

ITEM #: 6.10	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A156/22 154 Cunningham Drive, Maple
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X			General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<i>*Please see Schedule D for a copy of the Decisions listed below</i>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A156/22
154 Cunningham Drive, Maple**

FILE MANAGER: Adriana Bozzo, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.10	CITY WARD #: 1
APPLICANT:	Brian & Dianna Viveiros
AGENT:	None
PROPERTY:	154 Cunningham Drive, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed shed and the existing pergola.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R2A(EN) – Second Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.532** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 0.6 is required. (4.1.2.1.b)	To permit a minimum rear yard setback of 0.53m to the proposed residential accessory building (shed).
2	A minimum side yard setback of 1.2m is required. (4.1.2.1.a)	To permit a minimum side yard setback of 0.96m to the proposed residential accessory building (shed).
3	A maximum height of 2.4m is permitted for the existing accessory structure (Pergola) (4.1.2.b)	To permit a maximum height of 3.39m for the existing accessory structure (pergola).

The subject lands are zoned **R2 –Residential Zone** and subject to the provisions of **Exception 9(840)** under **Zoning By-law 1-88**, as amended.

	Zoning By-law 1-88	Variance requested
4	A minimum rear yard setback of 9.0m is required. (Schedule T-92)	To permit a minimum rear yard setback of 0.53m to the proposed residential accessory building (shed).
5	A minimum side yard setback of 1.2m is required. (Schedule T-92)	To permit a minimum side yard setback of 0.96m to the proposed residential accessory building (shed).

HEARING INFORMATION

DATE OF MEETING: Thursday, September 22, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	September 8, 2022	
Date Applicant Confirmed Posting of Sign:	September 9, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Fiberglass pool was previously purchased with the former exterior side setback requirement of 4.5m in mind. New By-law introduced in Oct/Nov 2021 increased the setback from 4.5m to 7.5m. Pergola's A & B were originally built in 2020; lowering the 0.25m height differential (~10 inches) would cause significant damage to the existing structures and the stone privacy walls of each. Concrete pad for the proposed shed was poured several years ago; in good condition - would like to use	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the proposed shed in the subject property 10.4m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	
The Development Engineering (DE) Department does not object to the variance application A156/22 subject to the following condition:	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

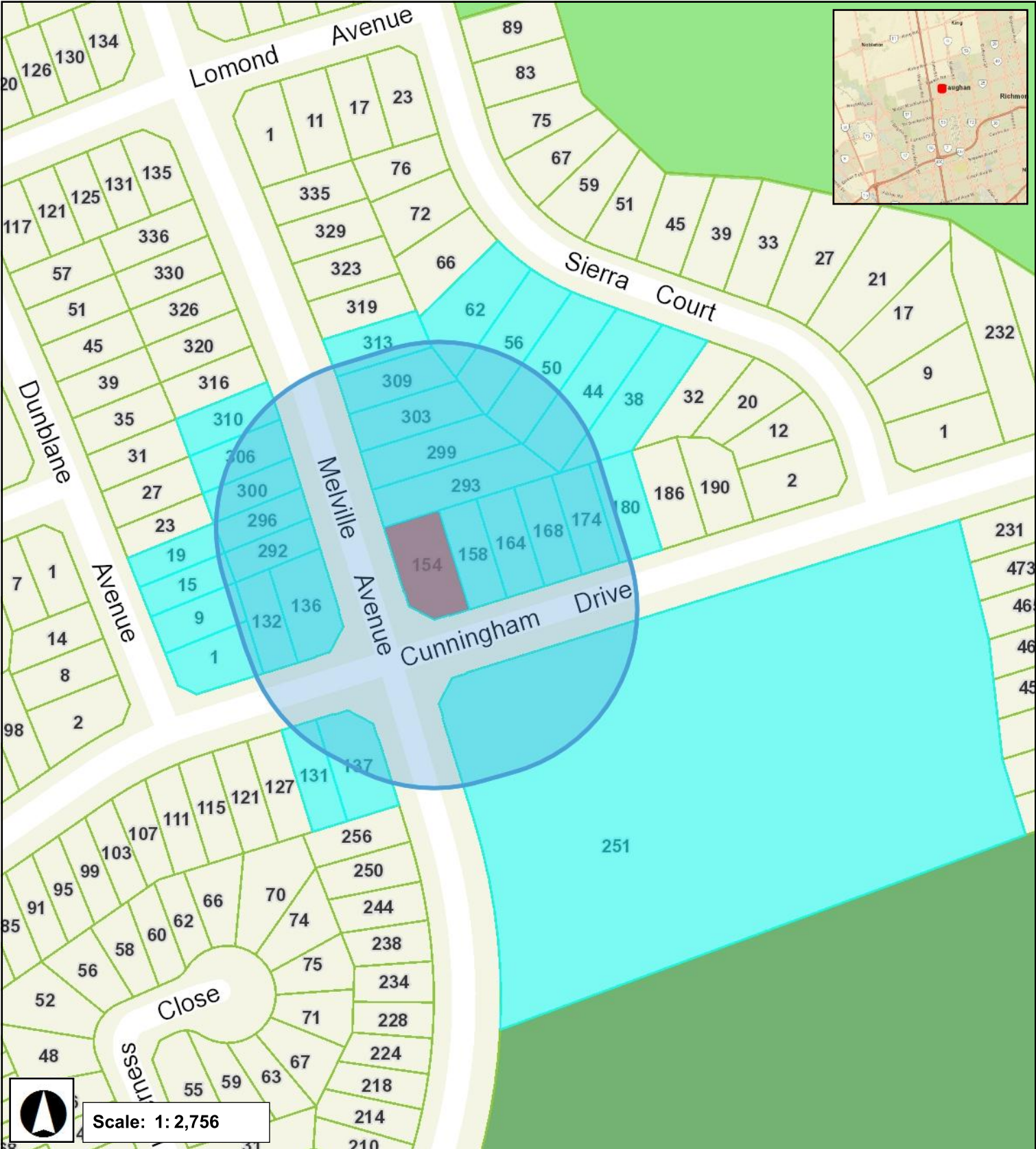
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



A156/22 - Notification Map

154 Cunningham Drive, Maple



August 16, 2022 9:52 AM

Major Mackenzie Drive



PROPOSED REAR YARD DECK & PERGOLA

154 Cunningham Dr

Vaughan, ON L6A 1Z1

KCCL Architect

LICENSED ARCHITECT BY ONTARIO ARCHITECT ASSOCIATION

348 Hemlock Drive, Whitchurch Stouffville, Ontario Canada L4A 5A7/

Tel: 416 881 9898. Mobile: 416 602 9616

Email: Info@kcclarchitect.ca

Web: <https://www.kcclarchitect.ca>

OAA - Licence # 9250. Certificate of Practice # 6195

GENERAL NOTES 1.0

Drawings:

