

ITEM #: 6.8	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A114/22 8 Old Humber Crescent, Kleinburg
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X			General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X	X	Recommend Approval w/Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X	X	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X	X		General Comments with requirement to obtain written consent (see Schedule B)
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A114/22
8 Old Humber Crescent, Kleinburg**

FILE MANAGER: Adriana Bozzo, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.8	CITY WARD #: 1
APPLICANT:	Subodh Sharma
AGENT:	Georgio Lolos
PROPERTY:	8 Old Humber Cr Kleinburg ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of an addition to the existing single family dwelling, cabana and swimming pool.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.459 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum required rear yard is 15.0 metres. [7.2.2, Table 7-3]	To permit a minimum rear yard of 7.16 metres for the proposed dwelling.
2	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21 2]	To permit the proposed swimming pool to not be constructed only in the rear yard.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the accessory building (cabana) to be 3.60 m.
4	The maximum permitted height is 9.5 metres. [4.5 1 and 7.2.2, Table 7-3]	To permit a maximum height of 9.65 m.
5	The minimum interior side yard shall be equal to the existing interior side yard: 23.99 m. [4.5 2 and 7.2.2, Table 7-3]	To permit a minimum interior side yard of 11.0 metres.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(741) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard is 15.0 metres. [4.1.9, Schedule A]	To permit a minimum rear yard of 7.16 metres for the proposed dwelling.
7	Any accessory building or structure shall be located in the rear yard.[4.1.1 c)]	To permit the proposed accessory building (cabana) to not be located entirely in the rear yard.
8	A private swimming pool shall be constructed only in the rear yard. [4.1.1 i)]	To permit the proposed private swimming pool to not be constructed only in the rear yard.
9	The maximum permitted lot coverage is 10%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 12.48%.
10	The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit a maximum height of the proposed accessory building (cabana) to the nearest part of the roof of 3.12 metres.

#	Zoning By-law 1-88	Variance requested
11	The maximum permitted building height is 9.5 metres. [4.1.9, Schedule A]	To permit a maximum building height of 9.65 metres.

HEARING INFORMATION
<p>DATE OF MEETING: Thursday, September 22, 2022</p> <p>TIME: 6:00 p.m.</p> <p>MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan</p> <p>LIVE STREAM LINK: Vaughan.ca/LiveCouncil</p>
<p>PUBLIC PARTICIPATION</p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	September 8, 2022
Date Applicant Confirmed Posting of Sign:	September 1, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Existing site conditions and owner's design requirements.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed structures in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit City of Vaughan website to learn how to apply for the pool permit.</p> <p>The Development Engineering (DE) Department does not object to variance application A114/22 subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. To apply for a Grading and/or Servicing Permit, please visit City of Vaughan website or contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
No concerns subject to recommended conditions of approval.	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE COMMENTS	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p> <p>Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.</p>	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
Transcanada pipeline easements = all buildings and structures shall be set back a minimum distance of 5.24 metres from the easement.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
2	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. To apply for a Grading and/or Servicing Permit, please visit City of Vaughan website or contact the Development Engineering Department through email at DEPermits@vaughan.ca .
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

