

<b>ITEM #: 6.17</b>	<b>COMMITTEE OF ADJUSTMENT REPORT</b> <b>MINOR VARIANCE APPLICATION</b> <b>A232/22</b> <b>217 Roseborough Cr. Thornhill</b>
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**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X	X	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	X	X		General Comments
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A232/22**

**FILE MANAGER:** Lenore Providence, Administrative Coordinator - Committee of Adjustment

<b>AGENDA ITEM NUMBER:</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	Deborah White
<b>AGENT:</b>	Pool Craft (Olusola Egunjobi)
<b>PROPERTY:</b>	217 Roseborough Crescent, Thornhill
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R4 (EN), Fourth Density Residential Zone under By-law 001-2021 as amended.**

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted height of a residential accessory structure is 3.0 m. [Section 4.1.4.1]	To permit a residential accessory structure (Cabana) with a maximum height of 3.47m. <b>**Variance confirmed by Zoning Review Waiver</b>

**The subject lands are zoned R4, R4 Residential Zone under By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
2	The minimum rear yard setback of accessory building or structure is 7.5 metres. [Subsection 4.1.1 c) and Schedule 'A']	To permit a minimum rear yard setback of 2.91 metres to an accessory structure (cabana).

**HEARING INFORMATION**

**DATE OF MEETING:** October 27, 2022  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	October 13, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	October 3, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The required setback of 7.5m for the Cabana can not be accomplished with backyard space and the proposed deck can only be accommodated on the side yard with a sideyard setback of 1.43m
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>Development Planning provided the following to the applicant on October 7, 2022:</p> <p>Development Planning had reviewed your Minor Variance application and has the following requirements:</p> <ol style="list-style-type: none"> <li>1. Please confirm the height of the proposed cabana. The elevation of the cabana shows a height of 3.86m, however the charts indicate that the height is 3.25 m.</li> <li>2. Please lower the height of the cabana to come as close to the by-law requirement of 3 m as possible.</li> </ol> <p>Please note that Urban Design's comments are attached. In addition to Urban Design, Development Planning staff also recommend relocating the deck to the rear side of the building to enhance privacy and reduce the visual impact on the public. Consider moving the swimming pool further back to accommodate the deck.</p> <p>Applicant provided revised submission, together with Zoning Review Waiver, reducing the cabana's height from 3.86m to 3.47m.</p>
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.	
An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	An Adjournment Fee will be required to reschedule the application, should the application be adjourned.
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

### BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/Applicant has received a grading permit for both accessory structure and outdoor pool from Development Engineering (DE) Department.

The Development Engineering (DE) Department does not object to the variance application A232/22.

<b>Development Engineering Recommended Conditions of Approval:</b>	None
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comment no concerns

<b>PFH Recommended Conditions of Approval:</b>	Forestry: Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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### SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Development Planning & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Parks, Forestry and Horticulture Operations <a href="mailto:andrew.swedlo@vaughan.ca">andrew.swedlo@vaughan.ca</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