1. Contractor to verify all site dimension and report any discrepancies to the architect before proceeding with the work.
2. Contractor to site verify all assumptions indicated on the drawing and report any discrepancies to the architect before proceed with the work.
3. DO NOT SCALE DRAWINGS
4. If any conflict of discrepancy exists in the drawings documents, the following priority squence is to be followed:
 - Drawings of a later date supersede drawings of an earlier date
 - Larger scales drawings supersede those of a smaller scale
 - the specifications supersede the drawings
5. Mechanical and electrical contractos are to cross reference the architectural and engineering drawings through-out the course of the project and report any discrepancies to the architect before proceeding

Permits & Inspections:

1. **NO DEMOLITION OR CONSTRUCTION IS TO START WITHOUT ISSUANCE OF A VALID BUILDING PERMIT.**
2. Upon completion of the work, the contractors shall pay for and obtain a signed release from the municipality having jurisdiction indicating that the work is complete and the permit is signed off.
3. The contractor shall give all required notices for inspections as required by the building permit and all authorities having jursidiction.
4. The architect will abide by the mechanic's lien act in his/her review of all progress invoices on the project.

Cooperation & Protection:

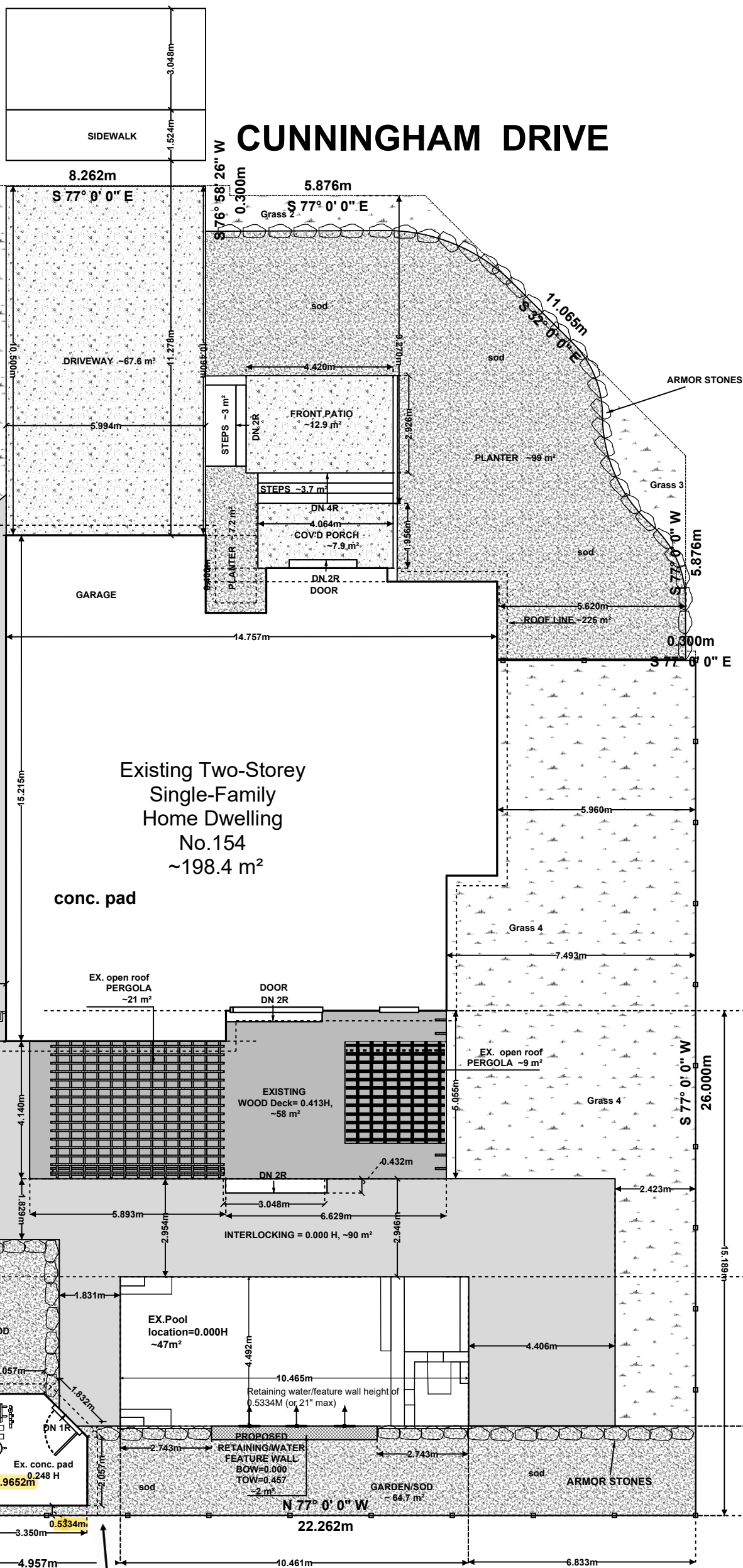
1. Each contractor is responsible for all necessary cutting and patching required by their respective trades.
2. Protection: The general contractor shall protect all finished work from construction any damage arising from any cause shall be made good by the general contractor to the satisfaction of the architect.
3. Protection: Contractor to provide protection over any base building equipment during all phases of construction.

Substitutions:

1. No substitution for any product or material will be accepted unless authorized by the architect in the form of an addendum.

Legal:

Drawings issued by KCCL Architect Inc are for illustration and design intent purposes only. All Architectural, Mechanical, Electrical, Plumbing, Structural, Sprinkler, Suppression system and life safety items are to be as per outlined in municipal permit approved drawings as per issued by associated professional engineer and respective trades.