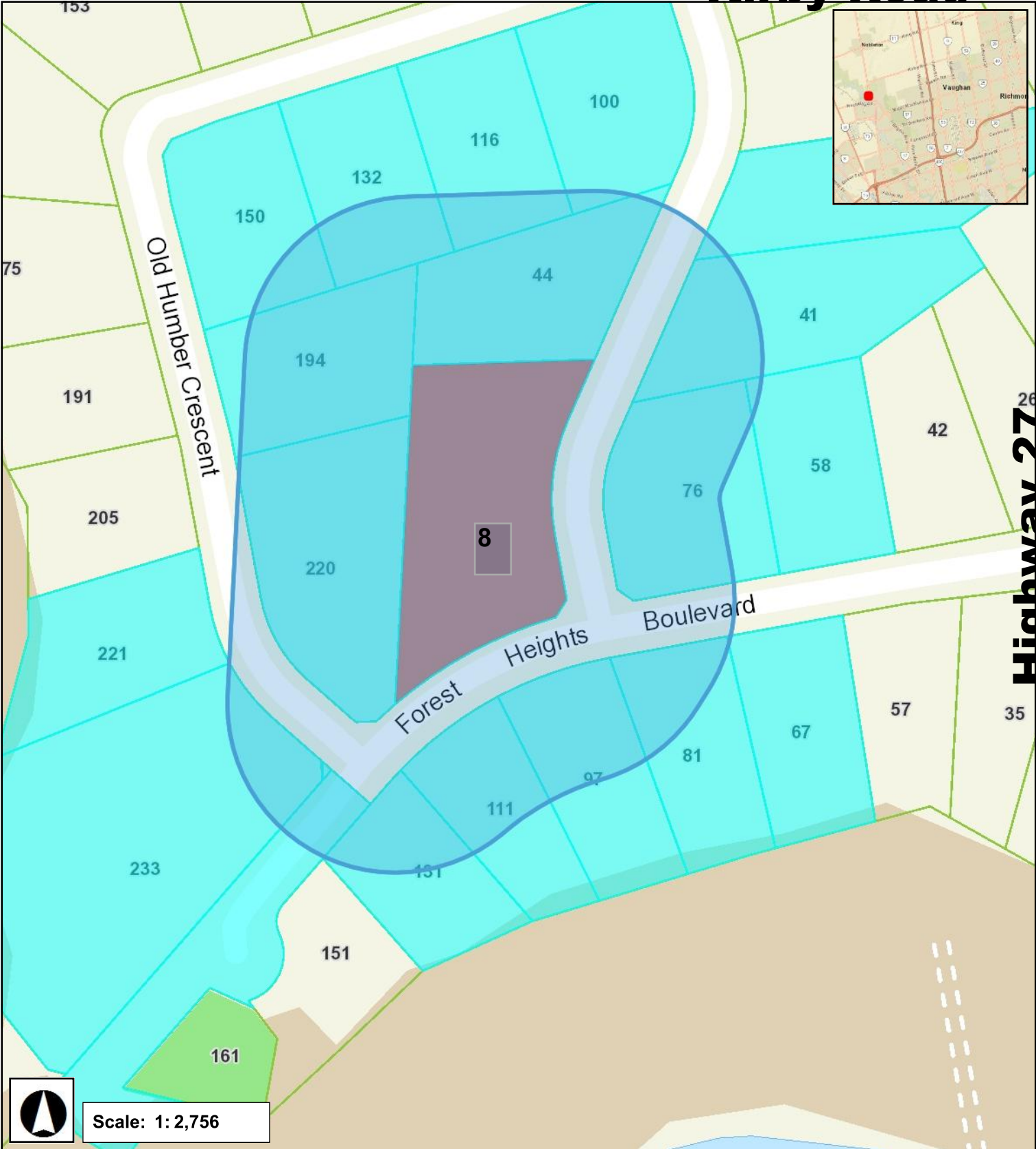
SCHEDULE A: DRAWINGS & PLANS



A114/22 - Notification Map

8 Old Humber Crescent, Kleinburg

Kirby Road



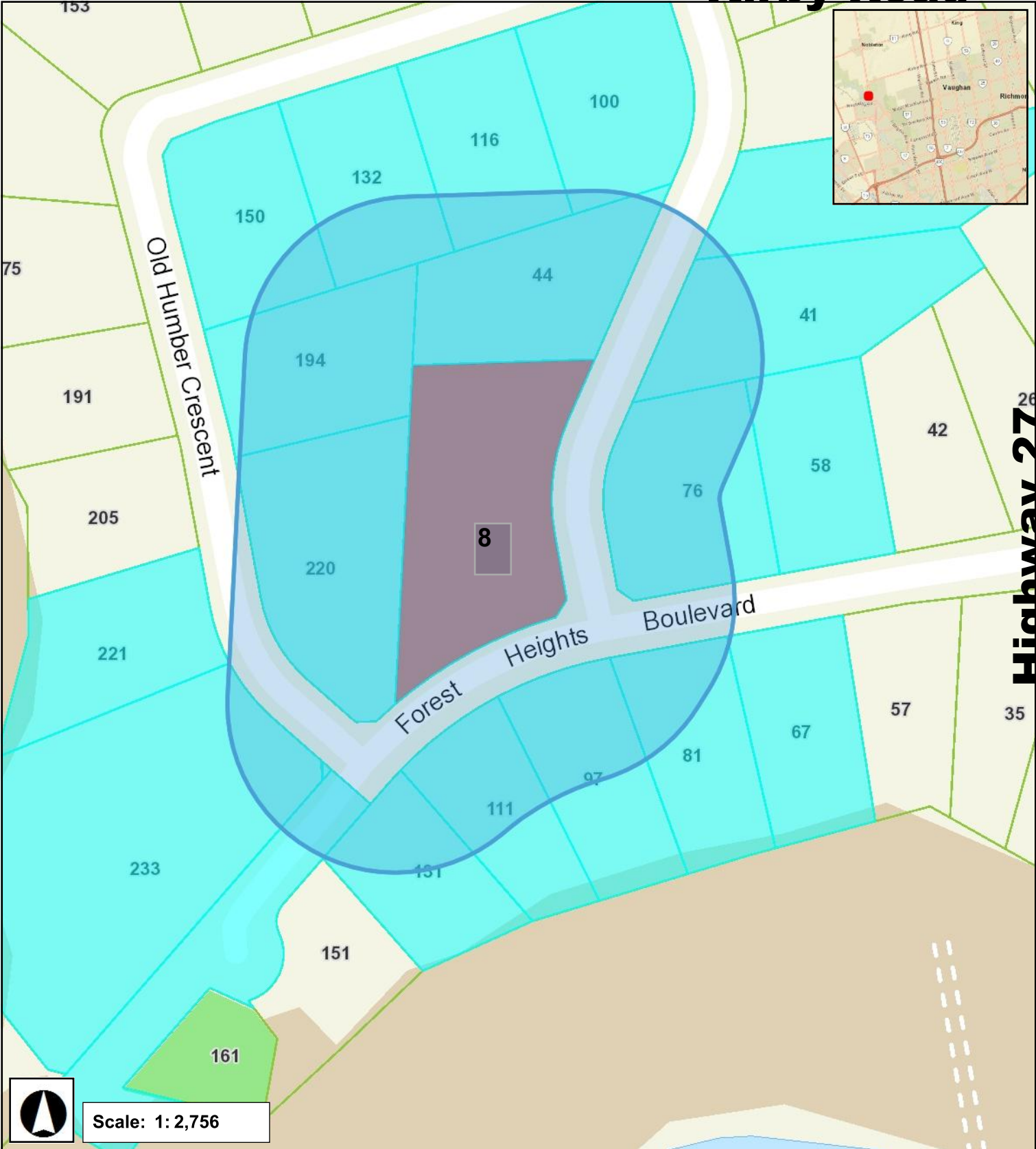
Scale: 1: 2,756



A114/22 - Notification Map

8 Old Humber Crescent, Kleinburg

Kirby Road



Scale: 1: 2,756

LEGAL DESCRIPTION:

LOT 32 REGISTERED PLAN 65M-2928
CITY OF VAUGHAN
P.I.N. 03349-0069 (LT)

VLADIMIR DOSEN SURVEYING INC.

PLANS PREPARED BY APPLICANT

Received 8/24/22

DETAIL NO.

DETAIL SHEET NO.

REVISIONS

NO.		DATE
1	PRELIMINARY CONCEPT REVIEW	11/23/21
2	REVISED AS PER CLIENT REVIEW	03/11/22
3	ISSUED FOR COA REVIEW	03/21/22
4	REFLECT VARIANCES LOCATION AS PER APPL. EXAMINER	07/21/22
5	REVISED SOUTH WING ADDITION AS PER DEVT PLANNING COMMENTS	08/24/22

LEGEND

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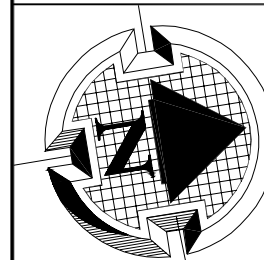
CONSULTING DESIGN BY:

Georgio Lolos Design Inc.

A Division of Delta Design



Distinctive & Innovative Design



220-11 DUNCAN MILL RD
TORONTO, ONTARIO
M3B 3J8

TEL: (416) 635-5108
FAX: (416) 794-1198
glolos@glolosdesigns.com

PROPOSED 2-STORY ADDITION FOR:

SHARMA RESIDENCE
8 OLD HUMBER CRESCENT,
VAUGHAN, ONTARIO

SITE PLAN

DRAWN BY:
I.A.

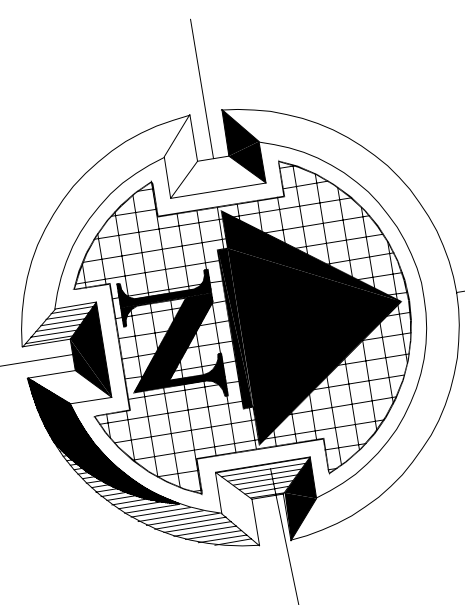
CHECKED BY:
G.L.

SHEET:
SP

DATE:
AUG, 2022

SCALE:
1:200

FILE:
22-10



SUBJECT TO EASEMENT
AS IN INSTRUMENT N° LT872370
PART 1, PLAN 65R-15979

SUBJECT TO EASEMENT
AS IN INSTRUMENT N° VA41611
PART 4, PLAN 65R-15885

LOT COVERAGE
= 12.48% = #13

8 OLD HUMBER CRESCENT - INFORMATION

LOT AREA	7336827 SF	681614 SM
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LOT COVERAGE:			
EXIST. BUILDING COVERAGE:	493.06 SF	41928 SM	6.15%
PROP. BUILDING COVERAGE:	3709.38 SF	344.61 SM	5.06%
COVERED LOGGIA	2203.0 SF	20.49 SM	0.30%
CABANA AREA	716.16 SF	66.59 SM	0.98%
TOTAL COVERAGE:	9159.70 SF	850.96 SM	12.48%

BASEMENT / LOWER FLOOR AREA:

EXIST. BASEMENT / LOWER FLOOR GFA (INTERIOR ALTERATIONS)	4285.09 SF	398.10 SM
EXIST. 1-CAR GARAGE CONVERTED TO BEDRM AREA	34028 SF	3161 SM

GROSS FLOOR AREAS:

EXIST. FIRST FLOOR GFA (INTERIOR ALTERATIONS)	3546.32 SF	329.46 SM
PROP. FIRST FLOOR GFA	108.21 SF	10.05 SM
OVERALL FIRST FLR GFA	3654.53 SF	339.52 SM

EXIST. SECOND FLOOR GFA (INTERIOR ALTERATIONS)	1875.0 SF	174.23 SM
PROP. SECOND FLOOR GFA	174.13 SF	16.18 SM
OVERALL SEC. FLR GFA	2049.13 SF	190.41 SM

PROP. WEST-WING ADDITION	115.19 SF	103.60 SM
PROP. SOUTH-WING ADDITION		
LOWER FLOOR AREA	368.44 SF	33.91 SM
UPPER FLOOR AREA	527.56 SF	49.01 SM
TOTAL AREA	1496.00 SF	138.98 SM

