

ITEM #: 6.24	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A226/22 19 Granary Rd. Kleinburg
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X			Application Under Review
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		General Comments
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
<p>The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.</p> <p>Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.</p> <p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Applicant		09/01/2022	Justification Letter
Public	Gary and Oliana Angelucci	15 Granary Road	09/05/2022	Letter of Support
Public	Mario Montelleone	200 Treelawn Blvd	09/05/2022	Letter of Support
Public	Marco Noveni	14 Granary Road	09/05/2022	Letter of Support
Public	Ashuin Lachman	198 Treelawn Blvd	09/05/2022	Letter of Support

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
Public	M. Pugliese	178 Treelawn Blvd	09/05/2022	Letter of Support
Public	Q.Pham	20 Granary Road	09/05/2022	Letter of Support
Public	Sam Moretti	26 Granary Road	09/05/2022	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A086/22	06/16/2022	Approved by COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A226/22

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 6.24	CITY WARD #: 1
APPLICANT:	Anne Teresa Riga and Robert Pasutto
AGENT:	None
PROPERTY:	19 Granary Road, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	Minor Variance Application A086/22
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed partially enclosed pavilion. The enclosed portion of the pavilion will support a mechanical room and bathroom.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum rear yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum rear yard of 1.0 metre.
2	The minimum interior side yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum interior side yard of 1.52 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the residential accessory structure to be 3.65 metres.
4	Eaves shall not project more than 0.5 metres into a required yard. [4.13, Table 4-1]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
5	In the R1B Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape. [4.19.1 1]	To permit the portion of the rear yard in excess of 135.0 m² to be comprised of a minimum of 52% soft landscape. **Variance confirmed by Zoning Review Waiver

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(563) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum rear yard is 9.0 metres. [9(563 iii), Schedule T-52]	To permit a minimum rear yard of 1.0 metre.
7	Eaves shall not project more than 0.5 metres into a required yard. [3.14 c)]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
8	The nearest part of the roof of any accessory building or structure shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit the nearest part of the roof of the accessory to be a maximum of 3.05 metres above finished grade.
9	In an R1 Zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [4.1.2 b)]	To permit the portion of the rear yard in excess of 135.0 sq. m to be comprised of a minimum of 52% soft landscape. **Variance confirmed by Zoning Review Waiver

HEARING INFORMATION
DATE OF MEETING: September 22, 2022 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	September 8, 2022	
Date Applicant Confirmed Posting of Sign:	September 6, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	The original plan did not show the bathroom walls and therefore fall outside of the approved plans.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	<p>Development Planning provided the following to the applicant on September 8, 2022:</p> <p>Development Planning is agreeable to your proposed change to the cabana back wall by having it be 8’ wide with two 8” posts on either side for a total face of 9’4”. Please provide an update to the render showing this new proposal so that it can be added to your file. You will also be required to plant trees to the rear of the wall, and we will need a Landscape Plan showing all plantings.</p> <p>Applicant provided revised submission, together with Zoning Review Waiver to increase soft landscaping from 43% to 52% in response.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	Yes	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.		

COMMITTEE OF ADJUSTMENT COMMENTS	
An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	An Adjournment Fee will be required to reschedule the application, should the application be adjourned.
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
Application Under Review	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The applicant has contacted The Development Inspection and Lot Grading division of the City's Development Engineering Department and received a grading permit for the previous COA application. Therefore, a grading permit is not required for this application.</p> <p>According to Minor Variance 5 & 9 The proposed coverage will be compromised of 43% soft landscaping instead of the required 60%. Development Engineering (DE) reached out to the applicant with concerns regarding increased runoff caused by the proposed hardscape. After review of the proposed Low Impact Development (LID) measures for the property, DE is satisfied and believe that the introduced measures will prevent ponding/flooding to adjacent properties.</p> <p>The Development Engineering (DE) Department does not object to the variance application A226/22.</p>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	

FIRE DEPARTMENT COMMENTS	
Fire Department Recommended Conditions of Approval:	None

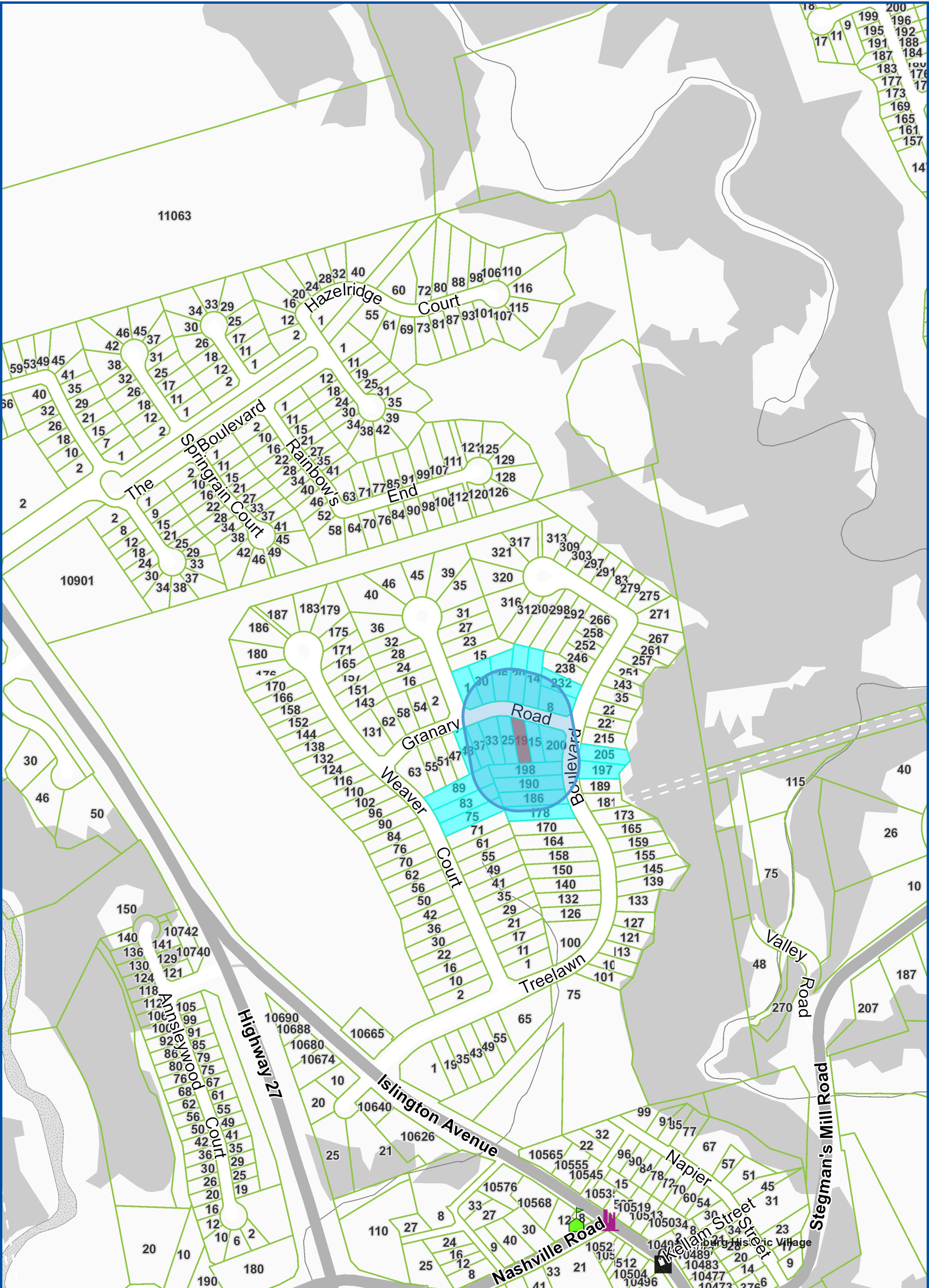
SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

