" (5/38x235) SPR.#2
L5	2/2"x12" (2/38x286) SPR.#2
B5	3/2"x12" (3/38x286) SPR.#2
B6	4/2"x12" (4/38x286) SPR.#2
B9	5/2"x12" (5/38x286) SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L) (SPAN 2.47m)
L8	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L) (SPAN 2.66m)
L9	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L) (SPAN 3.31m)
L10	120 x 90 x 10.0L (5" x 3-1/2" x 3/8"L) (SPAN 3.48m)
L11	150 x 90 x 10.0L (6"x 3 1/2" x 3/8"L) (SPAN 3.82m)
L12	180x100x10.0L (7.2"x 4" x 3/8"L) (SPAN 4.30m)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL2	2.0E 1-1 3/4" x 9 1/2" (1-45x240)
LVL4	2.0E 2-1 3/4" x 9 1/2" (2-45x240)
LVL5	2.0E 3-1 3/4" x 9 1/2" (3-45x240)
LVL8	2.0E 4-1 3/4" x 9 1/2" (4-45x240)
LVL3	2.0E 1-1 3/4" x 11 7/8" (1-45x300)
LVL6	2.0E 2-1 3/4" x 11 7/8" (2-45x300)
LVL7	2.0E 3-1 3/4" x 11 7/8" (3-45x300)
LVL9	2.0E 4-1 3/4" x 11 7/8" (4-45x300)
LVL10	2.0E 1-1 3/4" x 14" (1-45x355)
LVL11	2.0E 2-1 3/4" x 14" (2-45x355)
LVL12	2.0E 3-1 3/4" x 14" (3-45x355)
LVL13	2.0E 4-1 3/4" x 14" (4-45x355)

WINDOWS:

1) MINIMUM BEDROOM WINDOW

EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, AND MUST CONFORM TO 9.7.1.3 (& 9.7.1.4 FOR BASEMENT WINDOWS).

2) WINDOW GUARDS

A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-1

SCHEDULE B: STAFF & AGENCY COMMENTS				
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Partial Approval no conditions.
Building Standards	X	X		General comments.

Date: August 18th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A220-22**

Related Files:

Applicant Diserio Vita

Location 365 Firglen Ridge

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

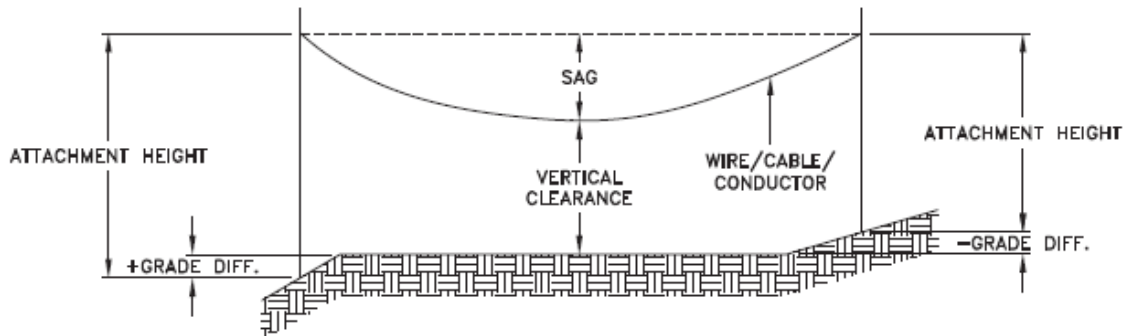
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier

From: [Ahmed, Maryam](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A220/22 (365 Firglen Ridge) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, October 7, 2022 11:43:30 AM
Attachments: [image001.png](#)
[image003.png](#)
[CIRC_A220_22_09_27_22.pdf](#)

Hello,

The Regional Municipality of York has completed its review of the minor variance application A220/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

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Our Mission: Working together to serve our thriving communities – today and tomorrow

Please consider the environment before printing this email.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: September 19, 2022
Applicant: Vita Diserio
Location: PLAN M1701 Lot 93 municipally known as 365 Firglen Ridge
File No.(s): A220/22

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.67 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard of 1.5 metres is required [Section 4.1.2.1 a), Table 7-3].	To permit a minimum interior side yard of 0.6 metres.
2	A maximum lot coverage of 30% is permitted [Table 7-3].	To permit a maximum lot coverage of 31.99%
3	In the R1B zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape [Section 4.19.1.1].	To permit a minimum of 27% of soft landscape for the area of the rear yard in excess of 135 m ² .

