

**ITEM 6.14:**

**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A224/22  
58 Tremblant Cr Kleinburg**

**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X	X	Recommend Approval w/Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X	X	X	General Comments
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B	X	X		General Comments
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A224/22  
58 Tremblant Cr Kleinburg ON**

**FILE MANAGER:** Pravina Attwala, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER: 6.14</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Giancarlo Joseph Lagrasta & Nicole Patricia Iola
<b>AGENT:</b>	None
<b>PROPERTY:</b>	58 Tremblant Cr Kleinburg
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed pool house and swimming pool.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 141006 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 1.b.]	To permit a residential accessory structure (pool house) to be located 0.92 m from the rear lot line.
2	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.14 1]	To permit a residential accessory structure (pool house) to have a height of 3.48 m.
3	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21 2]	To permit swimming pool to be constructed not entirely in the rear yard.

**The subject lands are zoned RD3 - Residential Detached Zone Three and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
4	The minimum required rear yard is 7.5 metres. [4.1.9, Schedule A3]	To permit an accessory building (pool house) to have a minimum rear yard of 0.92 metres.
5	A private swimming pool shall be constructed only in the rear yard. [4.1.1 i)]	To permit a private swimming pool to be constructed not entirely in the rear yard.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday , October 27, 2022  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:  
**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

## HEARING INFORMATION

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	October 14, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	October 12, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	We want to build larger than 10m <sup>2</sup> and also build closer to our property line as proposed.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	Development Planning provided the following to the applicant on October 7, 2022:  Development Planning has reviewed the above noted Minor Variance Application and requires some minor changes/revisions to the plans. Our Urban Design Division have provided the attached comments detailing the extent of the required changes. If you have any comments or concerns please feel free to reach out.  Applicant provided revised submission together with Zoning Review Waiver outlining minor changes/revisions as requested by Planning. <b>Building Standards confirmed the requested based on the revised proposal on October 18, 2022</b>
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	General Comments
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

**\*\*See Schedule B for Building Standards (Zoning) Comments**

### BUILDING STANDARDS (ZONING) COMMENTS

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	That the final Landscape Plan be updated to reflect the final Site Plan and be approved to the satisfaction of the Development Planning Department.
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/Applicant has received a grading permit for both accessory structure and outdoor pool from the Development Engineering (DE) Department.

Although a Grading permit was issued in April of 2021 for the proposed accessory structure, it is no longer valid due to the change in design. The applicant must obtain a revised lot grading permit from The Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A224/22 subject to the following condition:

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:joshua.cipolletta@vaughan.ca">joshua.cipolletta@vaughan.ca</a>	That the final Landscape Plan be updated to reflect the final Site Plan and be approved to the satisfaction of the Development Planning Department.
2	Development Engineering <a href="mailto:lan.reynolds@vaughan.ca">lan.reynolds@vaughan.ca</a>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
3	TRCA <a href="mailto:Kristen.regier@trca.ca">Kristen.regier@trca.ca</a>	<ol style="list-style-type: none"> <li>1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.</li> <li>2. The applicant obtains a permit re-issuance pursuant to Ontario Regulation 166/06.</li> </ol>