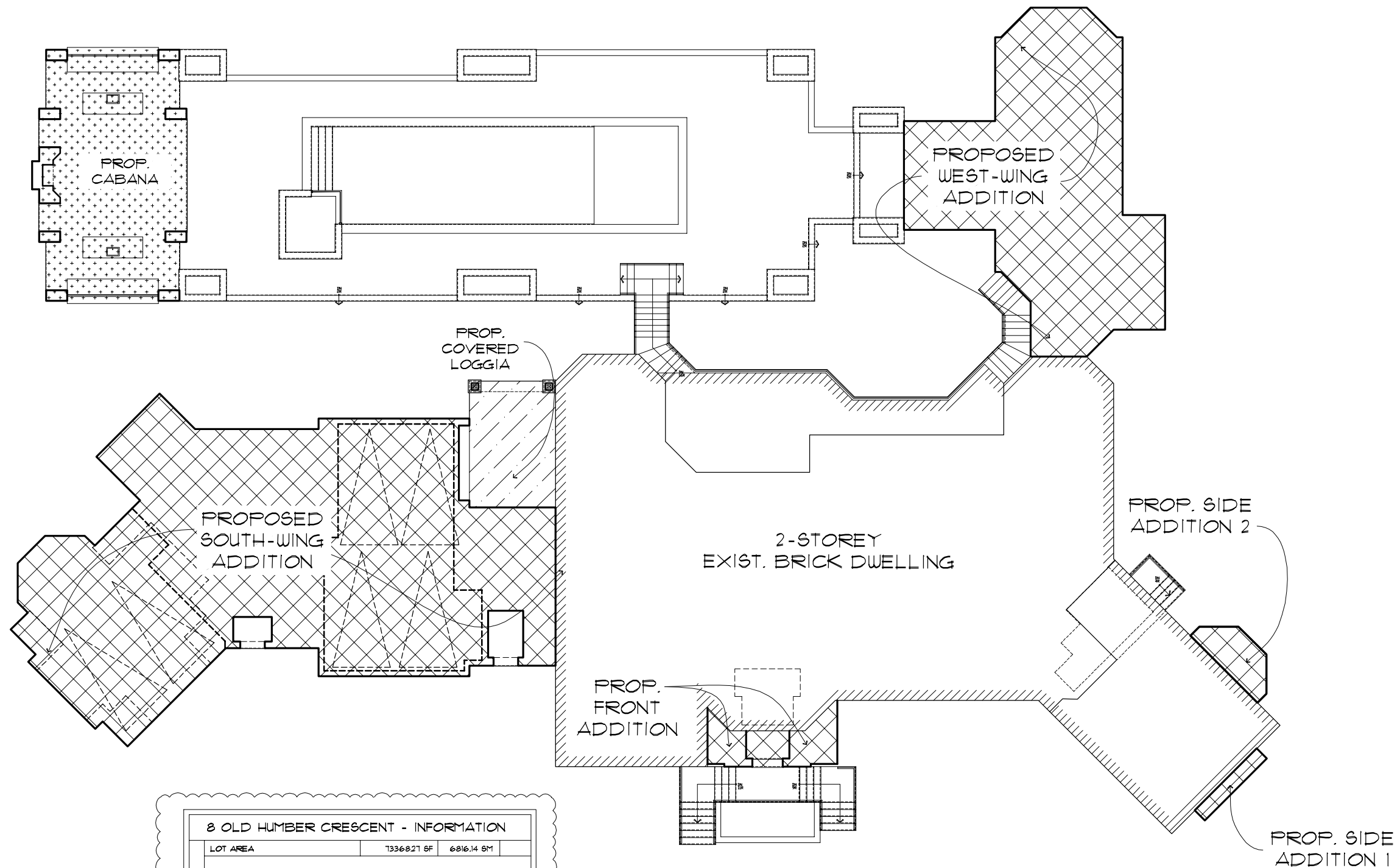
EXIST. GFA	5421.12 SF	503.69 SM	7.39%
PROP. GFA	2893.53 SF	268.82 SM	3.94%
TOTAL GROSS FLOOR AREA	8314.65 SF	772.51 SM	11.33%

NEW BY-LAW COVERAGE CALCULATIONS (INCLUDING OVERHANGS):

LOT AREA	7336827 SF	681614 SM
EXIST. BLDG. COVERAGE:	4483.35 SF	416.52 SM
PROP. BLDG. COVERAGE (WITH FLAT ROOFS)	802.06 SF	74.51 SM
PROP. BLDG. COVERAGE (WITH PITCH ROOFS)	3323.74 SF	308.79 SM
CABANA AREA	738.33 SF	68.59 SM
TOTAL COVERAGE:	9347.48 SF	868.41 SM

OLD HUMBER CRESCENT

ALL SITE PLAN INFORMATION
IS TAKEN FROM PLAN OF
SURVEY AS PREPARED BY
VLADIMIR DOSEN SURVEYING
INC. DATED AUG. 24, 2021.



8 OLD HUMBER CRESCENT - INFORMATION				
LOT AREA	7336.27 SF	6816.14 SM		
LOT COVERAGE:				
EXIST. BUILDING COVERAGE:	4513.06 SF	419.28 SM	6.15%	
PROP. BUILDING COVERAGE:	3709.38 SF	344.61 SM	5.06%	
COVERED LOGGIA	220.50 SF	20.49 SM	0.30%	
CABANA AREA	716.76 SF	66.59 SM	0.98%	
TOTAL COVERAGE:	9159.70 SF	850.96 SM	12.48%	



REVISIONS

NO.		DATE
1	PRELIMINARY CONCEPT REVIEW	11/23/21
2	REVISED AS PER CLIENT REVIEW	03/11/22
3	ISSUED FOR MY APPLICATION	03/21/22
4	REV. AS PER ZONING COMMENTS	04/28/22
5	REV. AS PER ZONING COMMENTS	05/11/22
6	REVISED SOUTH WING ADDITION AS PER DEVT PLANNING COMMENTS	08/24/22

LEGEND

ARCHITECTURAL SEAL: STRUCTURAL SEAL:

BATTAGLIA ARCHITECT INC.

8888 KEELE STREET TEL: (905) 508-2168
UNIT 8 CONCORD, ONTARIO FAX: (416) 848-1967
L4K 2N2

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Georgio Lolos Design Inc.

A Division of Delta Design



Distinctive & Innovative Design

220 DUNCAN MILL RD.
SUITE 217
TORONTO, ONTARIO
M3B3J8

TEL: (416) 635-5708
FAX: (416) 794-7798

PROPOSED 2-STORY ADDITION FOR:
SHARMA RESIDENCE
8 OLD HUMBER CRESCENT,
VAUGHAN, ONTARIO

LOT COVERAGE
CALCULATION DIAGRAM

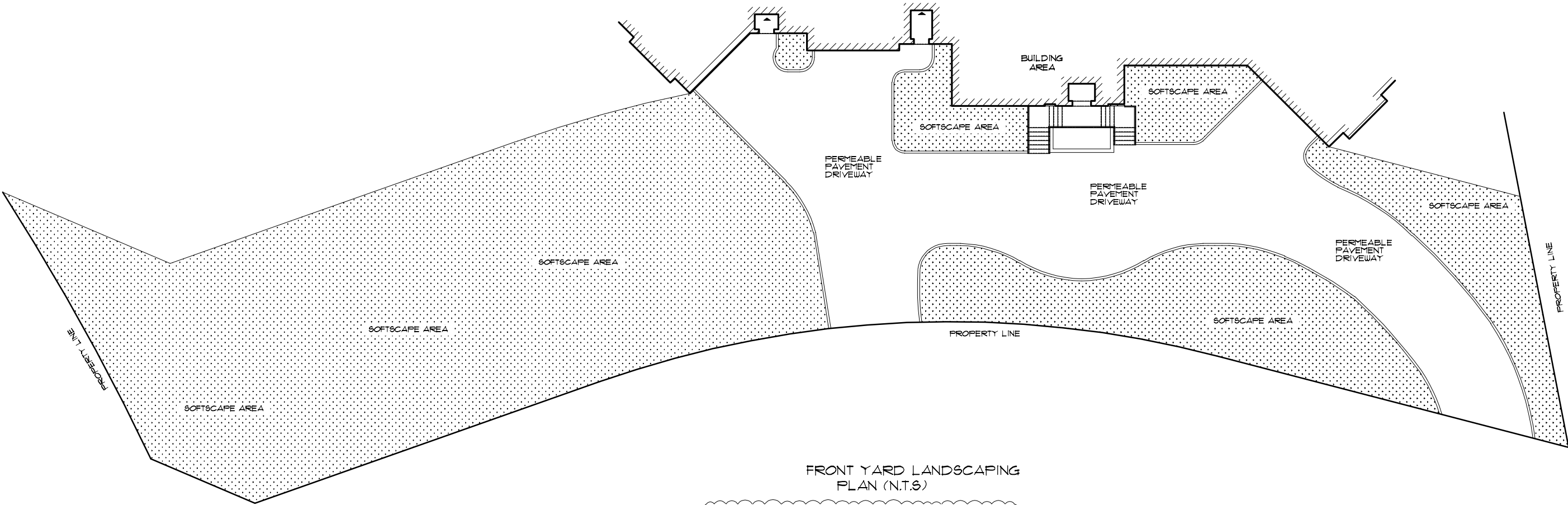
DRAWN BY: I.A.	CHECKED BY: G.L.	SHEET SF2
DATE AUG, 2022	SCALE 1:200	FILE 22-10

LEGAL DESCRIPTION:

LOT 32 REGISTERED PLAN 65M-2928
CITY OF VAUGHAN
P.I.N. 03349-0069 (LT)

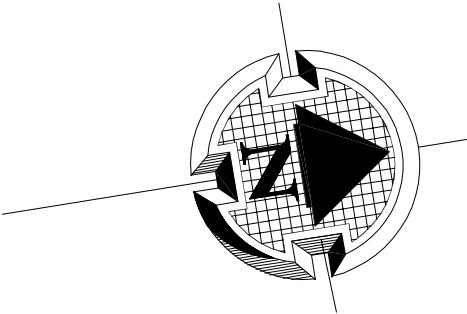
VLADIMIR DOSEN SURVEYING INC.

