

ITEM 6.4:

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A145/22
35 MCMORRAN CR THORNHILL**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X		X	Application Under Review
Parks, Forestry and Horticulture Operations	X	X	X	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B	X	X		General Comments
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Olga Shebanova	40 McMorran Crescent	06/07/2022	Letter of Support
Public	Edna Benzaquen	53 McMorran Crescent	06/07/2022	Letter of Support
Public	Chaya Rosenberg	28 McMorran Crescent	06/07/2022	Letter of Support
Public	Marni Dishy	44 McMorran Crescent	06/07/2022	Letter of Support
Public	David Kaufman	63 McMorran Crescent	06/07/2022	Letter of Support

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

Public	Aviv Lavee	67 McMorran Crescent	06/07/2022	Letter of Support
Public	Jin Hau	31 McMorran Crescent	06/07/2022	Letter of Support
Public	Michael Corman	23 McMorran Crescent	06/07/2022	Letter of Support
Public	Laura Farbstein	43 McMorran Crescent	06/07/2022	Letter of Support
Public	Resident	46 McMorran Crescent	06/07/2022	Letter of Support
Public	Gail Cooper	45 McMorran Crescent	06/07/2022	Letter of Support
Public	Wayne Tanaka	36 McMorran Crescent	06/07/2022	Letter of Support
Public	Sergio Bell	7 McMorran Crescent	06/07/2022	Letter of Support
Public	Kelven Kwong	32 McMorran Crescent	06/07/2022	Letter of Support
Public	Margam Bagherzadeh	46 Milner Gate	06/07/2022	Letter of Support
Public	Bathshewa Schochet	42 Milner Gate	06/07/2022	Letter of Support
Public	Elena Vantraub	50 Milner Gate	06/07/2022	Letter of Support
Public	Hedwa Katz	39 McMorran Crescent	06/07/2022	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

July 7, 2022	Accommodate zoning review of revised proposal
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A145/22
35 Mcmorran Cr Thornhill**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.4	CITY WARD #: 5
APPLICANT:	Yonatan Colman
AGENT:	Richard Idels
PROPERTY:	35 Mcmorran Cr Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed two storey addition to the existing single family dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4 (EN) and subject to the provisions of Exception 14.268 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 45% is permitted. [Section 14.268]	To permit a maximum lot coverage of 46.5%.
2	A minimum rear yard setback of 5.1 metres to the proposed deck is required. [Section 4.13 and Section 14.268]	To permit a minimum rear yard setback of 4.3 metres to the proposed deck.
3	Where there is no garage a minimum side yard of 2.7 metres or a minimum front yard of 11.0 metres is required. [Section 14.268]	To permit a minimum side yard of 0.16 metres and a minimum front yard of 5.1 metres where there is no garage.

The subject lands are zoned R4 and subject to the provisions of Exception 9(467) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A maximum lot coverage of 45% is permitted. [Schedule T-08]	To permit a maximum lot coverage of 46.5%.
5	A minimum rear yard setback of 5.7 metres to the proposed deck is required. [Section 3.14 and Schedule T-08]	To permit a minimum rear yard setback of 4.3 metres to the proposed deck.
6	Where there is no garage a minimum side yard of 2.7 metres or a minimum front yard of 11.0 metres is required. [Schedule T-08]	To permit a minimum side yard of 0.16 metres and a minimum front yard of 5.1 metres where there is no garage.
7	No parking shall be permitted in the front yard except on a properly constructed and surfaced driveway used to gain direct access to a garage or carport, or rear or side yard parking space. [Section 4.1.4]	To permit parking in the front yard on a properly constructed and surfaced driveway that is not used to gain direct access to a garage or carport, or rear or side yard parking space.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 18, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

