

ITEM 6.16:	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A193/22 58 Keatley Dr Maple
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X	X	Recommend Approval w/Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A193/22
58 Keatley Dr Maple ON**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.16	CITY WARD #: 4
APPLICANT:	Youbart Yousif
AGENT:	J-R Home Designer Inc. (John Ramirez)
PROPERTY:	58 Keatley Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3, Third Density Residential Zone and subject to the provisions of Exception 14.1014 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 2.4 m is required for a residential accessory structure (cabana). [4.1.2. b)]	To permit a minimum rear yard setback of 0.64 m for a residential accessory structure (cabana).
2	A minimum interior side yard setback of 2.4 m is required for a residential accessory structure (cabana). [4.1.2 (1)(b)]	To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (cabana).

The subject lands are zoned RD3, Residential Detached Zone Three, and subject to the provisions of Exception 9(1385) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum rear yard setback of 7.5 m is required for an accessory structure (cabana). [4.1.1 c) and Schedule A3]	To permit a minimum rear yard setback of 0.64 m for an accessory structure (cabana).
4	A minimum interior side yard setback of 1.2 m is required for an accessory structure (cabana). [4.1.1 c) and Schedule A3]	To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (cabana).

HEARING INFORMATION

DATE OF MEETING: Thursday, September 22, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION	
THE DEADLINE TO <u>REGISTER TO SPEAK</u> OR <u>SUBMIT WRITTEN COMMENTS</u> ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	September 8, 2022	
Date Applicant Confirmed Posting of Sign:	September 5, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	It is very hard to comply with old and new by law at the same time in regard to the proposal	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	N/A	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	General Comments	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That the final Landscaping Plan be approved to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the proposed dwelling in the subject property 38.83m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City’s Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit.	

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	
The Development Engineering (DE) Department does not object to variance application A193/22 subject to the following condition:	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comments at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning michelle.perrone@vaughan.ca	That the final Landscaping Plan be approved to the satisfaction of the Development Planning Department.

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.</p>

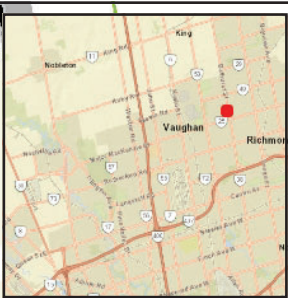
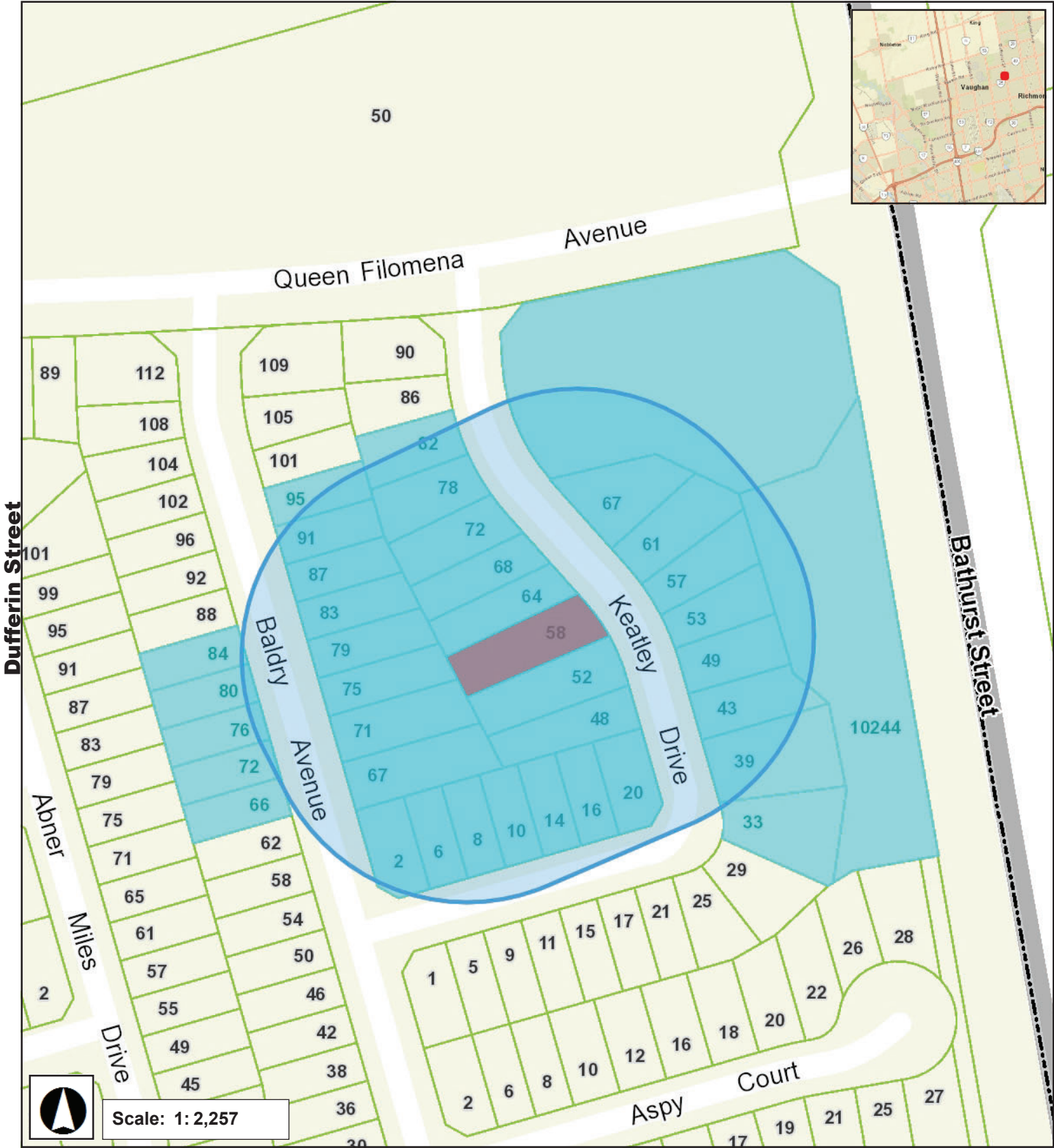
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A193/22