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

### IMPORTANT INFORMATION – PLEASE READ

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

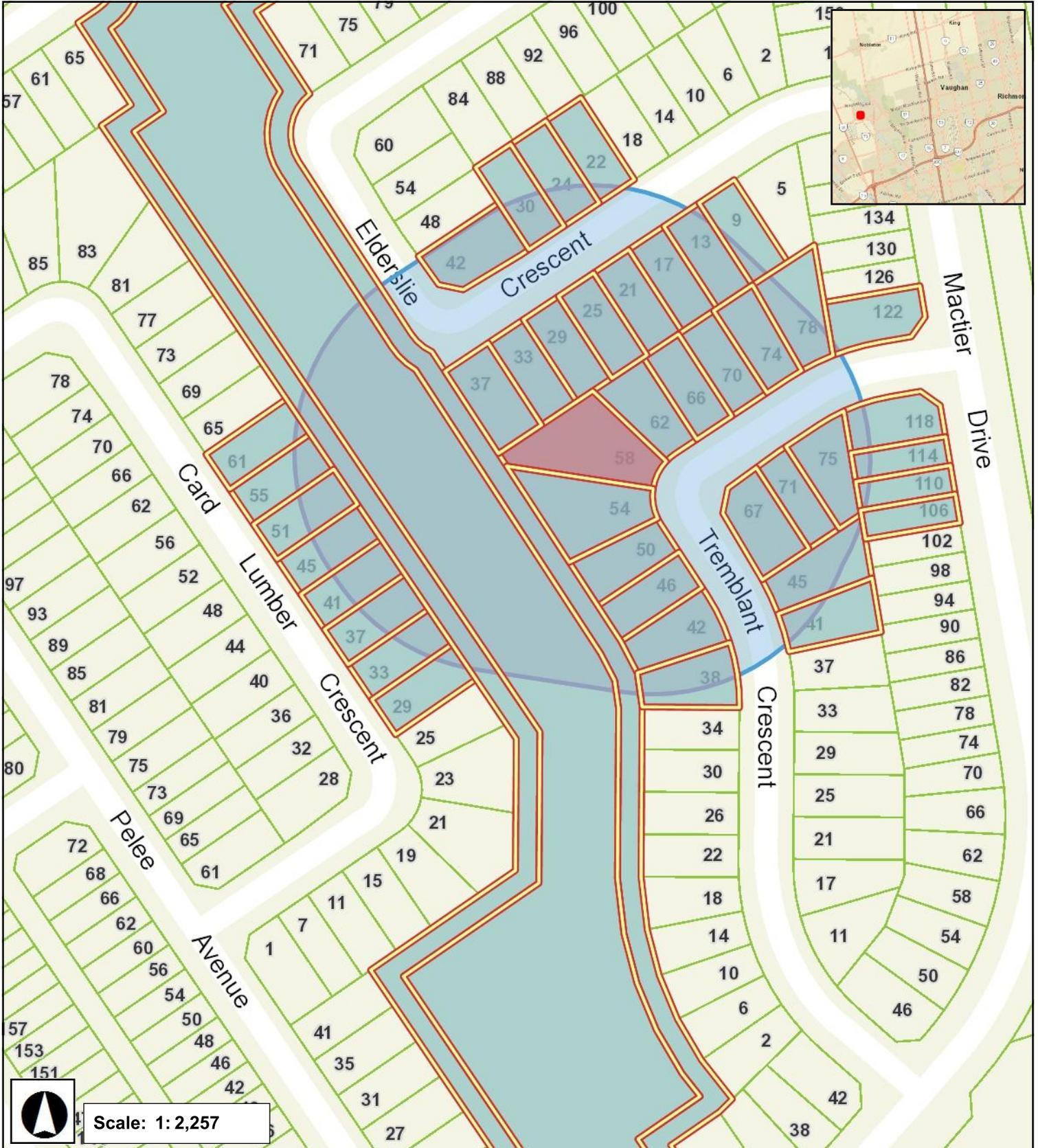
**SCHEDULE A: DRAWINGS & PLANS**



# LOCATION MAP - A224/22

58 TREMBLANT CRESCENT, KLEINBURG

**Nashville Road**



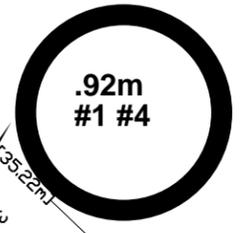
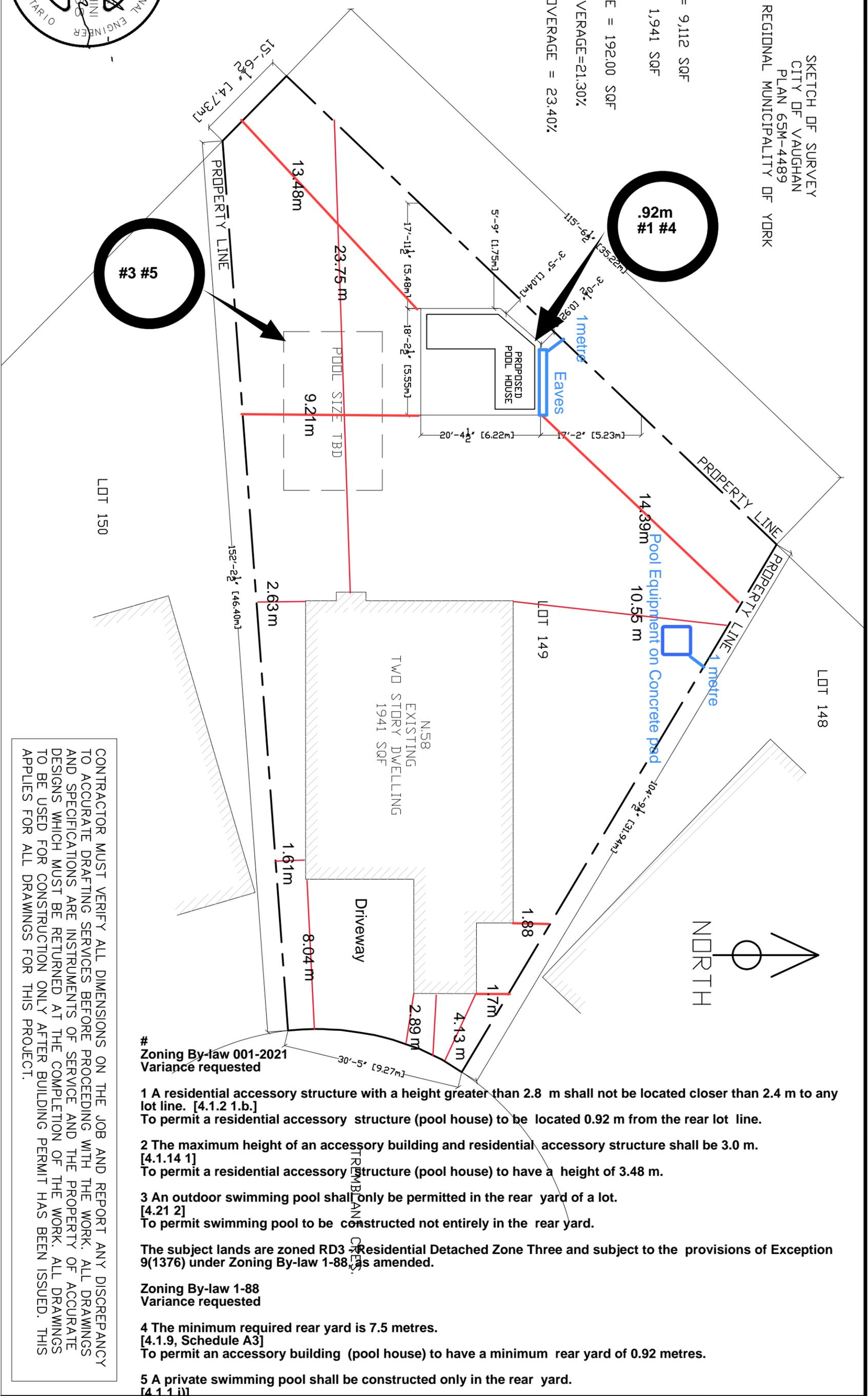
Scale: 1:2,257

**Major Mackenzie Drive**

October 6, 2022 11:50 AM

SKETCH OF SURVEY  
CITY OF VAUGHAN  
PLAN 65M-4489  
REGIONAL MUNICIPALITY OF YORK

TOTAL LOT AREA= 9,112 SQF  
EX. HOUSE AREA= 1,941 SQF  
PRDP. POOL HOUSE = 192.00 SQF  
EXISTING LOT COVERAGE=21.30%  
PROPOSED LOT COVERAGE = 23.40%



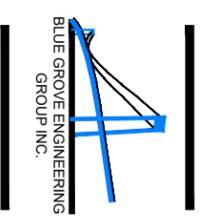
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO ACCURATE DRAFTING SERVICES BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ACCURATE DESIGNS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED. THIS APPLIES FOR ALL DRAWINGS FOR THIS PROJECT.

- # Zoning By-law 001-2021 Variance requested
- 1 A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 1.b.]  
To permit a residential accessory structure (pool house) to be located 0.92 m from the rear lot line.
  - 2 The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.14 1]  
To permit a residential accessory structure (pool house) to have a height of 3.48 m.
  - 3 An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21 2]  
To permit swimming pool to be constructed not entirely in the rear yard.
- The subject lands are zoned RD3 Residential Detached Zone Three and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.
- Zoning By-law 1-88 Variance requested
- 4 The minimum required rear yard is 7.5 metres. [4.1.9, Schedule A3]  
To permit an accessory building (pool house) to have a minimum rear yard of 0.92 metres.
  - 5 A private swimming pool shall be constructed only in the rear yard. [4.1.1 i)]  
To permit a private swimming pool to be constructed not entirely in the rear yard.