CUNNINGHAM DRIVE

MELVILLE AVENUE

#	Zoning By-law 01-2021	Variance requested
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TOTAL SOFT SCAPE CALCULATION SQ. METERS		
	SQ METERS	
FRONT GRASS AREA	+/- 30 m²	GRASS 1,2,3
FRONT GARDEN/PLANTER AREA	+/- 106 m²	99 m²+7.2 m²
WEST SIDE OF GRASS AREA	+/- 125 m²	REAR YARD
EAST SIDE ALONG INTERLOCK AND FENCE	+/- 4.1 m²	1.9m *21.2m
GARDEN/SOD ON NORTH/NE FENCE	+/- 64.7 m²	REAR YARD
POOL AREA ITSELF	+/- 47 m²	10.5m*4.5m

HOUSE/SHED SURFACE		
STRUCTURE	WALLS(1-88)	ROOF(001-2021)
HOUSE (EXISTING)	198.4 m² (23.3%)	225 m² (26.4%)
SHED (PROPOSED)	10.4 m²	14.6 m²
TOTAL	208.8 m²	239.6 m²
LOT COVERAGE AS % OF TOTAL AREA IS (PROPOSED)	24.52 %	28.14 %

FRONT & REAR YARD COVERAGES			
FRONT YARD		REAR YARD	
DRIVEWAY	67.6 m²	EXISTING WOOD DECK	58 m²
PORCH, STEPS	27.6 m²	EXISTING INTERLOCKING	89.7 m²
SIDE WALKWAY WEST	21.4 m²	PROP. RETAINING WALL	2 m²
		EXISTING STEP	1.3 m²
		EXISTING CONC. PAD FOR THE FUTURE SHED	10.4 m²

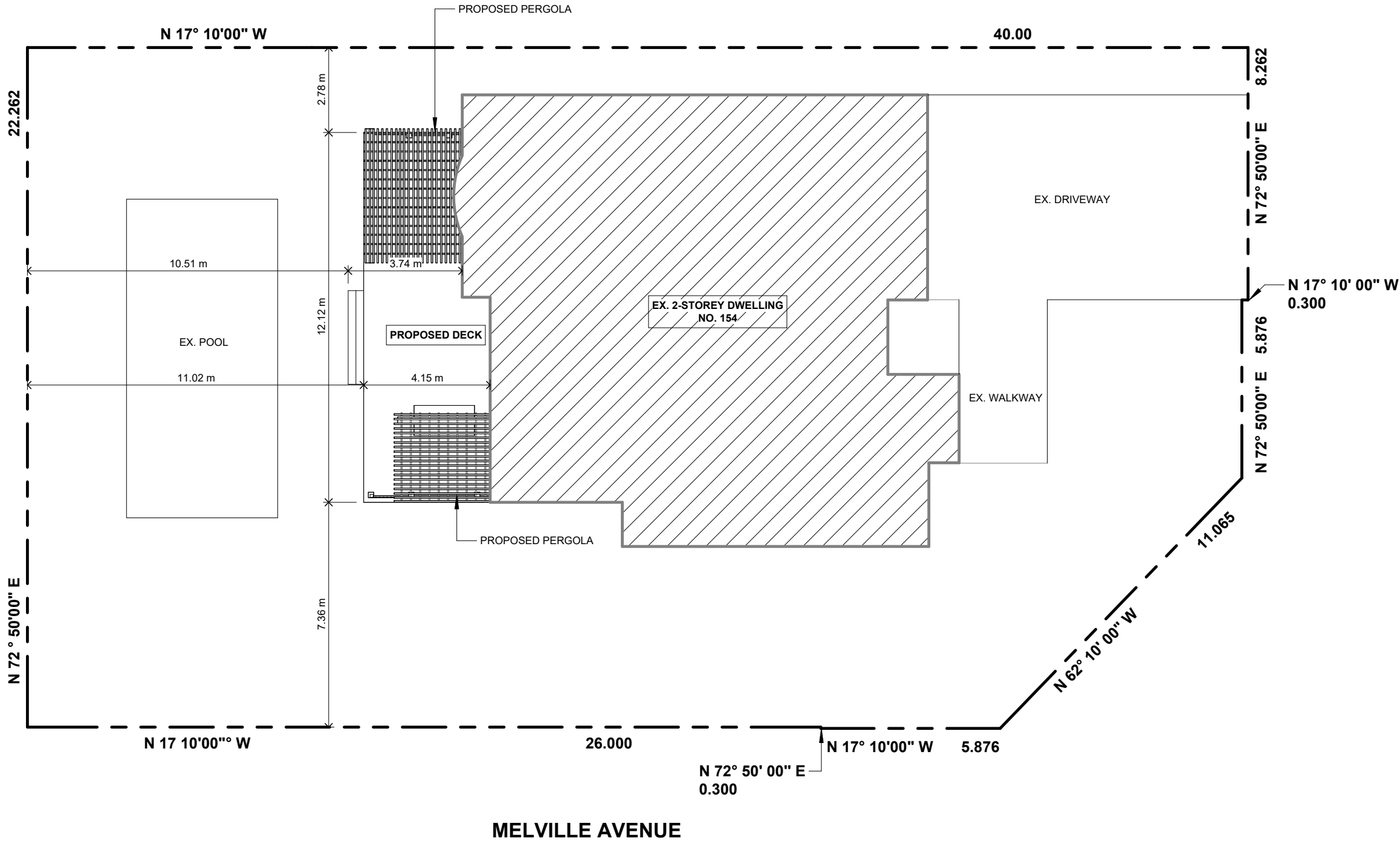
TOTAL		
LOT COVERAGE AS %	SQ METER	PERCENT
TOTAL LOT AREA	851.6 m²	100%
TOTAL (EX. INTER., DECK, PORCH,STEPS, DRIVEWAY)	262.9 m²	30.9%
TOTAL COVERAGE(INCL.EX. & PROP.STRUCTURES)	471.6 m²	+/- 55%
TOTAL SOFT SCAPE(GRASS, SOD,GARDEN,POOL)	376.8 m²	+/- 45 %

154 Cunningham Dr
Vaughan, ON L6A 1Z1

SITE PLAN

SKETCH OF SURVEY OF LOT 164
REGISTERED PLAN 65M-2943
CITY OF VAUGHN

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CUNNINGHAM DR

PROPOSED REAR YARD DECK & PERGOLA

154 Cunningham Dr

Vaughan, ON L6A 1Z1

KCCL
Architect

348 Hemlock Drive, Witchurch
Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

CONTRACTOR SHALL
VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1	Building Permit Application	2020-10-07	KL

Drawn by **JL**

Date **2022-08-04**

Scale **1 : 150**

Project Number **21105**

DRAWING NAME

SITE PLAN

SHEET NUMBER

A1.1



1 SITE PLAN
1 : 150

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NOTE 1

2X8 P.T. LEDGER FASTEN WITH 1/2" DIA ANCHOR THRU BOLT WITH WASH & NUT @ 16" O.C. STAGGERED OR SIMPSON STRONG TIE BVLZ (BRICK VENEER LEDGER CONNECTOR)@16" O.C. FASTENED W/ TWO 14" STRONG-DRIVE SDWH TIMBER-HEX HDG TENSION SCREWS AND SIX STRONG-DRIVE SD CONNECTOR SHEAR SCREWS FOR EACH CONNECTOR

