

ITEM 6.29:	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A244/22 38 Autumn Grove Ct Kleinburg
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X			Application Under Review
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X			No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>				
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A244/22
38 Autumn Grove Ct Kleinburg**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.29	CITY WARD #: 1
APPLICANT:	Richard & Cinzia Lisi
AGENT:	Walter Botter
PROPERTY:	38 Autumn Grove Court, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed gazebo.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B – First Density Residential Zone and subject to the provisions of Exception 14.786 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2. 1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located 1.8 m from the rear lot line.
2	The maximum permitted lot coverage is 30%. [14.786.1 1, Figure T-118]	To permit a maximum lot coverage of 34.3%. (30.0%dwelling; 0.7% covered porches; 3.6% accessory structures)
3	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4. 1]	To permit the maximum height of the accessory building (gazebo) to be 3.5 m.

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(1128) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum required rear yard is 9.0 metres. [9(1128) ai), Schedule "T-118"]	To permit a minimum rear yard of 1.8 metres for an accessory structure (gazebo).
5	The maximum permitted lot coverage is 30%. [9(1128) ai), Schedule "T-118"]	To permit a maximum lot coverage of 34.3%. (30.0%dwelling; 0.7% covered porches; 3.6% accessory structures)

HEARING INFORMATION

DATE OF MEETING: Thursday , September 22, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	September 8, 2022	
Date Applicant Confirmed Posting of Sign:	September 2, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	The desired size of the accessory structure was based on providing what we felt was a comfortable space for our family's needs and use.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments. Application under review	
Development Planning Recommended Conditions of Approval:	

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed structures in the subject property is 33.51m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached).</p> <p>The proposed work by the owner/ applicant is increasing the lot coverage area from 30% to 34.3% in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.</p> <p>The Development Engineering (DE) Department does not object to variance application A244/22 subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

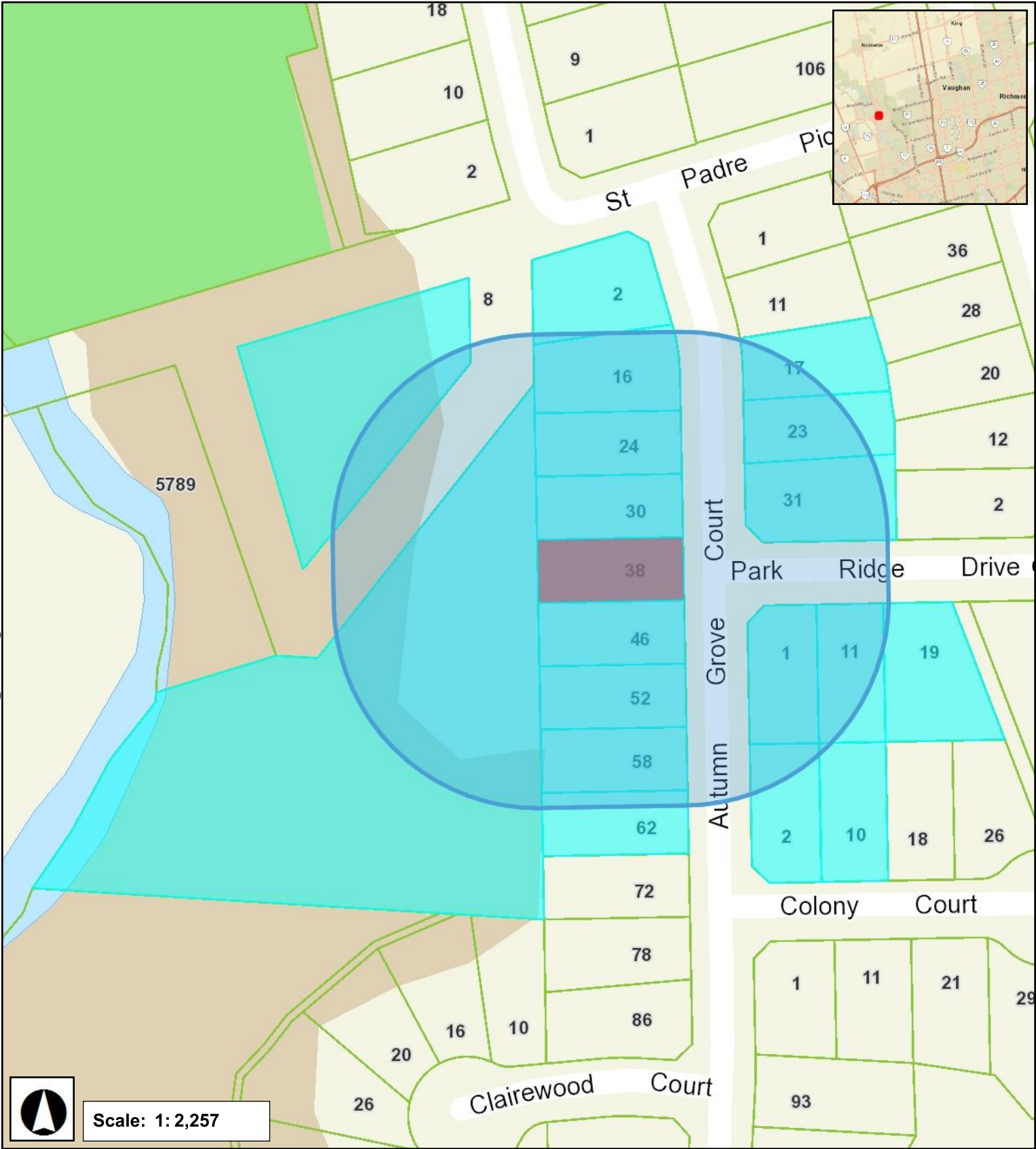
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	Application under review
2	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

38 AUTUMN GROVE COURT, KLEINBURG
Major Mackenzie Drive



Rutherford Road

August 31, 2022 8:28 AM

Zoning Classification:

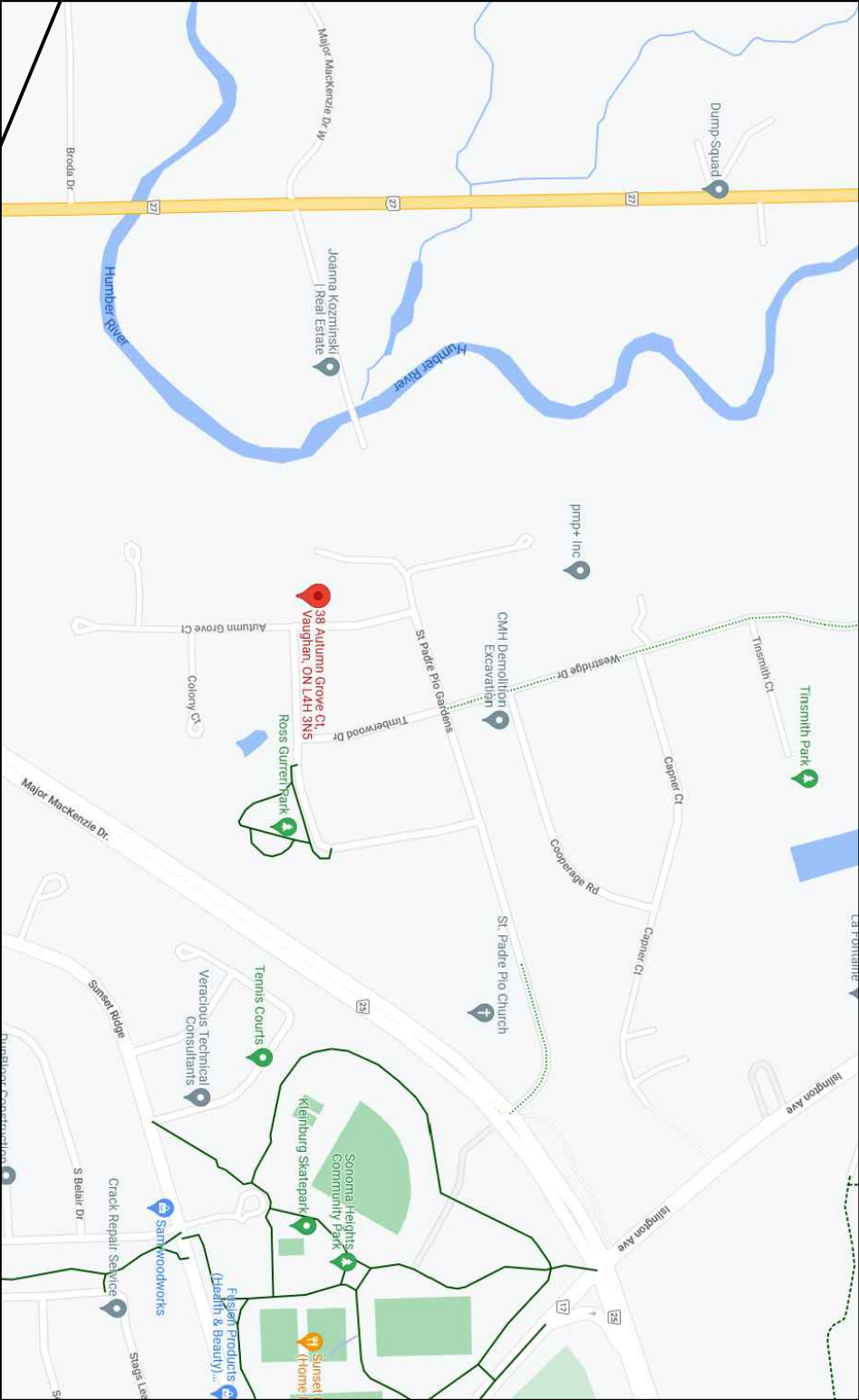
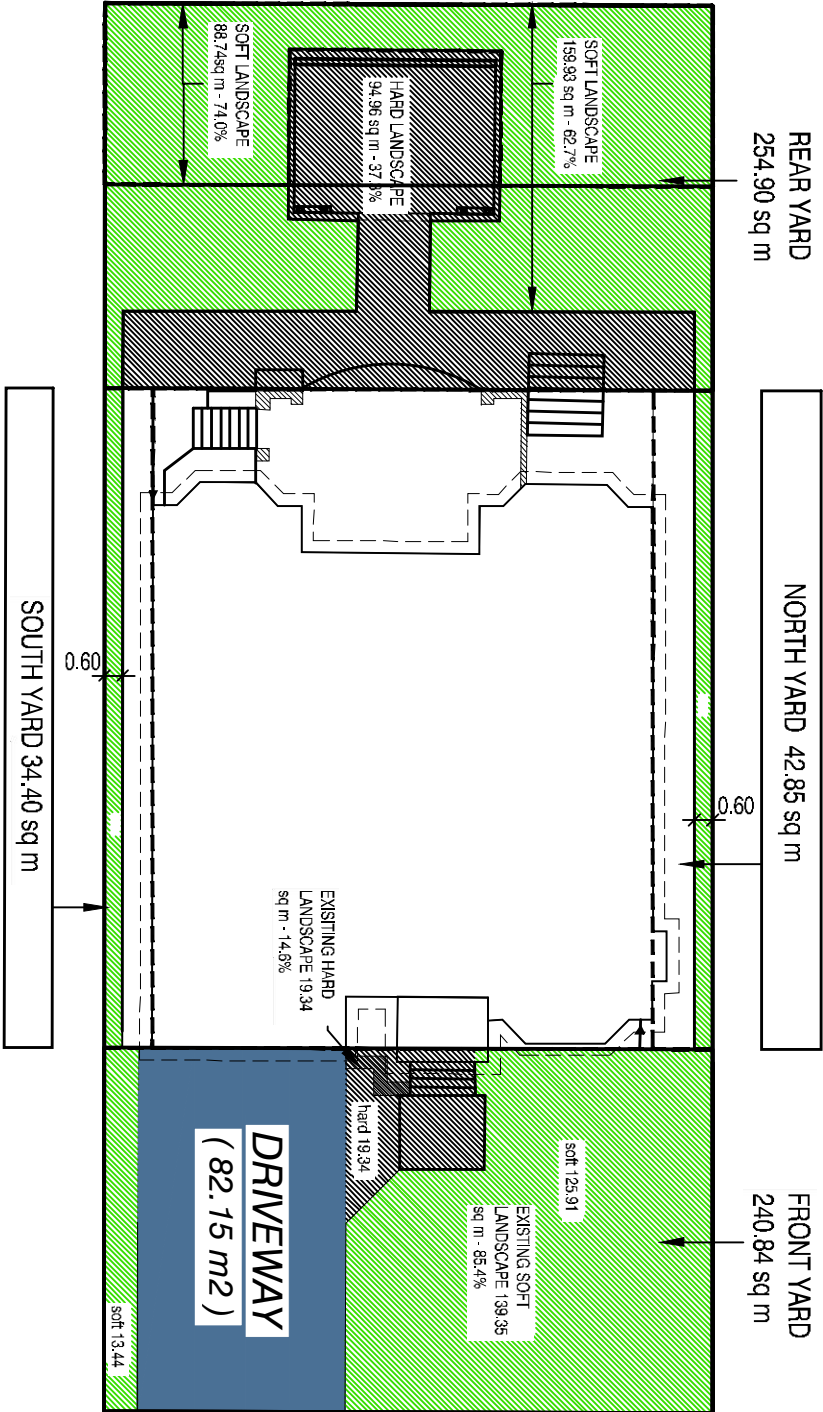
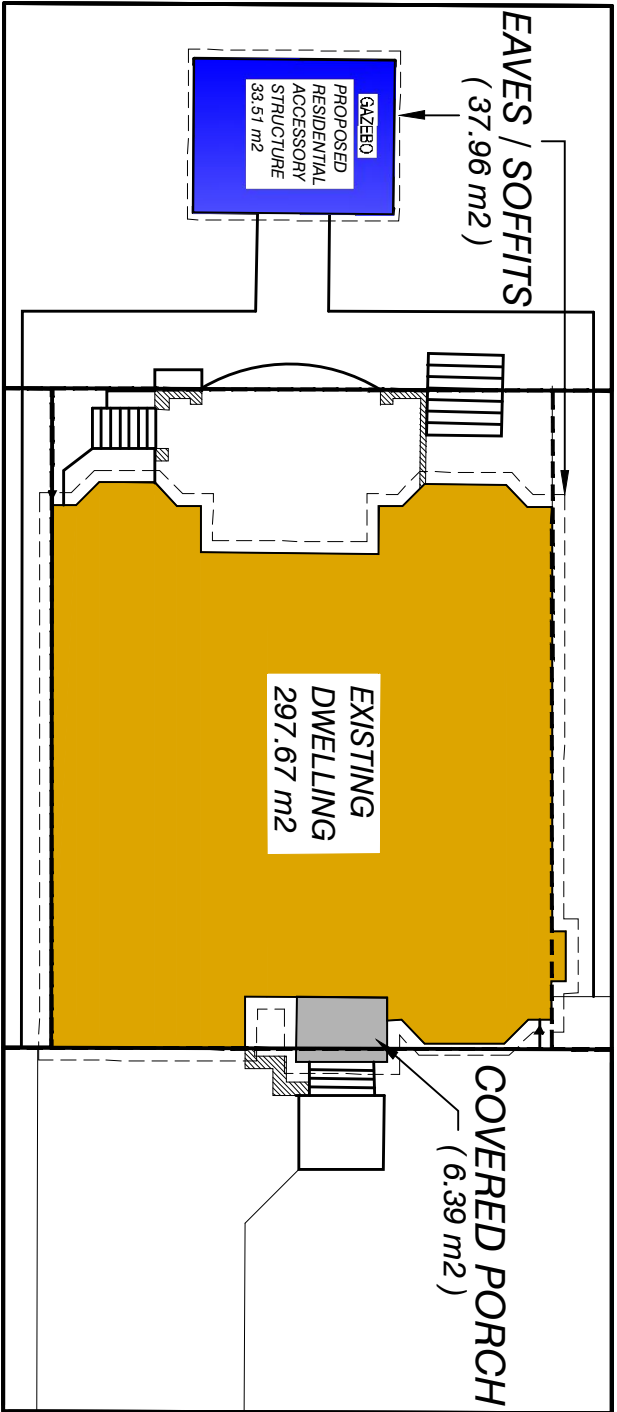
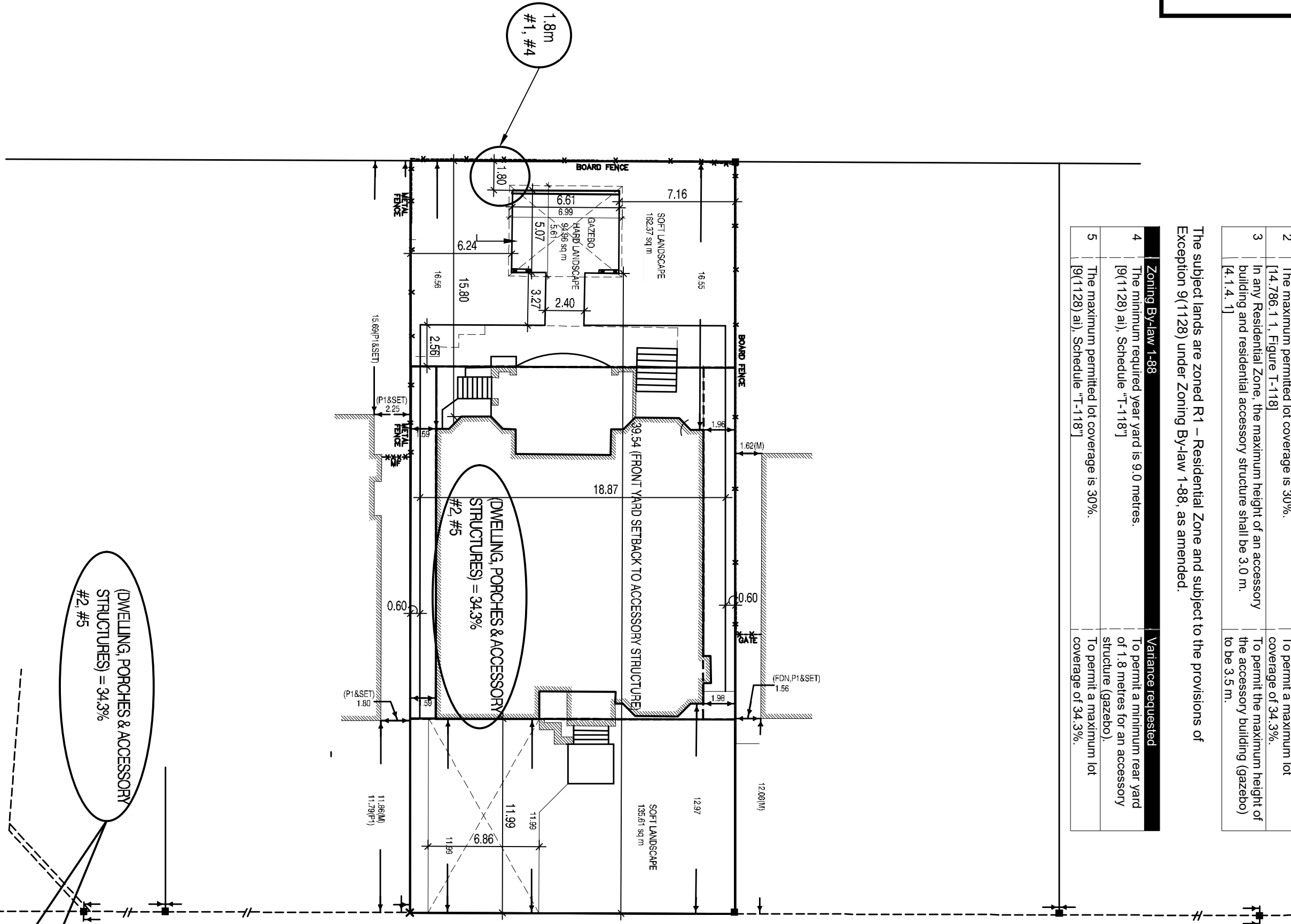
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A244/22