2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

**BLUE GROVE ENGINEERING GROUP INC.**  
1 SHEFFIELD STREET  
Toronto, Ontario  
M6M 3E5  
Tel: (416) 540-0756  
Web Site: www.bluegroveengineering.com  
Info@bluegroveeng.com

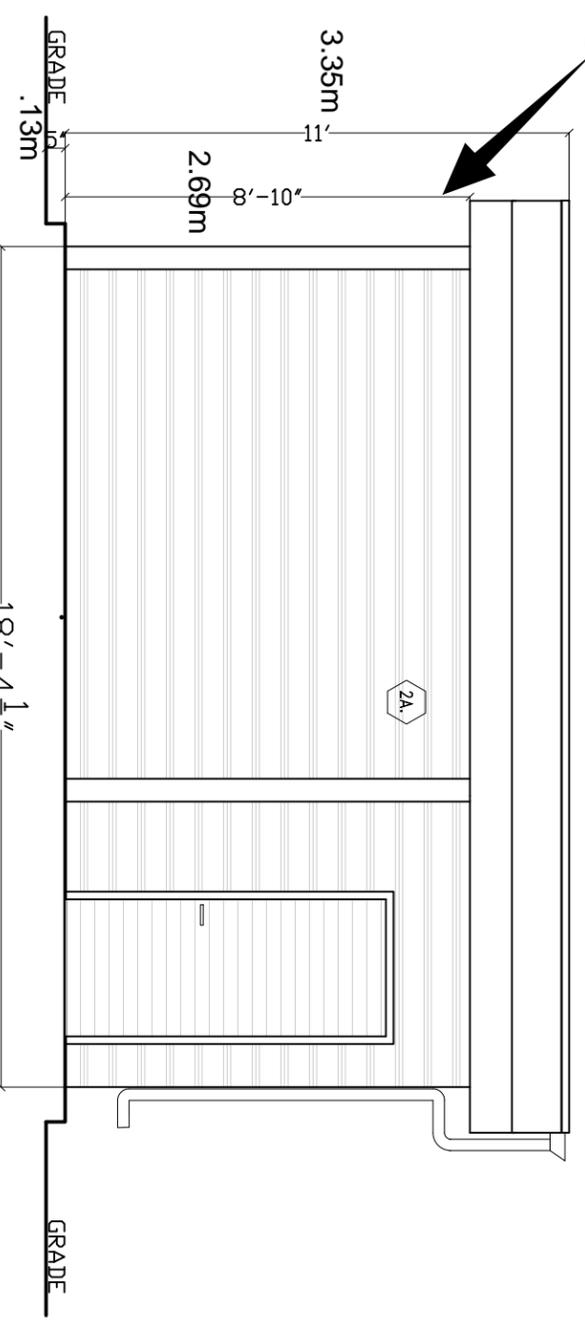


PROJECT TITLE:  
**58 TREMBLANT CRESCENT**  
VAUGHAN, ON  
PROJECT TITLE: GIANCARLO LAGRASTA

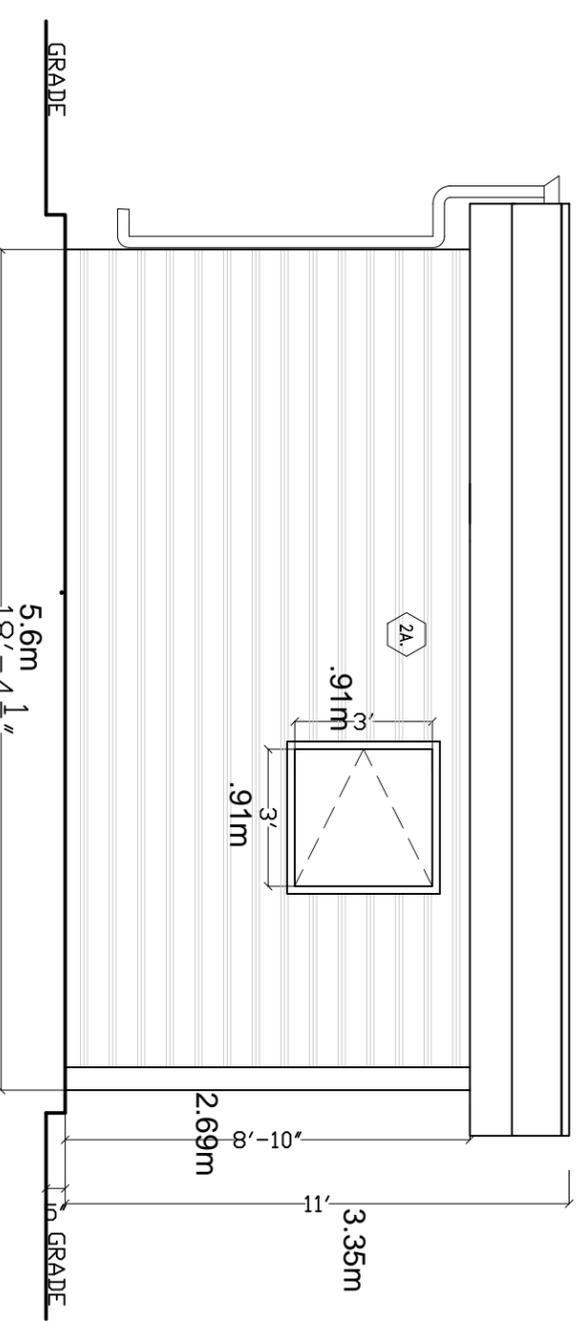
SHEET TITLE:  
**SITE PLAN**  
SCALE: 1/16" = 1'-0"  
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.:  
**SP1**  
PROJECT NO.:  
**20-044**

**3.48m  
#2**



FRONT EAST ELEVATION

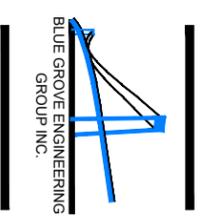


REAR WEST ELEVATION



2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

**BLUE GROVE ENGINEERING GROUP INC.**  
 1 SHEFFIELD STREET  
 Toronto, Ontario  
 M6M 3E5  
 Tel: (416) 540-0756  
 Web Site: www.bluegroveengineering.com  
 info@bluegroveeng.com