NOTE 2

6X6 P.T. TREATED ON 8"Ø POURED CONC PIER (MIN 4'-0" BELOW GRADE) TYP ASSUMED SOIL 75 kPA CAPACITY

NOTE 3

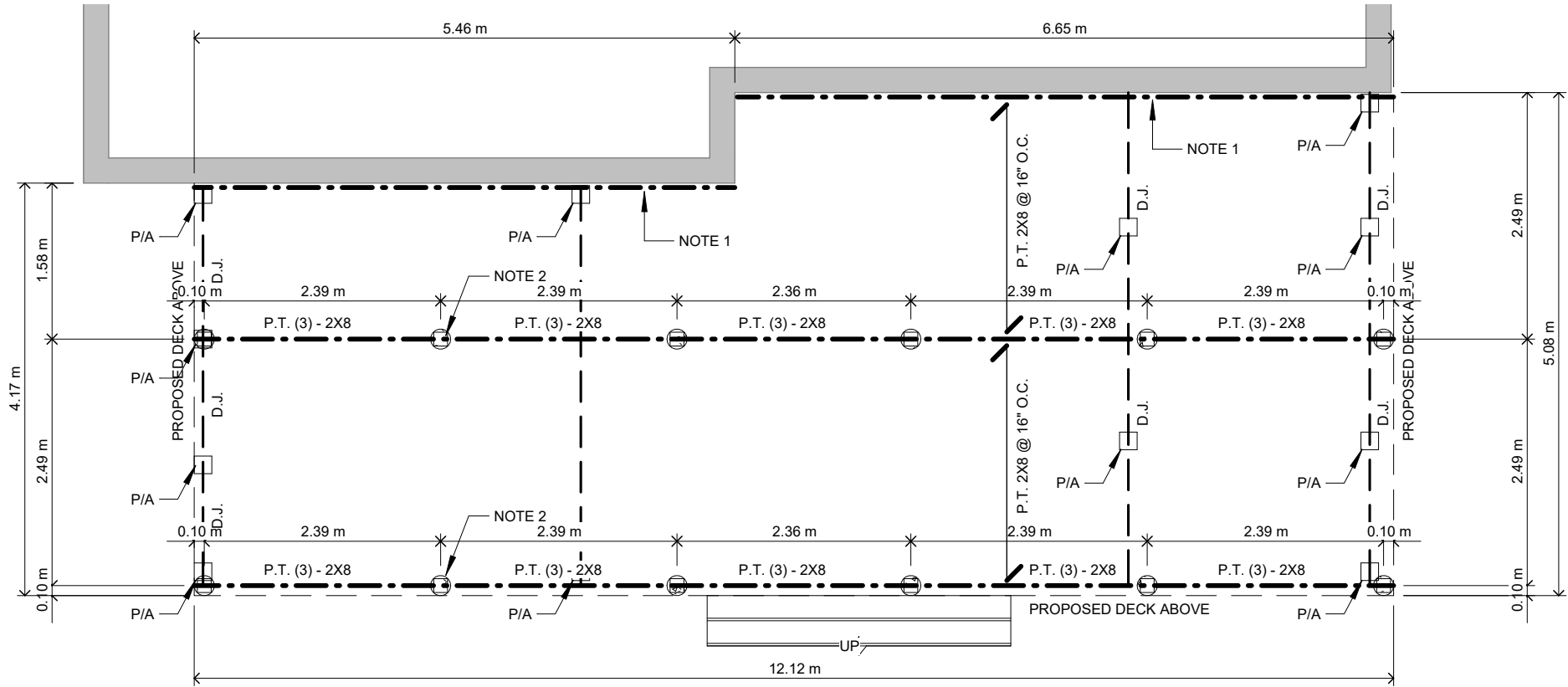
GUARDS CONSTRUCTION MUST BEE THE SPECIFIED LOADS PRESCRIBED IN OBC DIV. B, TABLE 9.8.8.2. AND BE BUILT IN COMPLIANCE WITH SB-7. ENGINEERING REPORT IS REQUIRED TO BE PROVIDE TO THE INSPECTOR PRIOR TO THE INSTALLATION OF GUARD NOT COMPLY TO SB-7 AND THE COST OF THE REPORT TO BE PAID BY THE CONTRACTOR.

DECK GENERAL NOTE:

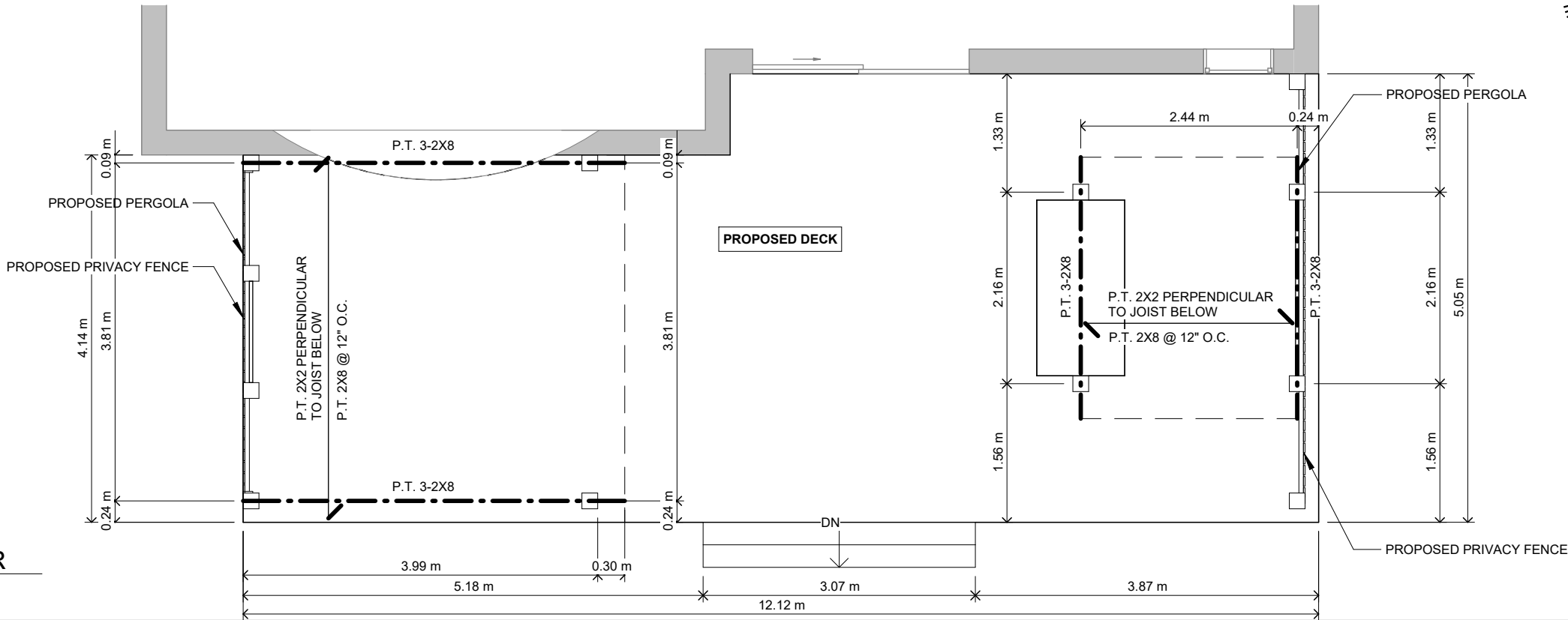
1. A MINIMUM LIVE LOAD OF 1.9 (kPA) SHALL BE APPLIED IN ALL LOCATIONS
2. LUMBER NO. SPF OR BETTER WOOD POSTS MIN 89X89 (SOLID). USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.
3. A DECK IS NOT PERMITTED TO BE SUPPORTED ON BRICK VENEER
4. CANTILEVERED JOISTS AND BEAMS ARE LIMITED TO 1/6 THE MEMBERS LENGTH.

5. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL. ASSUMED SOIL CAPACITY OF 75 kPA
6. BEAM MORE THAN 2 MEMBERS MUST BE SUPPORTED BY 140X140 POST
7. ALL PROPOSED WOOD OF THE EXTERIOR DECK TO BE PRESSURE TREATED
8. THE FOUNDATION PIER SHALL NOT UNDERMINE THE FOUNDATION OF AN ADJACENT BUILDING/ STRUCTURE. ANGLE OF REPOSE SHALL BE MAINTAINED. EXCAVATION FOR FOUNDATIONS SHALL ENTEND TO UNDISTRUBED SOIL. OBC 9.12.2.1

1 FOUNDATION PLAN
3/16" = 1'-0"



2 NEW 1ST FLOOR
3/16" = 1'-0"



PROPOSED REAR YARD DECK & PERGOLA
154 Cunningham Dr
Vaughan, ON L6A 1Z1

KCCL
Architect

348 Hemlock Drive, Witchurch
Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

CONTRACTOR SHALL
VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1	Building Permit Application	2020-10-07	KL

Drawn by	JL
Date	2022-08-04
Scale	As indicated
Project Number	21105
DRAWING NAME	NEW FLOOR PLAN

SHEET NUMBER

A2.1

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NOTE 1

2X8 P.T. LEDGER FASTEN WITH 1/2" DIA ANCHOR THRU BOLT WITH WASH & NUT @ 16" O.C. STAGGERED OR SIMPSON STRONG TIE BVLZ (BRICK VENEER LEDGER CONNECTOR)@16" O.C. FASTENED W/ TWO 14" STRONG-DRIVE SDWH TIMBER-HEX HDG TENSION SCREWS AND SIX STRONG-DRIVE SD CONNECTOR SHEAR SCREWS FOR EACH CONNECTOR

NOTE 2

6X6 P.T. TREATED ON 8"Ø POURED CONC PIER (MIN 4'-0" BELOW GRADE) TYP ASSUMED SOIL 75 kPA CAPACITY

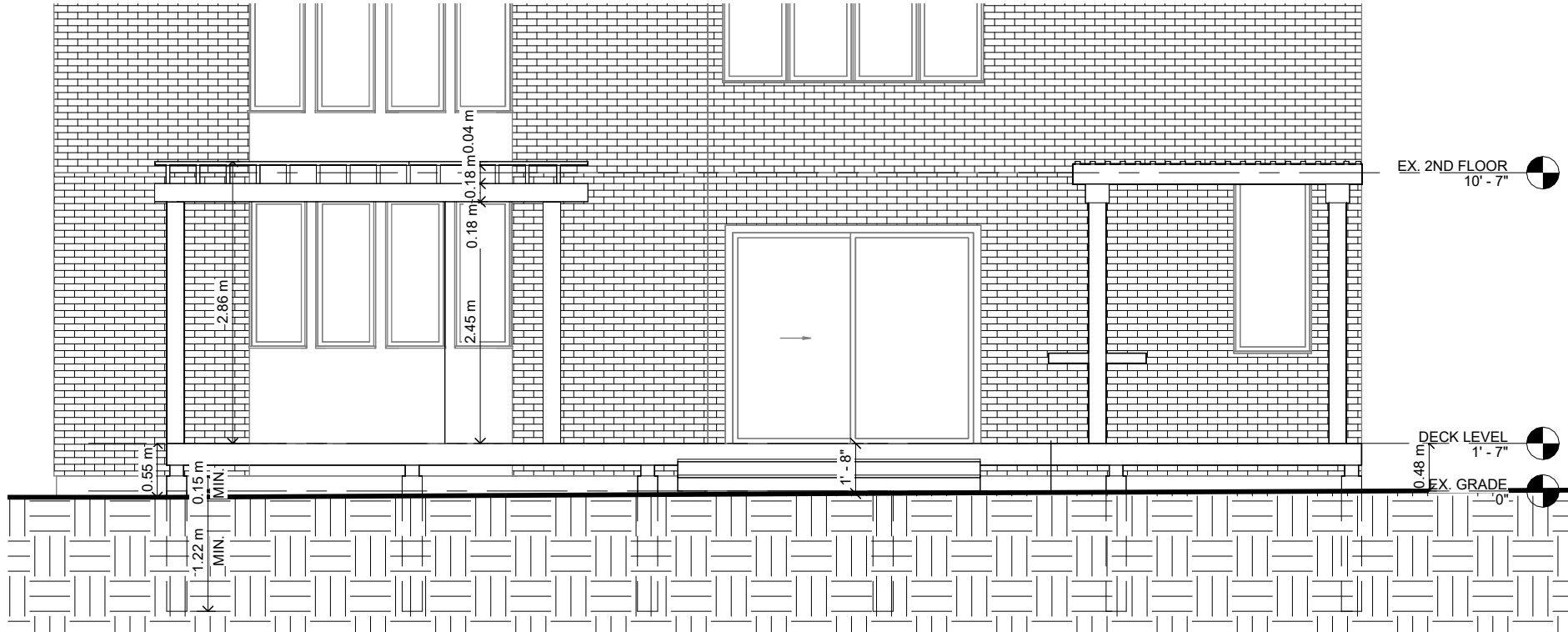
NOTE 3

GUARDS CONSTRUCTION MUST BEE THE SPECIFIED LOADS PRESCRIBED IN OBC DIV. B, TABLE 9.8.8.2. AND BE BUILT IN COMPLIANCE WITH SB-7. ENGINEERING REPORT IS REQUIRED TO BE PROVIDE TO THE INSPECTOR PRIOR TO THE INSTALLATION OF GUARD NOT COMPLY TO SB-7 AND THE COST OF THE REPORT TO BE PAID BY THE CONTRACTOR.