ALL SITE PLAN INFORMATION
IS TAKEN FROM PLAN OF
SURVEY AS PREPARED BY
VLADIMIR DOSEN SURVEYING
INC., DATED AUG. 24, 2021.



FRONT YARD LANDSCAPING
PLAN (N.T.S.)

FRONT YARD LANDSCAPING CALCULATIONS			
PERMEABLE DRIVEWAY AND WALKWAY	6015.85 SF	558.89 SM	29.88%
SOFTSCAPING AREA	14116.22 SF	1311.44 SM	70.12%
TOTAL AREA	20132.10 SF	1870.33 SM	100%



REVISIONS

NO.		DATE
1	PRELIMINARY CONCEPT REVIEW	11/23/21
2	REVISED AS PER CLIENT REVIEW	03/11/22
3	ISSUED FOR MY APPLICATION	03/21/22
4	REV. AS PER ZONING COMMENTS	04/28/22
5	REV. DRIVEWAY AS PER ZONING COMMENTS	05/26/22
6	REV. DRIVEWAY AS PER ZONING COMMENTS	06/13/22
7	REVISED SOUTH WING ADDITION AS PER DEVT PLANNING COMMENTS	08/24/22

LEGEND

ARCHITECTURAL SEAL: STRUCTURAL SEAL:

BATTAGLIA ARCHITECT INC.

8888 KEELE STREET TEL: (905) 508-2168
UNIT 8 FAX: (416) 848-1967
CONCORD, ONTARIO
L4K 2N2

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PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS
BEFORE COMMENCING WORK AND TO REPORT ANY
DISCREPANCIES TO THE DESIGNER
DO NOT SCALE DRAWINGS.

CONSULTING DESIGN BY:

Georgio Lolos Design Inc.

A Division of Delta Design



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TORONTO, ONTARIO
M3B3J8
TEL: (416) 635-5708
FAX: (416) 794-7798

PROPOSED 2-STORY ADDITION FOR:
SHARMA RESIDENCE
8 OLD HUMBER CRESCENT,
VAUGHAN, ONTARIO

LANDSCAPING PLAN
AND SITE STATISTICS

DRAWN BY: I.A.	CHECKED BY: G.L.	SHEET SP3
DATE AUG, 2022	SCALE NOT TO SCALE	FILE 22-10

REVISIONS

NO.		DATE
1	PRELIMINARY CONCEPT REVIEW	11/23/21
2	REVISED AS PER CLIENT REVIEW	03/11/22
3	ISSUED FOR COA REVIEW	03/21/22
4	REV. AS PER APPL. EXAMINER	05/11/22
5	REVISED SOUTH WING ADDITION AS PER DEVT PLANNING COMMENTS	08/24/22

LEGEND

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER. DO NOT SCALE DRAWINGS.

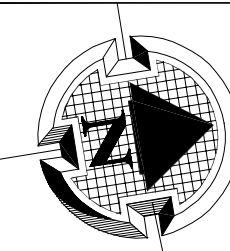
CONSULTING DESIGN BY:

Georgio Lolos Design Inc.

