

ITEM #: 6.15	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A189/22 44 Lucky Ct. Woodbridge
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X			Application Under Review
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		General Comments
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X	X		General Comments
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<i>*Please see Schedule D for a copy of the Decisions listed below</i>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A189/22**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 6.15	CITY WARD #: 3
APPLICANT:	Angela Fuda
AGENT:	Gabe Faraone
PROPERTY:	44 Lucky Court, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from Zoning By-law is being requested to permit the construction of a roof structure in the rear yard as well as to permit the existing shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) –Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.277 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback for the roof structure is 7.5m. Exception 277 T17	To permit a minimum required rear yard setback of 1.84m.
2	The minimum required rear yard setback for the residential accessory structure is 0.60m. Section 4.1.2 1.b.	To permit a minimum rear yard setback for the residential accessory structure of 0.30m.
3	The minimum required interior side yard setback for the residential accessory structure is 1.2m. Exception 277 T17	To permit a minimum required interior side yard setback for the residential accessory structure of 0.30m.

The subject lands are zoned R3–Residential Zone and subject to the provisions of Exception 9(476) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum required rear yard setback for the roof structure is 7.5m. Exception 476 T17	To permit a minimum required rear yard setback of 1.84m.
5	The minimum required rear yard setback for the accessory structure is 7.5m. Exception 476 T17	To permit a minimum rear yard setback for the accessory structure of 0.30m
6	The minimum required interior side yard setback for the accessory structure is 1.2m. Exception 476 T17	To permit a minimum required interior side yard setback for the accessory structure of 0.30m.

HEARING INFORMATION

DATE OF MEETING: September 22, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	September 8, 2022
Date Applicant Confirmed Posting of Sign:	September 6, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Proposed Roof over patio encroaches rear setback.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	Development Planning provided the following to the applicant on September 7, 2022: In light of yesterday’s site visit staff are of the opinion that the proposal as shown would be too imposing on the neighbouring properties. The combination of the height and the reduction in setback is too great for Development Planning to support. I have included a redlined drawing indicating an example of a covered porch that we would not take issue with. Any revisions to the plans will need to be reviewed prior to our recommendation to Committee, therefore we recommend adjourning the application to October 27 th to allow City staff sufficient time to review. Applicant provided revised submission, together with Zoning Review Waiver, increasing rear yard setback from 1.02m to 1.84m. Building Standards confirmed the requested variances on September 8, 2022.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes.
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None

COMMITTEE OF ADJUSTMENT COMMENTS	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
Application is Under Review	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
On March 9th, 2022, the property at 44 Lucky Court was issued a grading permit, according to Department records. However, that did not include the updated design for the proposed covered deck. The owner/applicant must reapply for a grading permit with the City's Development Engineering Department's Development Inspection and Lot Grading division. Please note any in ground structure over 10 m2 requires a grading permit. To clear the condition, please contact the COA application engineering reviewer after receiving the grading permit. (Condition attached)	
The Development Engineering (DE) Department does not object to the variance application A189/22.	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