58 KEATLEY DRIVE, MAPLE

Teston Road



Major Mackenzie Drive

July 28, 2022 9:35 AM

DRAWINGS MUST NOT BE SEALED

DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL

NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no notations has been made in the design nor intended to provide a building construction. It is the responsibility of the contractor to provide all existing conditions, including but not limited to, temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

JOHN RAMIREZ	DATE	3/21/22
REGISTRATION INFORMATION	11/03/13	
J-R HOME DESIGNER INC.	BCIN	

COMMIT TO USE



J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3A9, T41-6-737-9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com
PROJECT ADDRESS
58 KEATLEY DR
VAUGHAN, ONTARIO

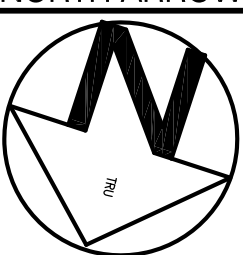
PROJECT TITLE
NEW CABANA

DRAWING SHEET
FLOOR & ROOF PLANS & CONST. NOTES

SCALE
AS NOTED

Drawn By: GUNJAN ATKOTIYA
Checked By: JOHN RAMIREZ
Page Number

NORTH ARROW



A02

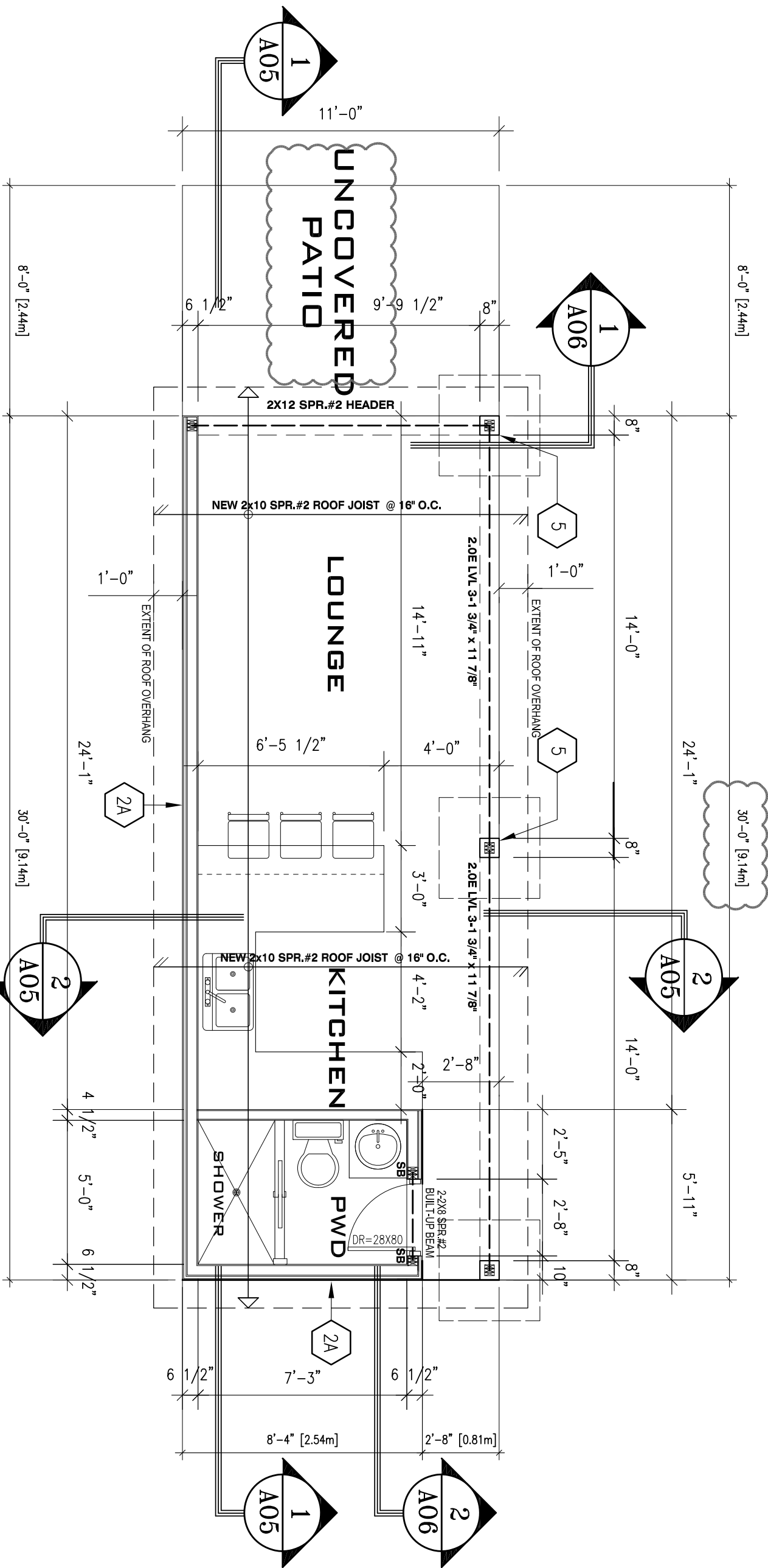
CONSTRUCTION NOTES

- CABANA'S FLOOR SLAB:
3" (75) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED
NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- LIMITING DISTANCE GREATER THAN 3'-11" (1.20m)
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28 AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" MINIMUM EXTERIOR RIGID INSULATION BOARD ON APPROVED DRAINAGE MAT ON 1/2" DENSGLASS GOLD GYPSUM BOARD ON 2x4 SPRUCE STUDS @ 16" O.C., APPROVED 6 MIL VAPOUR BARRIER, 1/2" GYPSUM WALLBOARD INTERIOR FINISH.
- LIMITING DISTANCE LESS THAN 3'-11" (1.20m) (45 MIN.FRR)
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28 AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" MINIMUM EXTERIOR RIGID INSULATION BOARD ON APPROVED DRAINAGE MAT ON 1/2" DENSGLASS GOLD GYPSUM BOARD ON 2x4 SPRUCE STUDS @ 16" O.C., 1/2" TYPE X GYPSUM WALLBOARD INTERIOR FINISH.
- GRAVEL ON 3 PLY FELT ROOFING 3/4" PLYWOOD SHEATHING ON 2X2 PURLINS @ 400 O.C. PERPENDICULAR TO ROOF JOIST
- PRE-FINISHED ALUMINUM FASCIA BOARD & VENTED SOFFIT FINISH AS PER ELEVATIONS
- DOUGLAS 8"x8" FIR POST TIED W/ NON-CORROSIVE METAL BRACKET AT TOP OF 10"x10"x48" 32 MPA CONC. PIER 1/2" NON-CORROSIVE ANCHOR EMBEDDED 4" MIN INTO CONCRETE PIER. WOOD POST TIE TO METAL BRACKET WITH 4 3/8" MACHINE BOLTS. CONCRETE PIERS TO BE MIN 4' BELOW GRADE(TYP)