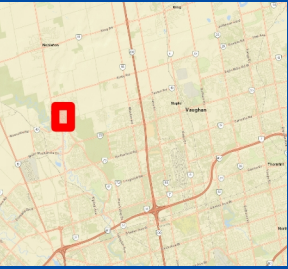
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	Development Planning Joshua.cipolletta@vaughan.ca	Application Under Review

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

19 GRANARY ROAD, KLEINBURG

NOTIFICATION MAP - A226/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

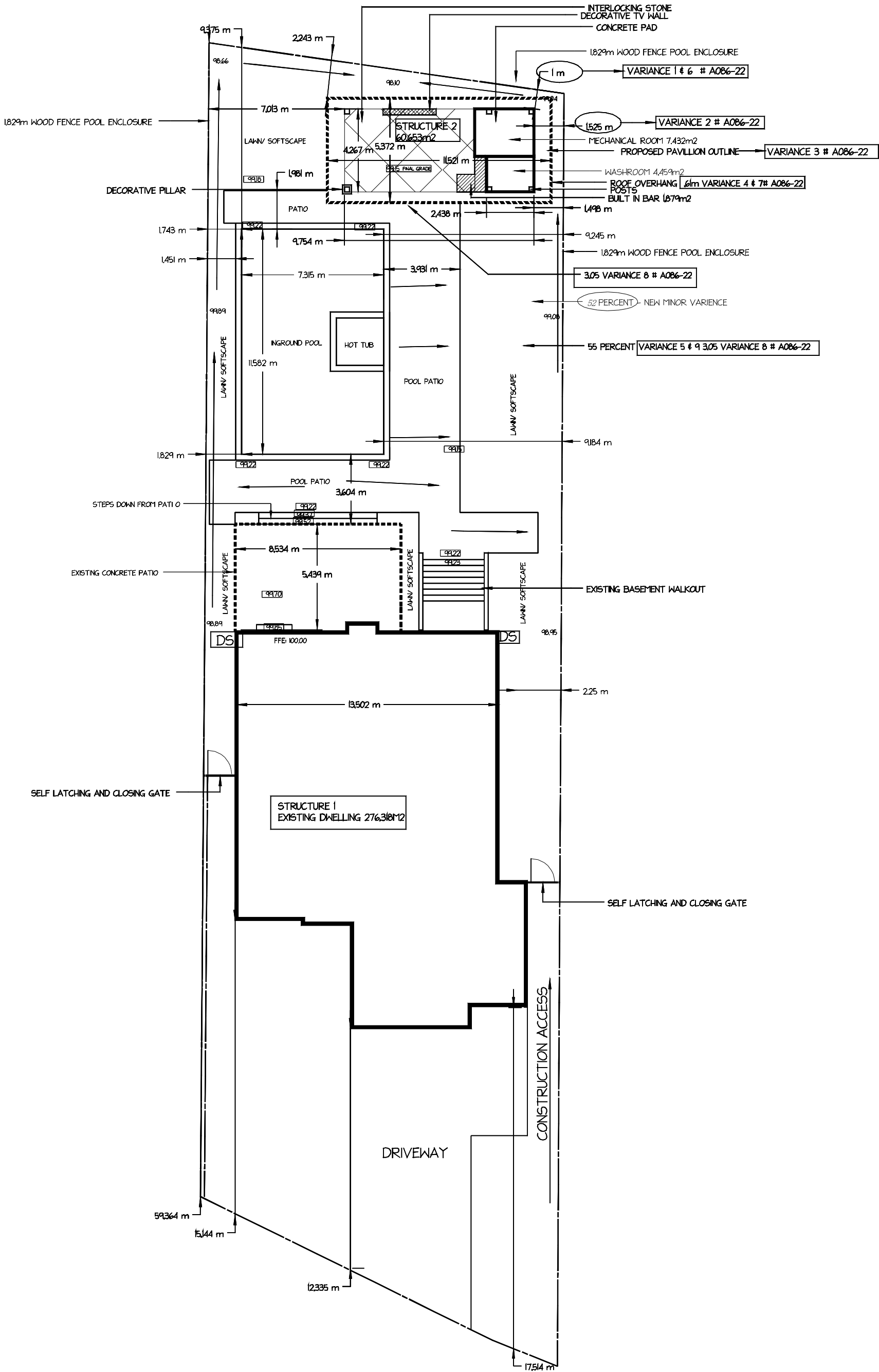



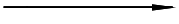

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Created By:
Infrastructure Delivery
Department
May 31, 2022 10:36 AM