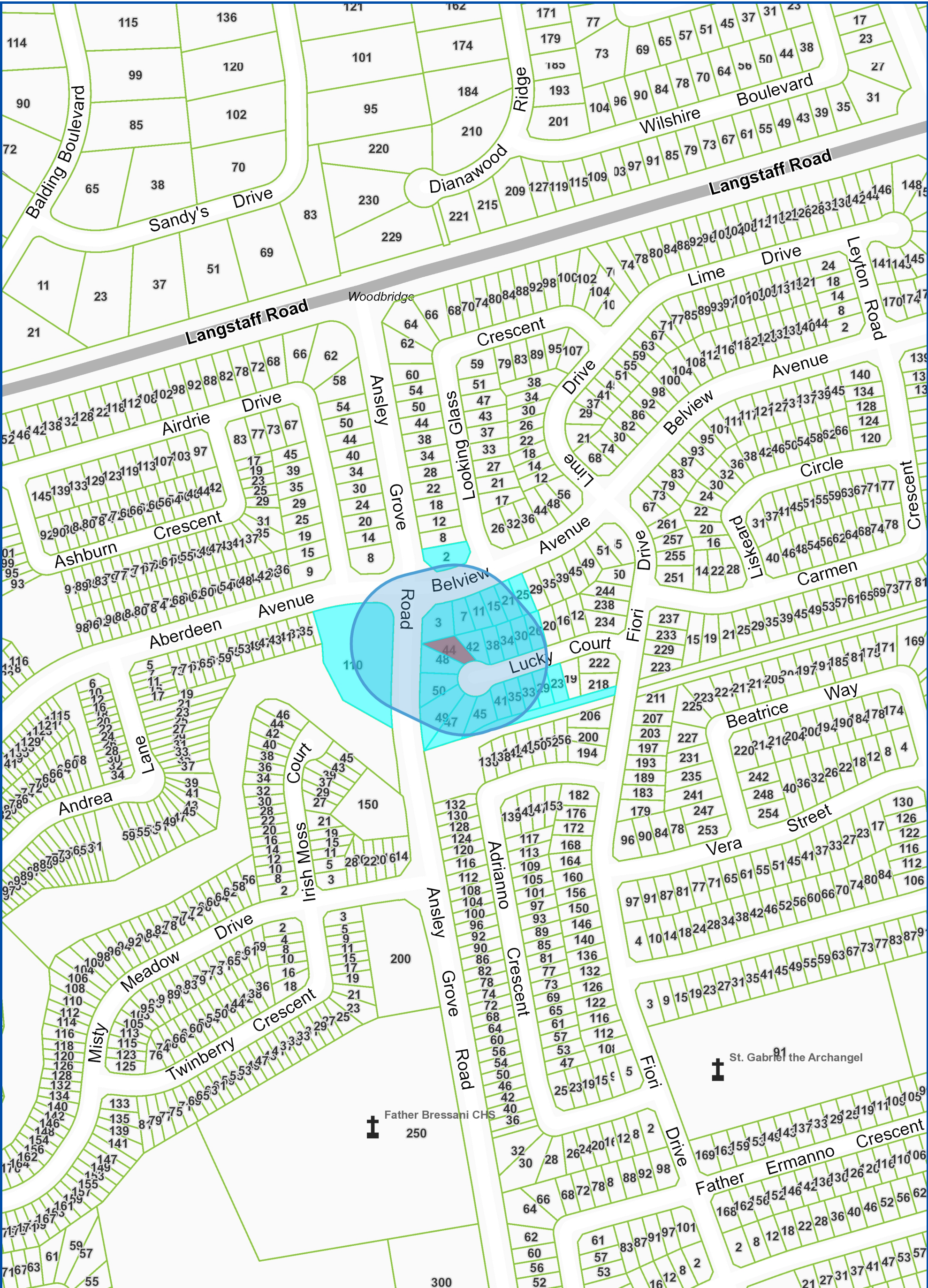
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	TRCA hamedeh.razavi@trca.ca	1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority. 2. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA forthe proposed works.

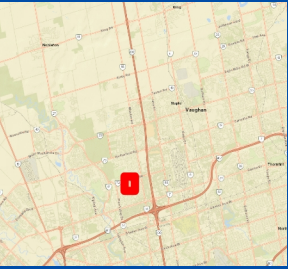
IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

IMPORTANT INFORMATION – PLEASE READ
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