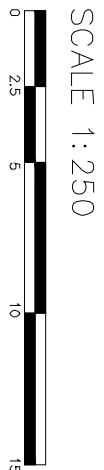


OBC CLASSIFICATION: Group C (Residential Occupancies)				ZONING: R1(BEN) - 786 By-law 001-2021			
SITE STATISTICS				ZONING: R1-E-1245 By-law 1-88			
MUNICIPAL ADDRESS	LOT No.	LOT AREA	REAR YARD	BUILDING COVERAGE	FRONT YARD	FRONT YARD	BUILDING
38 AUTUMN GROVE COURT	5	932.25 m ²	1.90m	29.51%	20.84 m ²	158.68 m ²	3,500 m ²
VARIANCES				34.3%	65.9%	87.8%	65.0m
OBC CLASSIFICATION: Group C (Residential Occupancies)				ZONING: R1-E-1245 By-law 1-88			
MUNICIPAL ADDRESS	LOT No.	LOT AREA	REAR YARD	BUILDING COVERAGE	FRONT YARD	FRONT YARD	BUILDING
38 AUTUMN GROVE COURT	5	932.25 m ²	1.90m	29.51%	20.84 m ²	158.68 m ²	3,500 m ²
VARIANCES				34.3%	65.9%	87.8%	65.0m

PART 1
PLAN OF LOT 5

REGISTERED PLAN 65M-3738
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

NORTH



1:250
SCALE 1: 250

DATE:	WORK DESCRIPTION:
SEP 11 22	- REMOVED RETAINING WALL AT DRIVEWAY
AUG 25 22	- REVISED PER CITY COMMENTS
AUG 23 22	- RE-ISSUED FOR COA APPLICATION
AUG 10 22	- REVISED RETAINING WALL
JULY 28 22	- REVISED YARD AREAS & UPDATED CALCS
JUNE 28 22	- UPDATED AND ISSUED FOR CO-ORDINATION

jordin

DESIGN GROUP INC

64 LARION DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905.660.3377 FAX: 905.660.3713
EMAIL: info@jordin-design.com

SITE PLAN

RICK LISI

38 AUTUMN GROVE COURT

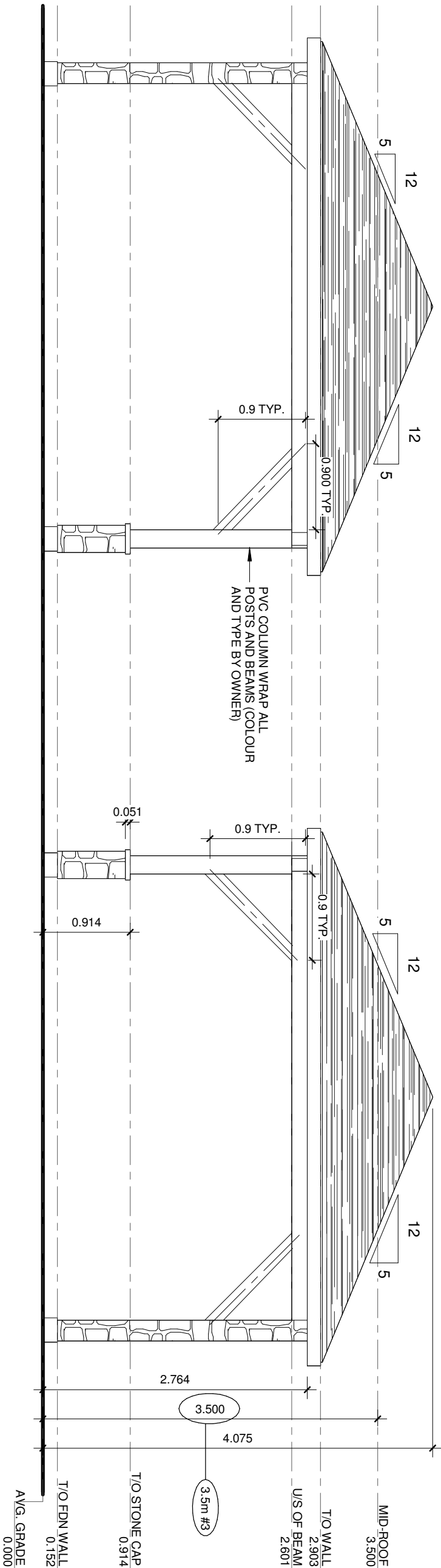
SCALE:

PROJ. NO.