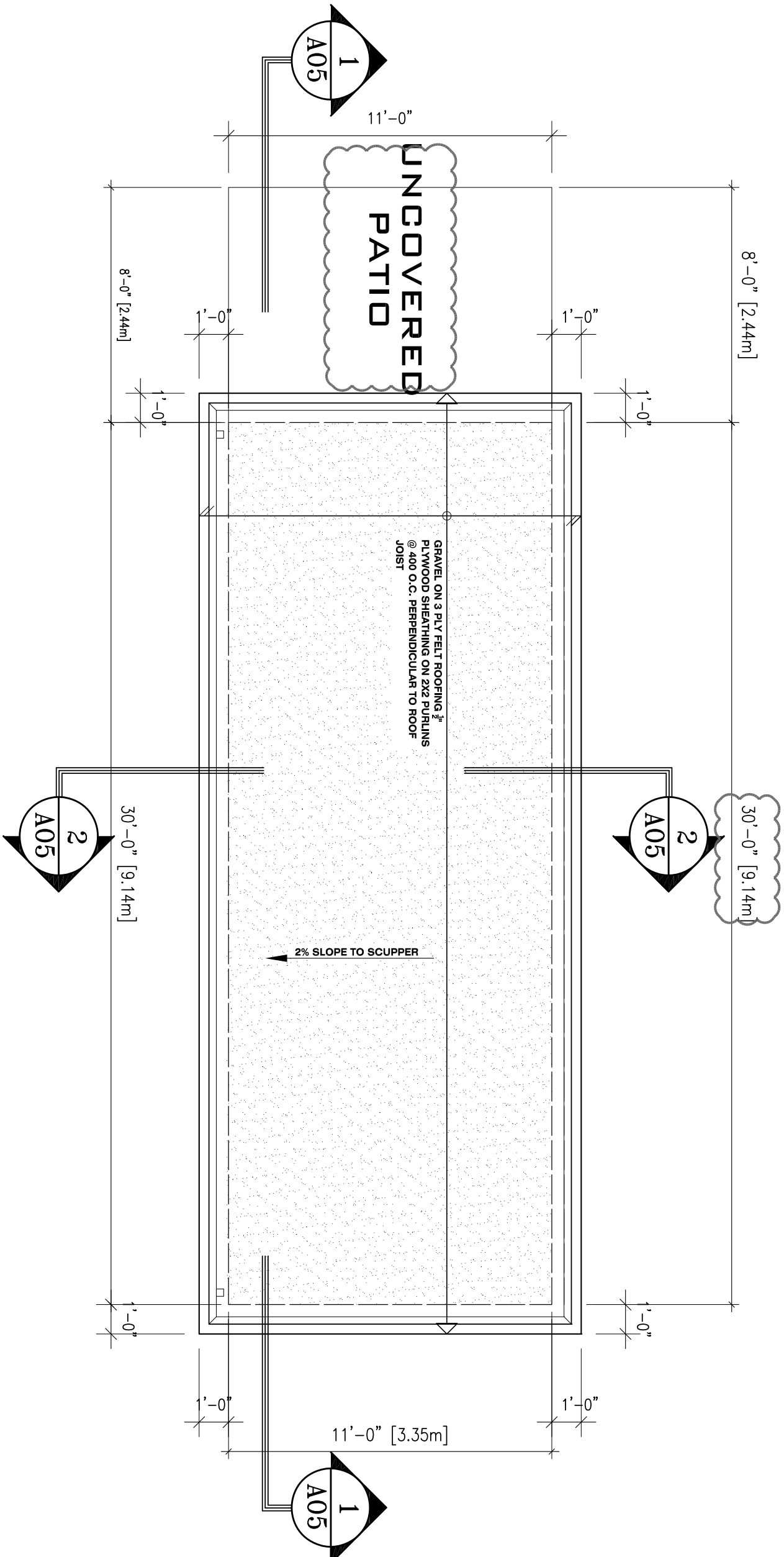
GENERAL NOTES

- MINIMUM CONCRETE STRENGTH SHALL BE 15MPa AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32MPa W/ 5%-8% AIR ENTRAINMENT.
- FOOTINGS
POURED CONC. FOOTING
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACT GRANULAR FILL
- CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT
- EXTERIOR STAIRS
7 7/8" RISER MAXIMUM 4 7/8" MINIMUM
8 1/2" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
- PRE-ENGINEERED GUARDS
42" HIGH GUARD RAILING WHERE DISTANCE HEIGHT IS GREATER THAN 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

3 CONSTRUCTION NOTES



1 MAIN FLOOR PLAN SCALE: 1/4" = 1'-0"



2 ROOF PLAN SCALE: 1/4" = 1'-0"

DRAWINGS MUST NOT BE SCALED

DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL

NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for correction of existing conditions. It shall be the responsibility of the contractor to provide all necessary temporary shoring, bracing, scaffolding, or temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.	REDUCED CABANA SIZE	2022.08.04	JR
REVISIONS			
No.	Description	DATE	BY
1.	REDUCED CABANA SIZE	2022.08.04	JR

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION

JOHN RAMIREZ
DESIGNER
J-R HOME DESIGNER INC.
32122
110513
BCH



J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3A5, T416.737.9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com
PROJECT ADDRESS
58 KEATLEY DR
VAUGHAN, ONTARIO