HEARING INFORMATION

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	August 3, 2022
Date Applicant Confirmed Posting of Sign:	August 4, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	<ol style="list-style-type: none"> 1. The squaring of the house to match the existing corner points would result in exactly 45% coverage as per Zoning By-law 1-88. However the new Zoning By-law 001-2021 calculates the coverage including the existing and the proposed roof overhangs. This in itself slates this project for COA for the reason of coverage. 2. The owners are a young family with 4 children and it may grow in the future, therefore the program for the second floor was central to this design. In order to accommodate the needs of this family with regards to the children's bedrooms and bathrooms, we have enlarged the second floor by cantilevering it over the existing driveway. This design decision resulted in increasing the coverage by 1.5% as per the Zoning By-law 1-88. 3. The conversion of the garage triggered clause 5 from T-8 form [the base of the side yard setback regulations in both Zoning By-laws]. It stipulates an enlarged side yard or front yard setback if there is no garage attached to the dwelling. This creates our second variance regarding the setbacks despite keeping the existing setbacks for our ground floor and the second floor additions. The garage conversion is needed for creating a large mudroom as well as the garden shed storage. The existing back yard is already very small and it would be not recommended to install a garden shed there.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>	No

COMMITTEE OF ADJUSTMENT COMMENTS

*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.

Adjournment Fees:

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	General Comments
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Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling in the subject property 18.1m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A145/22 subject to the following condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Comments with condition

PFH Recommended Conditions of Approval:	Applicant to provide tree protection plan for trees located on subject site and municipally owned ROW.
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comment no concerns

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations andrew.swedlo@vaughan.ca	Applicant to provide tree protection plan for trees located on subject site and municipally owned ROW.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

IMPORTANT INFORMATION – PLEASE READ

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

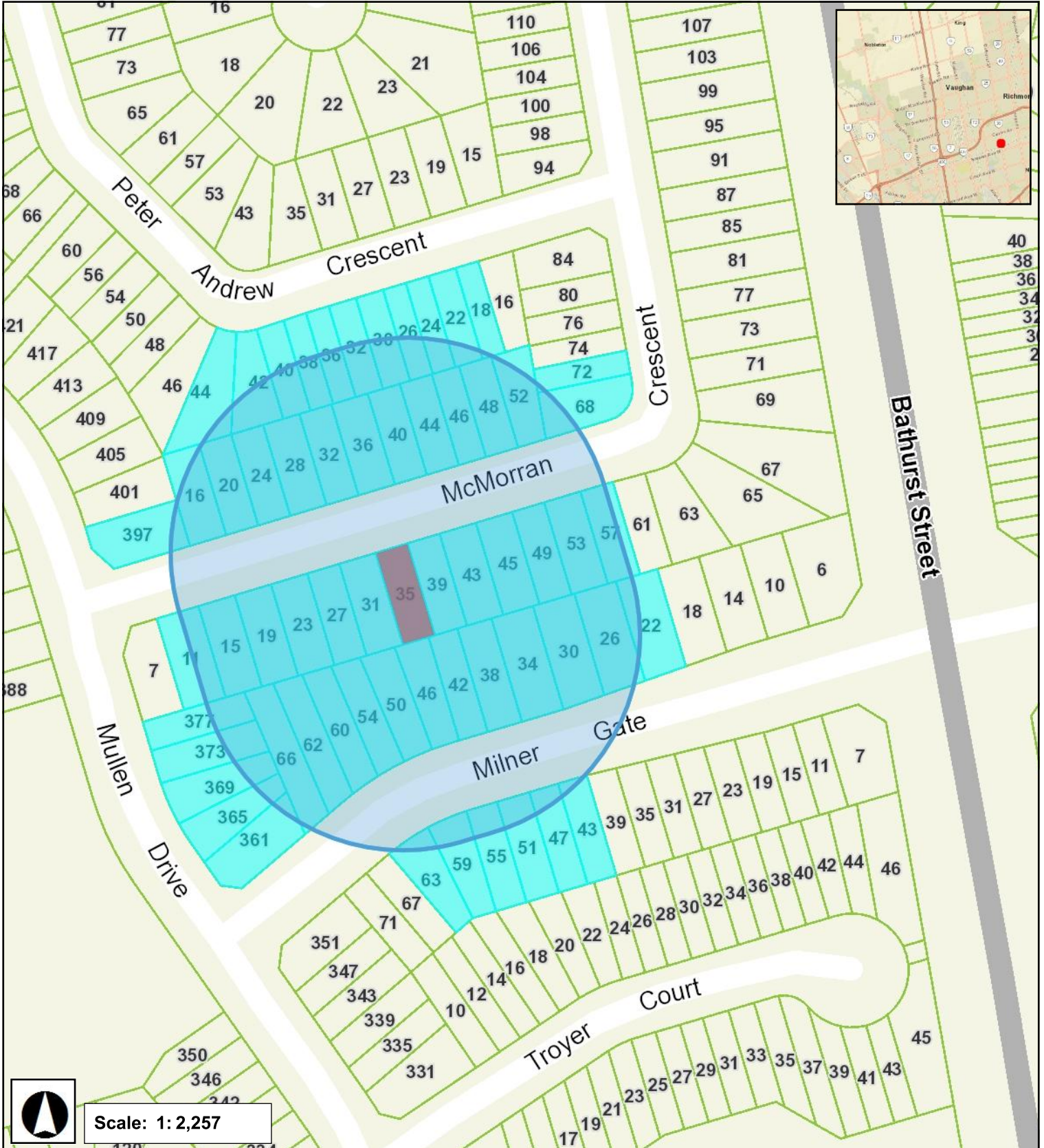
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A145/22

