

ITEM 6.27:

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A231/22
33 Daniel Bram Drive, Maple**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X			Application Under Review
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Dofna (Yodfat) & Lucian Safin	29 Daniel Bram Drive	08/30/2022	Letter of Support
Public	Josef Kleiman	32 Daniel Bram Drive	08/02/2022	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see Schedule D for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A231/22
33 Daniel Bram Dr Maple ON**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.27	CITY WARD #: 4
APPLICANT:	Larisa & Gary Kleiman
AGENT:	None
PROPERTY:	33 Daniel Bram Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Low-Rise Residential" by Schedule 13 – Land Use
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed deck.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R3 – Third Density Residential Zone** and subject to the provisions of **Exception 14.848** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 01-2021	Variance requested
	n/a	

The subject lands are zoned **RD3 – Residential Detached Zone Three** and subject to the provisions of **Exception 9(1200)** under **Zoning By-law 1-88**, as amended.

	Zoning By-law 1-88	Variance requested
1	A maximum encroachment of 1.80m is permitted into the rear yard for the exterior stairways. [3.14.c]	To permit a maximum encroachment of 2.03m into the required rear yard for the exterior stairways.
2	A maximum encroachment of 1.8m is permitted into the rear yard for the deck. [3.14.c]	To permit a maximum encroachment of 2.49m into the required rear yard for the deck.

HEARING INFORMATION

DATE OF MEETING: Thursday , September 22, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:
Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	September 8, 2022	
Date Applicant Confirmed Posting of Sign:	September 1, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The back setback does not allow wide enough staircase to accommodate an easy access with a wheelchair, which is why a very minor adjustment is required	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>Development Planning provided the following to the applicant on September 8, 2022:</p> <p>Development Planning has completed our review of the above noted Minor Variance application and has some concerns with the proposal. The balcony on the second floor will have a negative visual impact on neighbouring properties due to the increased encroachment into the rear yard. We recommend removing the proposed balcony on the second floor and redesigning the addition solely as a porch/deck. Our Urban Design division has provided comments indicating the same as well.</p> <p>Applicant provided revised submission, together with Zoning Review Waiver, removing the balcony portion of the deck. Building Standards confirmed the requested variances based on the revised proposal on September 14, 2022.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	General Comments	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments. Application under review

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed shed in the subject property 31.6m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A231/22 subject to the following condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comments at this time

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning michelle.perrone@vaughan.ca	Application under review
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