No.

BILD®

ALL DIMENSIONS ARE DISPLAYED IN METERS



No.	Date	Revision / Issued for
1	APR. 2022	ISSUED FOR COORDINATION
2	JUNE 2022	ISSUED FOR COORDINATION
3	JULY 26, 2022	ISSUED FOR PERMIT AND CONSTRUCTION
4	AUG. 08, 2022	RE-ISSUED FOR S.P.A
5	SEPT. 14, 2022	RE-ISSUED FOR S.P.A

RICHARD LISI

RESIDENTIAL ACCESSORY STRUCTURE

38 AUTUMN GROVE COURT
LOT 5, REG. PLAN 65M-3738
CITY OF VAUGHAN

ELEVATIONS

Drawn By:

A3.1

No.	Date	Revised / Issued for
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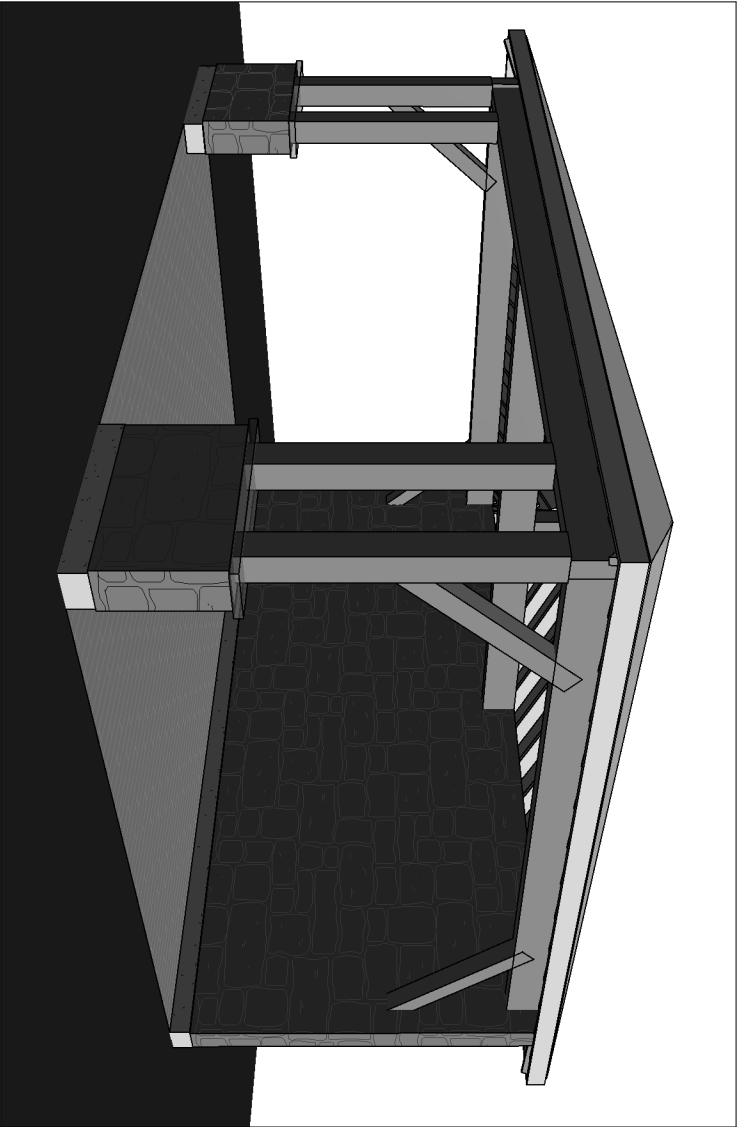
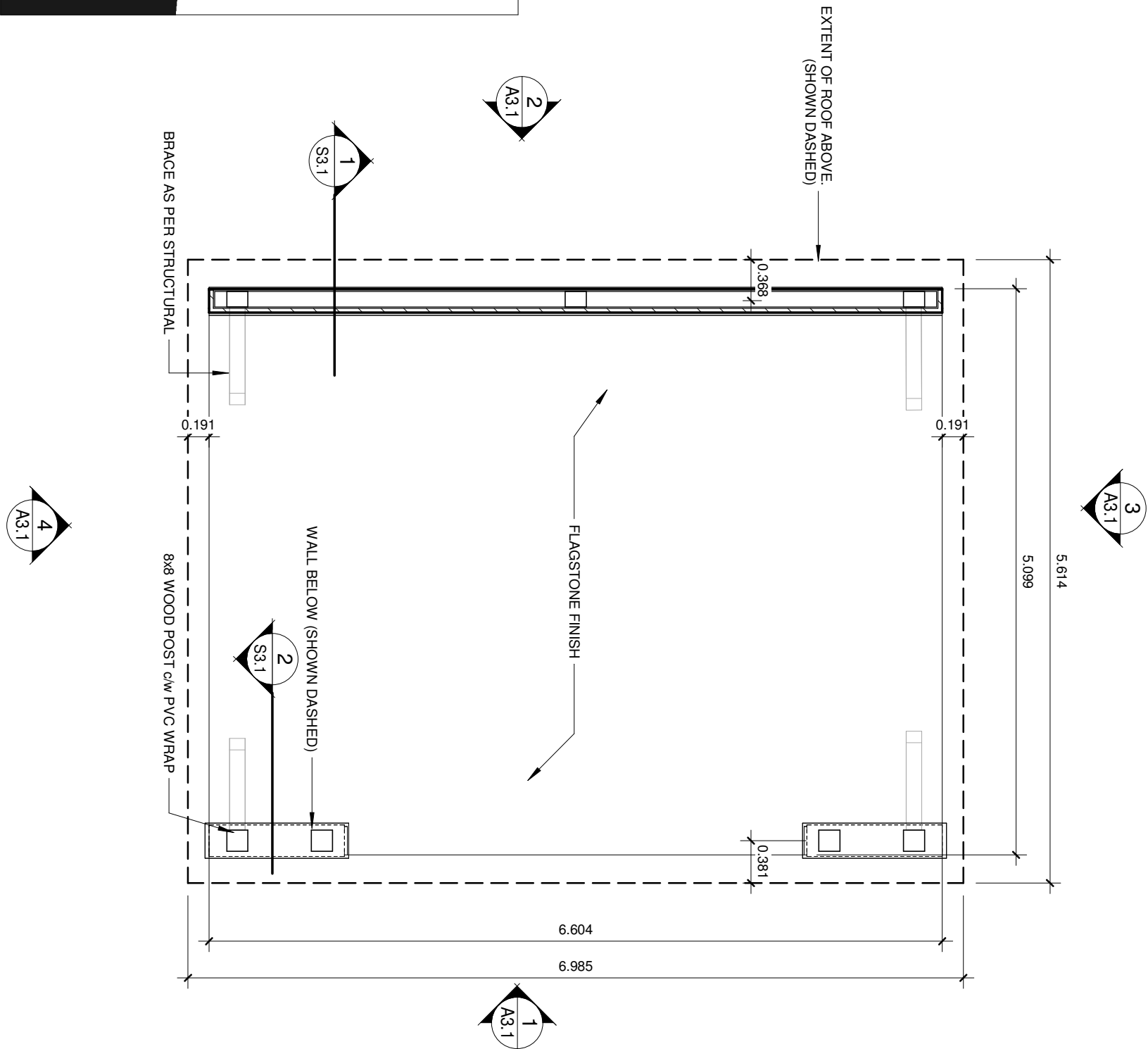
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RICHARD LISI

RESIDENTIAL ACCESSORY STRUCTURE
38 AUTUMN GROVE COURT LOT 5, REG. PLAN 65M-3738 CITY OF VAUGHAN

FLOOR PLAN
Drawn By: NPANTUSO

A2.1



ISOMETRIC

N.T.S.