Projection:
NAD 83
UTM Zone
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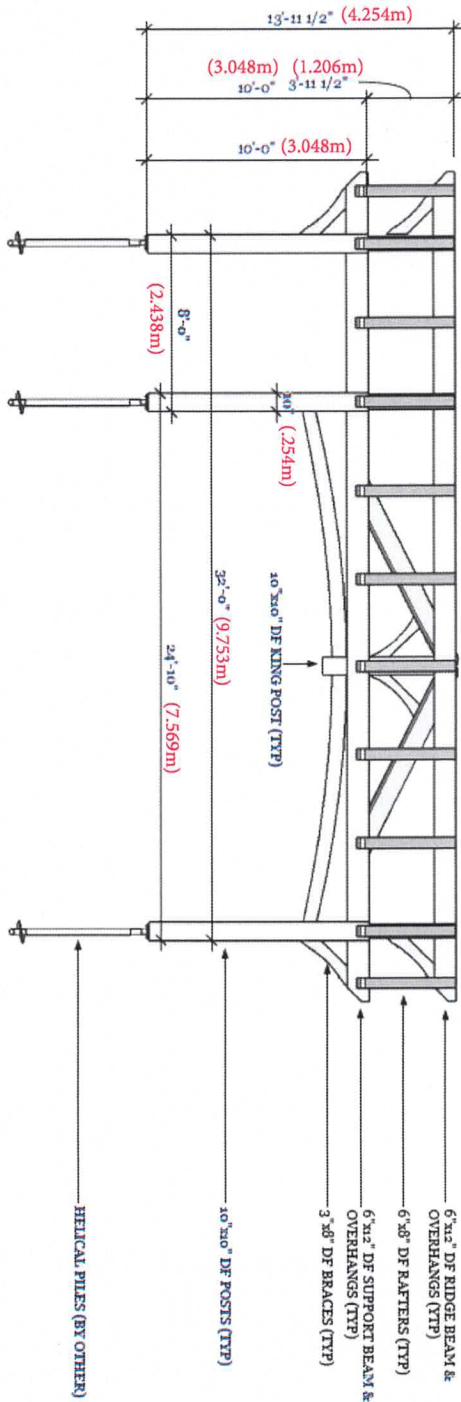
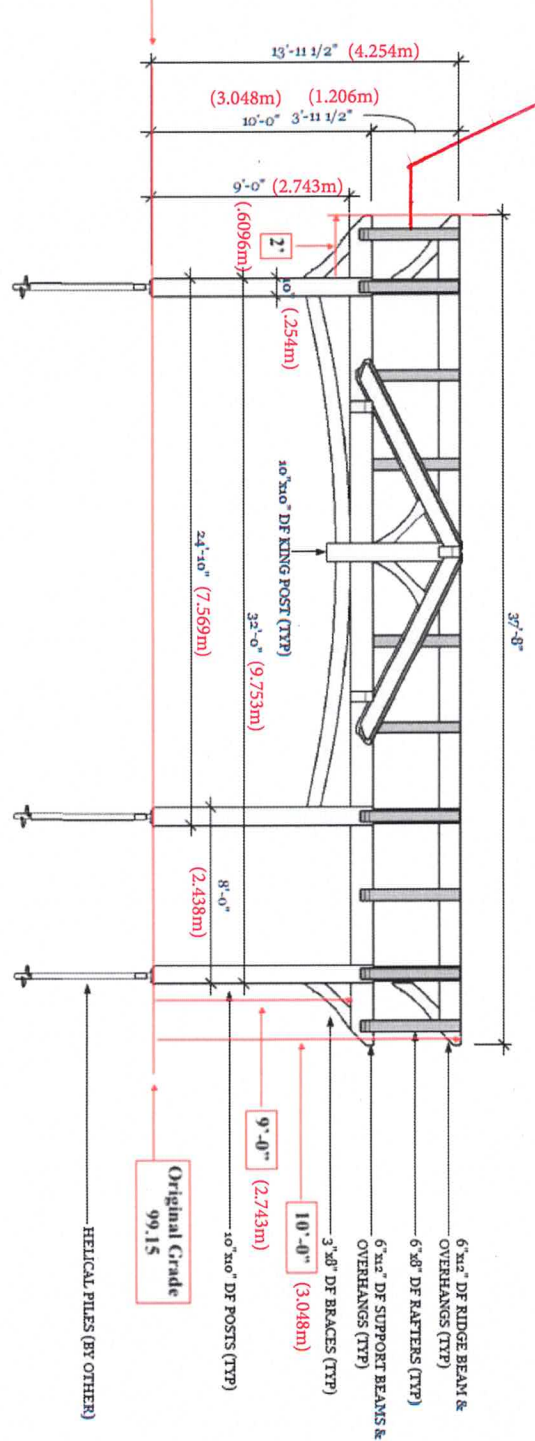


19 GRANARY RD, KLEINBURG ON LOT # 88		NOTE: PREVIOUS MINOR VARIENCE NUMBER # A086-22 ALL MINOR VARIENCES HAVE BEEN APPROVED BY THE CITY	
NOTES: FULL LOT 1145.706m2 STRUCTURE 1: 276.318m2 INCLUDES EYES STRUCTURE 2: 606.53m2 INCLUDES EYES REAR LOT: 522.15M2 = 100 PERCENT REAR SOFT = 201.318 m2= 52 PERCENT REAR HARD= 185.832 m2= 48 PERCENT			SCALE: 1:200 DATE: 2022-09-12 DESIGN: POOL PERMIT PLAN
	DOWNSPOUT 	NOTES: -NO GRADE CHANGES OR HARDSCAPING WITHIN 0.6m OF THE PROPERTY LINE WILL BE MADE - ALL STRUCTURES INCLUDE EYES	
DRAINAGE 		EXISTING GRADES 00.00	
PROPOSED GRADES 			

Elevation = $4.354m - .603m = 3.65m$
 Midpoint = $1.206m / 2 = .603m$

ALL LUMBER IS #1
 DOUGLAS FIR UNLESS
 NOTED OTHERWISE
 ASPHALT SHINGLES OR METAL
 ON 1/2" PLYWOOD SHEATING ON
 1/6" FINE SUBSTRATE OR 2/6" FINE
 SUBSTRATE (BY OTHER)

FRONT ELEVATION
 1/64"=1'-0"



REAR ELEVATION
 1/64"=1'-0"

The ELITE
 ENGINEERING GROUP Inc.
 56 ROBERTSON ROAD
 INKESIDE, ONTARIO - M9C 4E1
 www.eliteengineeringgroup.com

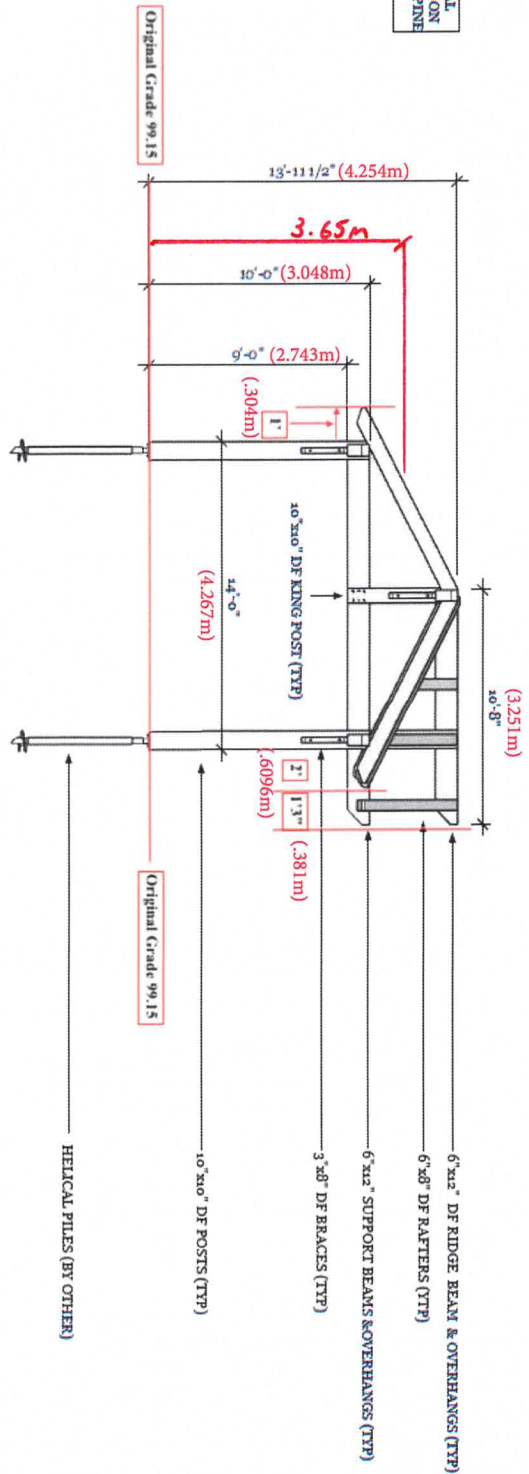
REV. NO.	REV.	REVISION	DATE
1	SB	ISSUED FOR REVIEW	10/25/21