35 MCMORRAN CRESCENT, THORNHILL

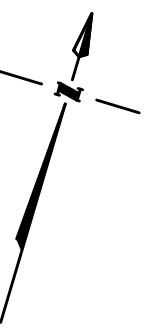
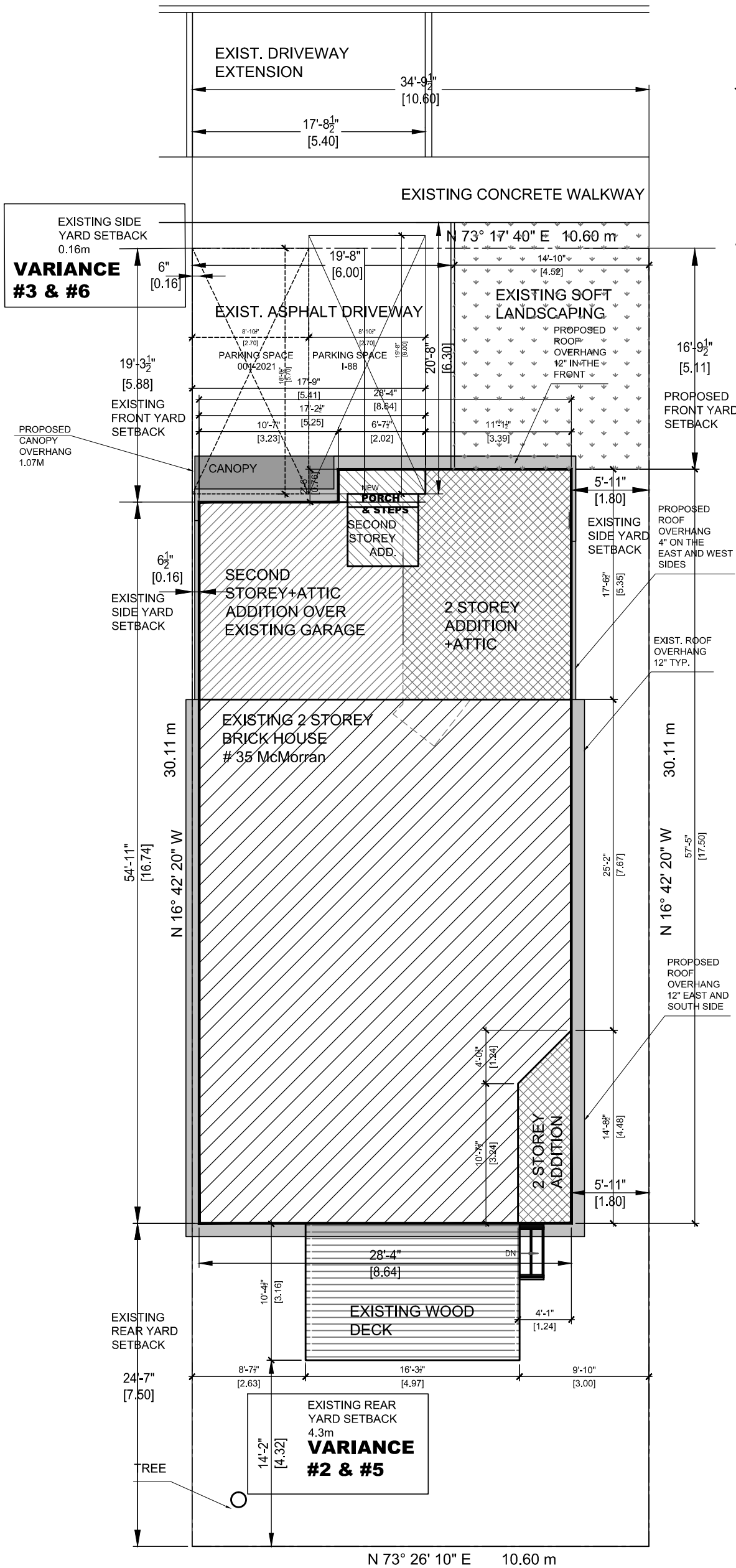
HIGHWAY 7