NOTIFICATION MAP - A189/22

44 LUCKY COURT, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
August 17, 2022 5:29 PM

Projection:
NAD 83
UTM Zone
17N

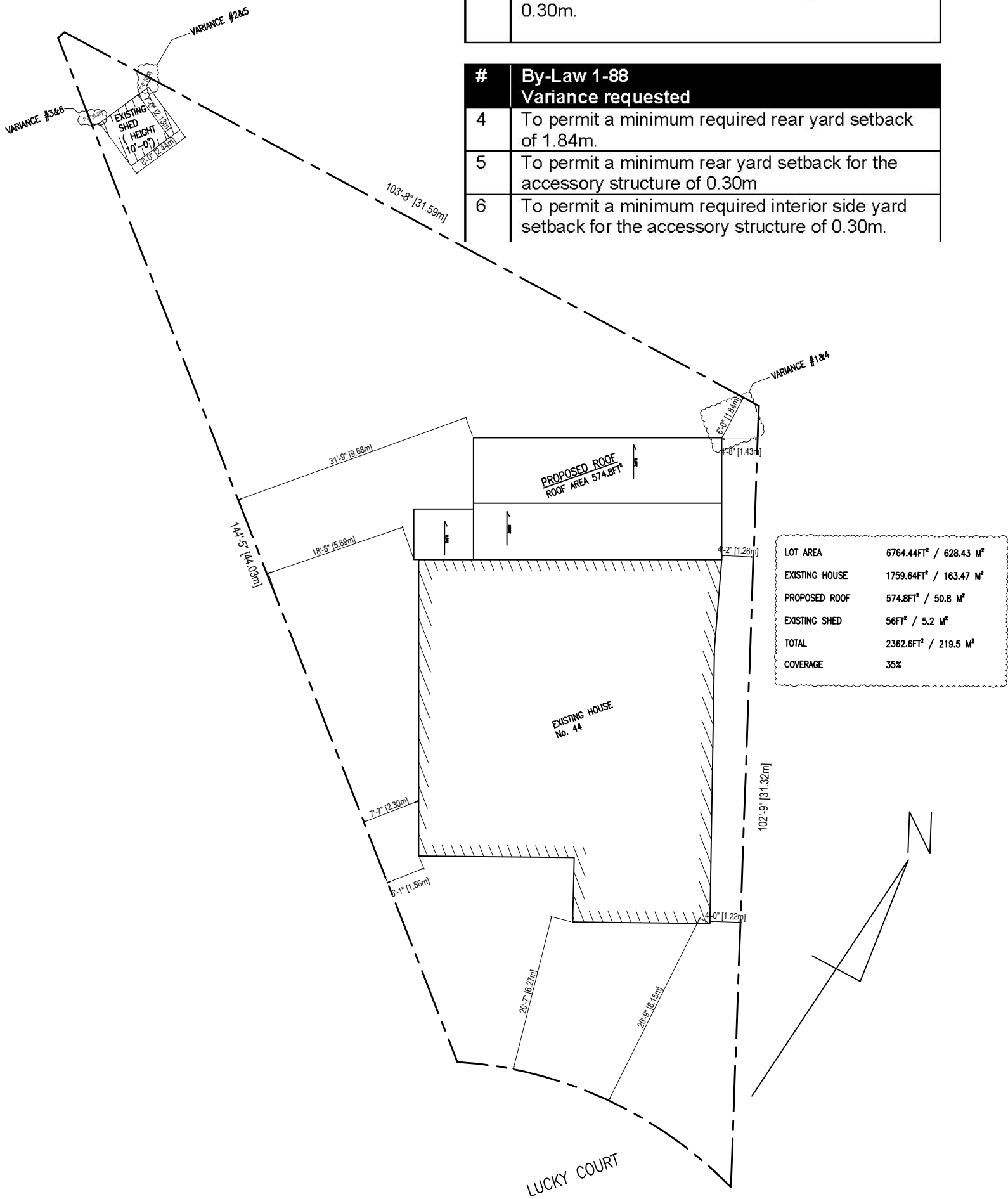
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A189/22

Received
September 9, 2022

#	By-Law 001-2021 Variance requested
1	To permit a minimum required rear yard setback of 1.84m.
2	To permit a minimum rear yard setback for the residential accessory structure of 0.30m.
3	To permit a minimum required interior side yard setback for the residential accessory structure of 0.30m.

#	By-Law 1-88 Variance requested
4	To permit a minimum required rear yard setback of 1.84m.
5	To permit a minimum rear yard setback for the accessory structure of 0.30m
6	To permit a minimum required interior side yard setback for the accessory structure of 0.30m.