TIMBERKITS™
 by Country Log Homes

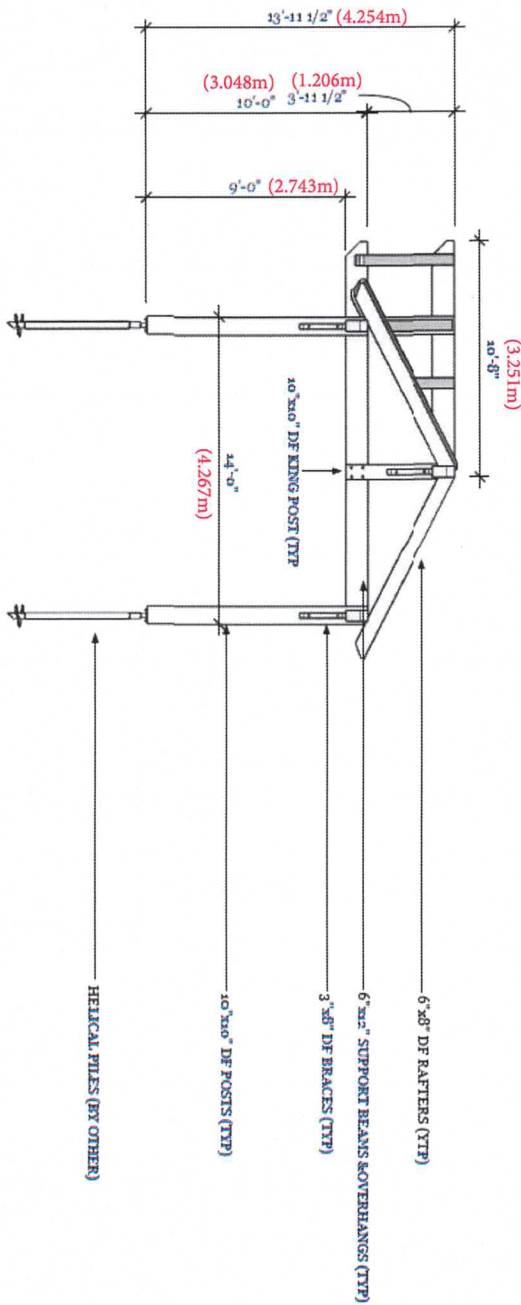
DESIGNED BY:	Rob Pasotto - 14 X12 Super Heavy Pavilion
CHECKED BY:	19 Granary Rd., Kenilburg, ON
SCALE:	Elevations
DATE:	12/23/21
PROJECT NO.	

**ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE**

ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
1/6" PINE SUBSTRATE or 2/6" PINE
SUBSTRATE (BY OTHER)



SIDE ELEVATION

 $1/64 = 1 \cdot 0^6$ 

SIDE ELEVATION

$$1/64 = 1 - 0''$$


 The ELITE ENGINEERING GROUP INC. 86 ROBERTSON ROAD INGLEWOOD, ONTARIO - N6C 4E1 519-280-5244 www.eliteengineeringgroup.com							
REV. NO.	REVISION	DATE					
S.B	BUDIMAN REVIEW	12/23/21					
<h1>TIMBERKITS™</h1> <p><i>by Country & Log Homes</i></p>							
TIMBERKIT NAME			Elevations Rob Pasutto - 14 X32 Super Heavy Pavilion 19 Grenaby Rd., Kitchburg, ON				
TIMBERKIT NO.	CHECKED BY	DRAWN BY	SCALE	DATE	PYLOTAGE NO.		
S.B	S.K	A.S. SHAWER	AS SHOWN	12/23/21			
			03				
			A				

Received

September 13, 2022

A226/22



SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments <i>**Zoning Review Waiver submitted to accommodate revised submission after the issuance of public notice, therefore the applicant has assumed responsibility for identifying the required variances.</i>

To: Committee of Adjustment
From: Garrett Dvernichuk, Building Standards Department
Date: August 18, 2022
Applicant: Anne Teresa Riga
Location: PLAN 65M3466 Lot 88 municipally known as 19 Granary Road
File No.(s): A226/22

Zoning Classification:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum rear yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum rear yard of 1.0 metre.
2	The minimum interior side yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum interior side yard of 1.52 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the residential accessory structure to be 3.65 metres.
4	Eaves shall not project more than 0.5 metres into a required yard. [4.13, Table 4-1]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
5	In the R1B Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1 1]	To permit the portion of the rear yard in excess of 135.0 m ² to be comprised of a minimum of 43% soft landscape.

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(563) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum rear yard is 9.0 metres. [9(563 iii), Schedule T-52]	To permit a minimum rear yard of 1.0 metre.
7	Eaves shall not project more than 0.5 metres into a required yard. [3.14 c)]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
8	The nearest part of the roof of any accessory building or structure shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit the nearest part of the roof of the accessory to be a maximum of 3.05 metres above finished grade.
9	In an R1 Zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [4.1.2 b)]	To permit the portion of the rear yard in excess of 135.0 sq. m to be comprised of a minimum of 43% soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 03-004293 for Single Detached Dwelling - Alteration, Issue Date: Nov 06, 2003
Building Permit No. 21-115076 for Single Detached Dwelling - Alteration, Issue Date: Jun 11, 2021
Building Permit No. 22-101537 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)
Building Permit No. 22-101537 for Shed/Gazebo - New, Issue Date: Jul 21, 2022

Other Comments:

General Comments

1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
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Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

REVISED SUBMISSION - ZONING REVIEW (WAIVER SUBMITTED)

Completed By:

Date:

File No.(s):

Property:

In the chart below, identify all variances required under Zoning By-law 001-2021:

ZONING BY-LAW 001-2021		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

In the chart below, identify all variances required under Zoning By-law 1-88:

ZONING BY-LAW 1-88		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Zoning Review Waivers can only be submitted if your application has received an initial zoning review. Staff cannot be consulted to complete your Zoning Review Waiver. The owner/ agent can obtain a zoning review of their revised application, through the Committee of Adjustment submission process in accordance with the Committee of Adjustment internal deadlines. Should an applicant/agent/representative wish to proceed to a hearing without a revised submission being reviewed by a zoning examiner they must complete this waiver to assume full responsibility for identifying required variances.

Date: August 30th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A226-22**

Related Files:

Applicant Robert Pasutto

Location 19 Granary Road

COMMENTS:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have no comments or objections to its approval. |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have the following concerns (attached below). |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Lenore Providence

Subject: FW: [External] RE: A226/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentservices@york.ca>

Sent: September-14-22 12:16 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A226/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development,
Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Applicant		09/01/2022	Justification Letter
Public	Gary and Oiana Angelucci	15 Granary Road	09/05/2022	Letter of Support
Public	Mario Montelleone	200 Treelawn Blvd	09/05/2022	Letter of Support
Public	Marco Noveni	14 Granary Road	09/05/2022	Letter of Support
Public	Ashuin Lachman	198 Treelawn Blvd	09/05/2022	Letter of Support
Public	M. Pugliese	178 Treelawn Blvd	09/05/2022	Letter of Support
Public	Q.Pham	20 Granary Road	09/05/2022	Letter of Support