A Division of Delta Design



Distinctive & Innovative Design



220 DUNCAN MILL RD.
SUITE 217
TORONTO ONTARIO
M5S 2A5

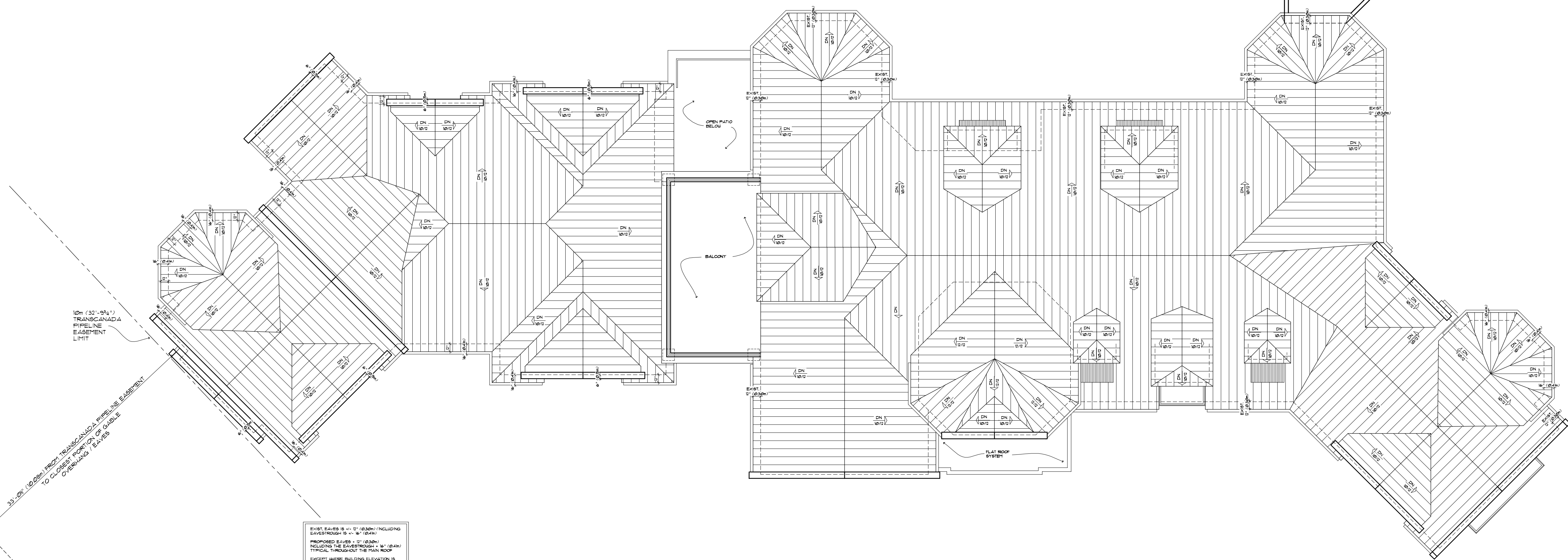
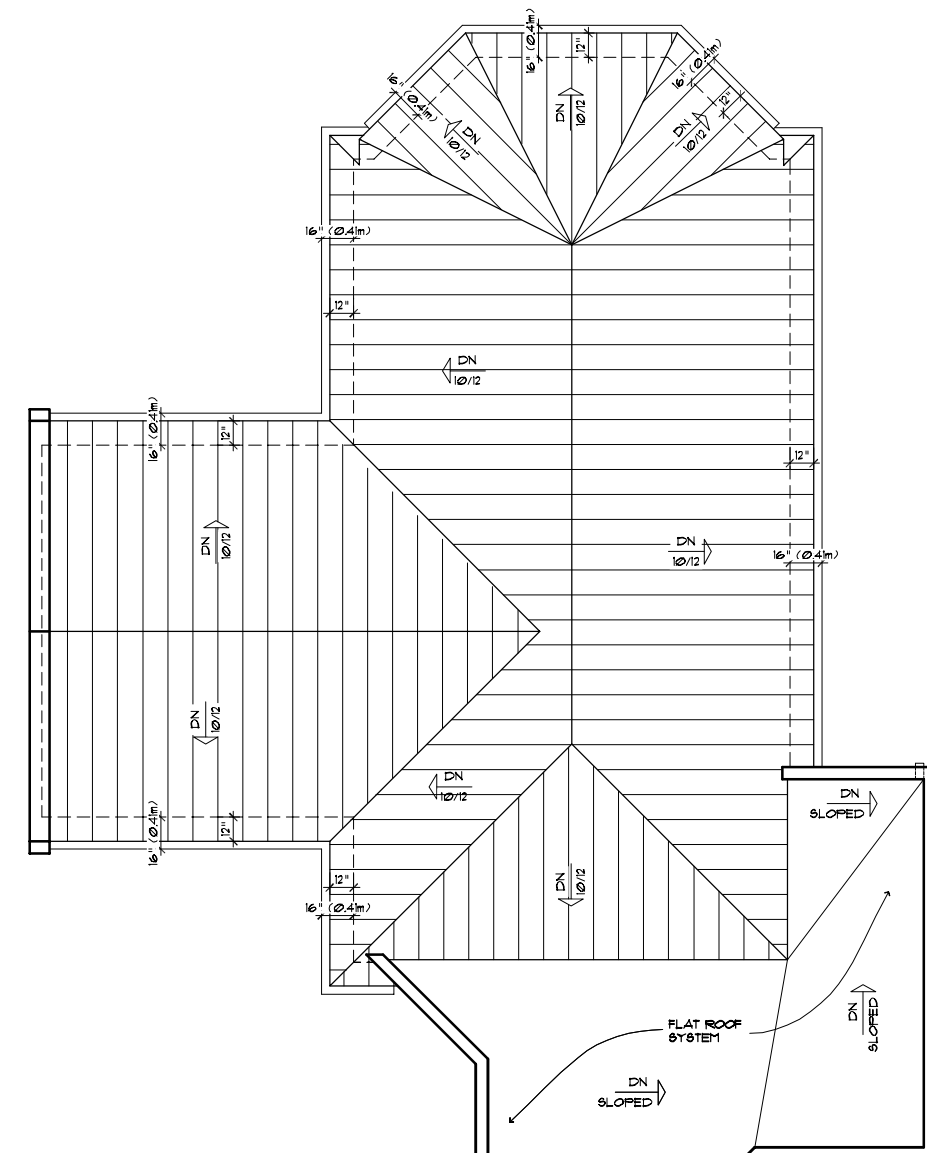
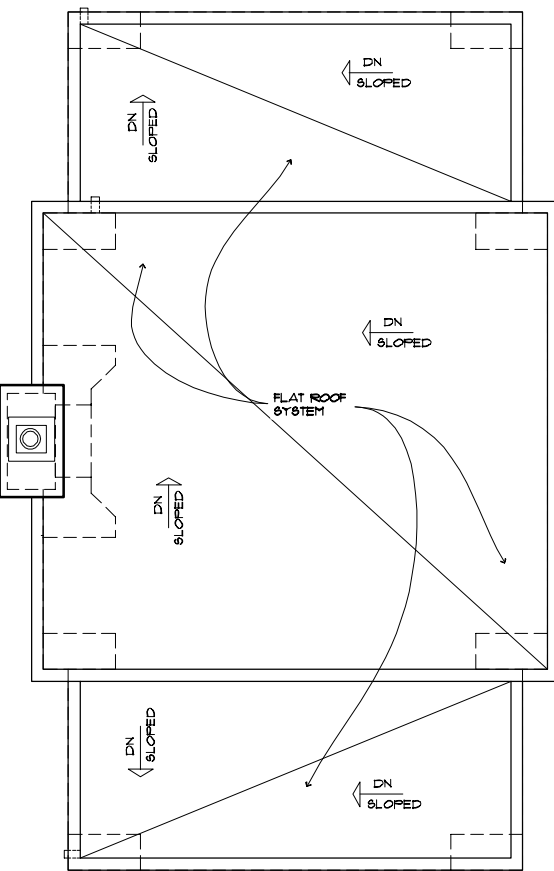
EMAIL:
glolos@lolosdesigns.com
TEL. (416) 635-5708
FAX (647) 794-7199

PROPOSED TWO-STORY ADDITION FOR:

SHARMA RESIDENCE
8 OLD HUMBER CRESCENT
VAUGHAN, ONTARIO, L0V 1C0

PROPOSED ROOF PLAN

DRAWN BY: I.A.	CHECKED BY: G.L.	SHEET: A8
DATE: AUG. 2022	SCALE: 1/8" = 1'-0"	FILE: 22-10



10m (32'-9 1/4")
TRANSCANADA
PIPELINE
EASEMENT
LIMIT

33'-05" (10.08m) FROM TRANSCANADA PIPELINE EASEMENT
TO CORNER POST OF GABLE
OVERLAP 7'-6 1/2"

EAVE'S RAISE IS 1'-1" (DOWN) INCLUDING
EAVE'S RAISE IS 1'-1" (DOWN)
PROPOSED EAVE'S IS 1'-1" (DOWN)
INCLUDING THE EAVE'S RAISE IS 1'-1" (DOWN)
TYPICAL THROUGHOUT THE MAIN ROOF
EXCEPT WHERE BUILDING ELEVATION IS
TREATED WITH A GABLE END THE
PROPOSED EAVE'S IS ONLY 8" (DOWN) AS
NOTED

PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"



DETAIL NO.
DETAIL
SHEET NO.

REVISIONS		
NO.		DATE
1	PRELIMINARY CONCEPT REVIEW	11/23/21
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4	REV. AS PER APPL. EXAMINER	04/07/22
5	REV. AS PER APPL. EXAMINER	05/11/22
6	REFLECT VARIANCES LOCATION AS PER APPL. EXAMINER	07/12/22
7	REVISED SOUTH WING ADDITION AS PER DEVT PLANNING COMMENTS	08/24/22

LEGEND

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PROPOSED TWO-STORY ADDITION FOR:
SHARMA RESIDENCE
8 OLD HUNTER CRESCENT
VAUGHAN, ONTARIO, L0V 1C0

PROPOSED ELEVATIONS

DRAWN BY: I.A.	CHECKED BY: G.L.	SHEET: A9
DATE: AUG, 2022	SCALE: 1/8" = 1'-0"	FILE: 22-10



DETAIL NO.
DETAIL
SHEET NO.

REVISIONS

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CONSULTING DESIGN BY:

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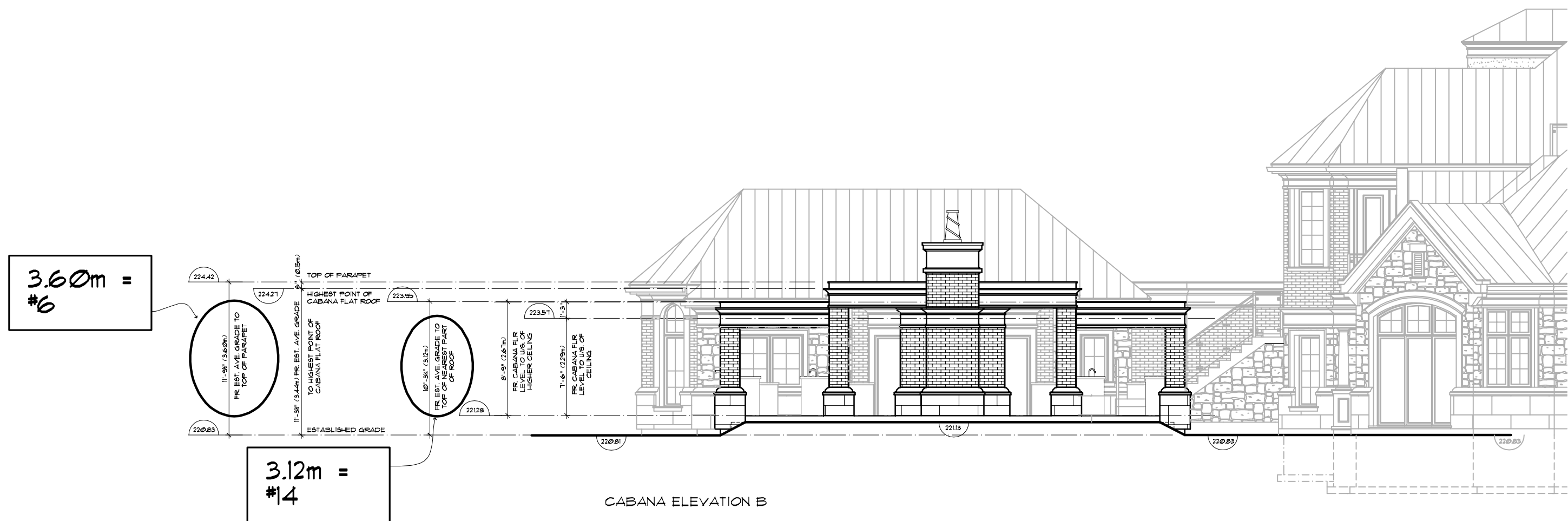
PROPOSED TWO-STORY ADDITION FOR:
SHARMA RESIDENCE
8 OLD HUMBER CRESCENT
VAUGHAN, ONTARIO, L0V 1C0