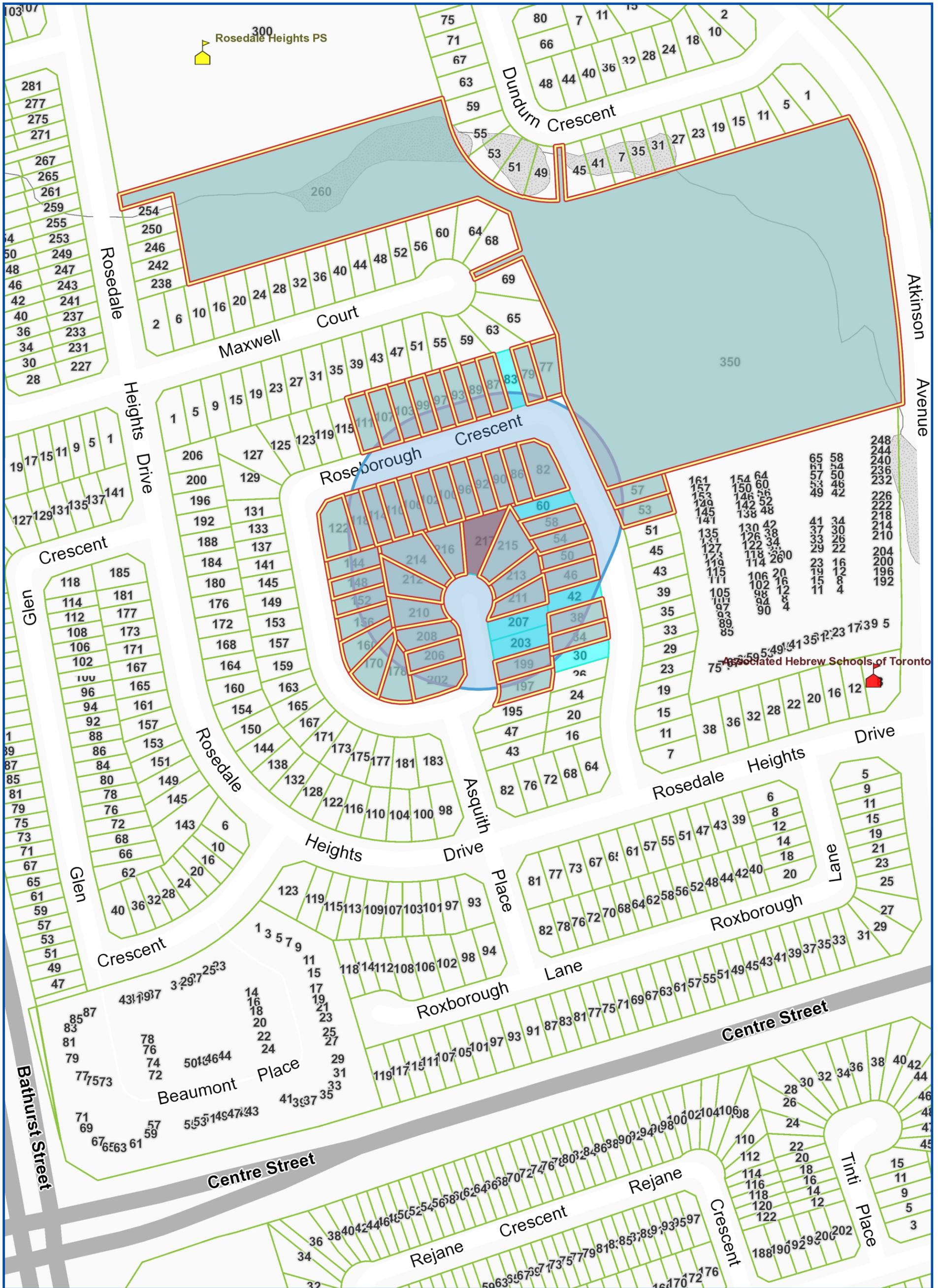
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

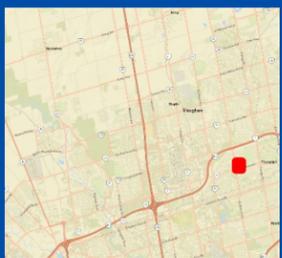
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Map Information:



Title: 217 Roseborough Crescent, Thornhill

## NOTIFICATION MAP - A232/22

**Disclaimer:**

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,812  
0 0.04 km



Created By:  
Infrastructure Delivery  
Department  
October 4, 2022 4:36 PM

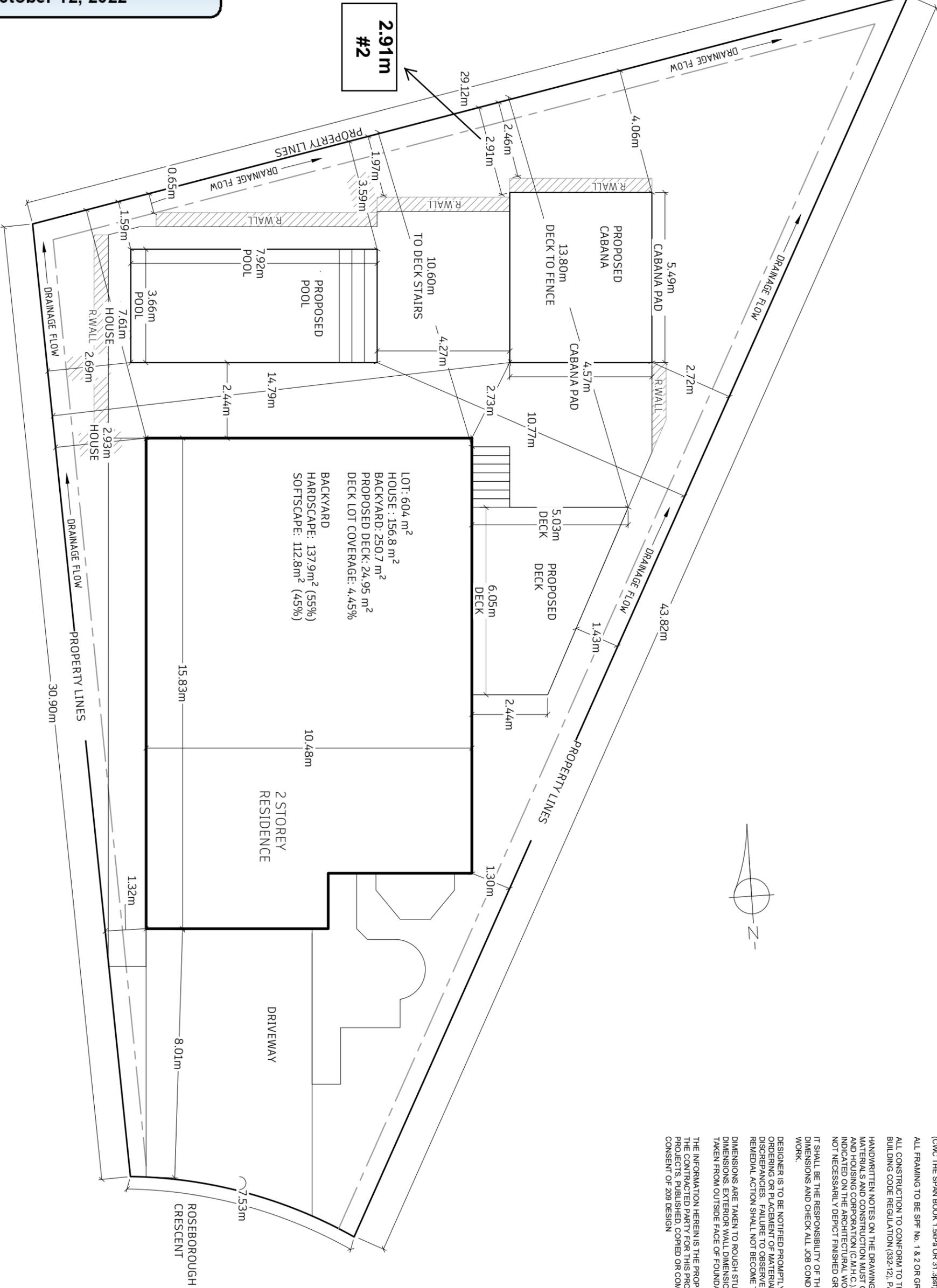
Projection:  
NAD 83  
UTM Zone  
17N

**A232/22**

**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**

**Received**

October 12, 2022



**GENERAL NOTES:**

SNOW/LOAD CALCULATIONS  
VAUGHAN 0h 0.55 \* 5s. 11 \* sr. 0.4 = Snow 1.005  
(CWC THE SPAN BOOK 1.5kPa OR 31.3psf)

ALL FRAMING TO BE SPF No. 1 & 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE ONTARIO BUILDING CODE REGULATION (332-12), PART 9. DRAWINGS MUST NOT BE SCALED.

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (CMHC). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.

DESIGNER IS TO BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO INSIDE FACE OF STUD.

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information**  
Required unless design is exempt under Div. C-3.2.5.1. of the OBC  
DANA EVANS 100392  
Name 100392  
Signature B.C.N.

**Registration Information**  
Required unless design is exempt under Div. C-3.2.4.1. of the OBC  
209 DESIGN 101521  
Firm Name B.C.N.

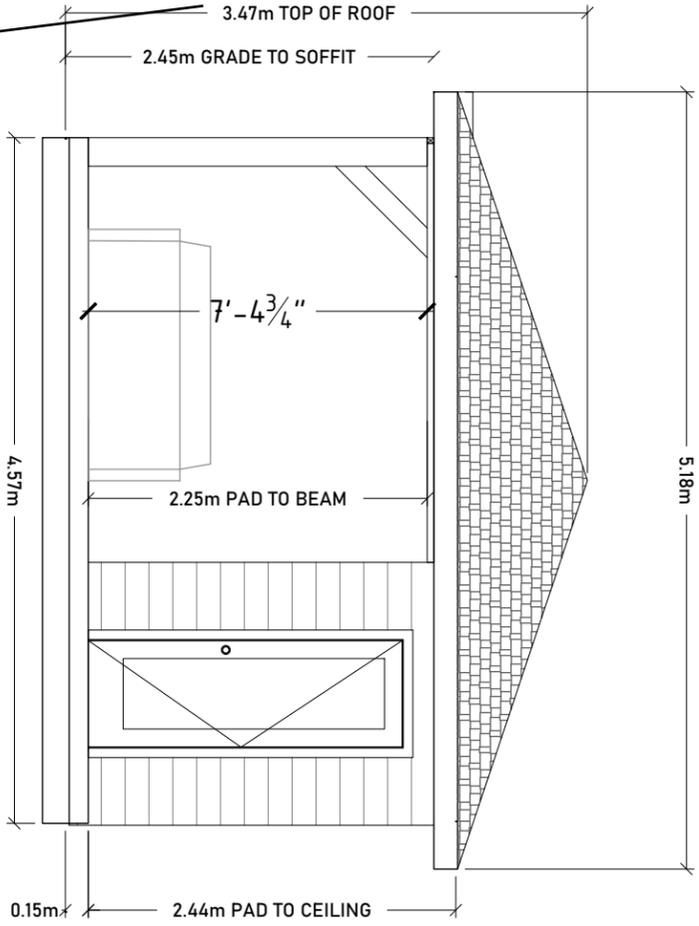
**DESIGNER**  
**209 DESIGN**  
Dana Evans  
15905 Sideroad 17  
Sunderland Ontario  
647-297-8300