GPF Design Services Inc. 2572,
Eglinton Avenue West Toronto,
Ontario M6M 1T4
Tel. 416-656-0134
Fax 416-656-5343
B.C.I.N28087

No.	Description	Date	By
4.			
3.			
2.			
1.	ISSUED TO CLIENT	22-09-08	
REVISIONS			

CLIENT:
PROJECT: 44 LUCKY COURT.
VAUGHAN, ON

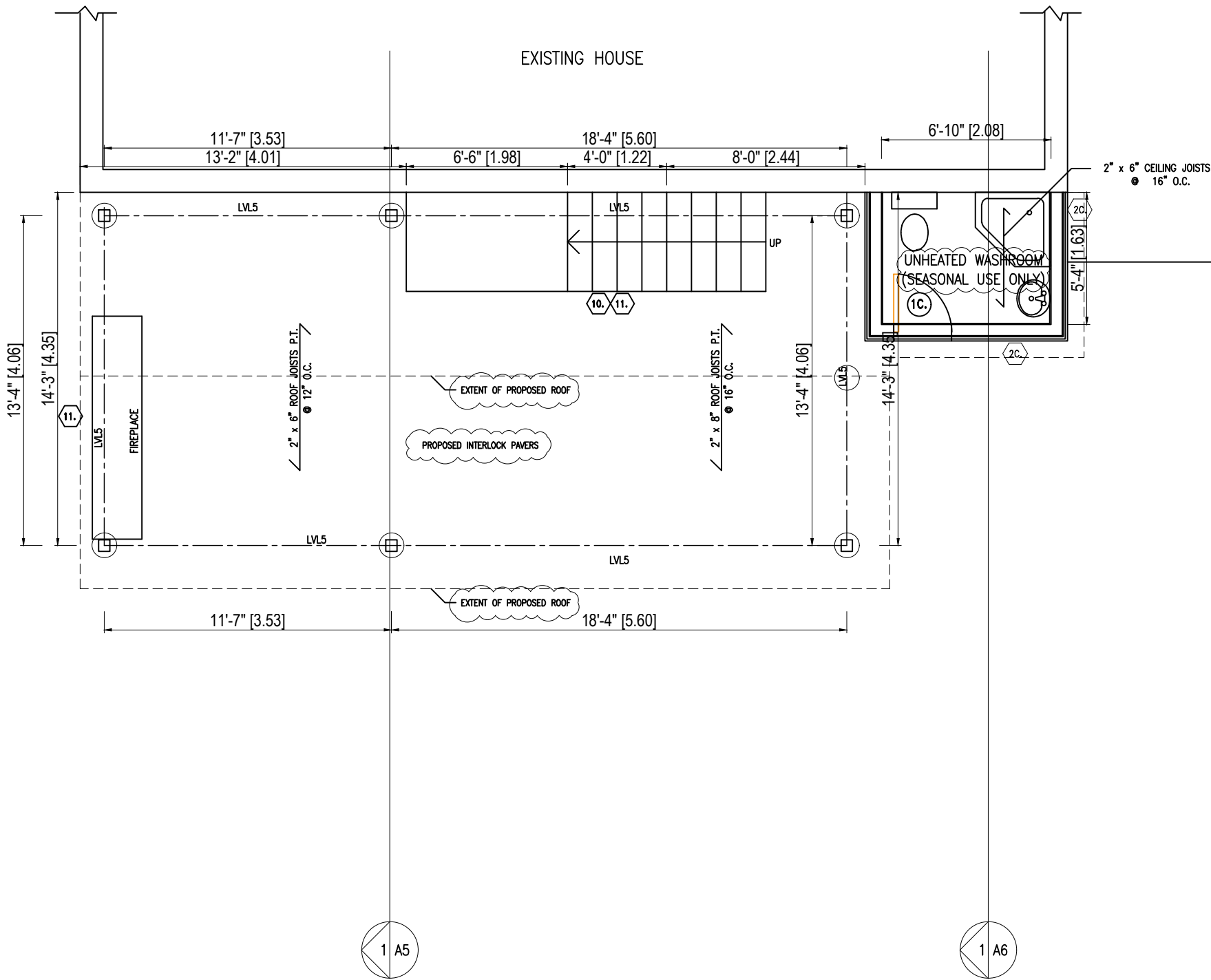
SHEET TITLE: SITE PLAN

SCALE: 1/16" = 1'-0"

A0

Received

September 9, 2022



GPF Design Services Inc. 2572,
Eglinton Avenue West Toronto,
Ontario M6M 1T4
Tel. 416-656-0134
Fax 416-656-5343
B.C.I.N28087

4.			
3.			
2.			
1.	ISSUED TO CLIENT	22-09-08	
No.	Description	Date	By
REVISIONS			