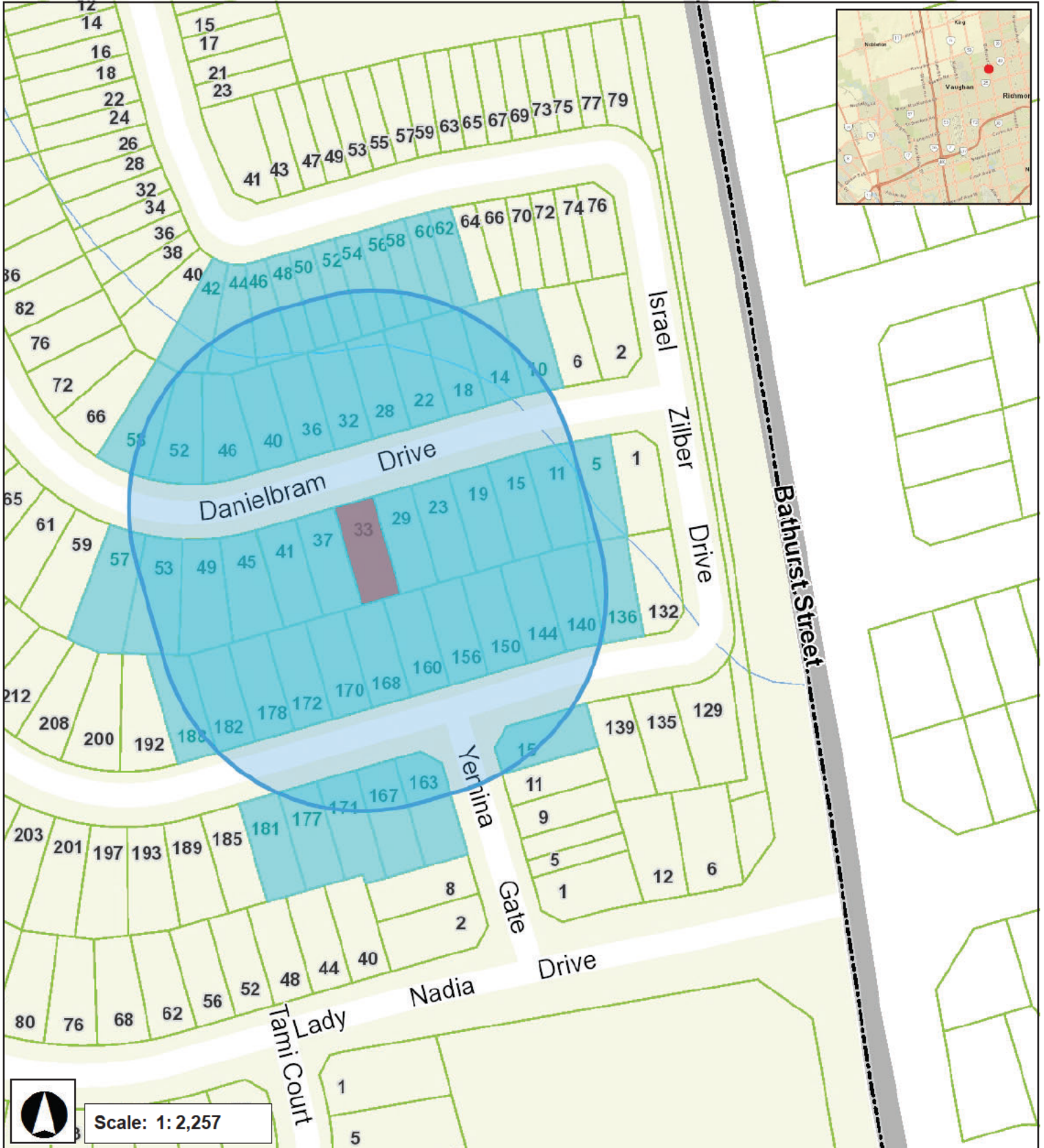
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A231/22

33 DANIEL BRAM DRIVE, MAPLE

Teston Road



Major Mackenzie Drive

August 30, 2022 4:51 PM

INDEX SHEET:

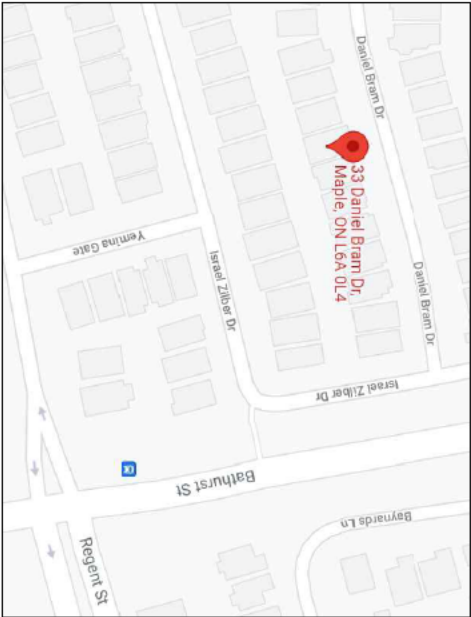
A-1	KEY PLAN
A-2	BASEMENT PLAN
A-3	WALKOUT CLOSE UP
A-4	SECTION S1
A-5	GROUND FLOOR PLAN
A-6	SECOND FLOOR PLAN
A-7	SIDE ELEVATION
A-8	BACK ELEVATION
A-9	SIDE ELEVATION
A-10	SECTION A-A
A-11	DETAILS

SCOPE OF WORK:

WALKOUT	11.09m ²
DECK & STAIRS	11.68m ²
AREA OF WORK	22.77m ²

33 Daniel Bram Drive, Vaughan, ON L6A 0L4

Key Plan:

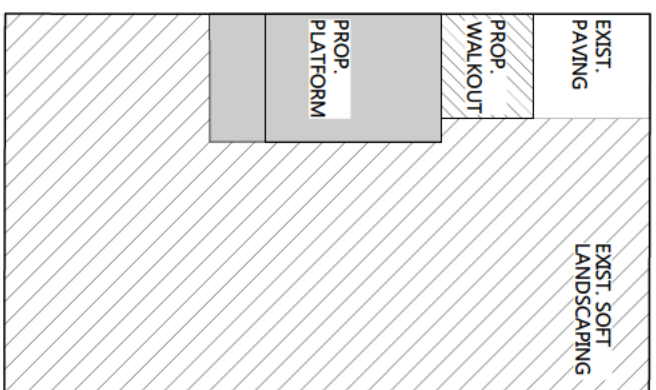


LEGEND:

	EXISTING BUILDING
	PROPERTY LINE
	MAIN ENTRANCE
	PROPOSED PLATFORM
	PROPOSED WALKOUT
	SOFT LANDSCAPING

SURVEY INFORMATION:

SURVEY INFORMATION TAKEN FROM:
P.SALNA COMPANY LTD.
ONTARIO LAND SURVEYORS
DONE ON: NOVEMBER 14th, 2007
LOT NUMBER: 30
REGISTERED NUMBER: 65M-3924
REGIONAL MUNICIPALITY OF YORK



ZONING REQUIREMENTS

SITE STATISTICS ZONE: RD3 & R3: 33 Daniel Bram Drive, Vaughan
LOT 30, REGISTERED PLAN: 65M-3924

LOT AREA	sq/m	sq/ft	
LOT AREA	409.60	4409	
100% LOT	sq/m	sq/ft	
Back Area	100.0	1040	
Soft Landscaping	79.0	76.29	
Existing Paving	5.0	4.82	
Proposed Walkout	3.9	3.79	
Proposed Deck & Stairs	12.1	11.68	
126			
LOT COVERAGE	% OF LOT	sq/m	sq/ft
Ground Floor	46.6	190.91	2055
Front Porch & Stairs	2.0	8.02	86
Proposed Walkout	0.9	3.79	41
Proposed Deck & Stairs	2.9	11.68	126
Total Lot Coverage	52.3	214.41	2308
Allowed Lot Coverage	50.0	204.80	2204
Back Yard Setback	7.5m.		
Interior Side Yard Setback	1.2m.		

NO ALTERATIONS WILL BE MADE TO THE EXIST. LOT

GENERAL NOTES

ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE ONTARIO BUILDING CODE REGULATION (403/97), PART 9 DRAWINGS MUST NOT BE SCALED HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS, AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C)

ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.

BOTH THE CONTRACTOR AND THE PROPERTY OWNER(S) ARE RESPONSIBLE TO INSTALL ALL ADEQUATELY DESIGNED TEMPORARY SHORING, BRACING AND NEEDLE BEAM SYSTEM PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK, EXCAVATION, UNDERPINNING, OR OTHER CONSTRUCTION ACTIVITIES, TO ENSURE THE SAFE EXECUTION OF THIS WORK FOR THE PROTECTION FOR ALL BUILDING OCCUPANTS, CONSTRUCTION WORKERS, ADJACENT BUILDINGS/STRUCTURES AND THIS BUILDING UNDERGOING CONSTRUCTION.

ALL EXTERIOR LUMBER TO BE PRESSURE TREATED.

STRUCTURAL INTEGRITY: ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY AND STABILITY PER OBC 9.23.2.1.