PROPOSED ELEVATIONS

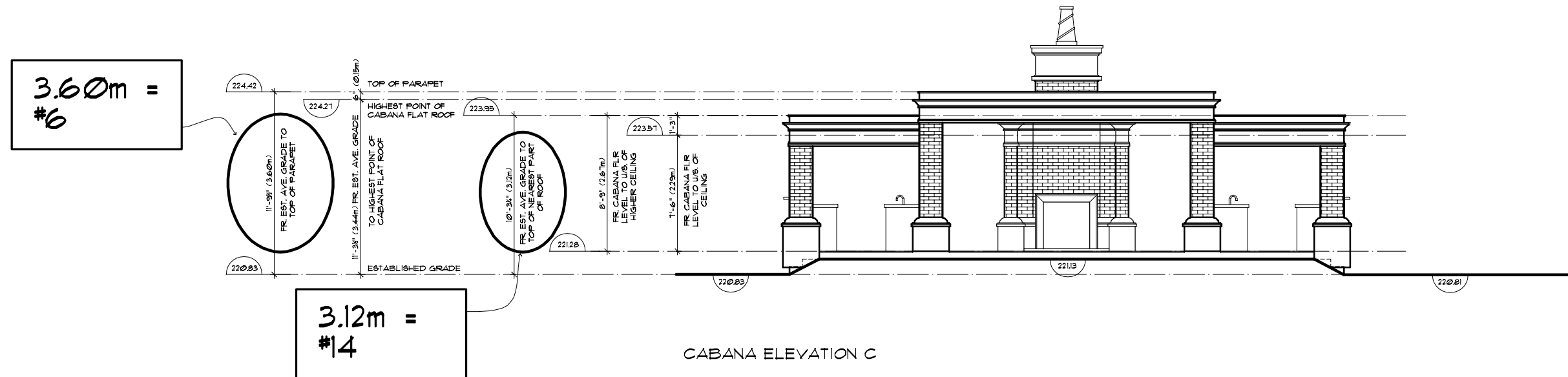
DRAWN BY: I.A.	CHECKED BY: G.L.	SHEET: A10
DATE: AUG. 2022	SCALE: 1/8" = 1'-0"	FILE: 22-10



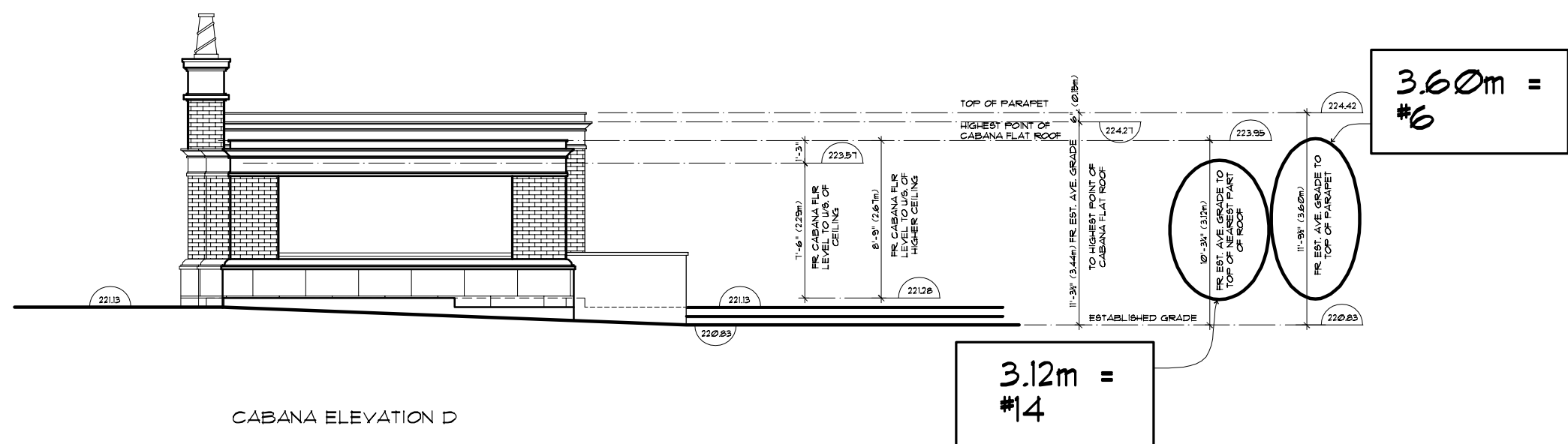
POOL AREA AND CABANA ELEVATION A



CABANA ELEVATION B



CABANA ELEVATION C



CABANA ELEVATION D

DETAIL NO.
DETAIL
SHEET NO.

REVISIONS

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FAX (647) 794-7798

PROPOSED TWO-STORY ADDITION FOR:

SHARMA RESIDENCE
8 OLD HUNTER CRESCENT
VAUGHAN, ONTARIO, L0V 1C0

CABANA ELEVATIONS

DRAWN BY: I.A.	CHECKED BY: G.L.	SHEET: A11
DATE: AUG, 2022	SCALE: 1/8" = 1'-0"	FILE: 22-10

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			General Comments with requirement to obtain written consent (see Schedule B)
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/w conditions
Building Standards (Zoning)	X	X		General Comments

Date: July 26th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A114-22**

Related Files:

Applicant Subodh Sharma

Location 8 Old Humber Crescent

COMMENTS:

- ☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

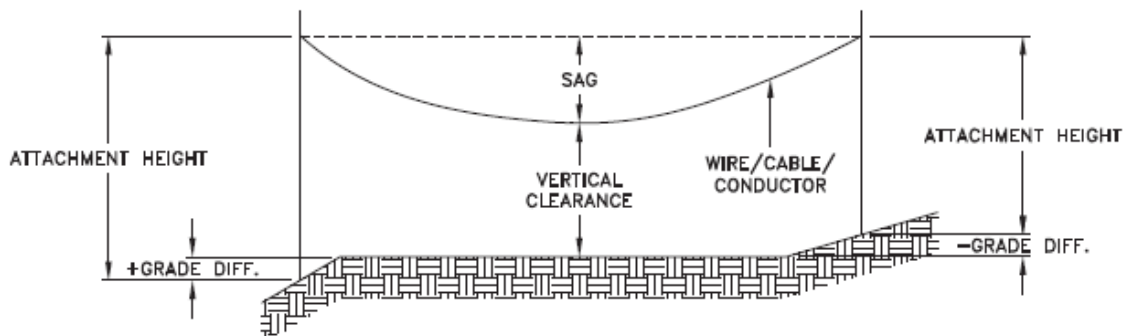
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alectrautilities.com