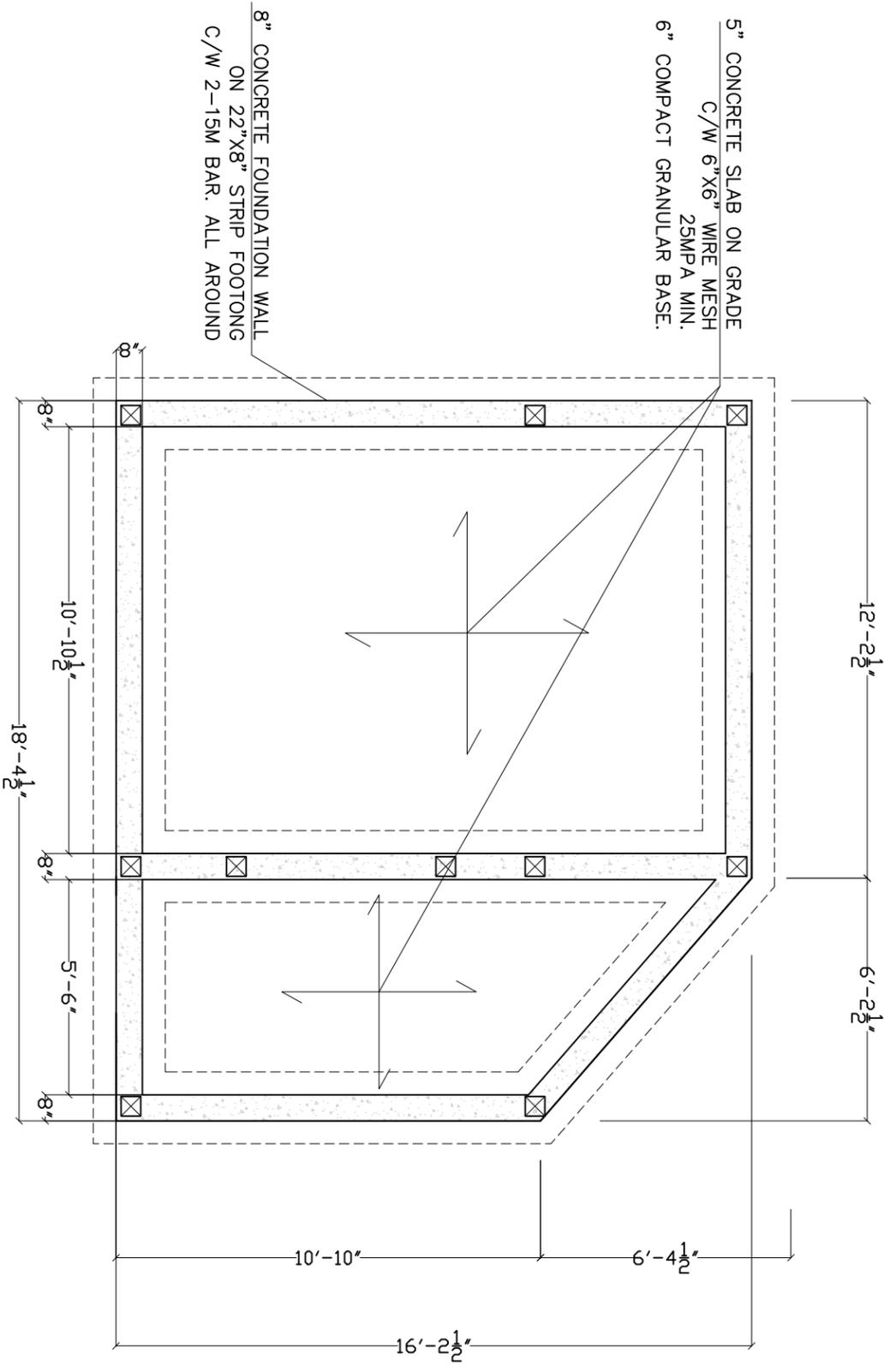


PROJECT TITLE:  
**58 TREMBLANT CRESCENT**  
 VAUGHAN, ON  
 PROJECT TITLE: GIANCARLO LAGRASTA

SHEET TITLE:  
**ELEVATIONS**

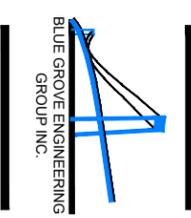
SCALE: 1/16" = 1'-0"  
 The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.  
**A4**  
 PROJECT NO:  
**20-044**



2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

**BLUE GROVE ENGINEERING GROUP INC.**  
 1 SHEFFIELD STREET  
 Toronto, Ontario  
 M6M 3E5  
 Tel: (416) 540-0756  
 Web Site: www.bluegroveengineering.com  
 info@bluegroveeng.com



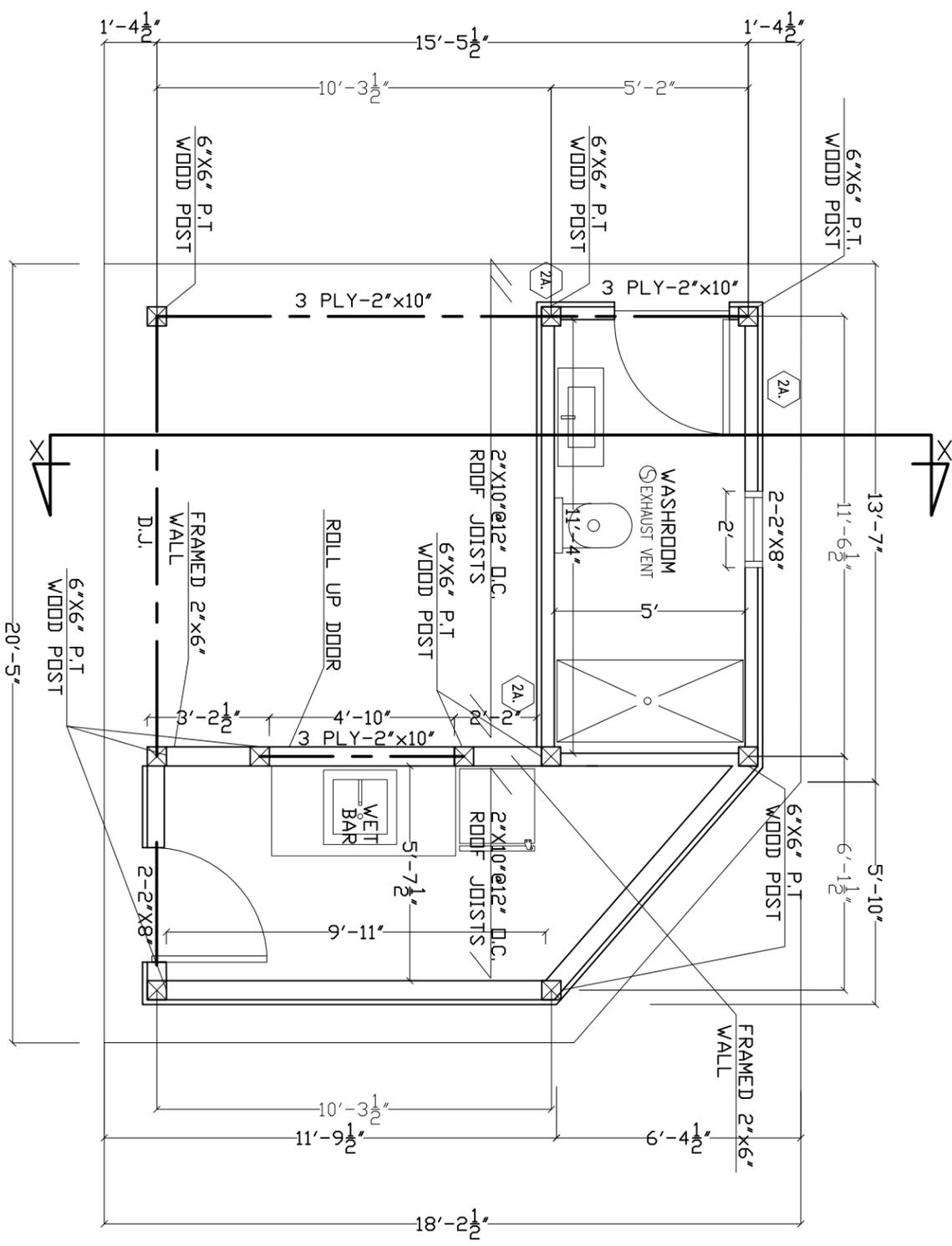
PROJECT TITLE:  
**58 TREMBLANT CRESCENT**  
 VAUGHAN, ON  
 PROJECT TITLE: GIANCARLO LAGRASTA