PROJECT TITLE
NEW CABANA

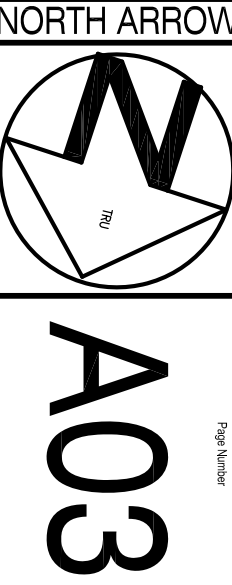
REVISIONS SHEET
SOUTHEAST & NORTHWEST ELEVATION

SCALE
AS NOTED

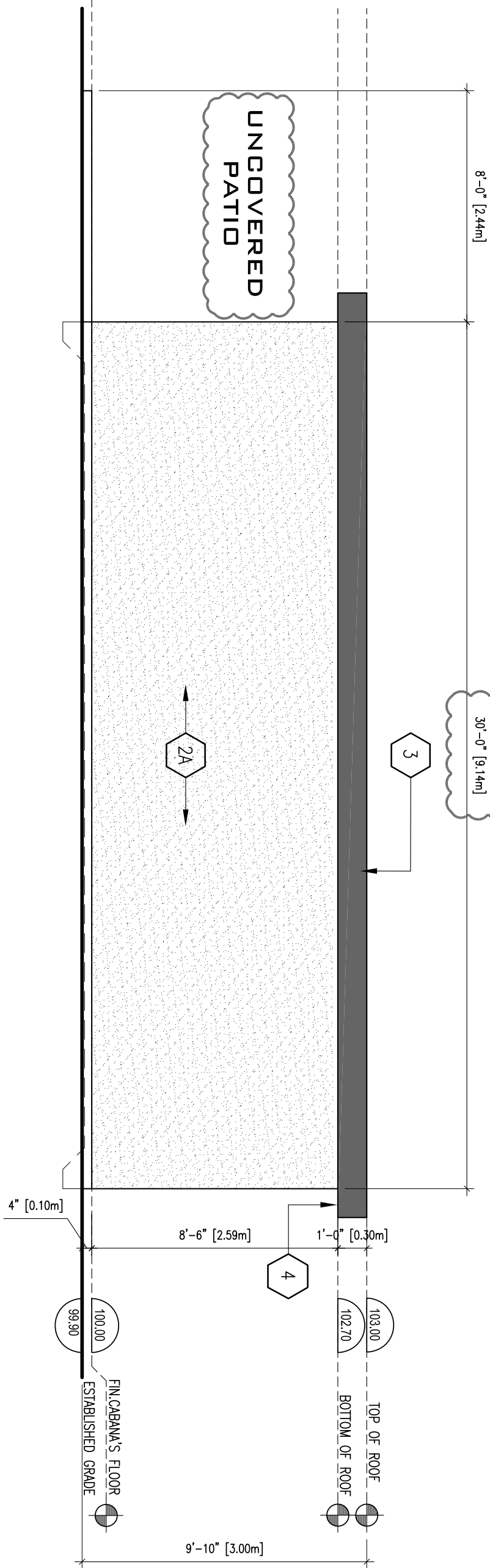
Drawn By:
GUNJAN ATKOTIYA

Checked By:
JOHN RAMIREZ

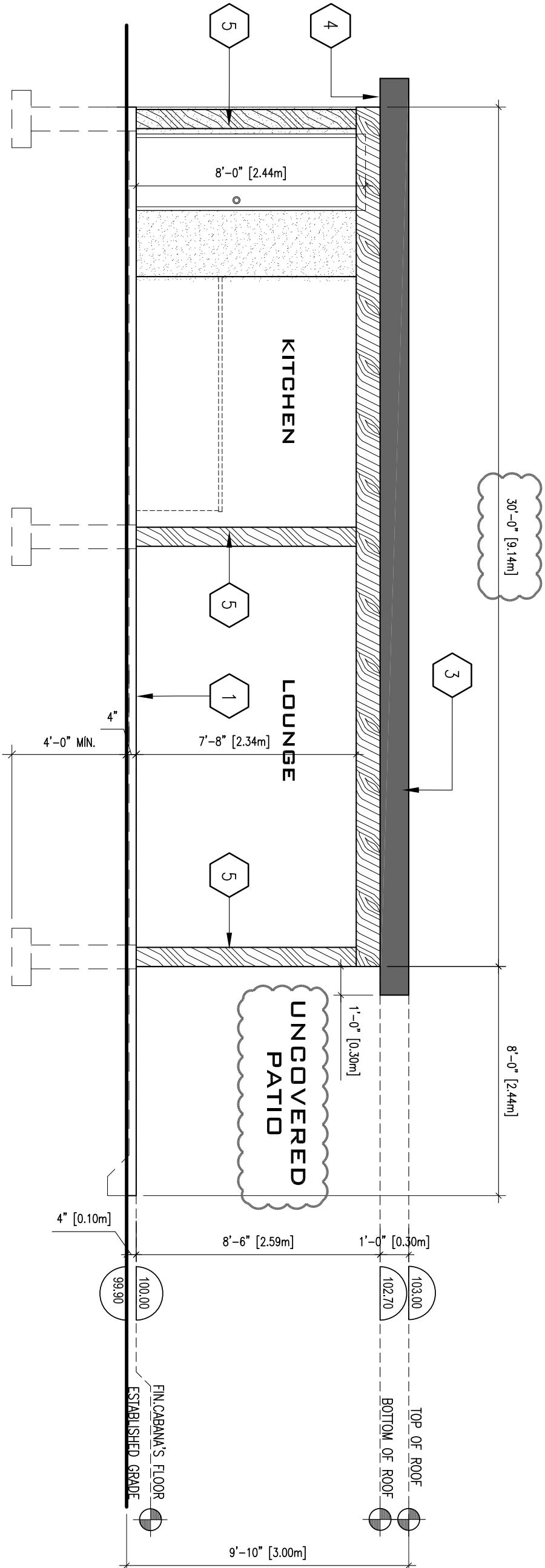
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2 NORTHWEST ELEVATION SCALE: 3/8" = 1'-0"