No.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT APPLICN	AUG 2022
2	REVISED FOR PERMIT APPLICN	AUG 2022
3	REVISED FOR PERMIT APPLICN	SEPT 2022

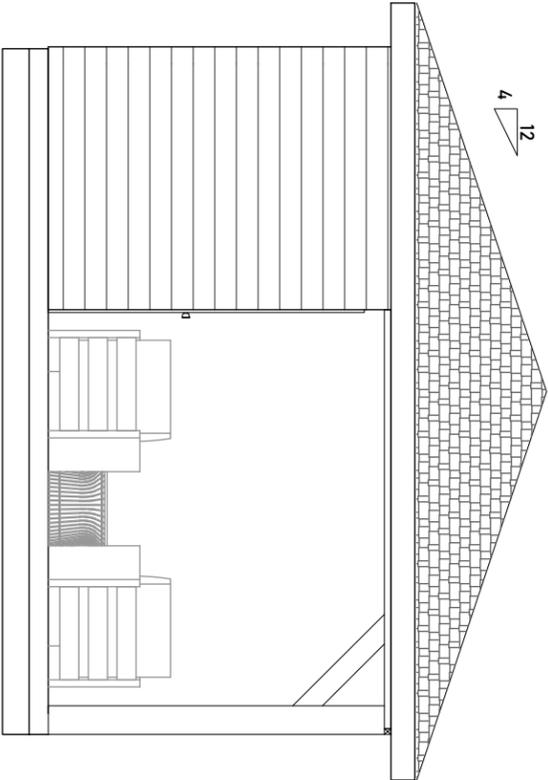
**PROJECT**  
PROPOSED ADDITION  
217 Roseborough Cres.  
Vaughan, ON  
L4J 4V7