SHEET TITLE:  
**FOUNDATION PLAN**

SCALE: 1/16" = 1'-0"  
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

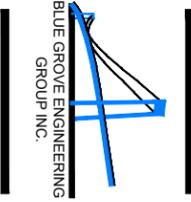
SHEET NO.  
**A1**  
 PROJECT NO:  
**20-044**

2A. SIDING WALL CONSTRUCTION (2"x4")  
 SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS, ON R5 (RSI 0.9) EXT. RIGID INSUL. BD. WITH APPROVED CONT. SHEATHING PAPER, ON 2"x4" (38x89) STUDS @ 16" (400) O.C. WITH APPROVED DIAGONAL WALL BRACING, R14 (RSI 2.46) INSULATION WITH 6 mil POLYETHYLENE VAPOR BARRIER, ON 1/2" (12.7) INT. DRYWALL FINISH. WALL ASSEMBLY FIBREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - OBC 9.23.16.3.(1)) VERTICALLY APPLIED METAL/VINYL SIDING, WOOD SHAKES AND SHINGLES NOT FASTENED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING WILL REQUIRE 5/16" (7.5) EXT. PLYWOOD SHEATHING FOR ATTACHMENT AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3.)



2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

**BLUE GROVE ENGINEERING**  
**GROUP INC.**  
 1 SHEFFIELD STREET  
 Toronto, Ontario  
 M6M 3E5  
 Tel: (416) 540-0756  
 Web Site: www.bluegroveengineering.com  
 info@bluegroveeng.com



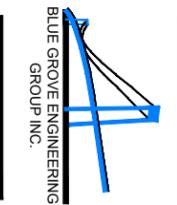
PROJECT TITLE: **58 TREMBLANT CRESCENT**  
 VAUGHAN, ON  
 PROJECT TITLE: GIANCARLO LAGRASTA

SHEET TITLE: **FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"  
 The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.  
 SHEET NO. **A2**  
 PROJECT NO: **20-044**



2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

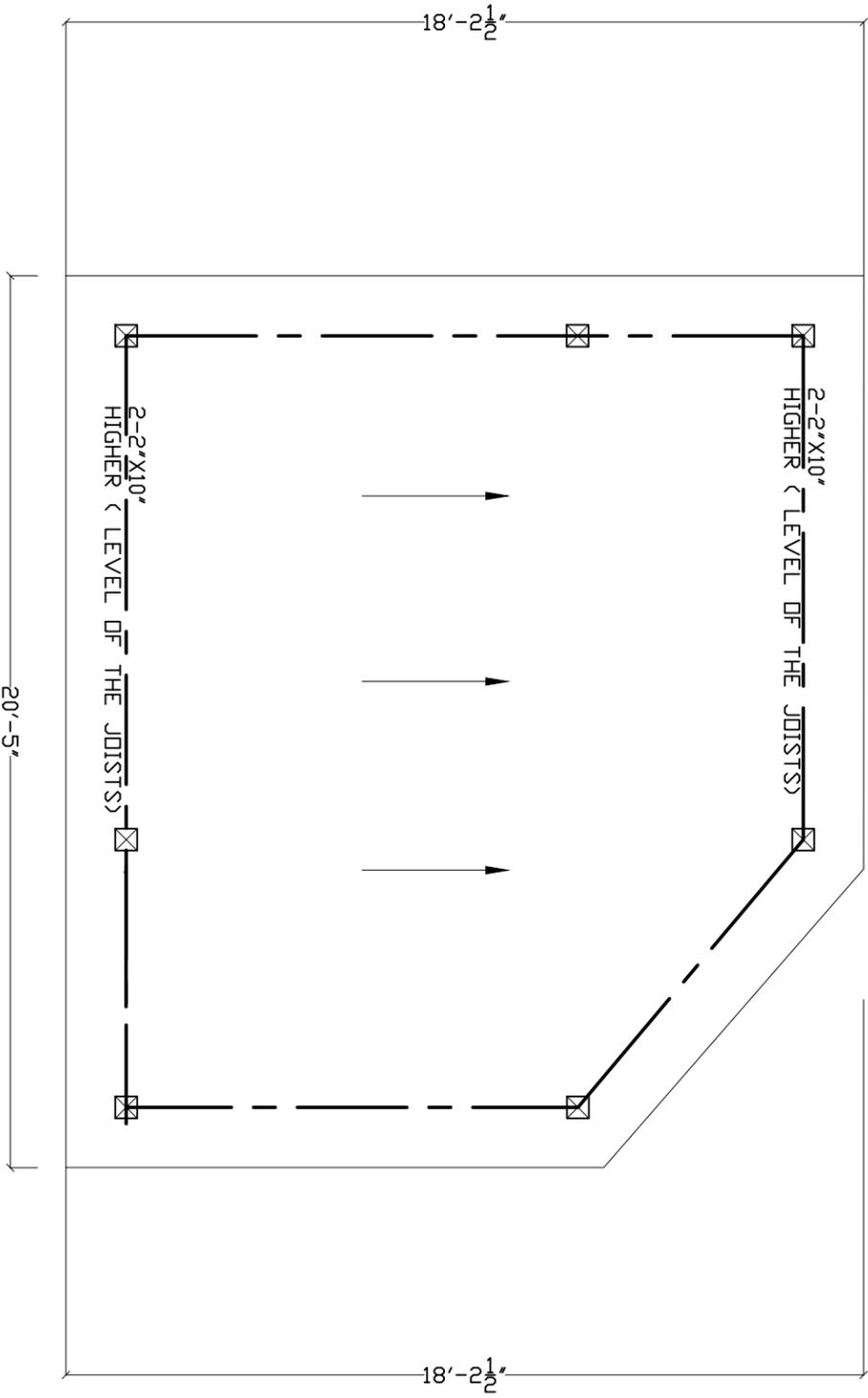
**BLUE GROVE ENGINEERING GROUP INC.**  
 1 SHEFFIELD STREET  
 Toronto, Ontario  
 M6M 3E5  
 Tel: (416) 540-0756  
 Web Site: www.bluegroveengineering.com  
 info@bluegroveeng.com