Received

September 1, 2022

Cabana Minor Variance Applications in Area

1. File Number: A336/12 – 309 Treelawn Blvd, Elvio & Rosa Rasile
2. File Number: A095/20 – 133 Treelawn Blvd, Hamid Hermati
3. File Number: A033/14 – 197 Treelawn Blvd, Raymond Commisso
4. File Number: A024/13 – 2 Weaver Court, Sushil & Diana Chari
5. File Number: A276/15 – 180 Weaver Court, Albert Vitullo
6. File Number: A089/14 – 110 Weaver Court, Thomas Mascitelli
7. File Number: A270/13 – 32 Northfield Court, Giuseppe Natale
8. File Number: A036/22 – 186 Treelawn Blvd, Robert Fallone
9. Permit Number: 15 001594 000 00-D – 61 Weaver Court
10. Permit Number: 15 001713 000 00-D – 190 Treelawn Blvd

Received

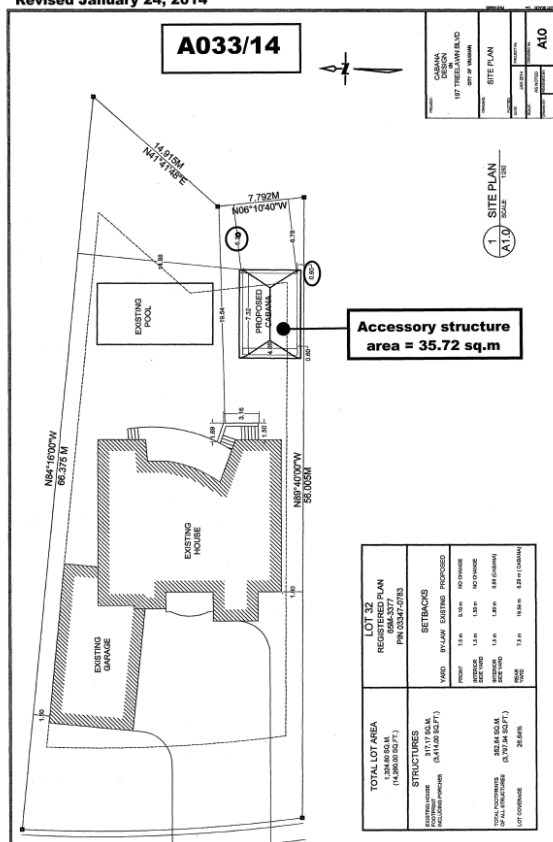
September 1, 2022

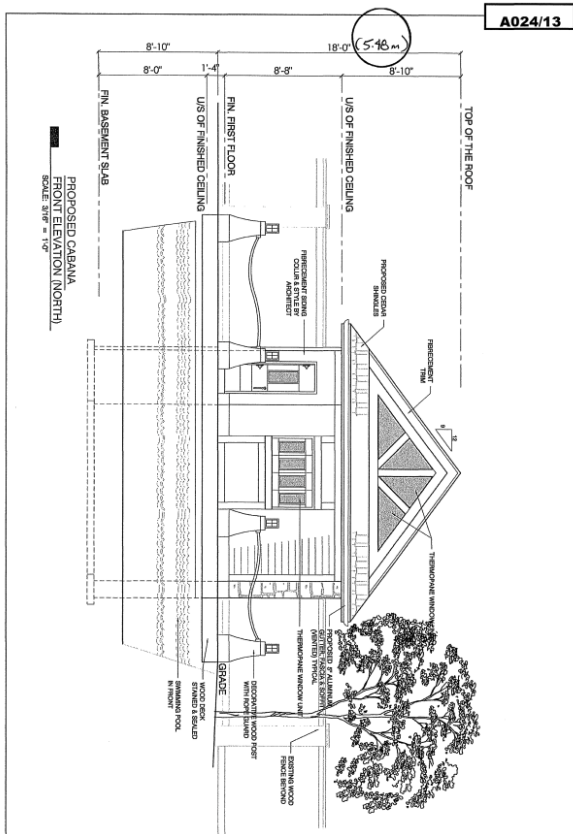
Hi Lenore,

Can you please add these to the file for the meeting.



[illegible][illegible]





Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

Minor Variance Application: A086/22

Dear Neighbor,

I wanted to introduce myself as the owner of 19 Granary Road. As you may already know my wife and I have applied for a minor variance for the construction of an outdoor pavilion for our backyard. The meeting will be held on June 16th, 2022 at 6:00pm.

The reason we are building this structure is to gain a shaded area in our backyard so we can enjoy spending outdoor time with our family. We have purchased the pavilion from Timber kits who specialize in building beautiful outdoor pavilions and pergolas. This structure has engineering drawings and will meet or exceed building codes.

We kindly ask for your signature to show support for the structure we are proposing to build.

I Gary + Oliana Angelucci owner at 15 Granary Rd. have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature:

Oliana Angelucci

Date:

June 12. 2022

Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

Minor Variance Application: A086/22

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We kindly ask for your signature to show support for the structure we are proposing to build.

I MARZO MONTELUZZE owner at 200 TREELAWN BLVD have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature: _____

Date: _____

JUNE 12 2022

Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

Minor Variance Application: A086/22

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We kindly ask for your signature to show support for the structure we are proposing to build.

I MARCO NOVENI owner at 16 GRANARY have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature: Marco Noveni

Date: JUN 12TH 2022

Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

Minor Variance Application: A086/22

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We kindly ask for your signature to show support for the structure we are proposing to build.

I ASHWIN LACHMAN owner at 198 Treelesson Blvd have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature: _____

Date: _____

June 13/22

Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

Minor Variance Application: A086/22

Dear Neighbor,

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We kindly ask for your signature to show support for the structure we are proposing to build.

I M. Pugliese owner at 178 TREECROW BLVD have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature: _____

Date: _____

June 13/22

Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

Minor Variance Application: A086/22

Dear Neighbor,

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We kindly ask for your signature to show support for the structure we are proposing to build.

I Q. Pham owner at 20 Granary Rd have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature: _____



Date: _____

13.6.22

Received

September 5, 2022

Robert & Anna Pasutto
19 Granary Road
Kleinburg, ON
L0J 1C0

Re: Acceptance letter for the Construction of a Pavilion

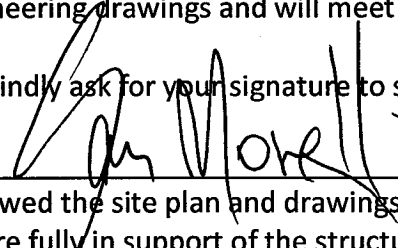
Minor Variance Application: A086/22

Dear Neighbor,

I wanted to introduce myself as the owner of 19 Granary Road. As you may already know my wife and I have applied for a minor variance for the construction of an outdoor pavilion for our backyard. The meeting will be held on June 16th, 2022 at 6:00pm.

The reason we are building this structure is to gain a shaded area in our backyard so we can enjoy spending outdoor time with our family. We have purchased the pavilion from Timber kits who specialize in building beautiful outdoor pavilions and pergolas. This structure has engineering drawings and will meet or exceed building codes.

We kindly ask for your signature to show support for the structure we are proposing to build.

I  owner at 26 GRANARY RD. have reviewed the site plan and drawings for the proposed Pavilion and do not have any objections, we are fully in support of the structure.