DATE	SEPT 13, 2022
SCALE	AS NOTED
DRAWING	SITE PLAN & DETAIL
DWG. No	22-039
PAGE	1/2

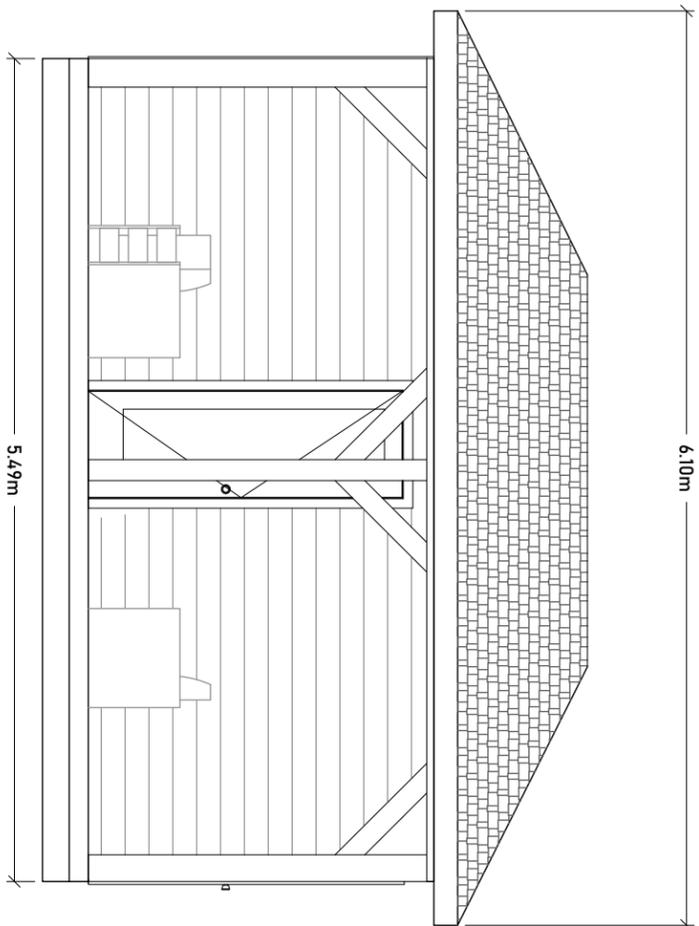
SOUTH ELEVATION



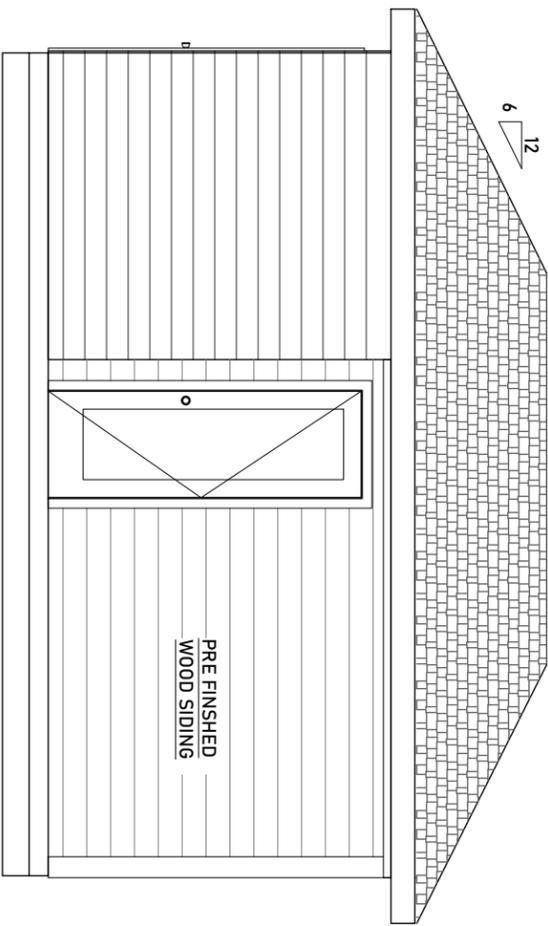
**3.47m**  
**#1**  
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



**Received**  
October 12, 2022

**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**

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**Qualification Information**  
Required unless design is exempt under Div. C - 3.2.5.1. of the OBC