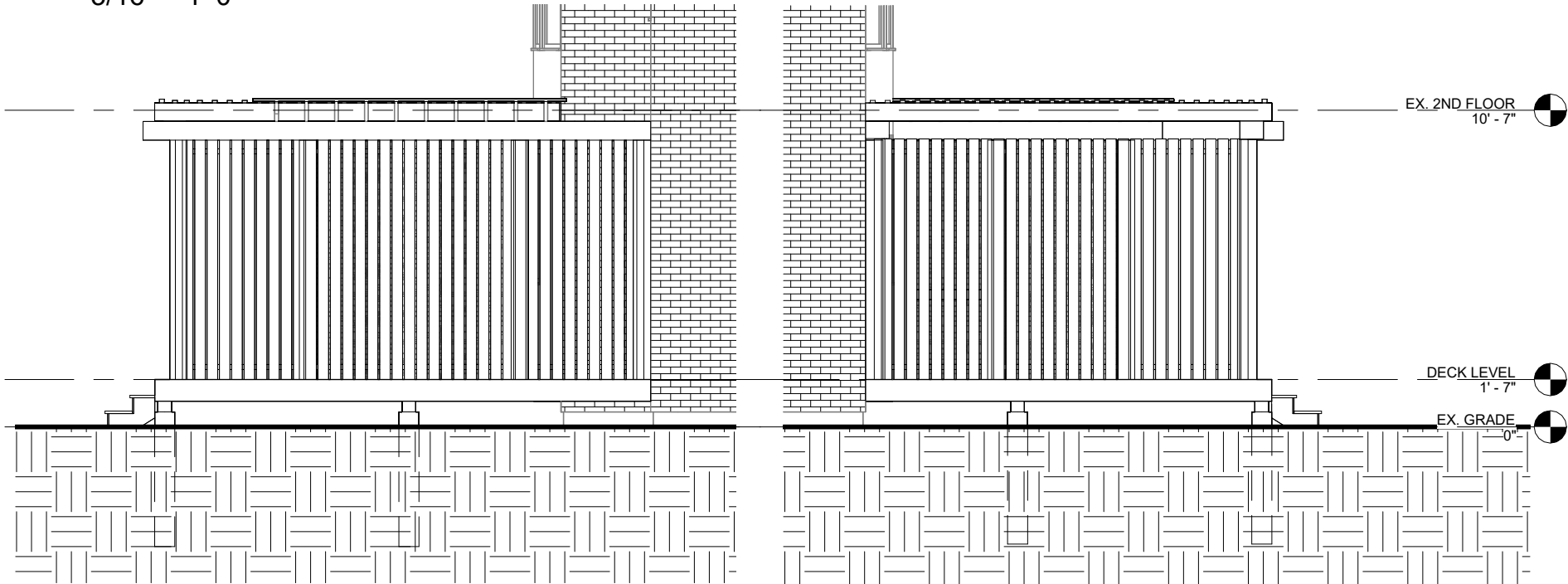
DECK GENERAL NOTE:

1. A MINIMUM LIVE LOAD OF 1.9 (kPA) SHALL BE APPLIED IN ALL LOCATIONS
2. LUMBER NO. SPF OR BETTER WOOD POSTS MIN 89X89 (SOLID). USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.
3. A DECK IS NOT PERMITTED TO BE SUPPORTED ON BRICK VENEER
4. CANTILEVERED JOISTS AND BEAMS ARE LIMITED TO 1/6 THE MEMBERS LENGTH.

5. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL. ASSUMED SOIL CAPACITY OF 75 kPA
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7. ALL PROPOSED WOOD OF THE EXTERIOR DECK TO BE PRESSURE TREATED
8. THE FOUNDATION PIER SHALL NOT UNDERMINE THE FOUNDATION OF AN ADJACENT BUILDING/ STRUCTURE. ANGLE OF REPOSE SHALL BE MAINTAINED. EXCAVATION FOR FOUNDATIONS SHALL ENTEND TO UNDISTRUBED SOIL. OBC 9.12.2.1



③ NEW REAR ELEVATION
3/16" = 1'-0"



⑤ NEW SIDE ELEVATION 2
3/16" = 1'-0"

④ NEW SIDE ELEVATION
3/16" = 1'-0"



PROPOSED REAR YARD DECK & PERGOLA
154 Cunningham Dr
Vaughan, ON L6A 1Z1

KCCL
Architect

348 Hemlock Drive, Witchurch
Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

CONTRACTOR SHALL
VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1	Building Permit Application	2020-10-07	KL