STEELES AVENUE WEST

June 20, 2022 11:58 AM

McMorran ave



EXISTING DRIVEWAY DOES NOT LEAD TO GARAGE
VARIANCE #7

EXISTING SIDE YARD SETBACK 0.16m
VARIANCE #3 & #6

LOT AREA
3,437 sf = 319.3 M2

EXIST. HOUSE AREA
1,311 sf = 121.8 M2

NEW ADDITION AREA
289 sf = 26.9 M2

TOTAL HOUSE AREA
1,600 sf = 148.6 M2

ROOF OVERHANGS
151 sf = 14 M2

CANOPY
27 sf = 2.5 M2

TOTAL 178 sf = 16.5 M2

COVERAGE 51.7% WITH ROOF OVERHANGS
148.6+16.5 = 165.1 M2
VARIANCE #1

COVERAGE 46.5% WITHOUT ROOF OVERHANGS
148.6 M2
VARIANCE #4

EXISTING REAR YARD SETBACK 4.3m
VARIANCE #2 & #5

N 73° 26' 10" E 10.60 m

RECEIVED

By RECEIVED at 10:09 am, Aug 02, 2022

iqi
IDEAS ARCHITECT INC.
 80 NORTH MEADOW CRESCENT
 THORNHILL, ONTARIO, L4J 3B1
 Tel: (905) 886-0632 Fax: (905) 886-7064
 email: richard@ideasarchitect.com