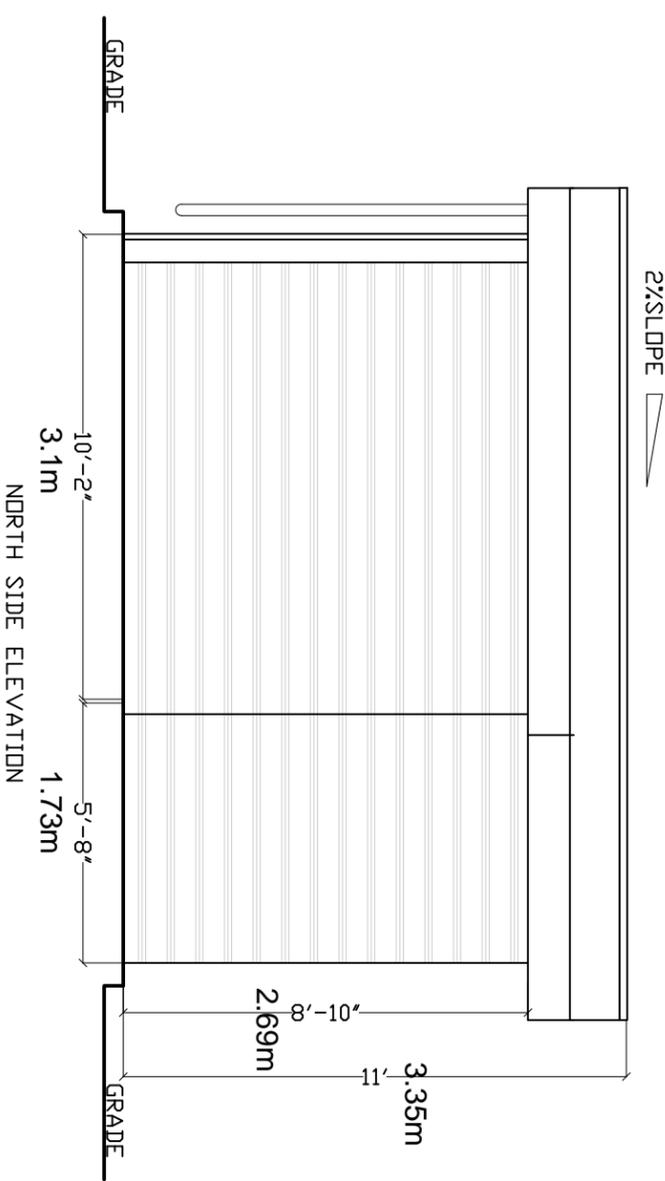
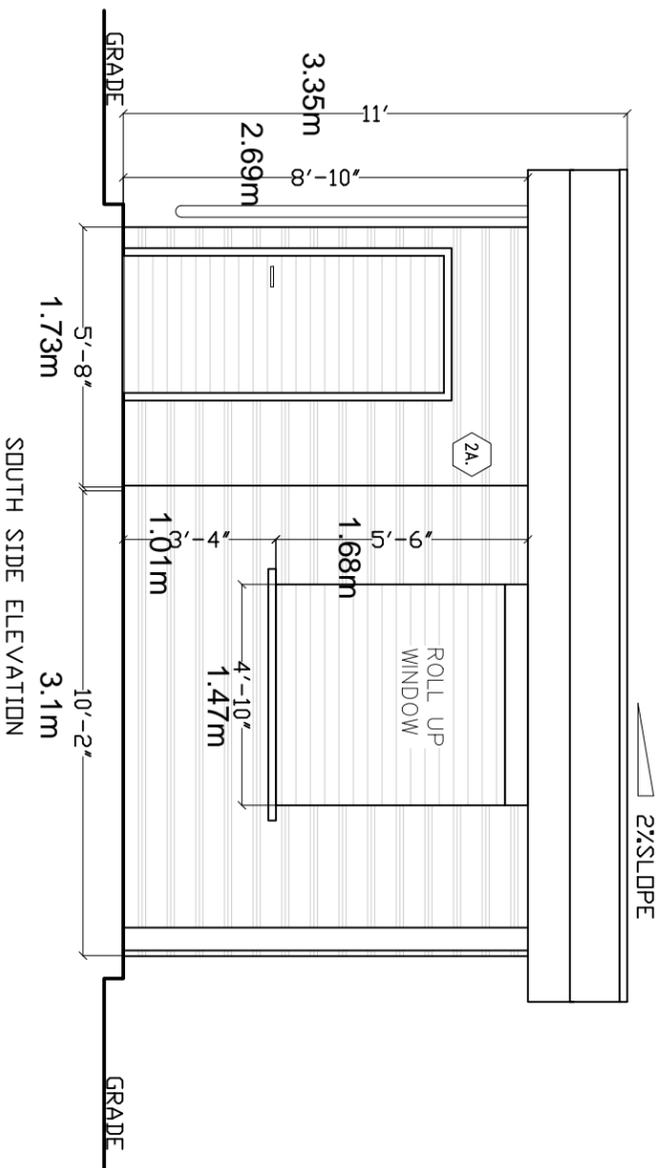


PROJECT TITLE:  
**58 TREMBLANT CRESCENT**  
 VAUGHAN, ON  
 PROJECT TITLE: GIANCARLO LAGRASTA

SHEET TITLE:  
**ROOF PLAN**  
 SCALE: 1/16" = 1'-0"  
The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

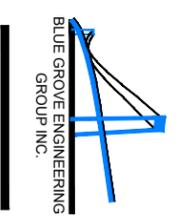
SHEET NO.  
**A3**  
 PROJECT NO:  
**20-044**





2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

**BLUE GROVE ENGINEERING GROUP INC.**  
 1 SHEFFIELD STREET  
 Toronto, Ontario  
 M6M 3E5  
 Tel: (416) 540-0756  
 Web Site: www.bluegroveengineering.com  
 info@bluegroveeng.com