CLIENT:
PROJECT: 44 LUCKY COURT.
VAUGHAN, ON

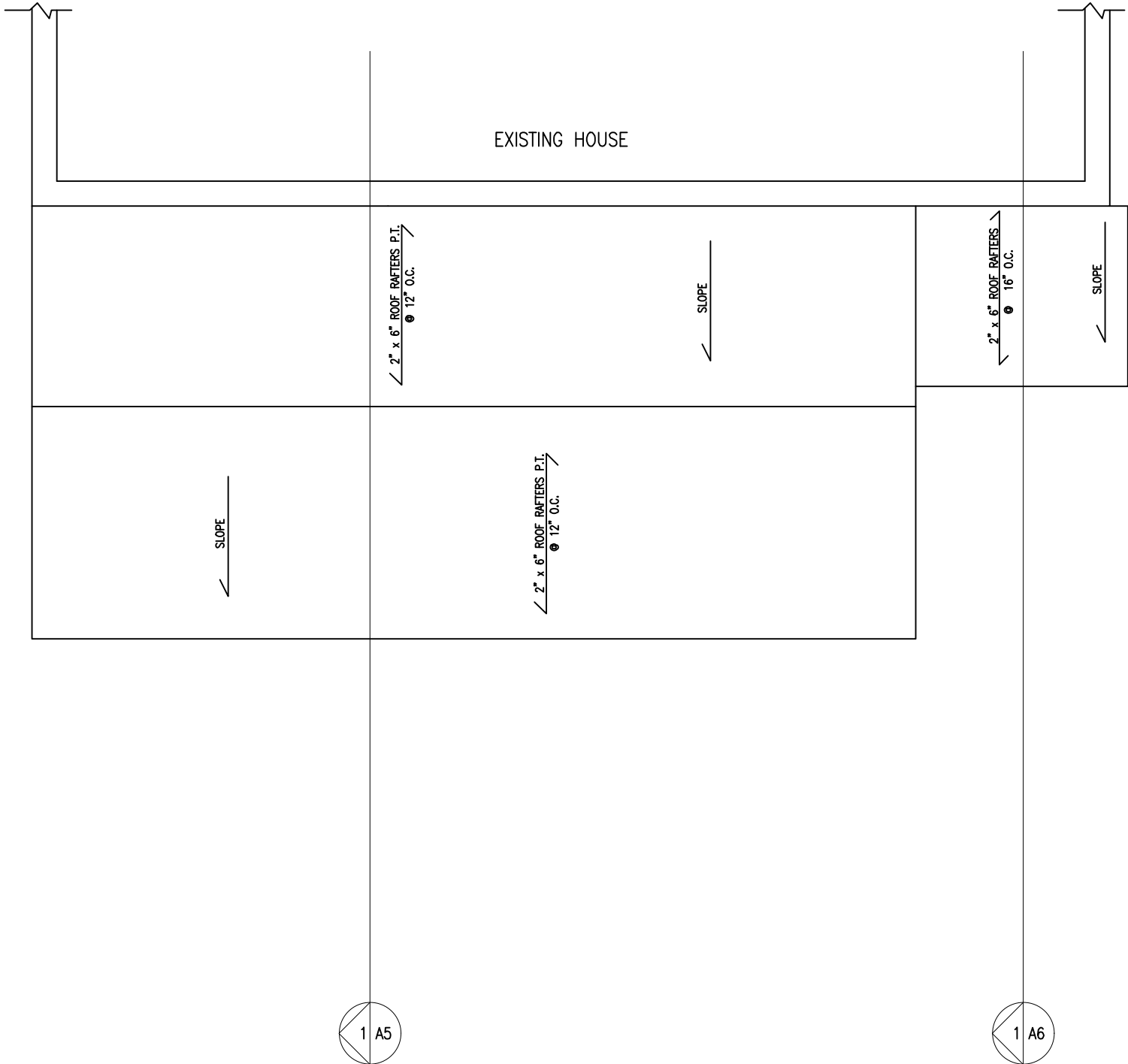
SHEET TITLE: GROUND FLOOR PLAN

SCALE: $\frac{3}{16}'' = 1'-0''$

A2

Received

September 9, 2022



GPF Design Services Inc. 2572,
Eglinton Avenue West Toronto,
Ontario M6M 1T4
Tel. 416-656-0134
Fax 416-656-5343
B.C.I.N28087