Signature: 

Date: JUNE 13/22

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A086/22	06/16/2022	Approved by COA

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A086/22
Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday , June 16, 2022
APPLICANT:	Robert Pasutto & Anne Teresa Riga
AGENT:	None
PROPERTY:	19 Granary Rd Kleinburg ON L0J 1C0
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed pavilion in the rear yard.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum rear yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum rear yard of 1.0 metre.
2	The minimum interior side yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum interior side yard of 1.52 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the residential accessory structure to be 3.65 metres.
4	Eaves shall not project more than 0.5 metres into a required yard. [4.13, Table 4-1]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
5	In the R1B Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape.[4.19.1 1]	To permit the portion of the rear yard in excess of 135.0 m ² to be comprised of a minimum of 55% soft landscape.

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(563) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum rear yard is 9.0 metres. [9(563 iii), Schedule T-52]	To permit a minimum rear yard of 1.0 metre.
7	Eaves shall not project more than 0.5 metres into a required yard. [3.14 c)]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
8	The nearest part of the roof of any accessory building or structure shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit the nearest part of the roof of the accessory to be a maximum of 3.05 metres above finished grade.
9	In an R1 Zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [4.1.2 b)]	To permit the portion of the rear yard in excess of 135.0 sq. m to be comprised of a minimum of 55% soft landscaping.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A086/22** for 19 Granary Rd Kleinburg ON L0J 1C0 be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart below for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
Joe Chimenti	25 Granary Road, Kleinburg	06/14/2022	Letter in Opposition
Joe Chimenti	25 Granary Road, Kleinburg	06/15/2022	Letter in Opposition

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
Joe Chimenti	25 Granary Road, Kleinburg	06/16/2022	Spoke in Opposition

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION
<p>Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Thursday, June 16, 2022
DATE OF NOTICE:	June 23, 2022
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 6, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. <i>C. Vigneault</i> Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
The Planning Act, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may **within 20 days of the making of the decision** appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: Please notify the Secretary Treasurer by email at cofa@vaughan.ca that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

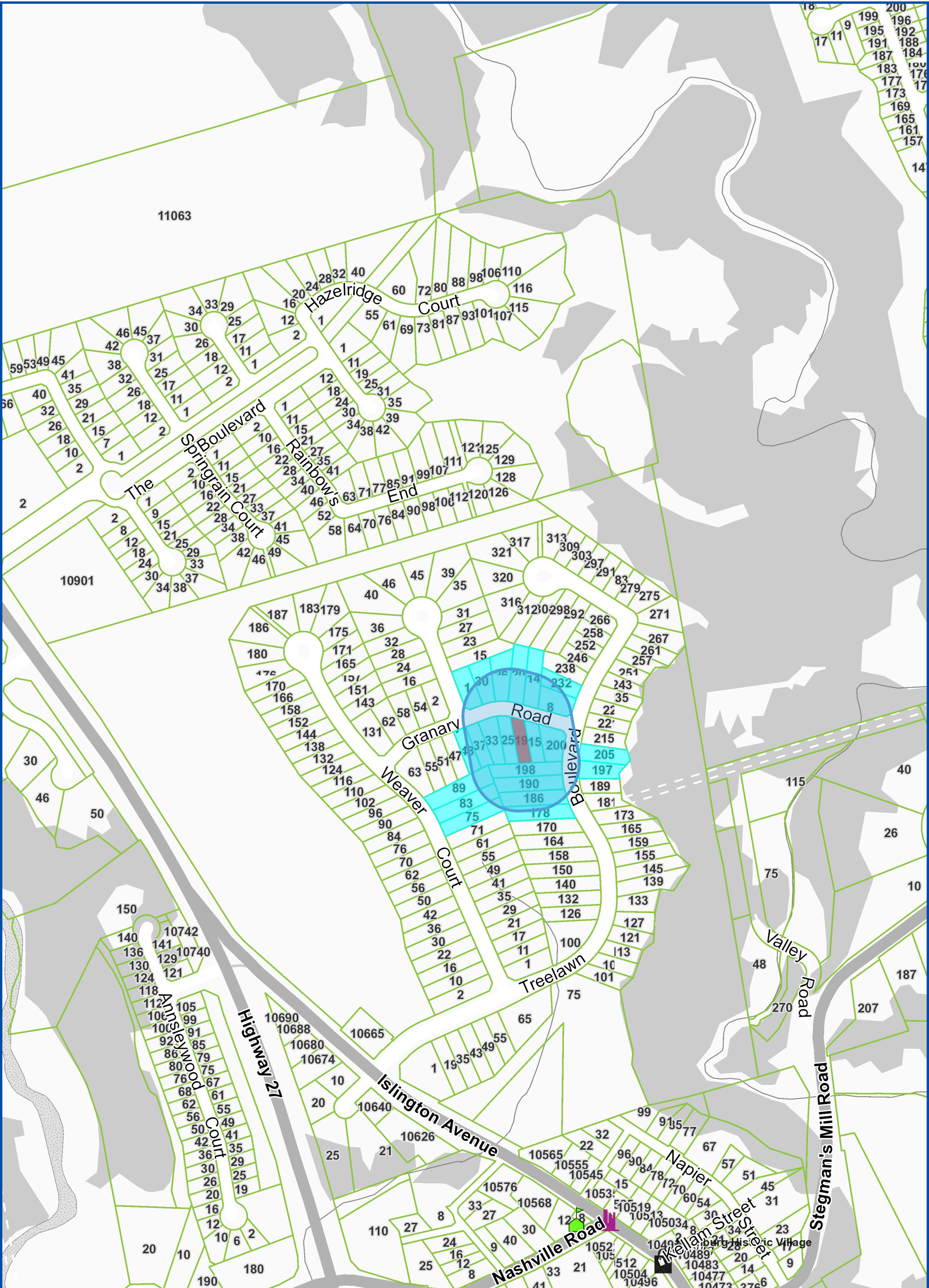
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

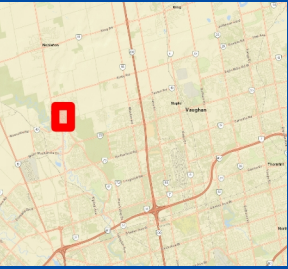
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$892.00 per application

*Please note that all fees are subject to change.



Map Information:



Title:

19 GRANARY ROAD, KLEINBURG

NOTIFICATION MAP - A086/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 6,709