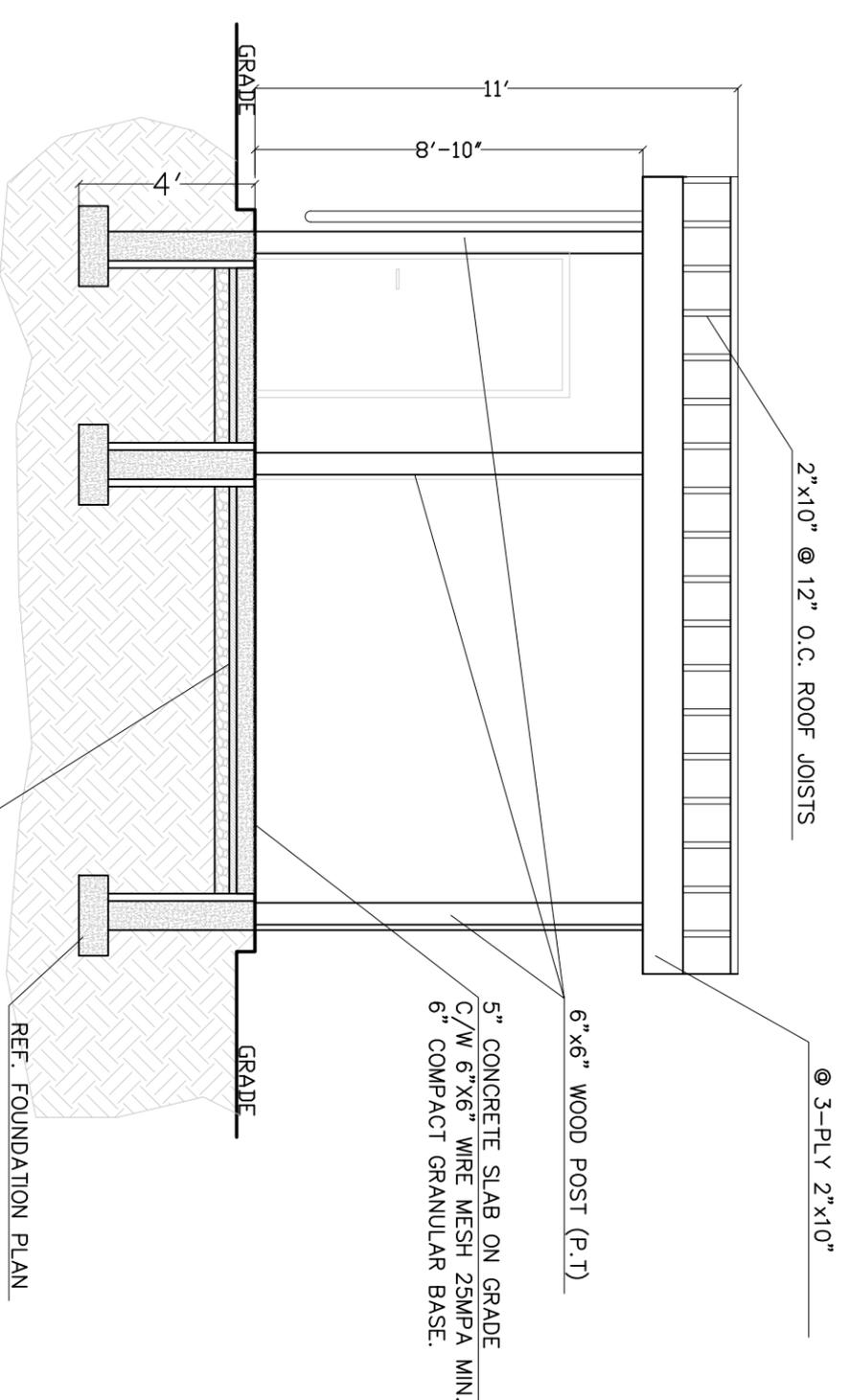


PROJECT TITLE:  
**58 TREMBLANT CRESCENT**  
 VAUGHAN, ON  
 PROJECT TITLE: GIANCARLO LAGRASTA

SHEET TITLE:  
**ELEVATIONS**  
 SCALE: 1/16" = 1'-0"  
 The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

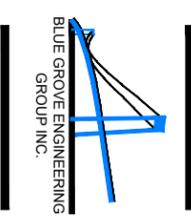
SHEET NO.  
**A5**  
 PROJECT NO:  
**20-044**





2.	MAY 26 2022	ISSUED FOR CLIENT
1.	APRIL 2 2020	ISSUED FOR CLIENT REVIEW
REF.	DATE	REVISIONS

**BLUE GROVE ENGINEERING GROUP INC.**  
 1 SHEFFIELD STREET  
 Toronto, Ontario  
 M6M 3E5  
 Tel: (416) 540-0756  
 Web Site: www.bluegroveengineering.com  
 info@bluegroveeng.com



PROJECT TITLE:  
**58 TREMBLANT CRESCENT**  
 VAUGHAN, ON  
 PROJECT TITLE: GIANCARLO LAGRASTA

SHEET TITLE:  
**CUT SECTION**  
 SCALE: 1/16" = 1'-0"  
 The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architects before proceeding.

SHEET NO.  
**A6**  
 PROJECT NO:  
**20-044**

**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X	X	X	General Comments
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B	X	X		General Comments
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Recommend Approval w/Conditions
Building Standards (Zoning)	X			General Comments

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** October 20, 2022  
**Name of Owners:** Giancarlo Joseph Lagrasta & Nicole Patricia Ioia  
**Location:** 58 Tremblant Crescent  
**File No.(s):** A224/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a residential accessory structure (pool house) to be located 0.92 m from the rear lot line.
2. To permit a residential accessory structure (pool house) to have a height of 3.48 m.
3. To permit a swimming pool to be constructed not entirely in the rear yard.

**By-Law Requirement(s) (By-law 001-2021):**

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. The maximum height of an accessory building and residential accessory structure shall be 3.0 m.
3. An outdoor swimming pool shall only be permitted in the rear yard of a lot.

**Proposed Variance(s) (By-law 1-88):**

4. To permit an accessory building (pool house) to have a minimum rear yard of 0.92 m.
5. To permit a private swimming pool to be constructed not entirely in the rear yard.

**By-Law Requirement(s) (By-law 1-88):**

4. The minimum required rear yard is 7.5 m.
5. A private swimming pool shall be constructed only in the rear yard.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 - Land Use and "Low-Rise Residential", Volume 2, Section 12.7 Block 61 West -Nashville Heights

**Comments:**

The Owners are requesting relief to permit the construction of a pool and pool house with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2 and 4 for the proposed pool house. The pool house would have 3 walls close to the rear lot line: two angled away and one parallel to it that links the two other walls together. The reduction to the rear yard setback for the pool house would be fully utilized by the wall parallel to the rear lot line. At about 1.7 m, this wall is of modest length. The reduction will not pose a significant visual impact to the abutting properties and an appropriate area for maintenance access is maintained. The increase in height for the pool house is minor in nature, consistent with previous approvals in the neighbourhood, and will not have adverse massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variances 3 and 5 for the proposed pool as it is located within what is effectively used as the rear yard. The pool also complies with all rear yard and side yard setback requirements which allows for safe access around the pool area.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following condition:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan be updated to reflect the final Site Plan and be approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Joshua Cipolletta, Planner I  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** October 18, 2022  
**Applicant:** Giancarlo Joseph Lagrasta & Nicole Patricia Iola  
**Location:** 58 Tremblant Crescent,  
 PLAN 65M4489 Lot 149  
**File No.(s):** A224/22

**Zoning Classification:**

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 141006 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 1.b.]	To permit a residential accessory structure (pool house) to be located 0.92 m from the rear lot line.
2	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.14 1]	To permit a residential accessory structure (pool house) to have a height of 3.48 m.
3	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21 2]	To permit swimming pool to be constructed not entirely in the rear yard.