Required unless design is exempt under Div. C - 3.2.4.1. of the OBC

100332  
BCIN  
101521  
BCIN

209 DESIGN  
Firm Name

**DESIGNER**  
209 DESIGN  
Dana Evans  
15905 Sideroad 17  
Sunderland Ontario  
647-297-8300

**PROJECT**  
PROPOSED ADDITION  
217 Roseborough Cres.  
Vaughan, ON  
L4J 4V7

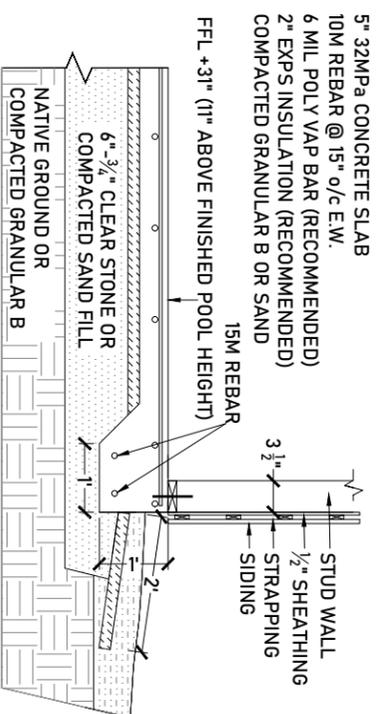
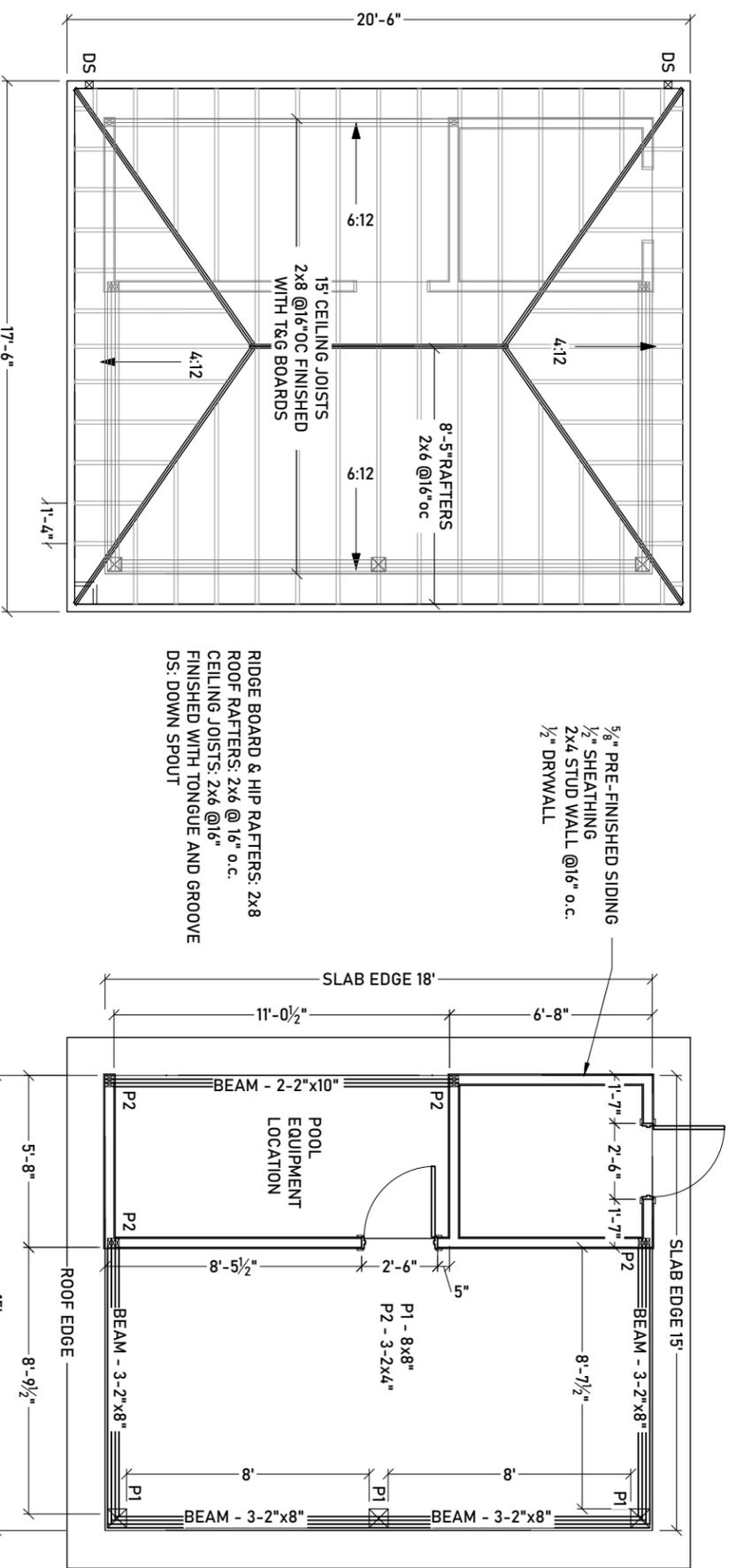