GROUND FLOOR PLAN

SCALE: 1 : 48

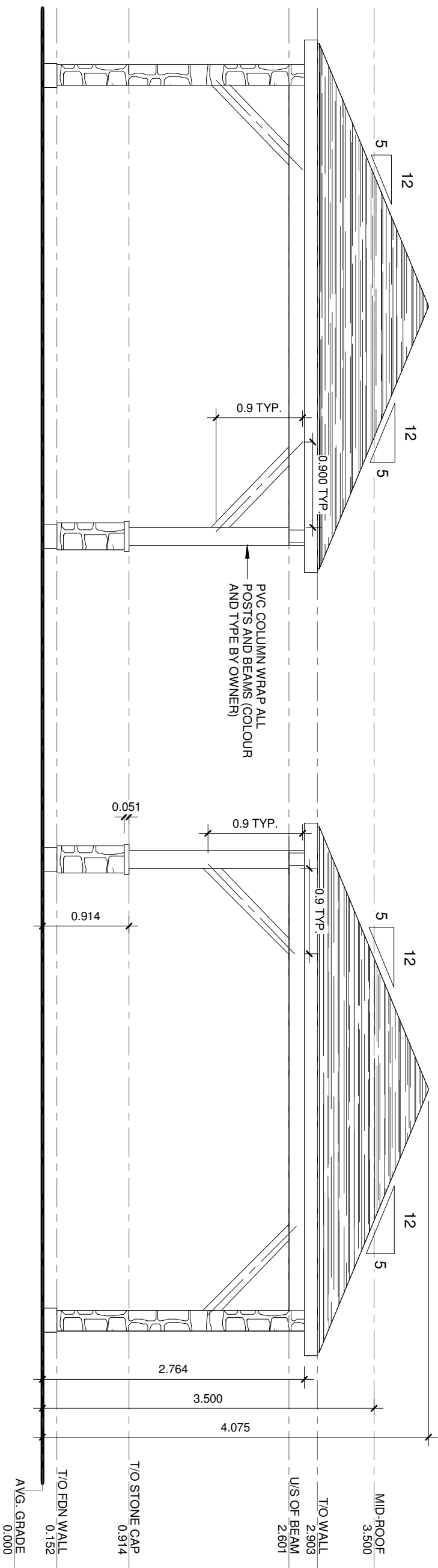
LOT COVERAGE = 39.21m² (422 SF)

COVERAGE BASED ON ROOF EXTENT

ALL DIMENSIONS ARE DISPLAYED IN METERS

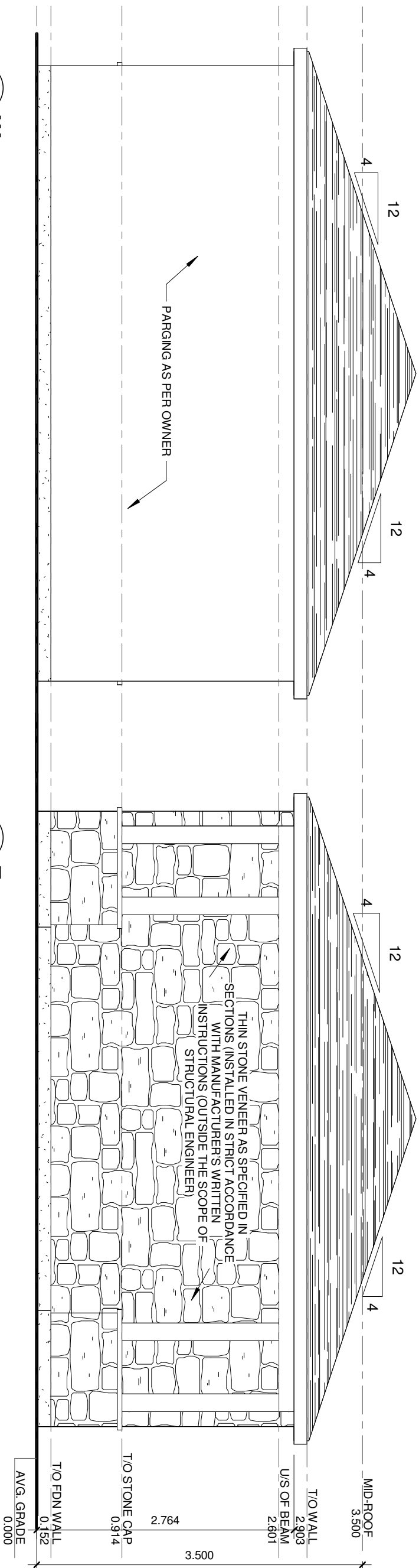
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4 South

SCALE: 1 : 48



3 North

SCALE: 1 : 48

2 West

SCALE: 1 : 48

East 1

SCALE: 1 : 48

<p><u>RICHARD LISI</u></p>	<p><u>RESIDENTIAL ACCESSORY STRUCTURE</u></p> <p>38 AUTUMN GROVE COURT LOT 5, REG. PLAN 65M-3738 CITY OF VAUGHAN</p>	<p><u>ELEVATIONS</u></p>
<p>Drawn By: N.PANTUSO</p>		

A3.1

GENERAL NOTES:

- 1. UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
- 2. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE (OBC 2012), ANY LOCAL REGULATIONS AND BYLAWS, AND THE 2012 OCCUPATIONAL HEALTH AND SAFETY ACT (OHSa) FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012.
- 3. THIS SET OF DRAWINGS SUPERCEDES AND REPLACES ALL PREVIOUS DRAWINGS.
- 4. READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS AND MECHANICAL AND ELECTRICAL DRAWINGS.
- 5. CONTACT THE LOCAL BUILDING DEPARTMENT FOR THE REQUIRED PERMIT APPLICATION PROCESS.

DESIGN LOADS:

- 1. DESIGN LOADS ARE UNFACTORED UNLESS NOTED OTHERWISE.
 - A. CLIMATIC DESIGN DATA (VAUGHAN, ONTARIO):
 - Ss = 1.1 kPa
 - Sr = 0.40 kPa
 - q(1/50) = 0.44 kPa
 - S = 1.1 (0.55) + 0.4 = 1.0 kPa
- 2. FOUNDATIONS TO BEAR DIRECTLY ON MATERIAL SUITABLE FOR 75 kPa (1500 psf) BEARING PRESSURE, UNLESS NOTED OTHERWISE.

CONCRETE AND REINFORCING STEEL:

- 1. ALL CONCRETE SHALL CONFORM TO OBC 9.3.1.
- 2. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE:
 - 20 MPa FOR FOOTINGS, WALLS AND BEAMS
 - 25 MPa FOR FLOOR SLABS.
- 3. USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE.
- 4. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST TWO DAYS OF CURING.
- 5. TAKE ADEQUATE MEASURES TO PROTECT CONCRETE FROM EXPOSURE TO FREEZING TEMPERATURES AT LEAST SEVEN DAYS AFTER CONCRETE PLACEMENT.