1 SOUTHEAST ELEVATION SCALE: 3/8" = 1'-0"



all dimensions are given in imperial units unless otherwise indicated.

[illegible]

Architectural section drawing showing a building's roof and floor levels. The drawing includes the following elements:


- Roof Level:** Indicated by a dashed line at the top. The vertical distance from the roof level to the floor level is labeled as 8'-6" [2.59m].
- Floor Level:** Indicated by a solid line. The vertical distance from the floor level to the established grade is labeled as 4" [0.10m].
- Established Grade:** Indicated by a dashed line at the bottom.
- Dimensions:**
 - Overall width: 9'-10" [3.00m]
 - Overall height: 1'-0" [0.30m]
- Callouts:**
 - Callout 3 points to the roof level.
 - Callout 4 points to the floor level.
- Level Markers:**
 - TOP OF ROOF: 103.00
 - BOTTOM OF ROOF: 102.70
 - FIN. CABANA'S FLOOR: 100.00
 - ESTABLISHED GRADE: 99.90

No.	Description	YYYYMMDD	By
8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.	REDUCED CABANA SIZE	2022.08.04	JR

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION



NAME	JOHN RAMIREZ	32125	BCIN
SIGNATURE			
REGISTRATION INFORMATION		110313	
J-R HOME DESIGNER INC.			BCIN



J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3J3, T-416.737.9413
E: jrhom@jrhomedesigner.com, www.jrhomedesigner.com

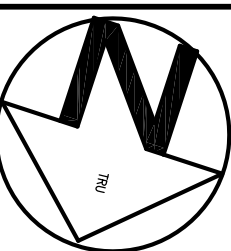
PROJECT ADDRESS:
58 KEATLEY DR
VAUGHAN, ONTARIO