The subject lands are zoned RD3 - Residential Detached Zone Three and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum required rear yard is 7.5 metres. [4.1.9, Schedule A3]	To permit an accessory building (pool house) to have a minimum rear yard of 0.92 metres.
5	A private swimming pool shall be constructed only in the rear yard. [4.1.1 i)]	To permit a private swimming pool to be constructed not entirely in the rear yard.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 21-110112 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
7	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
8	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**Date:** September 27<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A224-22**

**Related Files:**

**Applicant** Giancarlo Joseph Lagrasta & Nicole Patricia Ioia

**Location** 58 Tremblant Crescent

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)

## Pravina Attwala

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**Subject:** FW: [External] RE: A224/22 (58 TREMBLANT CRESCENT) - REQUEST FOR COMMENTS

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**From:** CP Proximity-Ontario <CP\_Proximity-Ontario@cpr.ca>

**Sent:** September-27-22 5:47 PM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Subject:** [External] RE: A224/22 (58 TREMBLANT CRESCENT) - REQUEST FOR COMMENTS

Good Afternoon,

**RE: Comments on A224/22 (58 TREMBLANT CRESCENT, within 500m of CP Rail line**

Thank you for the recent notice respecting the captioned development proposal in the vicinity of Canadian Pacific Railway Company. The safety and welfare of residents can be adversely affected by rail operations and CP is not in favour of residential uses that are not compatible with rail operations. CP freight trains operate 24/7 and schedules/volumes are subject to change. CP's approach to development in the vicinity of rail operations is encapsulated by the recommended guidelines developed through collaboration between the Railway Association of Canada and the Federation of Canadian Municipalities. The 2013 Proximity Guidelines can be found at the following website address: <http://www.proximityissues.ca/>.

CP recommends that the below condition be inserted in all property and tenancy agreements and offers of purchase and sale for all dwelling units in the proposed building(s):

"Canadian Pacific Railway and/or its assigns or successors in interest has or have a railway right-of-way and/or yard located adjacent to the subject land hereof with operations conducted 24 hours a day, 7 days a week, including the shunting of trains and the idling of locomotives. There may be alterations to, or expansions of, the railway facilities and/or operations in the future, which alterations or expansions may affect the living environment of the residents in the vicinity. Notwithstanding the inclusion of any noise and/or vibration attenuating measures in the design of the development and individual dwellings, Canadian Pacific Railway will not be responsible for complaints or claims arising from the use of its facilities and/or its operations on, over, or under the aforesaid right-of-way and/or yard."

Should the captioned development proposal receive approval, CP respectfully requests that the recommended guidelines be followed.

Thank you,

CP Proximity Ontario



**CP Proximity Ontario**

**[CP\\_Proximity-Ontario@cpr.ca](mailto:CP_Proximity-Ontario@cpr.ca)**

7550 Ogden Dale Road SE, Building 1  
Calgary AB T2C 4X9

October 4, 2022

CFN 66448.27

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A224/22  
Part of Lot 22, Concession 9  
58 Tremblant Crescent  
City of Vaughan, Region of York  
Owner: Giancarlo Joseph Lagrasta and Nicole Patricia Ioia**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on September 22, 2022. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under both Zoning By-Law 01-2021 and By-Law 1-88:

**By-Law 01-2021**

1. To permit a residential accessory structure (pool house) to be located 0.92 m from the rear lot line, whereas any residential accessory structure with a height greater than 2.8 m shall not to be located closer than 2.4 m to any lot line.
2. To permit a maximum height of 3.48 m for the residential accessory structure (pool house), whereas the maximum height of a residential accessory structure shall be 3.0 m.
3. To permit an outdoor swimming pool to be constructed not entirely in the rear yard, whereas an outdoor swimming pool shall only be permitted in the rear yard of a lot.

**By-Law 1-88**

4. To permit an accessory building (pool house) to have a minimum rear yard of 0.92 m, whereas the minimum required rear yard is 7.5 m.
5. To permit a private swimming pool to be constructed not entirely in the rear yard, whereas a private swimming pool shall be constructed only in the rear yard.

**Ontario Regulation 166/06**

A portion of the subject lands are located within TRCA's Regulated Area due to a stream corridor associated with a tributary of the Humber River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

**Application-Specific Comments**

TRCA issued a permit to facilitate the construction of the proposed swimming pool pool, hot tub, accessory structure (change room), and associated landscaping on July 30, 2020 (TRCA Permit No. C-200598).

Based on a review of the plans submitted with this variance application, the noted works within the Regulated Area are consistent with the plans that were approved as part of TRCA permit C-200598.

While TRCA have no concerns with proposed works or the requested variances, the above noted permit previously issued by TRCA expired on July 29, 2022. As such, the proponent will need to apply for a permit reissuance to extend the validity of the permit. Further details on the permit re-issuance process are included in Appendix 'A' of this letter.

**Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

**Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A224/22 subject to the following conditions:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.
2. The applicant obtains a permit re-issuance pursuant to Ontario Regulation 166/06.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at [Kristen.Regier@trca.ca](mailto:Kristen.Regier@trca.ca)

Sincerely,

*Kristen Regier*

Kristen Regier  
Planner I  
Development Planning and Permits

#### Appendix 'A': Permit Re-issuance Materials

1. Complete Re-Issuance Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Residential/Development Projects) (Pursuant to Ontario Regulation 166/06). The application can be downloaded from the following website: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2021/10/08122430/4048-Permit-Re-issuance-Application-for-DPP-rvSept-28-2021-fillable.pdf>
2. Permit Fee - There is a fee associated with the permit re-issuance process. For this permit the fee is \$105 (50% or current applicable fee for the originally permit - \$210).

## Pravina Attwala

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**Subject:** FW: [External] RE: A224/22 (58 TREMBLANT CRESCENT) - REQUEST FOR COMMENTS

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**From:** Development Services <developmentservices@york.ca>

**Sent:** September-29-22 10:30 AM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Subject:** [External] RE: A224/22 (58 TREMBLANT CRESCENT) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A224/22) and has no comment.

Thank you,  
Niranjan

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1

1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				