FOUNDATIONS:

- 1. ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 U.N.O. ON THE DRAWINGS.
- 2. SOIL BEARING CAPACITY ONSITE TO BE VERIFIED BY LOCAL BUILDING DEPARTMENT OR GEOTECHNICAL ENGINEER PRIOR TO THE PLACING OF FOUNDATIONS. ANY NON-COMFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEER.
- 3. FOOTINGS TO BEAR DIRECTLY ON UNDISTURBED NATIVE SOILS OR APPROVED ENGINEERED FILL SUITABLE FOR MINIMUM DESIGN BEARING PRESSURES.
- 4. PLACE FOOTINGS WHICH ARE EXPOSED TO FREEZING WEATHER A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS SPECIFIED OTHERWISE
- 5. SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB-EXCAVATED TO SOUND MATERIAL AND FILLED WITH CLEAN, FREE DRAINING GRANULAR SOIL COMPACTED TO 100% STANDARD PROCTOR DRY DENSITY (SPDD).
- 6. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 24" IN HEIGHT AND NOT LESS THAN 24" IN LENGTH.
- 7. SHOULD UNDERGROUND WATER BE ENCOUNTERED, PROVIDE Dewatering FACILITIES TO KEEP WATER LEVEL BELOW FOOTINGS AND POUR AN ADDITIONAL 3" LAYER OF LEAN CONCRETE UNDER ALL FOOTINGS.
- 8. FOUNDATION WALLS TO BE CONNECTED TO STRIP FOOTINGS WITH SHEAR KEY OR 15M DOWELS X 16" LONG AT 4'-0" O.C. WITH 4" EMBEDMENT INTO FOOTING.
- 9. MAINTAIN UNSUPPORTED SIDES OF EXCAVATION ONLY IF SAFE INCLINATION OF THE SIDES OF THE EXCAVATION IS PROVIDED IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS.
- 10. ERECT, MAINTAIN, AND IF REQUIRED, REMOVE A SUPPORTING SHORING SYSTEM ALONG THE SIDES OF THE EXCAVATION, DESIGNED BY A PROFESSIONAL ENGINEER, IN ACCORDANCE WITH THE SOILS REPORT AND OHSa.
- 11. PROTECT SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOOTINGS.
- 12. ENSURE FOUNDATION WALLS ARE Laterally SUPPORTED BEFORE BACKFILLING.
- 13. BACKFILL AGAINST FOUNDATION WALL IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 18" DIFFERENT FROM THE LEVEL ON THE LOWER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED OR WALLS ARE DESIGNED FOR SUCH UNEVEN PRESSURES.
- 14. LOCATE ALL FOOTINGS AND PIERS CENTRALLY UNDER COLUMNS AND WALLS UNLESS NOTED OTHERWISE.
- 15. FOUNDATION WALLS HAVE BEEN DESIGNED TO SUPPORT DRAINED EARTH. ENSURE GROUNDWATER DRAINAGE CAN OCCUR.
- 16. WHERE FOUNDATION WALL THICKNESS IS REDUCED AT TOP OF WALL TO ALLOW FOR STONE LEDGE, THE REDUCTION IN THICKNESS SHALL COMPLY WITH OBC 2012 9.15.4.7.

STRUCTURAL FRAMING:

- 1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23. U.N.O. ON THE DRAWINGS.
- 2. LUMBER SHALL BE SPE NO. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
- 3. WOOD TRUSSES AND MANUFACTURED FRAMING MEMBERS ARE TO BE DESIGNED & CERTIFIED BY A PROFESSIONAL ENGINEER FOR THE LOADS AND CONDITIONS INDICATED ON THE DRAWINGS. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR UPLIFT CLIPS. PROVIDE ADEQUATE BEARING SURFACE FOR THE TRUSS BEARING LOADS.
- 4. ENGINEERED LUMBER (TJI, LVL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- 5. WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE OR 6 MIL (0.152mm) POLYETHYLENE SHEET.
- 6. USE PRESSURE TREATED LUMBER (CWPB APPROVED) OR APPLY SUITABLE WOOD PRESERVATIVE TO ALL WOOD IN CONTACT WITH SOIL.
- 7. SOLID HORIZONTAL BRIDGING SHALL BE PROVIDED AT 4'-0" O.C. IN THE FIRST TWO JOIST SPACES ADJACENT TO THE EXTERIOR WALLS. BRIDGING SHALL BE ATTACHED TO THE EXTERIOR WALL TO PROVIDE LATERAL STABILITY.
- 8. PROVIDE 2x2 DIAGONAL CROSS BRIDGING OR SOLID BLOCKING AT MAXIMUM 6'-10" O.C. FOR ALL SAWN JOIST LOCATIONS.
- 9. PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 3m (10'-0") FOR ALL FRAMED WALLS. INSTALL MORE FREQUENTLY WHEN SO NOTED ON THE ARCHITECTURAL OR STRUCTURAL WALL DRAWINGS (EG. FOR BLOCKING OF SHEAR WALLS, OR FOR LATERAL STUD SUPPORT).
- 10. PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOMS OF BEAMS AT BEARING POINTS TO PREVENT MOVEMENT OR ROTATION.
- 11. ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 WIRE NAILS.
- 12. SPIKES AND STAPLES UNLESS NOTED OTHERWISE.
- 13. BOLTED CONNECTIONS SHALL BE MADE USING GRADE A307 BOLTS, UNLESS NOTED OTHERWISE.
- 14. EACH PLY OF BUILT-UP WOOD BEAMS TO BE CONNECTED WITH 3-3" COMMON NAILS AT 8" O.C. AND EACH BUILT-UP WOOD POSTS TO BE CONNECTED WITH 2-3" COMMON NAILS AT 8" O.C.. MULTIPLE ENGINEERED LUMBER BEAMS TO BE FASTENED AS PER THE MANUFACTURER'S SPECIFICATIONS, U.N.O.
- 15. ALL REQUIRED NAILING SHALL BE EXECUTED AS PER OBC 9.23.3.4. AND MANUFACTURERS RECOMMENDED INSTALLATION REQUIREMENTS.
- 16. USE JOIST HANGERS WHERE FRAMING MEMBERS CONNECT INTO THE SIDES OF SUPPORTING MEMBERS.
- 17. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL.
- 18. ALL STEEL CONNECTORS, (UPLIFT CLIPS, BRACKETS, JOIST HANGERS ETC.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE.
- 19. LL PRE-ENGINEERED STEEL CONNECTORS (EG. SIMPSON STRONG TIE) ARE TO HAVE THE CORRECT NUMBER AND SIZE OF FASTENERS, AS PER THE MANUFACTURER'S PRODUCT CATALOGUE
- 20. FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS.

HEAVY TIMBER:

- 1. SAWN TIMBER SHALL BE NORTHERN No. 1 OR BETTER AS DEFINED IN THE CAN/CSA-O86, UNLESS NOTED OTHERWISE. ALL UNGRADED TIMBER IS ASSUMED TO BE No. 2 GRADE.
- 2. TIMBER SHALL HAVE A GRADE STAMP OR A CERTIFICATE OF GRADE FROM THE GRADER.
- 3. TIMBER IS ASSUMED TO BE SEASONED WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF ASSEMBLY. TIMBER INSTALLED IN A "GREEN" STATE OR GREATER THAN 19% MOISTURE CONTENT HAS A REDUCED CAPACITY. CONTACT TACOMA ENGINEERS FOR A REDESIGN.
- 4. ALL TIMBER SIZES ARE NOMINAL SIZES THAT ARE ½" LARGER THAN THE ACTUAL DIMENSIONS (EX. 8x10 IS 7.5" BY 9.5")
- 5. TIMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TACOMA ENGINEERS.
- 6. STRUCTURAL SCREWS TO BE THE MAKE AND SIZE AS SHOWN ON THE DRAWINGS. ALTERNATE STRUCTURAL SCREW MAKES AND SIZES MAY BE USED UPON APPROVAL BY THE ENGINEER.
- 7. BOLT AND LAG SCREW CONNECTIONS SHALL BE MADE USING GRADE A307 BOLTS.
- 8. LAG SCREWS TO BE INSTALLED IN PRE-DRILLED HOLES.
- 9. BOLTS AND THREADED RODS MUST HAVE A TYPICAL ROUND WASHER, U.N.O.
- 10. PEGS TO BE CLEAR GRAIN, DRIED HARDWOOD WITH A SLOPE OF GRAIN NOT MORE THAN 1:15 AND AN OVEN-DRY SPECIFIC GRAVITY NOT LESS THAN 0.57.
- 11. HEAVY TIMBER IS A NATURAL MATERIAL THAT SHRINKS AND CHECKS WITH CHANGES TO MOISTURE CONTENT. SOME SHRINKAGE AND CHECKS ARE EXPECTED TO DEVELOP OVER TIME.