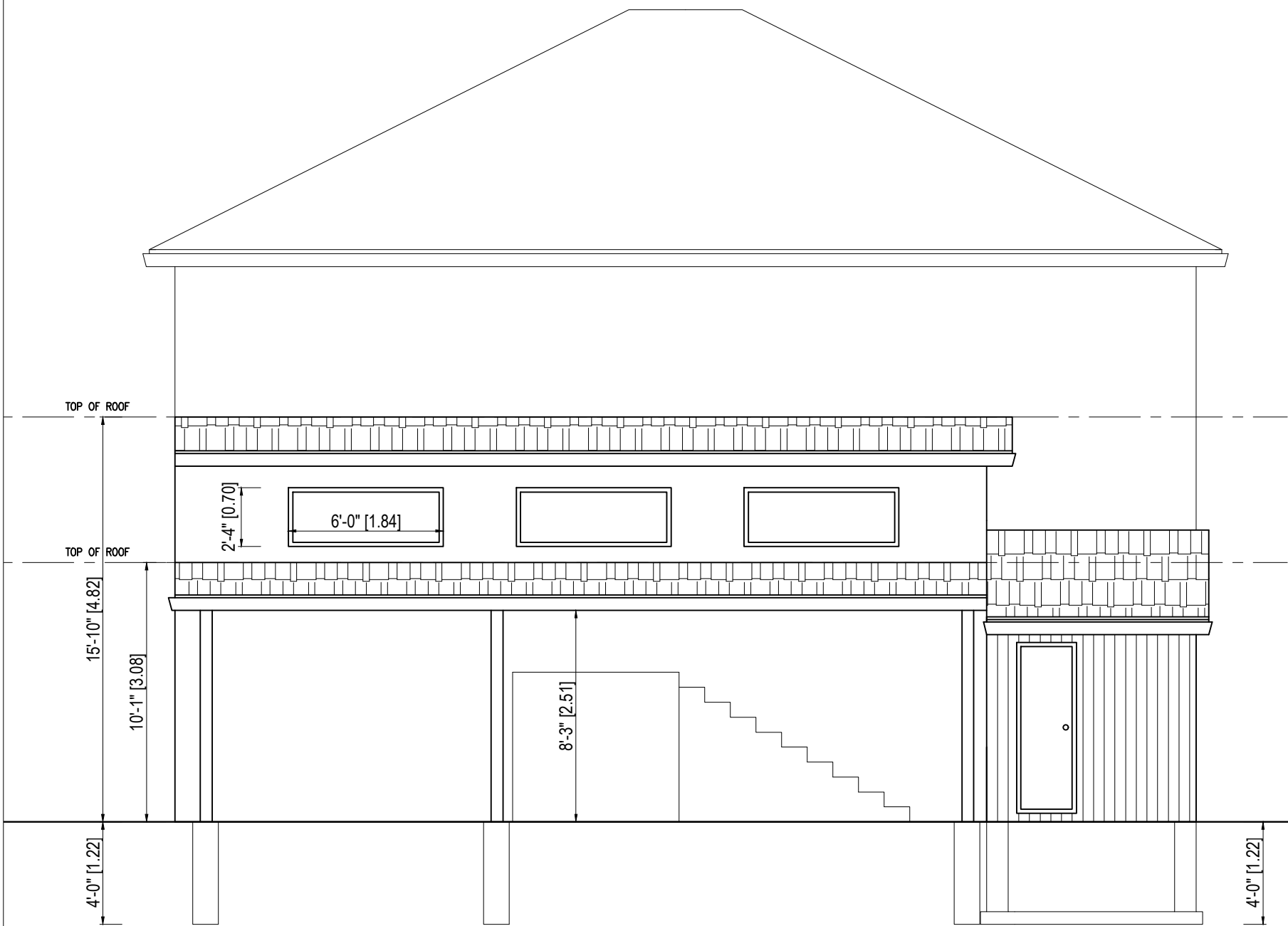
4.			
3.			
2.			
1.	ISSUED TO CLIENT	22-09-08	
No.	Description	Date	By
REVISIONS			