PROJECT TITLE:
ADDITION AND RENOVATION
 35 MCMORRAN CRESC., THORNHILL, ON L4J T24

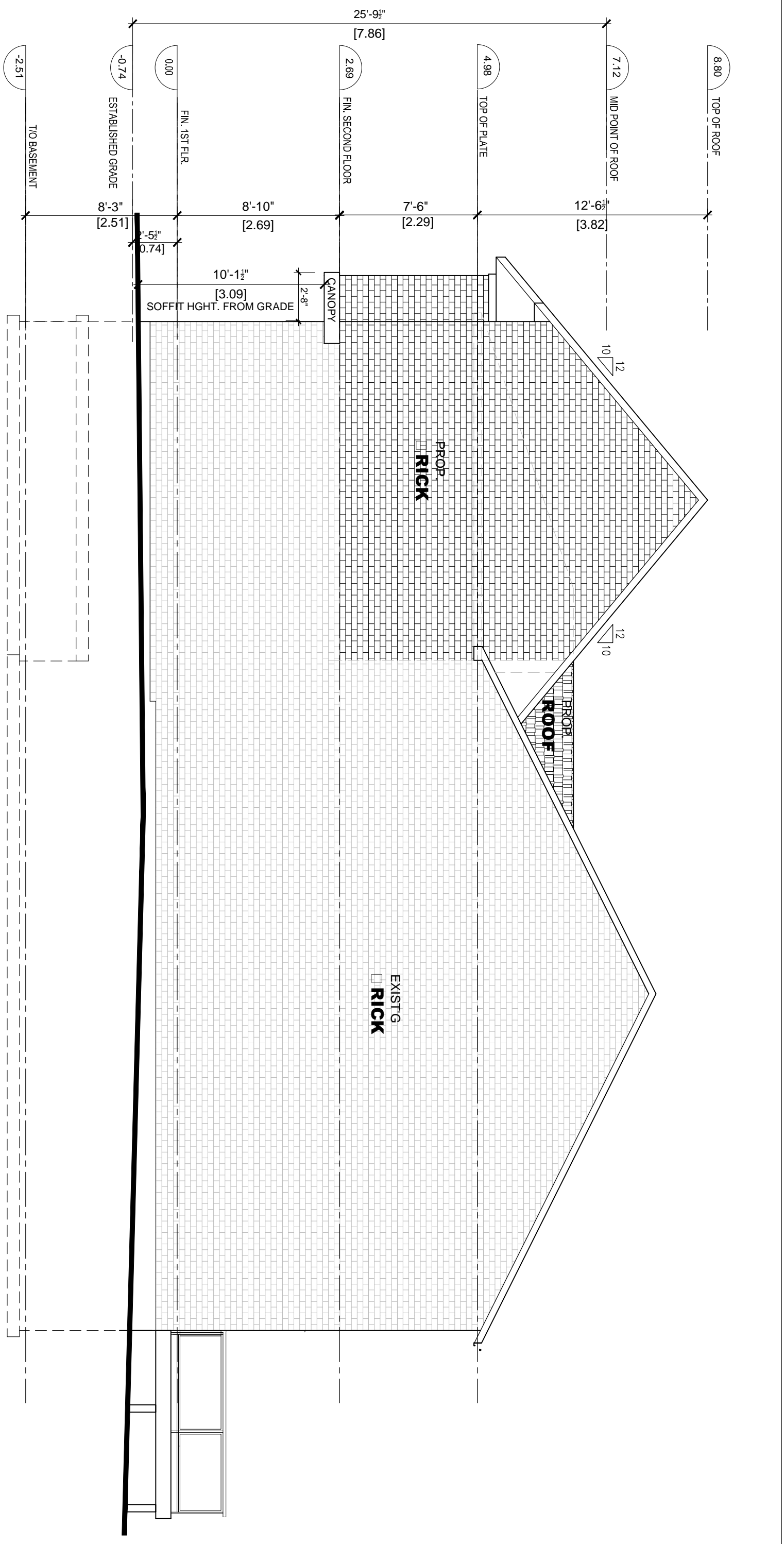
APPLICANT'S NAME:
RICK IDEAS

DRAWING TITLE:
SIDE WEST ELEVATION

REVISION /ISSUE	DATE
1. ISSUED FOR COA	2022-05-12
2. ISSUED FOR COA	2022-08-02

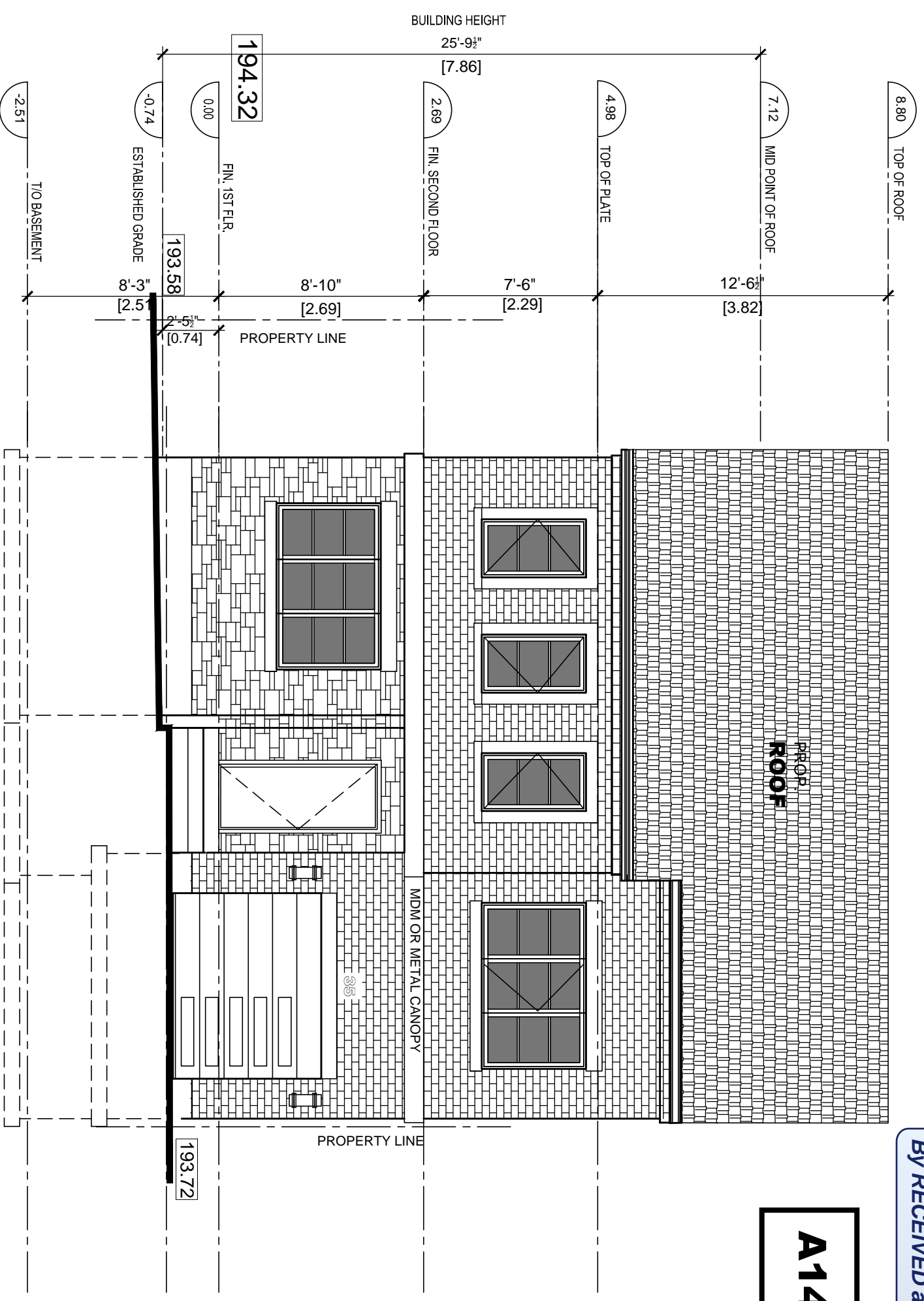
DATE: MAY 12, 2022
 SCALE: 3/16" = 1'-0"
 DRAWN: MK
 CHECKED: RI

SHEET NO.:
A9



RECEIVED
By RECEIVED at 12:34 pm, Jun 21, 2022

A145/22



iqi
IDELS ARCHITECT INC.
80 NORTH MEADOW CRESCENT
THORNHILL, ONTARIO L4J 3R1
tel: (905) 896-0632 fax: (905) 896-7064
email: rchord@idelsarchitect.com