0 0.11 km



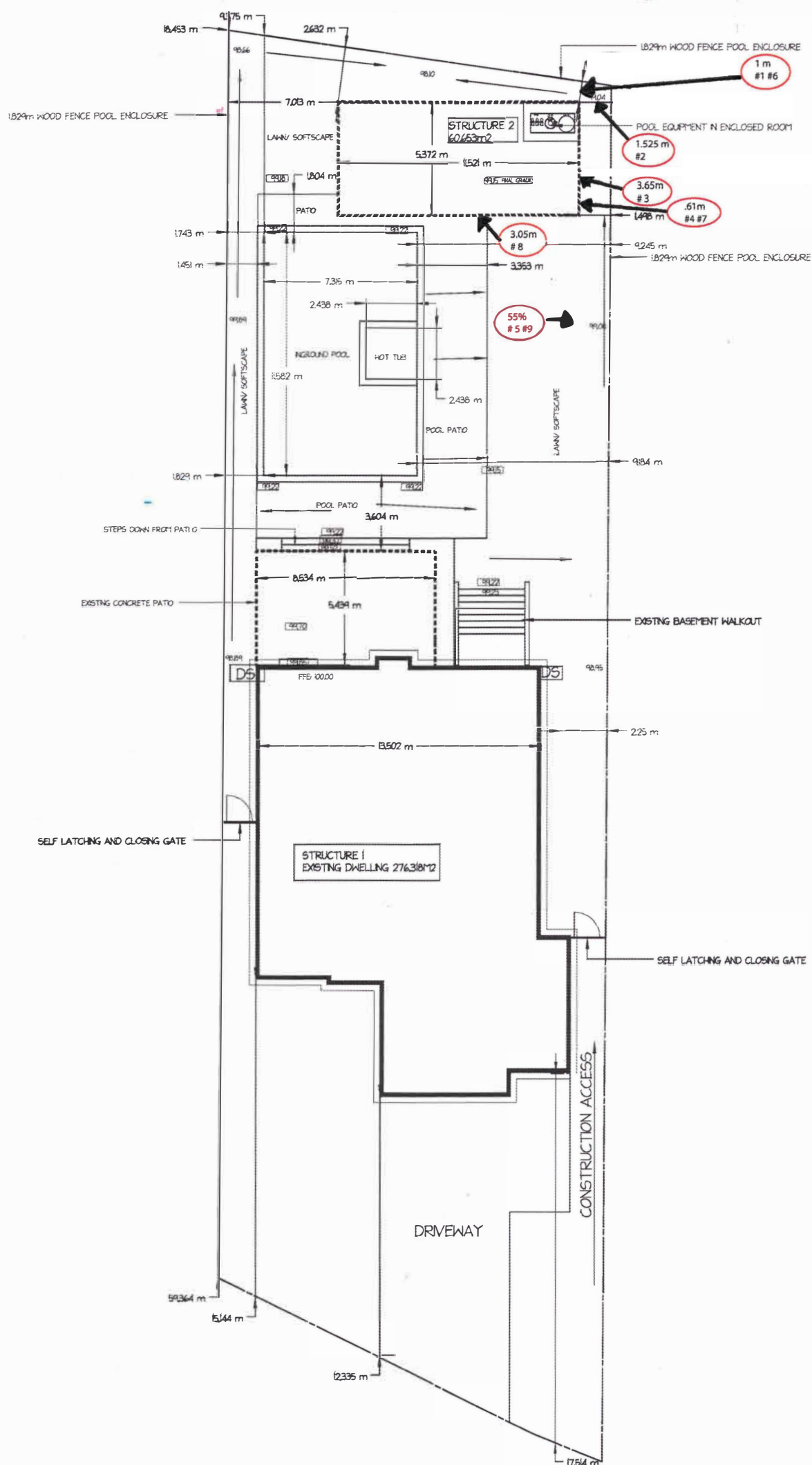
Created By:

Infrastructure Delivery
Department
May 31, 2022 10:36 AM

Projection:
NAD 83
UTM Zone
17N

June 7, 2022

A086/22



Received

June 7, 2022

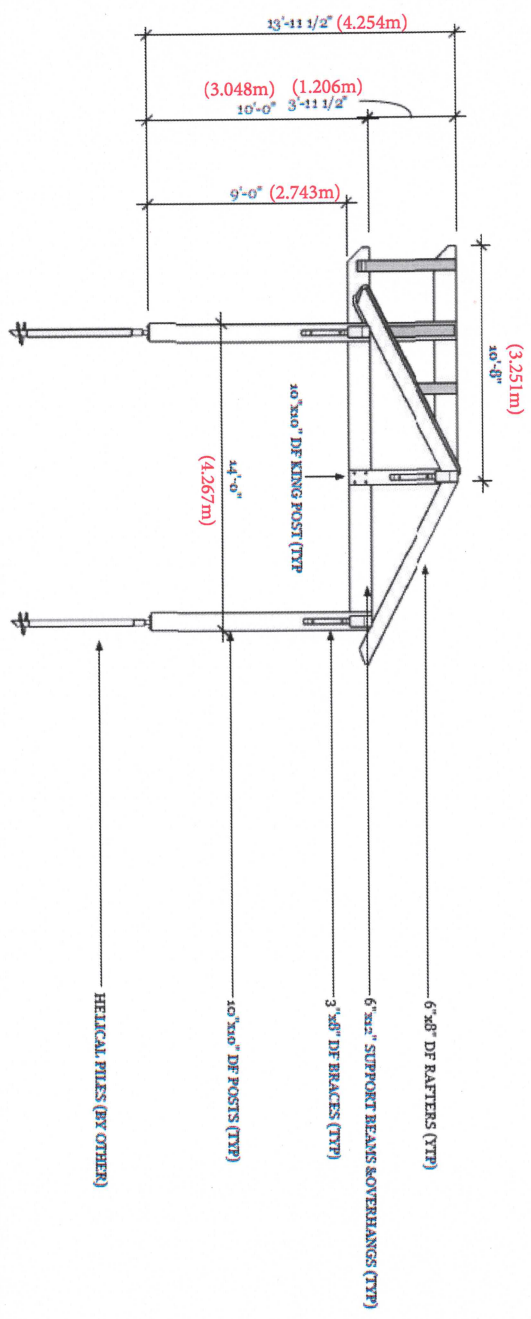
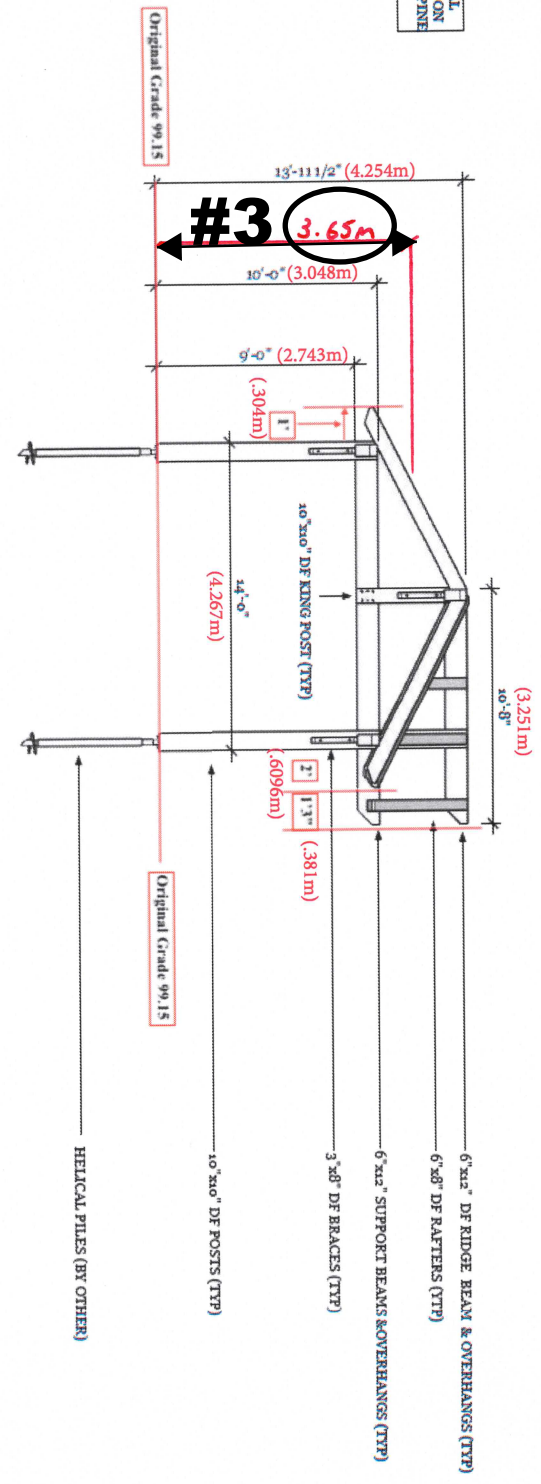