DATE OCT 11, 2022

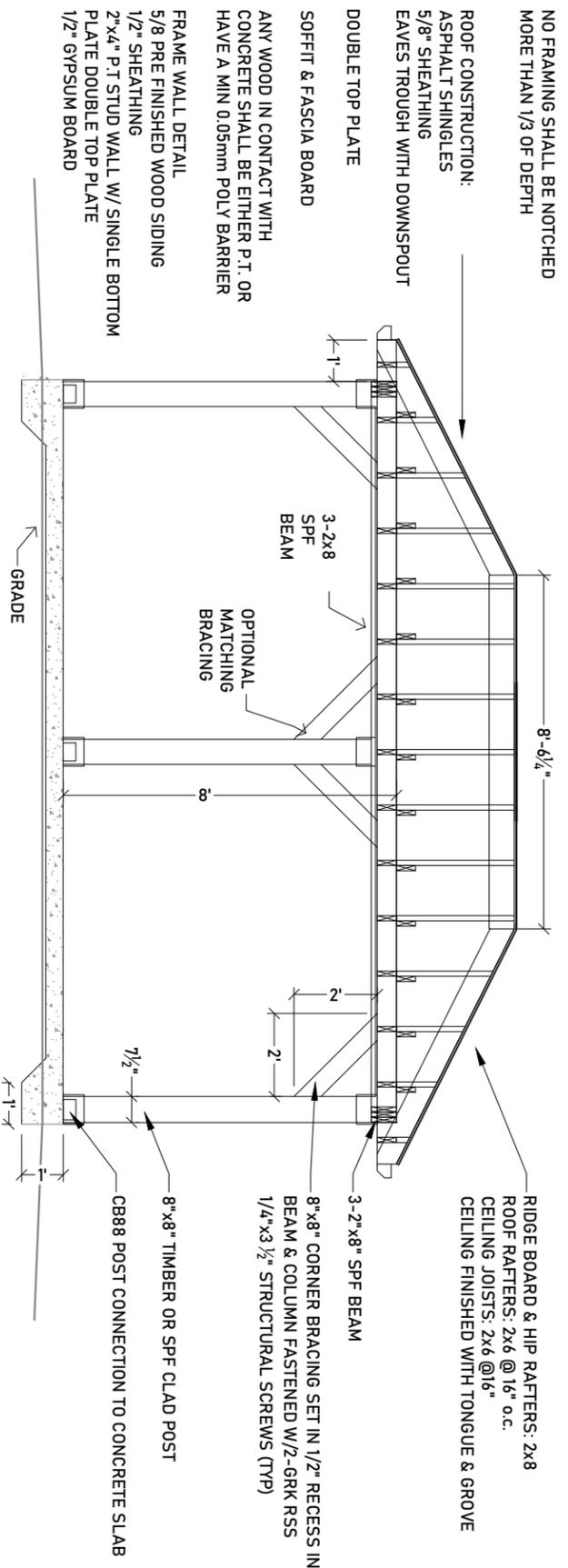
SCALE AS NOTED

DRAWING ELEVATIONS

No.	DESCRIPTION	DATE	DWG. No	PAGE
1	ISSUED FOR PERMIT APPLICN	JULY 2022	22-039	2/3
2	REVISED FOR MINOR VARIANCE	OCT 2022		



SECTION  
Scale: 1/4"=1'



NO FRAMING SHALL BE NOTCHED MORE THAN 1/3 OF DEPTH

ROOF CONSTRUCTION:  
ASPHALT SHINGLES  
5/8" SHEATHING  
EAVES TROUGH WITH DOWNSPOUT

DOUBLE TOP PLATE  
SOFFIT & FASCIA BOARD

ANY WOOD IN CONTACT WITH CONCRETE SHALL BE EITHER P.T. OR HAVE A MIN 0.05mm POLY BARRIER  
FRAME WALL DETAIL  
5/8 PRE FINISHED WOOD SIDING  
1/2" SHEATHING  
2"x4" P.T STUD WALL W/ SINGLE BOTTOM PLATE DOUBLE TOP PLATE  
1/2" GYPSUM BOARD

**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information**  
Required unless design is exempt under Div. C - 3.2.5.1. of the OBC  
Required unless design is exempt under Div. C - 3.2.4.1. of the OBC

**Registration Information**  
Required unless design is exempt under Div. C - 3.2.4.1. of the OBC

DESIGNER	209 DESIGN Dana Evans 15905 Sideroad 17 Sunderland Ontario 647-297-8300	PROJECT	PROPOSED ADDITION 217 Roseborough Cres. Vaughan, ON L4J 4V7
DATE	OCT 11, 2022	SCALE	AS NOTED
NO.	DESCRIPTION	DATE	DWG. No
1	ISSUED FOR PERMIT APPLICANT	JUNE 2022	22-039
2	REVISED FOR MINOR VARIANCE	OCT 2022	

100332 BCIN  
101521 BCIN

DATE: OCT 11, 2022  
SCALE: AS NOTED  
DRAWING: ELEVATIONS  
PAGE: 2/3

**Received**

October 12, 2022

## SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** October 13, 2022  
**Name of Owner:** Deborah White  
**Location:** 217 Roseborough Crescent  
**File No.(s):** A232/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a residential accessory structure (cabana) with a maximum height of 3.47 m.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum permitted height of a residential accessory structure is 3.0 m.

**Proposed Variance(s) (By-law 1-88):**

2. To permit a minimum rear yard setback of 2.91 metres to an accessory structure (cabana).

**By-Law Requirement(s) (By-law 1-88):**

2. The minimum rear yard setback of accessory building or structure is 7.5 metres.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

**Comments:**

The Owner is requesting permission to construct a cabana with the above noted variances.