Drawn by **JL**

Date **2022-08-04**

Scale **As indicated**

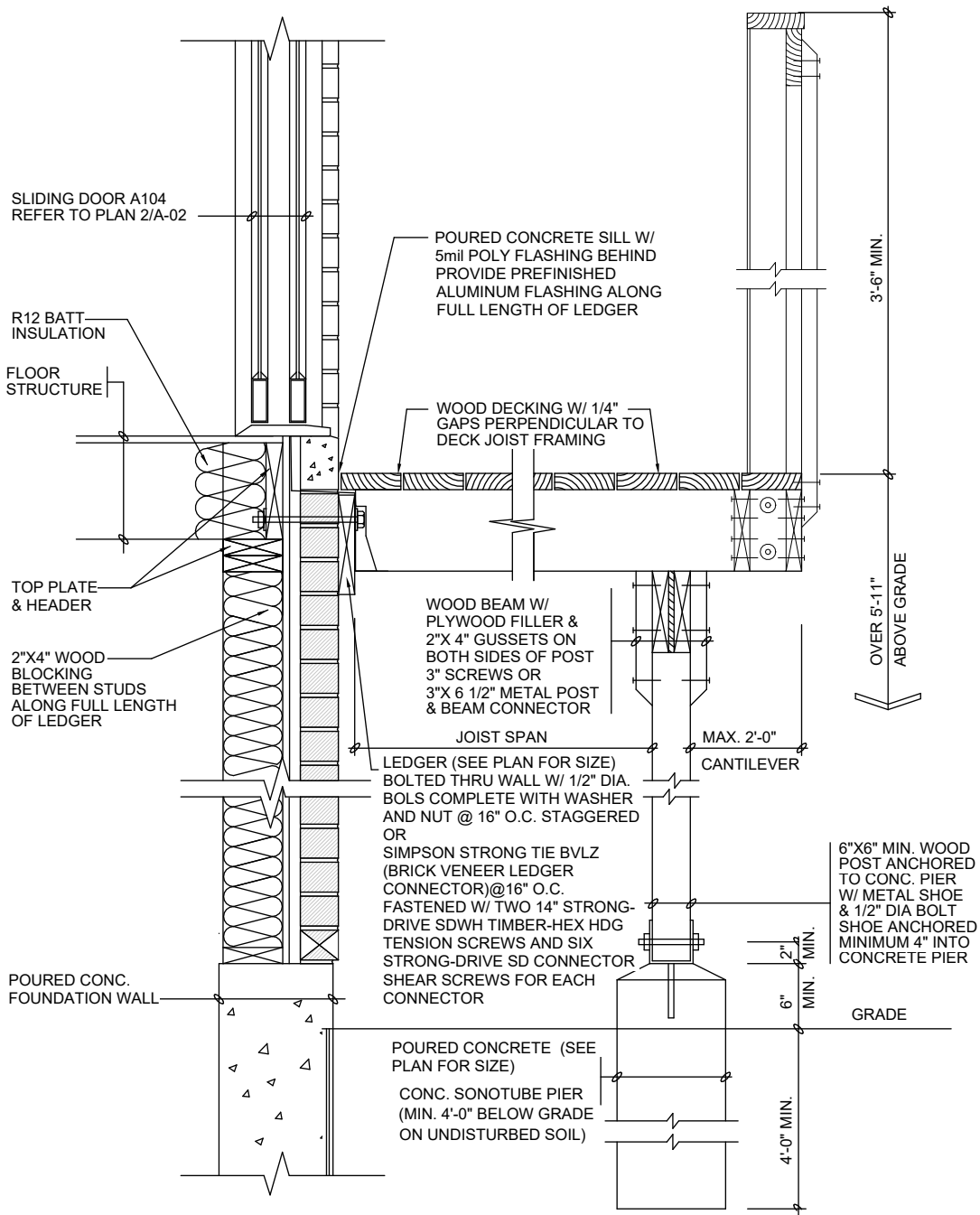
Project Number **21105**

DRAWING NAME

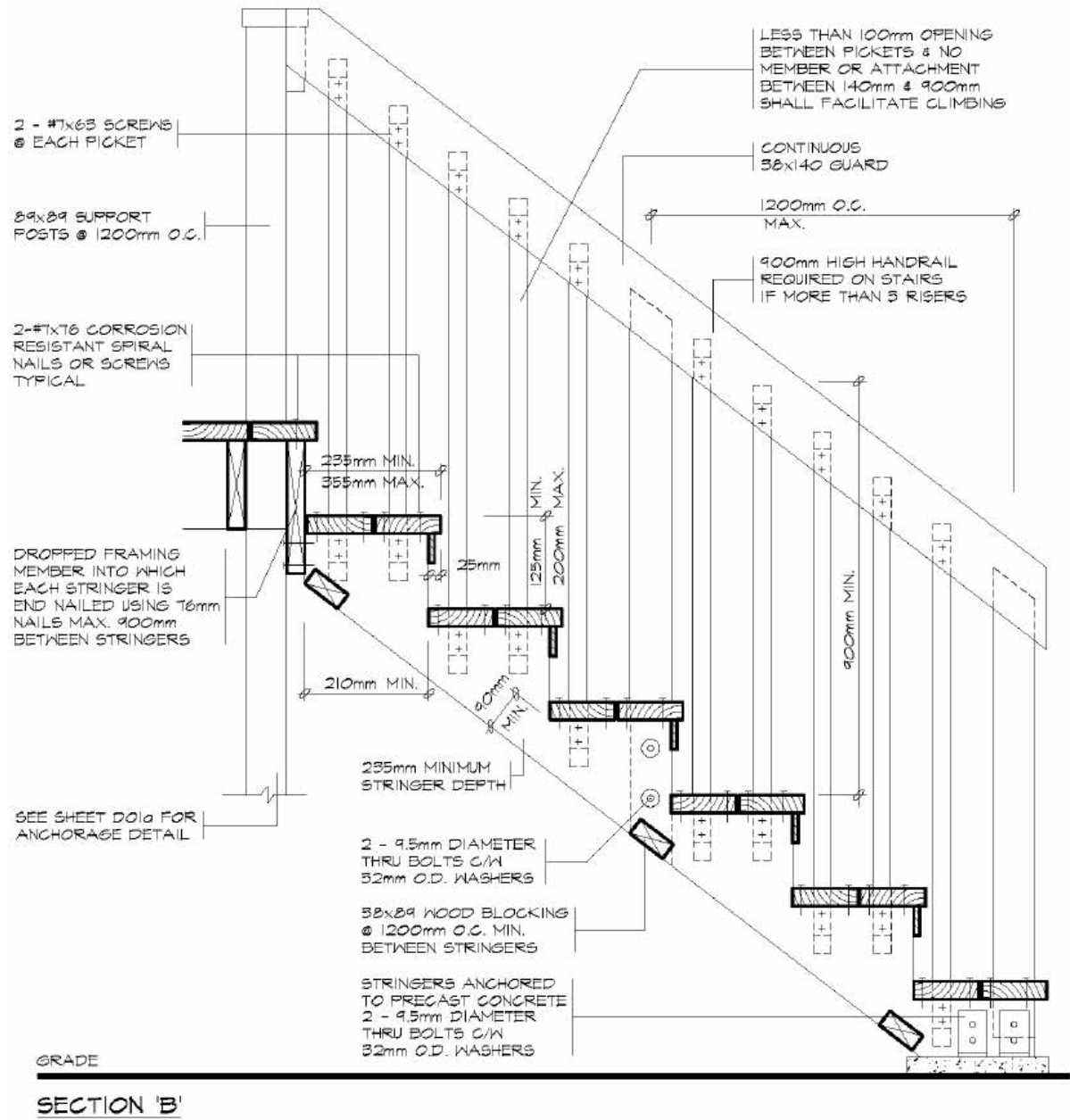
NEW ELEVATION

SHEET NUMBER

A2.2



1 DECK DETAIL - FLOOR ANCHOR
3/16" = 1'-0"



2 DECK DETAIL - STAIR + WD RAILING
1" = 1'-0"



KCCL
Architect

348 Hemlock Drive,
Whitchurch-Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
office: 416-881-9898

CONTRACTOR SHALL
VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1			

Drawn by **JL**

Date **2022-08-04**

Scale **As indicated**

Project Number **21105**

DRAWING NAME

DECK DETAIL

SHEET NUMBER

A9.1

PROPOSED REAR YARD DECK & PERGOLA

154 Cunningham Dr

Vaughan, ON L6A 1Z1

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: August 16th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A156-22**