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

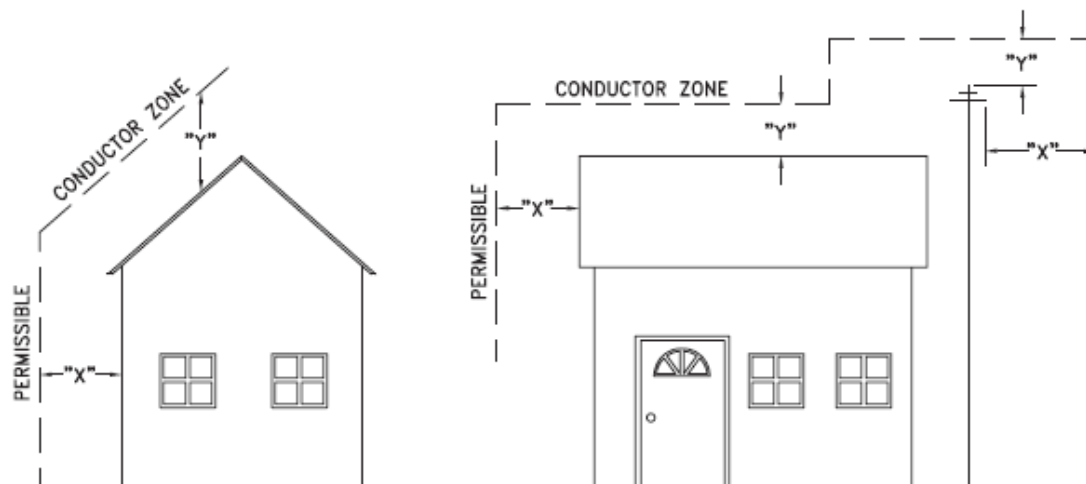
MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date
 P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

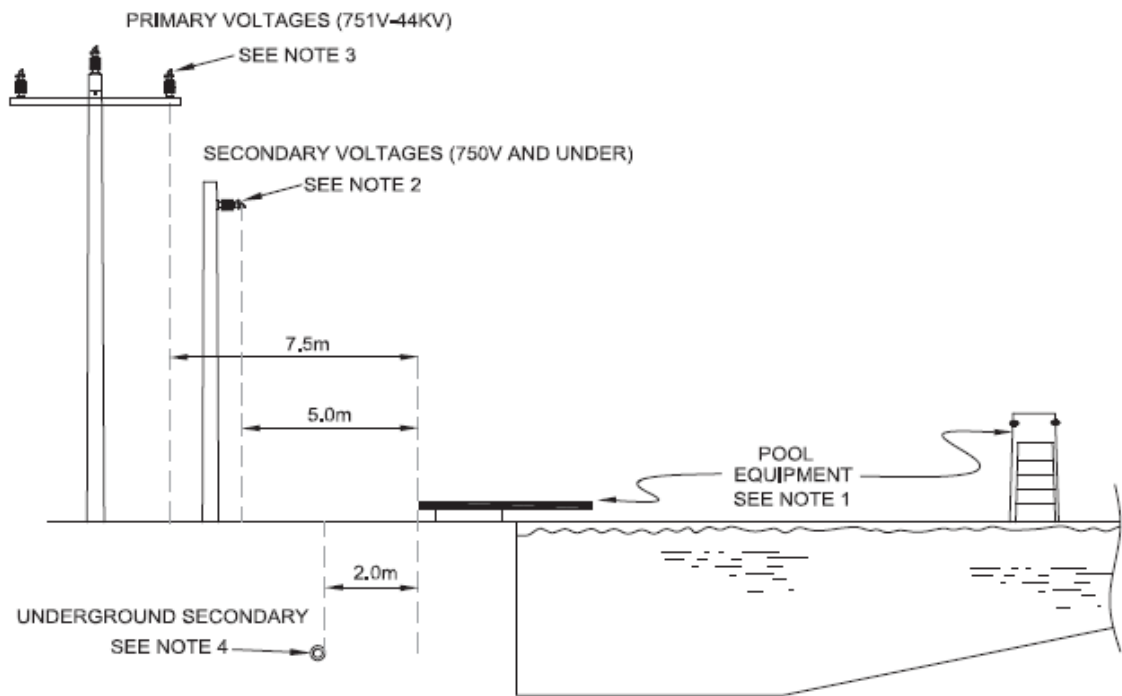
CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES
OF CONDUCTORS FROM BUILDINGS OR OTHER
PERMANENT STRUCTURES (CONDUCTORS NOT
ATTACHED TO BUILDINGS)**

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 2-3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:27:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES	
FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

**MINIMUM CLEARANCES FOR
CONDUCTORS ADJACENT
TO SWIMMING POOLS**

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

September 13, 2022

Secretary-Treasurer
Committee of Adjustment
Office of the City Clerk

City of Vaughan
2141 Major Mackenzie Dr.
Vaughan, ON
L6A 1T1

Via email: cofa@vauhan.ca

Dear Secretary-Treasurer:

Re: Minor Variance Application
8 Old Humber Crescent, City of Vaughan
Subodh Sharma, c/o Georgio Lolos
Your File: A114/22
Our File: PAR 50077

MacNaughton Hermsen Britton Clarkson Planning (MHBC Planning) are the planning consultants for TransCanada PipeLines Limited (TCPL). This letter is in response to notification of the minor variance application outlined above for the lands identified as 8 Old Humber Crescent in the City of Vaughan (the "Subject Lands"). TCPL has one (1) high pressure natural gas pipeline contained within a right-of-way ("easement") crossing the Subject Lands.

TCPL's pipelines and related facilities are subject to the jurisdiction of the Canada Energy Regulator (CER) – formerly the National Energy Board. As such, certain activities must comply with the Canadian Energy Regulator Act (CERA) and its Damage Prevention Regulations (Regulations). The Act and the Regulations noted can be accessed from the CER's website at www.cer-rec.gc.ca. Under Section 335 of the Act, TCPL's authorization via Written Consent is required for conducting ground disturbance within 30 metres of TCPL's right-of-way (the "Prescribed Area")

Following our letter submitted on July 28, 2022, we are pleased to see that the Applicant has revised their plans to incorporate TCPL's minimum setbacks included in the City of Vaughan's Zoning By-law 01-2021 and 1-88, which require a 10 metre setback for buildings and structures, and a 7 metre setback for driveways from the edge of TCPL's right-of-way.

As such, TCPL does not have any concerns with the proposed development, but would like to notify the Applicant of the following development and regulatory requirements as they proceed with their development plans:

1. Written consent from TCPL must be obtained before any of the following:
 - a) Constructing or installing a facility across, on, along or under a TCPL pipeline right-of-way. A facility may include, but is not limited to: driveways, roads, access ramps, trails, pathways, utilities, berms, fences/fence posts;
 - b) Conducting ground disturbance (excavation or digging) on TCPL's right-of-way or within 30 metres of the centreline of TCPL's pipeline (the "Prescribed Area");
 - c) Driving a vehicle, mobile equipment or machinery across a TCPL pipeline right-of-way outside the travelled portion of a highway or public road;
 - d) Using any explosives within 300 metres TCPL's right-of-way; and
 - e) Use of TCPL's Prescribed Area for storage purposes.

How to apply for written consent:

- Determine the location of your work relative to TCPL's facilities.
 - When planning, and before any of the work or activities, listed above, can begin, a request for written consent must be submitted to TCPL through our online application form
 - We no longer accept applications through email
 - Location of the work is required, along with the proximity to TCPL's right-of-way
 - This information can be obtained through survey plans, or through a locate request
 - **Make a locate request** either online (ClickBeforeYouDig.com) or by calling your [local One-Call Centre](#).
 - The One-Call Centre will notify owners of buried utilities in your area, who will send representatives to mark these facilities with flags, paint or other marks, helping you avoid damaging them. Often written consent for minor activities can be obtained directly from a regional TC Energy representative through a locate request.
 - **Apply for written consent** using TCPL's [online application form](#) or call [1-877-872-5177](tel:1-877-872-5177).
 - **Application assessment and consent.** Once your information has been assessed and potential impacts have been evaluated, TCPL may:
 - Grant consent without any conditions
 - Grant consent that requires certain conditions to be met to assure safety, or
 - Not grant consent
2. During any construction activities in proximity of the right-of-way, the owner must install and maintain temporary fencing along the limits of TCPL's pipeline right-of-way to prevent unauthorized access onto the pipeline right-of-way with heavy equipment. The fence must meet TCPL's specifications concerning type, height and location and must be maintained by the owner for the duration of construction.
 3. Storage of materials and/or equipment on TCPL's right-of-way is not permitted.
 4. Where TCPL consents to any ground disturbances in proximity to any TCPL pipeline, the original depth of cover over the pipelines within TCPL's right-of-way shall be restored after construction. This depth of cover over the pipelines shall not be compromised due to rutting, erosion or other

means. Catchment basins, drainage swales or berms are not permitted within TCPL's right-of-way. All infrastructure associated with site servicing, grading, and stormwater management (e.g. subdrains, manholes, catchbasins, retention walls, storm ponds, culverts/riprap) shall be setback a minimum of 7 meters from the edge of TCPL's right-of-way.