Upon recommendations from the Development Planning Department, the Owner has reduced the height of the cabana by reducing the roof by approximately 0.39 m, lowering the overall height of the cabana from 3.86 m to 3.47 m. The Development Planning Department has no objection to Variances 1 and 2, as the minimum rear yard setback reduction and the revised cabana height will not pose a significant visual impact to nor impact the function of the abutting uses. The rear yard setback of 2.91 m to the proposed cabana also maintains an appropriate area for access, drainage, and vegetated amenity space, and will not impact the abutting properties.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michelle Perrone, Planner 1  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Punya Marahatta, Building Standards Department  
**Date:** September 12, 2022  
**Applicant:** Deborah White  
**Location:** PLAN 65M2219 Lot 103 municipally known as 217 Roseborough Crescent  
**File No.(s):** A232/22

## Zoning Comments Obsolete

### Zoning Classification:

The subject lands are zoned R4 (EN), Fourth Density Residential Zone under By-law 001-2021 as amended.

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted height of a residential accessory structure is 3.0 m. [Section 4.1.4.1]	To permit a residential accessory structure (Cabana) with a maximum height of 3.53 m.

The subject lands are zoned R4, R4 Residential Zone under By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	The minimum rear yard setback of accessory building or structure is 7.5 metres. [Subsection 4.1.1(c) and Schedule 'A']	To permit a minimum rear yard setback of 2.91 metres to an accessory structure (cabana).

### Staff Comments:

#### Stop Work Order(s) and Order(s) to Comply:

Order No. 21-125801, Order to Comply for , Issue Date: Sep 24, 2021

#### Building Permit(s) Issued:

Building Permit No. 99-002205 for Single Detached Dwelling - ADDITION (Wang), Issue Date: Apr 23, 1999  
 Building Permit No. 22-127083 for Single Detached Dwelling - Deck, Issue Date: Aug 07, 2022  
 Building Permit No. 22-123221 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

### Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

### Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

## ZONING REVIEW WAIVER

I,

Name of authorized owner or agent

Agree to proceed with an application(s) to the Committee of Adjustment without the benefit of having my revised submission reviewed by a Zoning Examiner within the City of Vaughan Building Standards Department, for the purposes of confirming the variances required to facilitate my proposal.

I assume full responsibility for identifying, correctly and completely, all variances associated with my proposal/application.

I also recognize and acknowledge that any errors may result in:

- a) a potential delay in the processing of my application(s);
- b) an inability to obtain a building permit;
- c) the need for additional application(s) to the Committee of Adjustment; and
- d) additional fees (adjournment/recirculation).

Date:

Signature:

### IMPORTANT

By completing this Zoning Review Waiver, you are conducting a zoning review of your revised submission and assuming responsibility for identifying **all** variances required to facilitate your proposed development. If you would like zoning staff to conduct this review your file will require adjournment to a future hearing date.

#### Helpful Tips:

Review your original zoning report provided by your file manager. This report may be used as a tool to complete your review on the next page.

You may want to consider copying and pasting the variances, confirmed in your zoning report, into the charts on the next page as a starting point and update as required.

If new variances are required, you will need to review the applicable By-law to determine requirements. If you are submitting a Zoning Review Waiver Form, staff cannot assist you with completing your review.

Ensure that **all** variances are included in the charts below, even variances that are not changing from the zoning report must be included. The omission of a variance may result in delays in processing, inability to obtain a building permit after approval, requirement of additional applications and fees.

**See next page to complete your review.**

## REVISED SUBMISSION - ZONING REVIEW (WAIVER SUBMITTED)

**Completed By:**

**Date:**

**File No.(s):**

**Property:**

**In the chart below, identify all variances required under Zoning By-law 001-2021:**

ZONING BY-LAW 001-2021		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**In the chart below, identify all variances required under Zoning By-law 1-88:**

ZONING BY-LAW 1-88		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Zoning Review Waivers can only be submitted if your application has received an initial zoning review. Staff cannot be consulted to complete your Zoning Review Waiver. The owner/ agent can obtain a zoning review of their revised application, through the Committee of Adjustment submission process in accordance with the Committee of Adjustment internal deadlines. Should an applicant/agent/representative wish to proceed to a hearing without a revised submission being reviewed by a zoning examiner they must complete this waiver to assume full responsibility for identifying required variances.

**Date:** September 22<sup>nd</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A232-22**

**Related Files:**

**Applicant** Deborah White

**Location** 217 Roseborough Cres.



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### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

**From:** [Development Services](#)  
**To:** [Lenore Providence](#); [Committee of Adjustment](#)  
**Subject:** [External] RE: A232/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, September 26, 2022 3:07:52 PM  
**Attachments:** [image002.png](#)  
[image004.png](#)

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Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance (A232/22) and has no comment.

Thank you,  
Niranjan

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received</b> <small>(mm/dd/yyyy)</small>	<b>Summary</b>
None.				