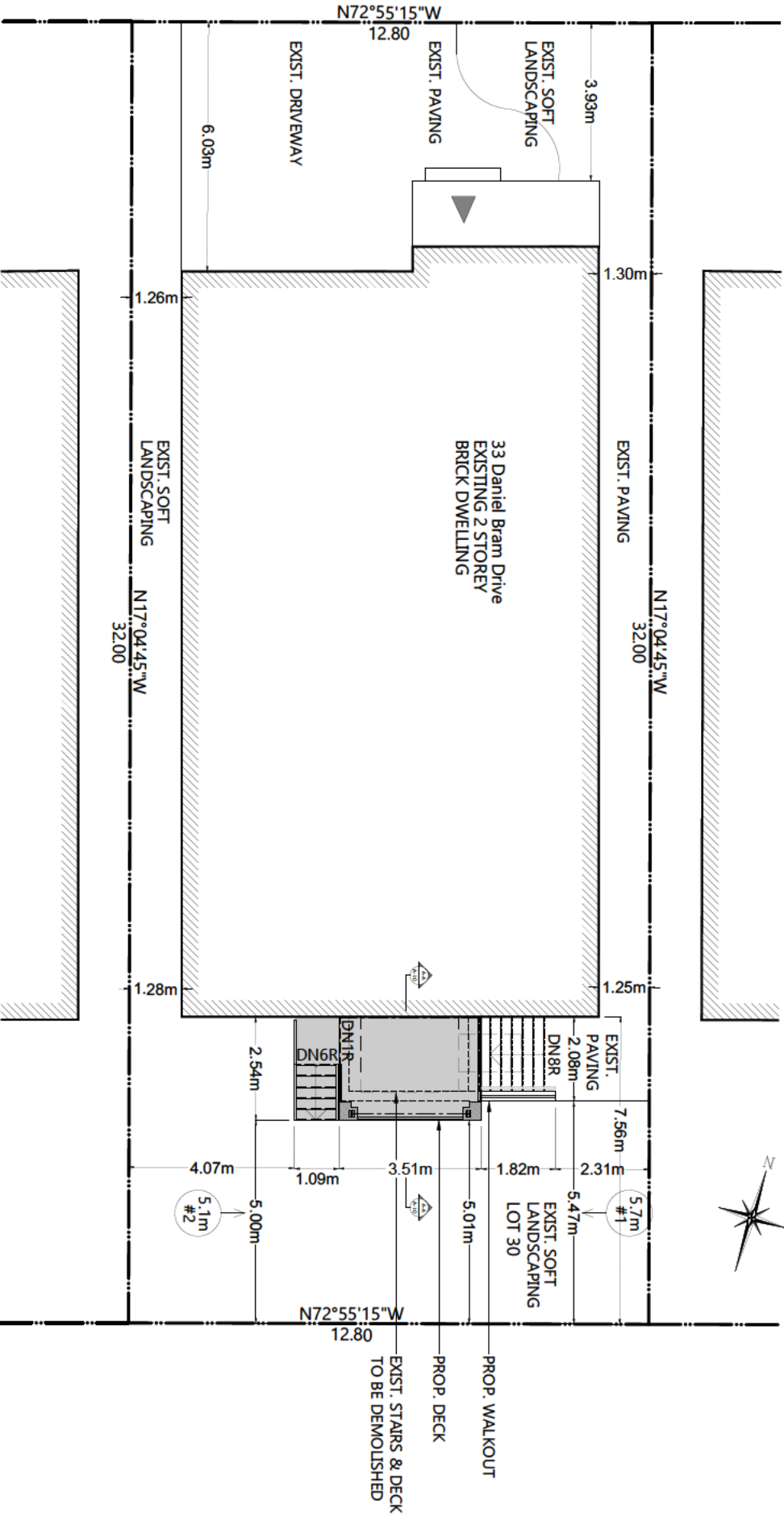
STRUCTURAL ADEQUACY: VERIFY/REINFORCE EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.

RENOVATION NOTE: PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK.

SUPPORT - POST: PROVIDE POSTS UNDER ALL BEAMS/GIRDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT. OBC 9.20.8.3., 9.23.8.1., 9.23.10.7.

SUPPORT - LOADS: ALL LOADS MUST BE SUPPORTED AND TRANSFERRED TO FOUNDATION OR ADEQUATE SUPPORT. O.B.C. 9.23.4.2., 9.17.9.15., 9.20.8.3., 9.23.8.1., 9.23.10.7. AND 9.23.9.8.

PROVIDE SOLID WOOD POSTS TO MASONRY WALL (ENSURE SOLID BEARING AREA FULLY GROUDED OR PROVIDE 1/4" STEEL PLATE ON MASONRY TO ACCEPT LOADS)



Daniel Bram Dr.

N72°55'15"W
12.80

EXIST. DRIVEWAY

6.03m

3.93m

EXIST. SOFT LANDSCAPING

1.30m

EXIST. PAVING

N17°04'45"W
32.00

1.26m

EXIST. SOFT LANDSCAPING

N17°04'45"W
32.00

1.25m

EXIST. PAVING

7.56m

5.7m #1

2.31m

5.47m

2.08m

EXIST. PAVING

DN8R

1.82m

EXIST. SOFT LANDSCAPING

LOT 30

5.01m

PROP. WALKOUT

PROP. DECK

EXIST. STAIRS & DECK TO BE DEMOLISHED

2.54m

DN6R

1.09m

3.51m

4.07m

5.00m

5.1m #2

N72°55'15"W
12.80

EXIST. STAIRS & DECK TO BE DEMOLISHED

1.28m

33 Daniel Bram Drive
EXISTING 2 STOREY
BRICK DWELLING

No.	Date	Issuance / Revision
1	Apr. 25, 2022	Issued for Building Permit
2	May 26, 2022	Revision 1
3	May 31, 2022	Revision 2
4	Jun. 06, 2022	Revision 3
5	Sep. 07, 2022	Revision 4

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS REMAIN THE PROPERTY OF THE OWNER AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT.