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4	AUG. 08, 2022	RE-ISSUED FOR S.P.A

RESIDENTIAL ACCESSORY

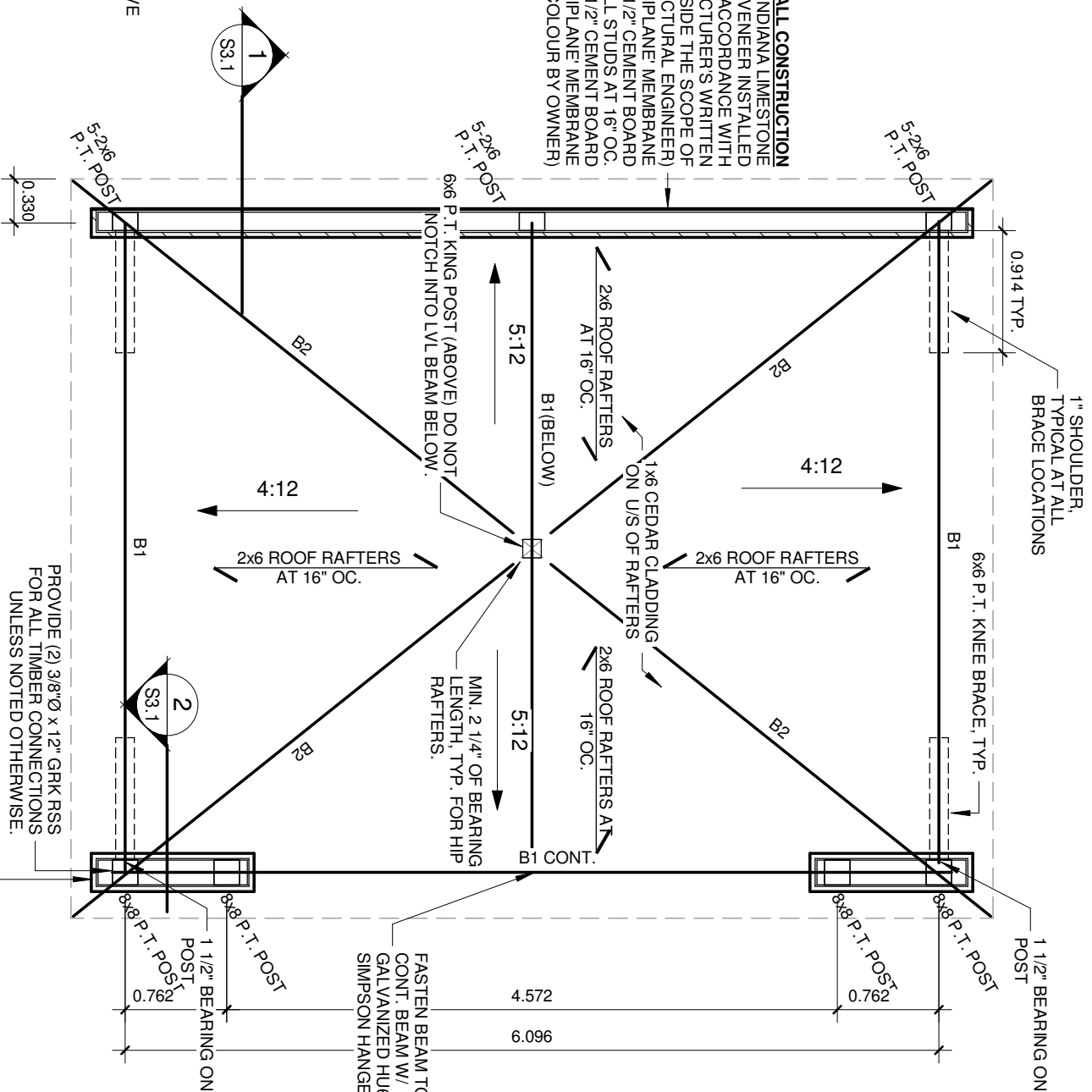
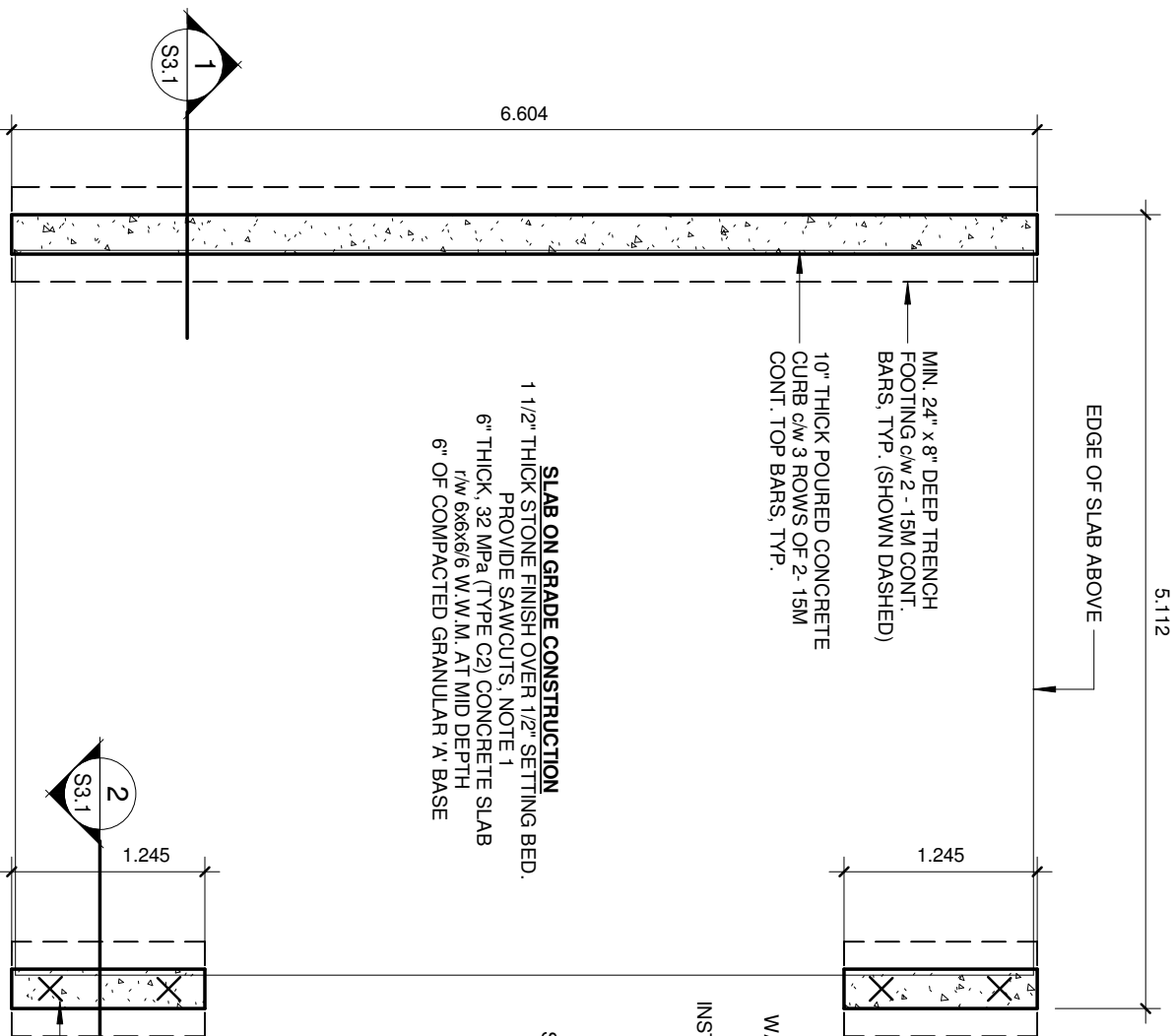
STRUCTURE

38 AUTUMN GROVE COURT
LOT 5, REG. PLAN 65M-3738
CITY OF VAUGHAN

NOTES

Drawn By:
NPANTUSO

S1.1



ALL LVL BEAMS, AND EXPOSED WOOD PRODUCTS ARE TO BE FULLY WEATHERPROOFED - WRAPPED IN PVC CLADDING. ALL FASTENERS TO BE HOT DIPPED GALVANIZED OR SIMILAR.