VAUGHAN, ONTARIO

AS NOTE

Written By:	Checked By:
GUNJAN ATKOTIYA	JOHN RAMIREZ

Page Number



A04

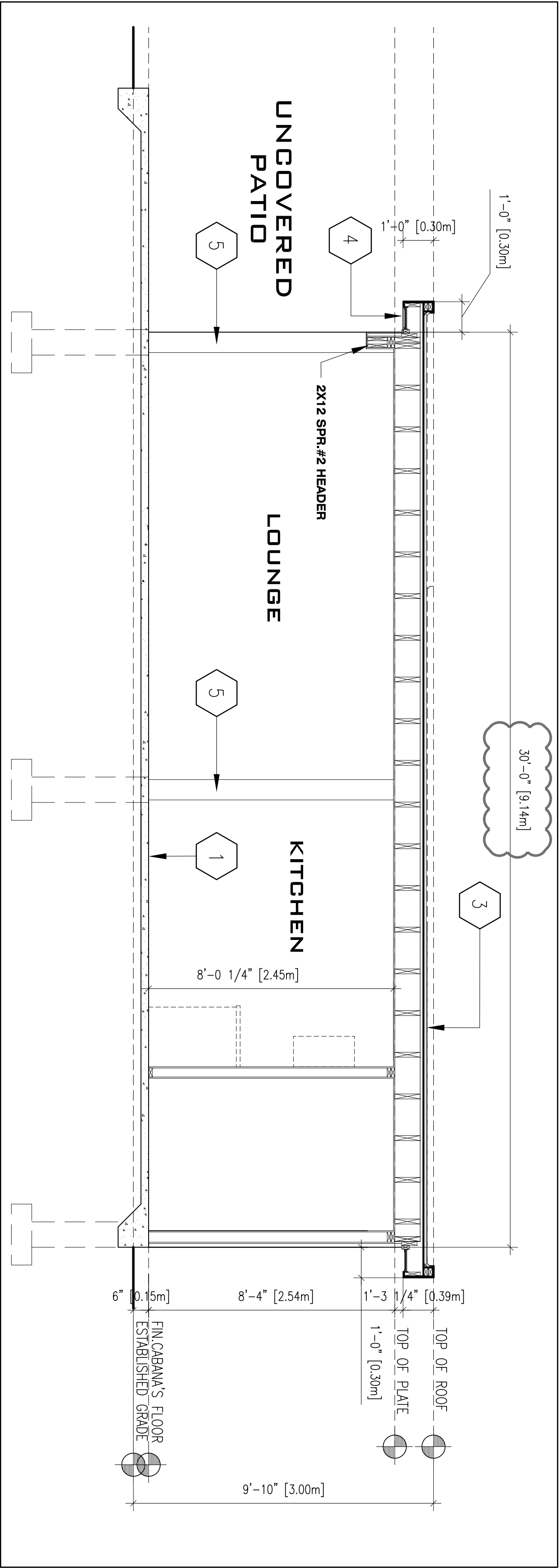
DRAWINGS MUST NOT BE SCALED

DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

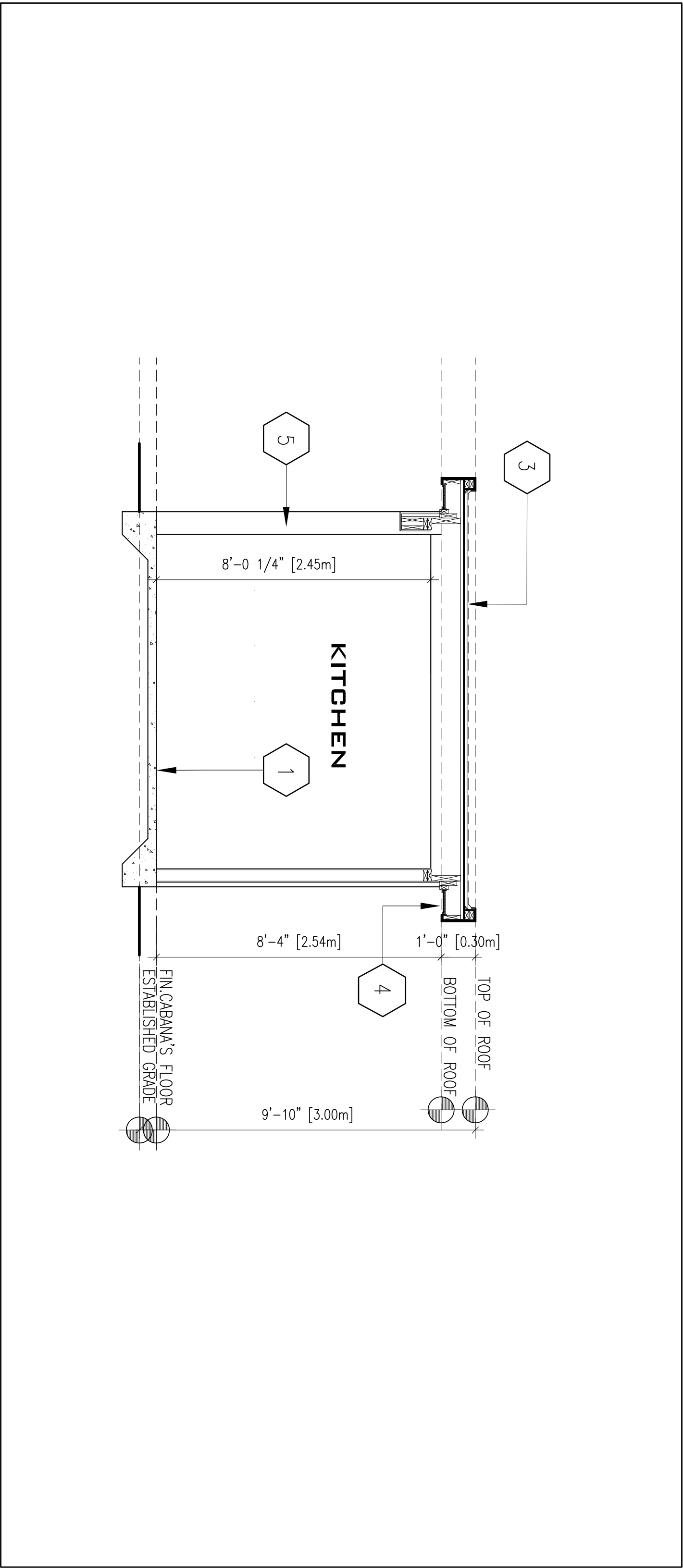
All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no modification has been made in the design nor has the designer accepted any responsibility for the construction. It shall be the responsibility of the contractor to provide all necessary temporary supports, shoring, bracing, or temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