Project Name:
WALKOUT, DECK, & BALCONY

Project Address:
33 Daniel Bram Drive, Vaughan, ON L6A 0L4

Drawing Title:
SITE PLAN & INDEX SHEET

Date: Mar. 27, 2022

Scale: 1:150

Drawing No. A-1

Project Address:
33 Daniel Bram Drive, Vaughan, ON L6A 0L4

Drawing Title:
SITE PLAN & INDEX SHEET

Date: Mar. 27, 2022

Scale: 1:150

Drawing No. A-1

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
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Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review
Building Standards (Zoning)	X			General Comments

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: September 14, 2022
Applicant: Larisa & Gary Kleiman
Location: PLAN 65M3924 Lot 30 municipally known as 33 Daniel Bram Drive
File No.(s): A231/22

Zoning Classification:

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.848 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
	n/a	

The subject lands are zoned RD3 – Residential Detached Zone Three and subject to the provisions of Exception 9(1200) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A maximum encroachment of 1.80m is permitted into the rear yard for the exterior stairways. [3.14.c]	To permit a maximum encroachment of 2.03m into the required rear yard for the exterior stairways.
2	A maximum encroachment of 1.8m is permitted into the rear yard for the deck. [3.14.c]	To permit a maximum encroachment of 2.49m into the required rear yard for the deck.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-112976 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: August 25th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A231-22**

Related Files:

Applicant Larisa & Gary Kleiman

Location 33 Daniel Bram Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Development Services](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A231/22 (33 DANIEL BRAM DRIVE) - REQUEST FOR COMMENTS
Date: Wednesday, September 7, 2022 1:40:44 PM
Attachments: [image002.png](#)
[image004.png](#)
[CIRC_A231_22.pdf](#)
[SCHEDA_A231_22.pdf](#)

Hello,

The Regional Municipality of York has completed its review of the minor variance – A231/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam_ahmed@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities – today and tomorrow

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Dofna (Yodfat) & Lucian Safin	29 Daniel Bram Drive	08/30/2022	Letter of Support
Public	Josef Kleiman	32 Daniel Bram Drive	08/02/2022	Letter of Support

**Attn: Mr. Ian Reynolds
Development Engineering Reviewer,
Development Services and Environmental Engineering
Municipality of Vaughan**

Dear Sir,

Re: Minor Variance application A231/22 at 33 Daniel Bram Drive

In response to your letter (via Email) sent to our neighbour Mr. Gary Kleiman, on August 24, 2022, we the undersigned, residing next door at 29 Daniel Bram Dr. Maple, can hereby confirm that the paved pathway, the part that is alongside our neighbours house, between our two houses, has indeed existed for at least 12 years (it has already been in place before Mr. Kleiman has purchased the house). We can also confirm that we have never experienced any water or draining issues or problems such as flooding or ponding that can be attributed or related to the pathway in any way.

Please feel free to contact us at any time to verify the above.



Signature



Signature

Dafna (Yodfat) Savin

Full name

Lucian Savin

Full name



Phone / Email



Phone / Email

August 2, 2022

To the Municipality of the City of Vaughan,

Hello,

Re: Minor Variance Application made for 33 Daniel Bram Dr. Maple

With regards to the application made by my neighbor (and brother) Mr. Gary Kleiman, I would like to hereby express my unconditional and irrevocable support for the approval of Registered plan # 65M – 3924 for lot # 30.

All the proposed changes are located in the backyard and will not affect the visibility of the property, all while allowing Mrs. Bella Kleiman (our mother) wheelchair access to the basement to participate in family gatherings and events.

Respectfully,



**Josef Kleiman
32 Daniel Bram Dr.
Maple, Ontario L6A 0L4**