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(145) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A minimum rear yard of 7.5 metres is required [Schedule A].	To permit a minimum rear yard of 0.6 metres.
5	A minimum interior side yard of 1.5 metres is required [Schedule A].	To permit a minimum interior side yard of 0.6 metres.
6	A maximum lot coverage of 30% is permitted [Schedule A].	To permit a maximum lot coverage of 31.99%.
7	In an R1 zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of 60% of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping [Section 4.1.2 b)].	To permit a minimum of 27% of soft landscape for the area of the rear yard in excess of 135 m ² .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 03-003532 for Single Detached Dwelling - Addition, Issue Date: Oct 03, 2003
Building Permit No. 22-114006 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: October 18, 2022

Name of Owner: Vita Diserio

Location: 365 Firglen Ridge

File No.(s): A220/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum interior side yard of 0.6 m.
2. To permit a maximum lot coverage of 31.99%
3. To permit a minimum of 27% of soft landscape for the area of the rear yard in excess of 135 m².

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard of 1.5 m is required.
2. A maximum lot coverage of 30% is permitted.
3. In the R1B zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.

Proposed Variance(s) (By-law 1-88):

4. To permit a minimum rear yard of 0.6 m.
5. To permit a minimum interior side yard of 0.6 m.
6. To permit a maximum lot coverage of 31.99%.
7. To permit a minimum of 27% of soft landscape for the area of the rear yard in excess of 135 m².

By-Law Requirement(s) (By-law 1-88):

4. A minimum rear yard of 7.5 m is required.
5. A minimum interior side yard of 1.5 m is required.
6. A maximum lot coverage of 30% is permitted.
7. In an R1 zone, where the area of a rear yard of a lot is greater than 135 m², a minimum of 60% of that portion of the rear yard in excess of 135 m² shall be composed of soft landscaping.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan

Comments:

The Owner is requesting relief to permit the construction of a pool house and recognize the increase in the rear yard hard landscaping with the above noted variances.

The Development Planning Department has no objection to Variances 1, 4 and 5 for the proposed pool house. The reduction to the rear and interior side yard setbacks for the pool house do not have adverse impacts to the neighbouring properties and an appropriate area for maintenance access is maintained. The pool house complies with all height requirements under both Zoning By-laws. The proposed rear yard setback also complies Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect.

The existing dwelling and proposed pool house have lot coverages of 29.45% and 2.54% respectively. The 1.99% increase to the lot coverage is minor in nature and is solely comprised of the pool house. As such, the Development Planning Department has no objection to Variances 2 and 6 for the increase in lot coverage.

The Development Planning Department is not in position to support Variances 3 and 7 for the reduced rear yard soft landscaping. The intent of the By-laws is to limit the amount of hardscaping on residential lots to maintain a balance between hardscaping and soft landscaping. Some of the functions of maintaining sufficient soft landscaped

area include: providing sufficient space for snow storage and stormwater attenuation/infiltration, providing space for the establishment of trees, noise attenuation through introduction of soft surfaces, and mitigating urban heat island effects. The proposed 27% soft landscaping, represented by a 0.6 m space along the side and rear lot lines, is a major reduction and does not meet the intent of the soft landscaping provisions. There is also an adverse visual impact to the character of the rear yard created by the absence of sufficient soft landscaping and the proposal is not consistent with other rear yards in the neighbourhood.

Accordingly, the Development Planning Department cannot support Variances 3 and 7 and is of the opinion that the proposal is not minor in nature, does not maintain the general intent and purpose of the Zoning By-laws, and is not desirable for the appropriate development of the land.

The Development Planning Department can support Variances 1, 2, 4, 5 and 6 and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends **refusal** of Variances 3 and 7, as they are not minor in nature, desirable or appropriate for the use of the land, and not in keeping with the intent of the Zoning By-laws.

The Development Planning Department recommends **approval** of Variances 1, 2, 4, 5 and 6.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None