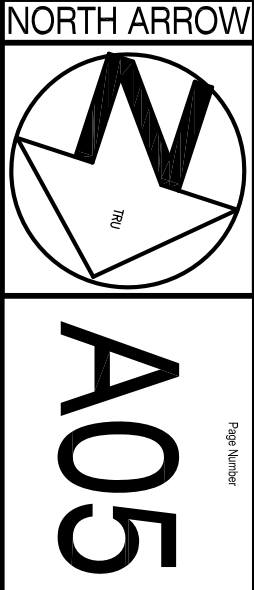
Note:



1 BUILDING SECTION SCALE: $\frac{3}{8}'' = 1'-0''$



2 BUILDING SECTION SCALE: $\frac{3}{8}'' = 1'-0''$



PROJECT TITLE		NEW CABANA	
DRAWING SHEET		BUILDING SECTIONS	
SCALE		AS NOTED	
Drawn By:		Checked By:	
GUNJAN ATKOTIYA		JOHN RAMIREZ	
371 Strawberry Crest, Waterloo, ON N2K 3A9, T416.737.9413		Page Number	
E: john@jrhomedesigner.com, www.jrhomedesigner.com			
PROJECT ADDRESS		58 KEATLEY DR	
VAUGHAN, ONTARIO			
COMPANY PHONE			
JOHN RAMIREZ		321.22	
DESIGNER		110513	
J.R. HOME DESIGNER INC.		BCIN	
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION			
No. Description		By	
1. REDUCED CABANA SIZE		2022.08.04 JR	
PERSONS		YYYY/MM/DD	
8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.			

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval w/Conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: September 15, 2022

Name of Owner: Youbart Yousif

Location: 58 Keatley Drive

File No.(s): A193/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback of 0.64 m for a residential accessory structure (cabana).
2. To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (cabana).

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard setback of 2.4 m is required for a residential accessory structure (cabana).
2. A minimum interior side yard setback of 2.4 m is required for a residential accessory structure (cabana).

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum rear yard setback of 0.64 m for an accessory structure (cabana).
4. To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (cabana).

By-Law Requirement(s) (By-law 1-88):

3. A minimum rear yard setback of 7.5 m is required for an accessory structure (cabana).
4. A minimum interior side yard setback of 1.2 m is required for an accessory structure (cabana).

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of a proposed cabana with the above noted variances.

Upon recommendations from the Development Planning Department, the Owner has revised their application to decrease the length of the proposed cabana to mitigate anticipated adverse massing impacts on the neighbouring rear yards. Urban Design staff have also reviewed the proposal and require a coniferous hedgerow be planted along the rear and side of the cabana to further screen it from the abutting rear yards of 71 and 75 Baldry Avenue. A condition to this effect is included in the Conditions of Approval. The Development Planning Department has no objection to the proposed variances as the revised cabana in combination with the hedgerow planting is not anticipated to have significant adverse impacts on the neighbouring properties and provides sufficient area for safe access and drainage.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the final Landscaping Plan be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: August 8, 2022
Applicant: Youbart Yousif
Location: 58 Keatley Drive
Plan 65M4491 Lot 21
File No.(s): A193/22

Zoning Classification:

The subject lands are zoned R3, Third Density Residential Zone and subject to the provisions of Exception 14.1014 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 2.4 m is required for a residential accessory structure (cabana). [4.1.2. b)]	To permit a minimum rear yard setback of 0.64 m for a residential accessory structure (cabana).
2	A minimum interior side yard setback of 2.4 m is required for a residential accessory structure (cabana). [4.1.2 (1)(b)]	To permit a minimum southerly interior side yard setback of 0.61 m for a residential accessory structure (cabana).

The subject lands are zoned RD3, Residential Detached Zone Three, and subject to the provisions of Exception 9(1385) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum rear yard setback of 7.5 m is required for an accessory structure (cabana). [4.1.1 c) and Schedule A3]	To permit a minimum rear yard setback of 0.64 m for an accessory structure (cabana).
4	A minimum interior side yard setback of 1.2 m is required for an accessory structure (cabana). [4.1.1 c) and Schedule A3]	To permit a minimum southerly interior side yard setback of 0.61 m for an accessory structure (cabana).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 22 103759 has been submitted for a residential accessory structure (cabana).

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

Date: July 21st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A193-22**

Related Files:

Applicant Youbart Yousif

Location 58 Keatley Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A193/22 (58 KEATLEY DRIVE) - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: August-25-22 12:44 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A193/22 (58 KEATLEY DRIVE) - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of updated minor variance A193-22 (58 Keatley Drive) and has no comment.

Many thanks,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				