Related Files:

Applicant Brian & Dianna Viveiros

Location 154 Cunningham Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

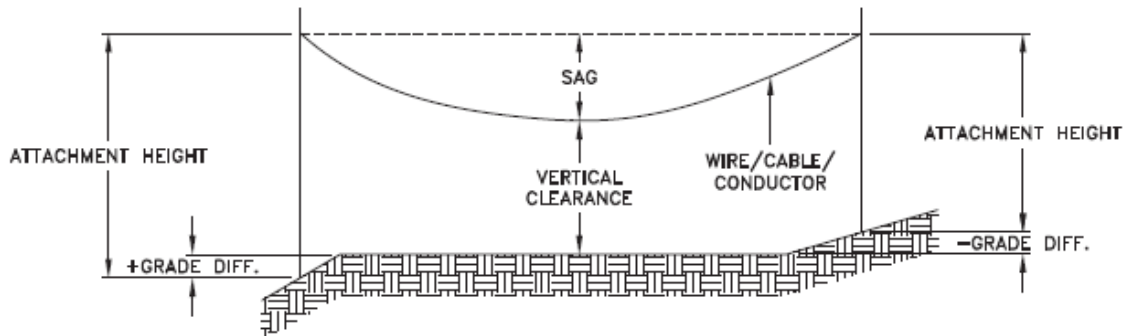
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

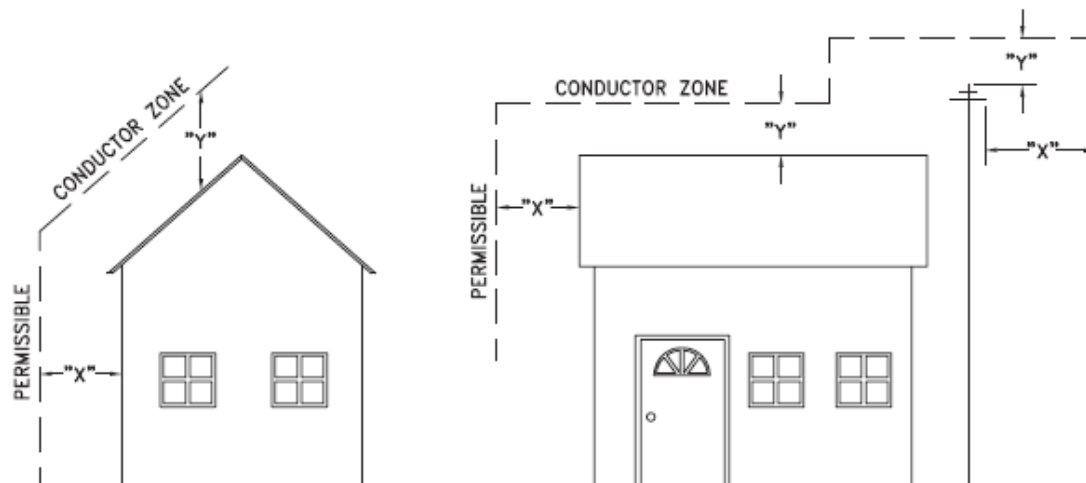
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

From: [Development Services](#)
To: [Adriana Bozzo](#); [Committee of Adjustment](#)
Subject: [External] RE: A156/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN (154 Cunningham Drive, Vaughan)
Date: Tuesday, August 23, 2022 5:12:54 PM
Attachments: [image002.png](#)
[image004.png](#)

Hello,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: August 11, 2022
Applicant: Brian & Dianna Viveiros
Location: PLAN 65M2981 Lot 164 municipally known as 154 Cunningham Drive
File No.(s): A156/22

Zoning Classification:

The subject lands are zoned R2A(EN) – Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.532 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 0.6 is required. (4.1.2.1.b)	To permit a minimum rear yard setback of 0.53m to the proposed residential accessory building (shed).
2	A minimum side yard setback of 1.2m is required. (4.1.2.1.a)	To permit a minimum side yard setback of 0.96m to the proposed residential accessory building (shed).
3	A maximum height of 2.4m is permitted for the existing accessory structure (Pergola) (4.1.2.b)	To permit a maximum height of 3.39m for the existing accessory structure (pergola).

The subject lands are zoned R2 –Residential Zone and subject to the provisions of Exception 9(840) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A minimum rear yard setback of 9.0m is required. (Schedule T-92)	To permit a minimum rear yard setback of 0.53m to the proposed residential accessory building (shed).
5	A minimum side yard setback of 1.2m is required. (Schedule T-92)	To permit a minimum side yard setback of 0.96m to the proposed residential accessory building (shed).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 22-105459, Order to Comply for , Issue Date: Feb 22, 2022

Building Permit(s) Issued:

Building Permit No. 22-108952 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: September 15, 2022

Name of Owners: Brian & Dianna Viveiros

Location: 154 Cunningham Drive

File No.(s): A156/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback of 0.53 m to the proposed residential accessory building (shed).
2. To permit a minimum side yard setback of 0.96 m to the proposed residential accessory building (shed).
3. To permit a maximum height of 3.39 m for the existing accessory structure (pergola).

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard setback of 0.6 m is required.
2. A minimum side yard setback of 1.2 m is required.
3. A maximum height of 2.4 m is permitted for the existing accessory structure.

Proposed Variance(s) (By-law 1-88):

4. To permit a minimum rear yard setback of 0.53 m to the proposed residential accessory building (shed).
5. To permit a minimum side yard setback of 0.96 m to the proposed residential accessory building (shed).

By-Law Requirement(s) (By-law 1-88):

4. A minimum rear yard setback of 9.0 m is required.
5. A minimum side yard setback of 1.2 m is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the two existing pergolas and construction of a proposed shed with the above noted variances. The pergolas abut the east and west portions of the dwelling's rear wall.

The Development Planning Department has no objection to Variances 1, 2, 4 and 5 as the reduction to the rear and interior side yard setbacks for the shed do not have adverse impacts to the neighbouring properties and an appropriate area for maintenance access is maintained. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

The Development Planning Department has no objection to Variance 3 for the height of the pergolas as the increase in height is minor in nature and will not pose a significant visual impact to the neighbouring properties. The east pergola proposes a setback from the east lot line greater than that of the dwelling. The pergolas will also comply with all setback requirements of the Zoning By-laws.

In support of the application, the Owners have submitted an Arborist Report prepared by The Real Tree Masters Inc., dated May 2, 2022. The report inventoried seven trees, none of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None