ALL LUMBER IS #1 DOUGLAS FIR UNLESS NOTED OTHERWISE

ASPHALT SHINGLES OR METAL ON 1/2" PLYWOOD SHEATING ON 1/6" PINE SUBSTRATE OR 2/6" PINE SUBSTRATE (BY OTHER)

SIDE ELEVATION
1/6"=1'-0"

SIDE ELEVATION
1/6"=1'-0"



The ELITE
ENGINEERING GROUP INC.
INGERSOLL, ONTARIO - M9C 4E1
519.280.5944
www.eliteengineeringgroup.com

REV. NO.	REV.	REVISIONS	DATE
1	SB	DESIGN REVIEW	12/23/21

TIMBERKITS™
by Country Log Homes

Rob Pasitio - 4432 Super Heavy Pavilion 19 Granary Rd., Kitchburg, ON			
DRAWING NO.: SB	CHECKED BY: S.K.	SCALE: As Shown	DATE: 12/23/21
PROJECT NO.: Elevations			PRINTED BY:

Received

June 7, 2022



BEAR ELEVATION
1/64" = 1'-0"

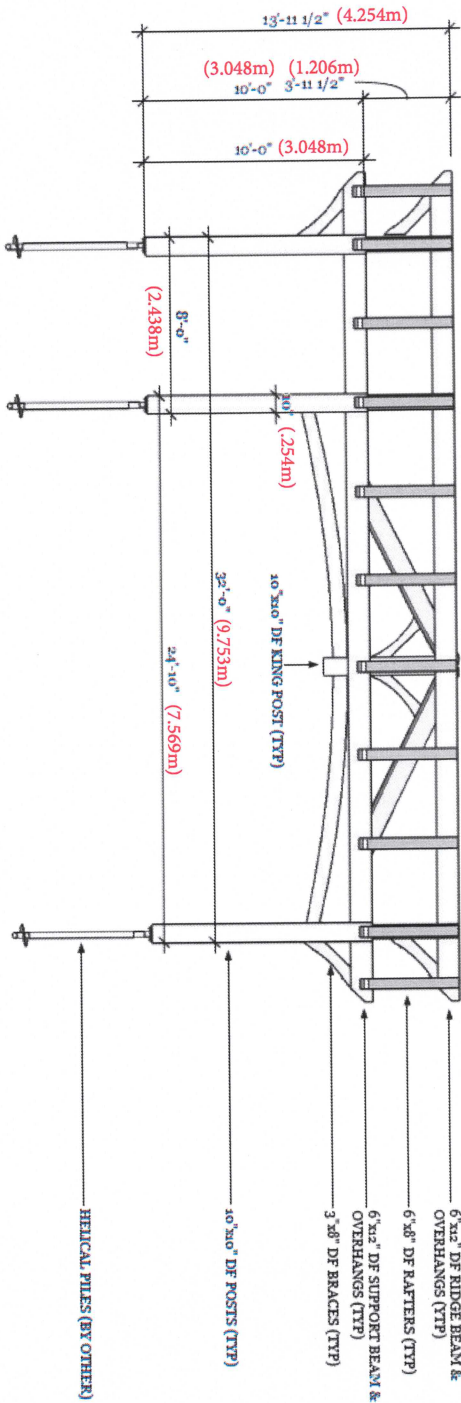
The ELITE
ENGINEERING GROUP INC.
90 ROBERTSON ROAD
INGERSOLL, ONT. N4C 4E1
www.eliteengineeringgroup.com

REV. NO.	BY	REVISION	DATE
1	S.B.	ENGINEER REVIEW	12/23/21

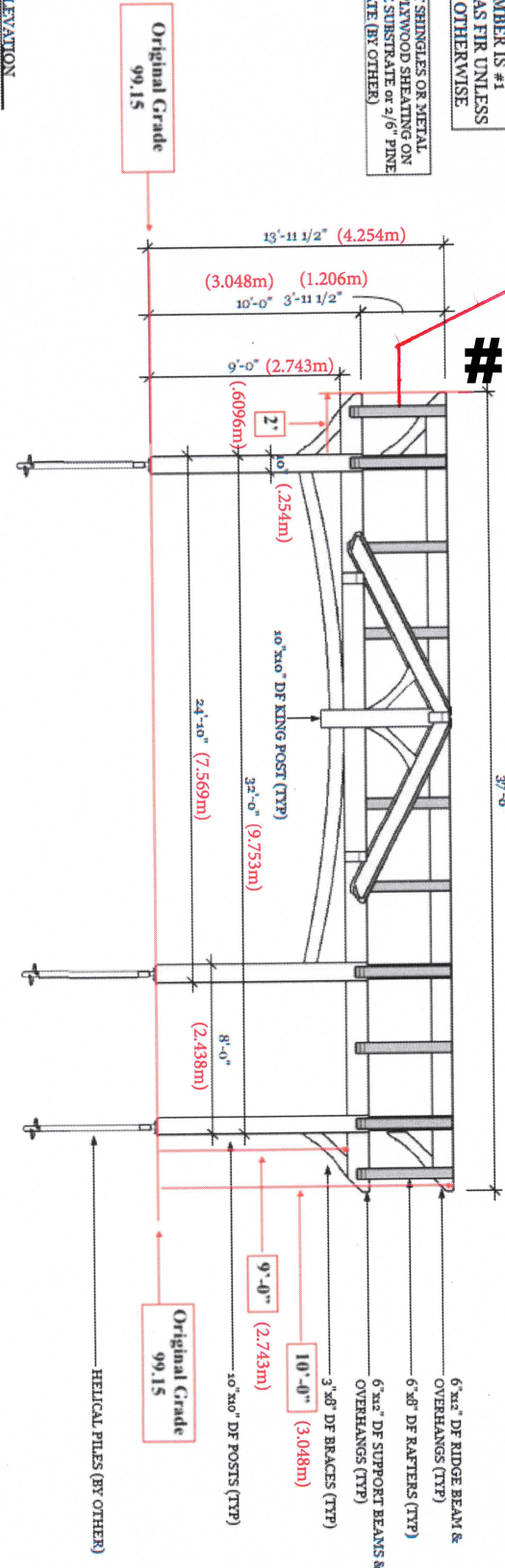
TIMBERKITS™
by Counting & Log Stones

DESIGNED BY	Rob Pasutto - 14 X12 Super Heavy Pavilion
CHECKED BY	19 Granary Rd., Kitchburg, ON
DATE	12/23/21
PROJECT NO.	

A 02



FRONT ELEVATION
1/64" = 1'-0"



ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
4/6" PINE SUBSTRATE OR 2/6" PINE
SUBSTRATE (BY OTHER)

ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE

#3

Elevation: 4.254m - .603m = 3.65m
Midpoint = 1.206m / 2 = .603m