5. Should pooling of water or erosion occur on TCPL's right-of-way occur as a result of any facility installation or landscaping, the Owner will be responsible for the remediation to TCPL's satisfaction.
6. Facilities shall be constructed to ensure drainage is directed away from the right-of-way so that erosion that would adversely affect the depth of cover over the pipelines does not occur.
7. If TCPL's pipelines experience contact damage or other damage as a result of construction, stop work immediately and notify TCPL at once.
8. The Owner shall ensure through all contracts entered into, that all contractors and subcontractors are aware of and observe the foregoing terms and conditions.

Thank you for the opportunity to comment. Kindly forward a copy of the decision to TCEnergy@mhbcplan.com. If you have any questions, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Webber', with a stylized, cursive script.

Kaitlin Webber, MA
Planner | MHBC Planning

on behalf of TransCanada PipeLines Limited

From: [Rajevan, Niranjan](#)
To: [Adriana Bozzo](#)
Cc: [Committee of Adjustment](#)
Subject: [External] FW: A114/22 (8 Old Humber Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, August 2, 2022 11:01:45 AM
Attachments: [image001.png](#)
[image003.png](#)

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

To: Committee of Adjustment

From: Garrett Dvernichuk, Building Standards Department

Date: August 26, 2022

Applicant: Subodh Sharma

Location: PLAN 65M2928 Lot 32 municipally known as 8 Old Humber Crescent

File No.(s): A114/22

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.459 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum required rear yard is 15.0 metres. [7.2.2, Table 7-3]	To permit a minimum rear yard of 7.16 metres for the proposed dwelling.
2	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21 2]	To permit the proposed swimming pool to not be constructed only in the rear yard.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the accessory building (cabana) to be 3.60 m.
4	The maximum permitted height is 9.5 metres. [4.5 1 and 7.2.2, Table 7-3]	To permit a maximum height of 9.65 m.
5	The minimum interior side yard shall be equal to the existing interior side yard: 23.99 m. [4.5 2 and 7.2.2, Table 7-3]	To permit a minimum interior side yard of 11.0 metres.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(741) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard is 15.0 metres. [4.1.9, Schedule A]	To permit a minimum rear yard of 7.16 metres for the proposed dwelling.
7	Any accessory building or structure shall be located in the rear yard. [4.1.1 c)]	To permit the proposed accessory building (cabana) to not be located entirely in the rear yard.
8	A private swimming pool shall be constructed only in the rear yard. [4.1.1 i)]	To permit the proposed private swimming pool to not be constructed only in the rear yard.
9	The maximum permitted lot coverage is 10%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 12.48%.
10	The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit a maximum height of the proposed accessory building (cabana) to the nearest part of the roof of 3.12 metres.
11	The maximum permitted building height is 9.5 metres. [4.1.9, Schedule A]	To permit a maximum building height of 9.65 metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments

1	Please note that this review was based solely on the drawings submitted. Zoning compliance with all applicable provisions of the zoning bylaw(s) must be demonstrated prior to the issuance of any building permit, and review of any such building permit application containing additional information may result in additional non-compliance being identified.
2	The proposed lot coverage could not be calculated based on the drawings submitted as part of this application. The lot coverage variance identified on this Zoning Report is based solely on the statistics provided by the applicant. Zoning compliance with this provision must be demonstrated prior to the issuance of any building permit, and review of any such building permit application containing additional information may result in additional non-compliance being identified.
3	This review is based solely on the use of a Single Family Detached Dwelling as declared on the application form submitted.
4	Please note that a retaining wall greater than 1.0 metres in height shall be setback from any lot line a distance equal to its height. [4.13, Table 4-1]
5	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: September 14, 2022

Name of Owner: Subodh Sharma

Location: 10 Old Humber Crescent

File No.(s): A114/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard of 7.16 m for the proposed dwelling.
2. To permit the proposed swimming pool to not be constructed only in the rear yard.
3. To permit the maximum height of the accessory building (cabana) to be 3.60 m.
4. To permit a maximum height of 9.65 m.
5. To permit a minimum interior side yard of 11.0 m.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum required rear yard is 15.0 m.
2. An outdoor swimming pool shall only be permitted in the rear yard of a lot.
3. The maximum height of an accessory building and residential accessory structure shall be 3.0 m.
4. The maximum permitted height is 9.5 m.
5. The minimum interior side yard shall be equal to the existing interior side yard: 23.99 m.

Proposed Variance(s) (By-law 1-88):

6. To permit a minimum rear yard of 7.16 m for the proposed dwelling.
7. To permit the proposed accessory building (cabana) to not be located entirely in the rear yard.
8. To permit the proposed private swimming pool to not be constructed only in the rear yard
9. To permit a maximum lot coverage of 12.48%.
10. To permit a maximum height of the proposed accessory building (cabana) to the nearest part of the roof of 3.12 m.
11. To permit a maximum building height of 9.65 m.

By-Law Requirement(s) (By-law 1-88):

6. The minimum required rear yard is 15.0 m.
7. Any accessory building or structure shall be located in the rear yard.
8. A private swimming pool shall be constructed only in the rear yard.
9. The maximum permitted lot coverage is 10%.
10. The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than 3.0 m above finished grade.
11. The maximum permitted building height is 9.5 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 and "Large-Lot Neighbourhood (30m+)" by Schedule 1B

Comments:

The Owner is requesting relief to permit the construction of a pool, cabana, and additions to an existing dwelling with the above noted variances. A west wing addition off the northwestern corner of the dwelling, and a south wing addition are proposed. Smaller additions are proposed to the attached 2 storey garage to the northeast.

The Development Planning Department has no objection to Variance 5 for the dwelling's proposed side yard setback. The property is a corner lot with the front of the dwelling facing the exterior side yard. As such, the rear yard functions as the interior side yard and the interior side yard functions as the rear yard. The subject lands are identified as

part of an Established Neighbourhood (EN) by Zoning By-law 001-2021, so it is the existing side yard setbacks that apply to the property. The property is also within a large lot neighbourhood as identified by VOP 2010. The intent of the enhanced interior side yard setback is to provide sufficient distance to maintain attractive landscaping characteristic of large lot neighbourhoods. The side yard reduction solely applies to the west wing, which is to be 11.35 m at its widest point. In comparison, the interior lot line is 130.92 m long. The remainder of the dwelling exceeds the minimum side yard setback requirement.

The Development Planning Department has no objection to Variances 1 and 6 for the proposed rear yard setback for the dwelling. The relief sought seeks to construct additions at the same or similar setback established by the dwelling's existing built form. The north yard functions as an interior side yard rather than a rear yard. The underlying "RE – Estate Residential Zone" permits 4.5 m interior side yard setbacks, indicating that this may be a sufficient distance to maintain attractive landscaping to preserve the streetscape character that more expansive amenity areas create in large lot neighbourhoods. The existing and proposed built form is at an angle to the north lot line, so the full relief would be utilized by pinch points rather than the whole building. As such, the proposed rear yard setback can be considered minor in nature.

The Development Planning Department has no objection to Variances 2 and 8 for the proposed pool as it is located within what is effectively used as the rear yard. The pool also complies with all rear yard and side yard setback requirements which allows for safe access around the pool area.

The Development Planning Department has no objection to Variances 3, 7 and 10 for the proposed cabana. The cabana is located within what is effectively used as the rear yard. The proposed height of the cabana is appropriate for the size of the lot, complies with all rear yard and side yard setback requirements, and will not pose a significant visual impact to the abutting properties.

The Development Planning Department has no objection to Variances 4 and 11 for the proposed dwelling height of 9.65 m as the increase in height is minor in nature, will not pose a significant visual impact to the existing streetscape, and is consistent with previous approvals in the neighbourhood.

The existing dwelling has a lot coverage of 6.15%. The proposed additions, covered loggia, and cabana, will have lot coverages of 5.06%, 0.30%, and 0.98% respectively. The increase in lot coverage is minor in nature and appropriate for the size of the lot. The total lot coverage also complies with Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the Development Planning Department has no objection to Variance 9 for the increase in lot coverage.

In support of the application, the Owner has submitted an Arborist Report and Tree Preservation Plan prepared by GLN Farm and Forest Research Co Ltd., dated May 17, 2022. The report inventoried 204 trees, 35 of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None