CLIENT:	
PROJECT:	44 LUCKY COURT. VAUGHAN, ON

SHEET TITLE:	ROOF PLAN
SCALE:	$\frac{3}{16}'' = 1'-0''$
A3	

Received

September 9, 2022



GPF Design Services Inc. 2572,
Eglinton Avenue West Toronto,
Ontario M6M 1T4
Tel. 416-656-0134
Fax 416-656-5343
B.C.I.N28087

4.			
3.			
2.			
1.	ISSUED TO CLIENT	22-09-08	
No.	Description	Date	By
REVISIONS			

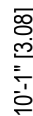
CLIENT:
PROJECT: 44 LUCKY COURT.
VAUGHAN, ON

SHEET TITLE: NORTH ELEVATION

SCALE: $\frac{3}{16}'' = 1'-0''$

A4

September 9, 2022



4.			
3.			
2.			
1.	ISSUED TO CLIENT	22-09-08	
No.	Description	Date	By

REVISIONS

44 LUCKY COURT.
VAUGHAN, ON

$$\frac{3}{16}'' = 1'-0''$$

A10

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application is Under Review
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: September 8, 2022
Applicant: Angela Fuda
Location: PLAN RS65R8164 Part 5
PLAN RS65R8164 Part 15
PLAN 65M2354 Block 271 municipally known as 44 Lucky Court
File No.(s): A189/22

Zoning Classification:

The subject lands are zoned R3(EN) –Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.277 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback for the roof structure is 7.5m. Exception 277 T17	To permit a minimum required rear yard setback of 1.84m.
2	The minimum required rear yard setback for the residential accessory structure is 0.60m. Section 4.1.2 1.b.	To permit a minimum rear yard setback for the residential accessory structure of 0.30m.
3	The minimum required interior side yard setback for the residential accessory structure is 1.2m. Exception 277 T17	To permit a minimum required interior side yard setback for the residential accessory structure of 0.30m.

The subject lands are zoned R3–Residential Zone and subject to the provisions of Exception 9(476) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum required rear yard setback for the roof structure is 7.5m. Exception 476 T17	To permit a minimum required rear yard setback of 1.84m.
5	The minimum required rear yard setback for the accessory structure is 7.5m. Exception 476 T17	To permit a minimum rear yard setback for the accessory structure of 0.30m
6	The minimum required interior side yard setback for the accessory structure is 1.2m. Exception 476 T17	To permit a minimum required interior side yard setback for the accessory structure of 0.30m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-107360 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
7	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
8	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Lenore Providence

Subject: FW: [External] TRCA Comment - A189/22 - 44 Lucky Court, Vaughan - CFN 66448.17
Attachments: APPCIRC_A189_22.pdf

From: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Sent: September-12-22 1:37 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] TRCA Comment - A189/22 - 44 Lucky Court, Vaughan - CFN 66448.17

Good afternoon,

Based on a review of TRCA's mapping, a portion of the subject property is located within TRCA's Regulated Area. Based on a review of the submitted materials, the proposed roof is not located within TRCA's Regulated Area. As such, TRCA staff have no concerns with the proposed variance associated with the roof. However, the existing shed is located within TRCA's Regulated Area; as such, a permit under Ontario Regulation 166/06 will be required to authorize the existing shed located within the Regulated Area.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has no objection to the approval of Minor Variance Application A189.22 subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.
2. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

I trust these comments are of assistance. Please let me know if you have any questions.

Sincerely,

Hamedeh Razavi MURP

Planner

Development Planning and Permits | Development and Engineering Services

T: [437-880-1940](tel:437-880-1940)

E: Hamedeh.Razavi@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Date: August 18th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A189-22**

Related Files:

Applicant Angela Fuda

Location 44 Lucky Court

COMMENTS:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have no comments or objections to its approval. |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have the following concerns (attached below). |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Lenore Providence

Subject: FW: [External] FW: A189/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Attachments: APPCIRC_A189_22.pdf

From: Development Services <developmentservices@york.ca>
Sent: August-22-22 2:25 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] FW: A189/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The Regional Municipality of York has completed its review of the minor variance application A189/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

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