FOUNDATION PLAN

SCALE: 1 : 48

CONSTRUCTION NOTES:
(AS REFERENCED IN THE FOUNDATION PLAN)

- SLAB SAW CUT REQUIREMENTS: SAWCUT DEPTH SHALL BE 1/4 THE DEPTH OF SLAB. SAW CUT SPACING SHALL BE 24 TIMES THE SLAB THICKNESS. (NOT SHOWN ON PLAN FOR CLARITY)

ALL DIMENSIONS ARE DISPLAYED IN METERS

ROOF FRAMING PLAN

SCALE: 1 : 48

TYPICAL HALF WALL CONSTRUCTION
1 1/2" SMOOTH INDIANA LIMESTONE WALL STONE (THIN VENEER INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS (OUTSIDE THE SCOPE OF STRUCTURAL ENGINEER))
3/8" "DRIPLANE" MEMBRANE
1/2" CEMENT BOARD
2x8 P. T. WALL STUDS AT 16" OC.
1 1/2" SMOOTH INDIANA LIMESTONE WALL STONE

PROVIDE (2) 3/8"Ø x 12" GRK RSS FOR ALL TIMBER CONNECTIONS UNLESS NOTED OTHERWISE.

BEAM SCHEDULE

MARK	SIZE
B1	9-1 3/4" x 11 7/8" 2.0E LVL
B2	2-2x8 P.T HIP RAFTER

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RICHARD LISI
RESIDENTIAL ACCESSORY STRUCTURE
38 AUTUMN GROVE COURT
LOT 5, REG. PLAN 65M-3738
CITY OF VAUGHAN

FOUNDATION AND ROOF FRAMING PLAN

Drawn By:
N.PANTUSO

S2.1

ALL LVL BEAMS, AND EXPOSED WOOD PRODUCTS
ARE TO BE FULLY WEATHERPROOFED -
WRAPPED IN PVC CLADDING.
ALL FASTENERS TO BE HOT DIPPED GALVANIZED
OR SIMILAR.

ROOF CONSTRUCTION

ASPHALT SHINGLES
ICE AND WATER SHIELD EAVE
PROTECTION, TO MIN. 12" BEYOND
INTERIOR FACE OF WALL LAPPED
OVER METAL FLASHING WITH DRIP

1/2" PLYWOOD ROOF SHEATHING
2x6 RAFTERS AT 16" OC.
1x6 CEDAR CEILING

2x6 FASCIA
T/O WALL
2.903

PRE-FINISHED SOFFIT
BEAM AS PER PLAN

PROVIDE (2) 3/8"Ø x 12" LONG
GRK RSS FOR ALL TIMBER
CONNECTIONS UNLESS
OTHERWISE NOTED.
COUNTERSINK TO SUIT. (TYP)

6x6 BRACE BEYOND

8x8 TIMBER POST

1" SHOULDER + (2) 3/8Ø x 8" LONG
GRK RSS, TYP. BOTH ENDS FOR
ALL BRACES

2" THICK ONYX BLOCK
COPING (12" LENGTH MAX.)

T/O STONE CAP
0.914

WALL CONSTRUCTION

1 1/2" SMOOTH INDIANA LINSTONE
WALL STONE (SEE NOTE ON PLAN)
3/8" 'DRIPLANE' MEMBRANE

1/2" CEMENT BOARD
2x8 P.T. WALL STUDS AT 16" OC.
8x8 TIMBER POSTS AS PER PLAN

1/2" CEMENT BOARD
3/8" 'DRIPLANE' MEMBRANE
STUCCO FINISH (COLOUR BY OWNER)

T/O FDN WALL
0.152

AVG. GRADE
0.000

FASTEN COLUMN TO WALL WITH
1 SIMPSON CPT88Z CONCEALED POST
TIE. PROVIDE (2) 1/2"Ø ANCHOR BOLTS
W/ MIN. 6" EMBEDMENT.
ORIENT KNIFE PLATE PERPENDICULAR
TO KNEE BRACES.

15M x 18" DOWELS AT 48" OC.

TRENCH FOOTING AS
PER FOUNDATION PLAN

T/O FOOTING
-1.219

2-15M CONT. BARS

0.610

ALL DIMENSIONS ARE DISPLAYED IN METERS

ROOF CONSTRUCTION

ASPHALT SHINGLES
ICE AND WATER SHIELD EAVE
PROTECTION, TO MIN. 12" BEYOND
INTERIOR FACE OF WALL LAPPED
OVER METAL FLASHING WITH DRIP

1/2" PLYWOOD ROOF SHEATHING
2x6 RAFTERS AT 16" OC.
1x6 CEDAR CEILING

2x6 FASCIA
T/O WALL
2.903

PRE-FINISHED METAL SOFFIT

DOUBLE TOP PLATE

0.368

WALL CONSTRUCTION

1 1/2" SMOOTH INDIANA LINSTONE
WALL STONE (SEE NOTE ON PLAN)
3/8" 'DRIPLANE' MEMBRANE

1/2" CEMENT BOARD
2x6 P.T. WALL STUDS AT 16" OC.
1/2" CEMENT BOARD

3/8" 'DRIPLANE' MEMBRANE
STUCCO FINISH (COLOUR BY
OWNER)

CONCRETE SLAB ON GRADE AND
FINISHES AS PER PLANS

2x6 SILL PLATE c/w GASKET
FASTENED TO CONCRETE WITH
1/2" ANCHOR BOLTS AT 48" OC.
(MIN. 6" EMBEDMENT), TYPICAL

2-15M CONT. BARS

T/O FDN WALL
0.152

FOUNDATION WALL
AS PER PLAN
0.000

FASTEN COLUMN TO WALL WITH
1 SIMPSON CPT88Z CONCEALED POST
TIE. PROVIDE (2) 1/2"Ø ANCHOR BOLTS
W/ MIN. 6" EMBEDMENT.
ORIENT KNIFE PLATE PERPENDICULAR
TO KNEE BRACES.

15M x 18" DOWELS AT 36" OC.

TRENCH FOOTING AS
PER FOUNDATION PLAN

T/O FOOTING
-1.219

2-15M CONT. BARS

0.610

ALL DIMENSIONS ARE DISPLAYED IN METERS

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RICHARD LISI

**RESIDENTIAL ACCESSORY
STRUCTURE**

38 AUTUMN GROVE COURT
LOT 5, REG. PLAN 65M-3738
CITY OF VAUGHAN

SECTIONS

Drawn By:
NPANTUSO

2 SECTION AT POSTS
S3.1 SCALE: 1 : 24

1 SECTION AT WALL
S3.1 SCALE: 1 : 24

S3.1

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review
Building Standards (Zoning)	X			General Comments

To: Committee of Adjustment
From: Garrett Dvernichuk, Building Standards Department
Date: September 2, 2022
Applicant: Richard & Cinzia Lisi
Location: PLAN 65M3738 Lot 5 municipally known as 38 Autumn Grove Court
File No.(s): A244/22

Zoning Classification:

The subject lands are zoned R1B – First Density Residential Zone and subject to the provisions of Exception 14.786 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2. 1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located 1.8 m from the rear lot line.
2	The maximum permitted lot coverage is 30%. [14.786.1 1, Figure T-118]	To permit a maximum lot coverage of 34.3%.
3	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4. 1]	To permit the maximum height of the accessory building (gazebo) to be 3.5 m.

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(1128) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum required rear yard is 9.0 metres. [9(1128) ai), Schedule "T-118"]	To permit a minimum rear yard of 1.8 metres for an accessory structure (gazebo).
5	The maximum permitted lot coverage is 30%. [9(1128) ai), Schedule "T-118"]	To permit a maximum lot coverage of 34.3%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: August 25th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A244-22**

Related Files:

Applicant Richard Lisi & Cinzia Lisi

Location 38 Autumn Grove Court

COMMENTS:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have no comments or objections to its approval. |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have the following concerns (attached below). |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Development Services](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A244/22 (38 AUTUMN GROVE COURT) - REQUEST FOR COMMENTS
Date: Wednesday, September 7, 2022 1:51:28 PM
Attachments: [image002.png](#)
[image004.png](#)

Hello,

The Regional Municipality of York has completed its review of the minor variance – A244/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.P.L. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities – today and tomorrow

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				