PROJECT TITLE:
ADDITION AND RENOVATION
35 McMORRAN CRESC., THORNHILL, ON L4J 1Z4

APPLICANT'S NAME:
R **rd** **Id** **s**

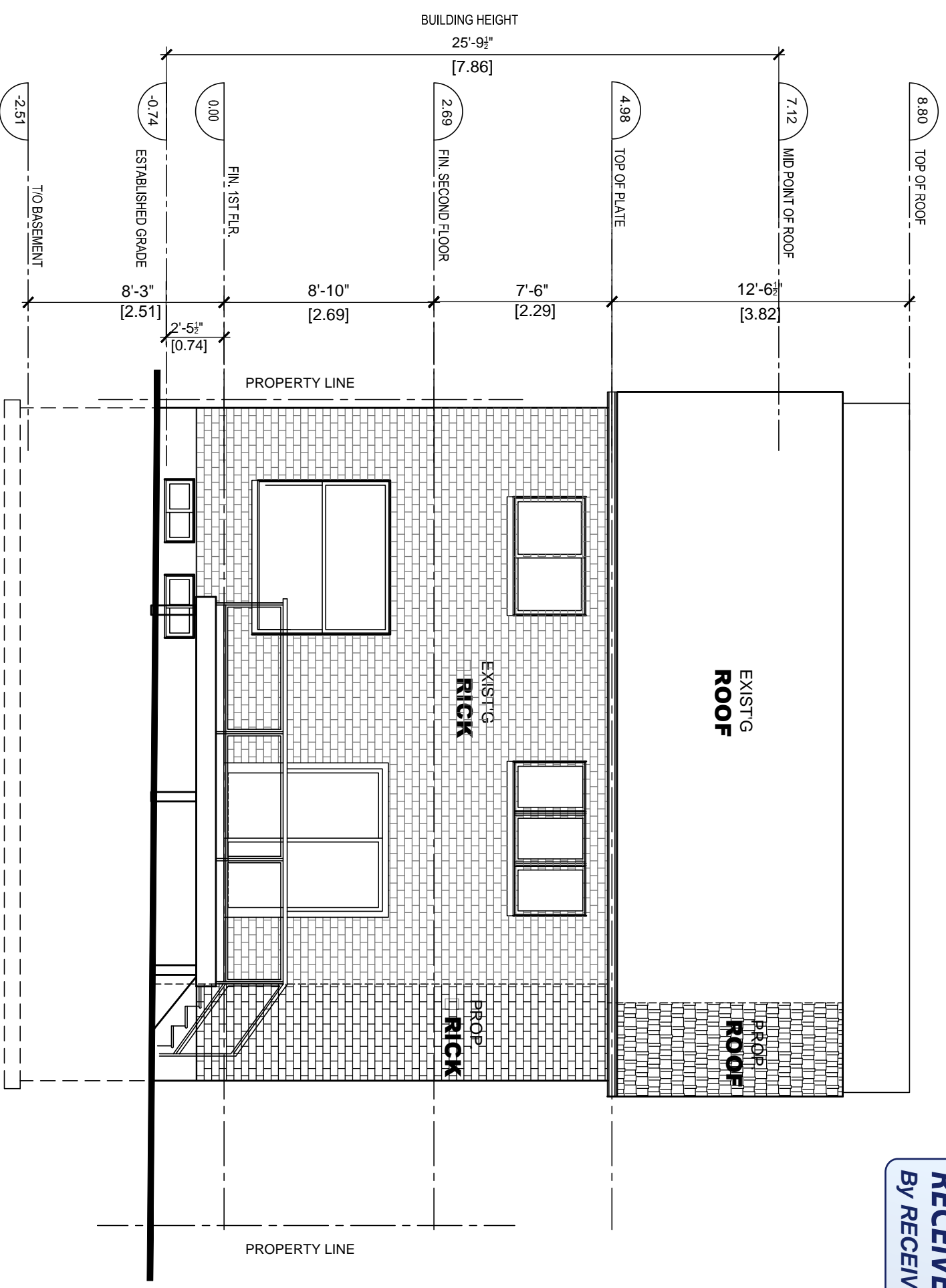
DRAWING TITLE
FRONT NORTH ELEVATION

REVISION / ISSUE	DATE
1. ISSUED FOR COA	2022-05-12

DATE: MAY 12, 2022
SCALE: 3/16" = 1'-0"
DRAWN: MK
CHECKED: RI

SHEET NO.:
A7

RECEIVED
By RECEIVED at 12:34 pm, Jun 21, 2022



iqi
IDELS ARCHITECT INC.
80 NORTH MEADOW CRESCENT
THORNHILL, ONTARIO L4J 3R1
tel: (905) 896-0632 fax: (905) 896-7064
email: rick@idelsarchitect.com

PROJECT TITLE:
ADDITION AND RENOVATION
35 McMORRAN CRESC., THORNHILL, ON L4J 1T4

APPLICANT'S NAME:
Rick Idels

DRAWING TITLE:
REAR SOUTH ELEVATION

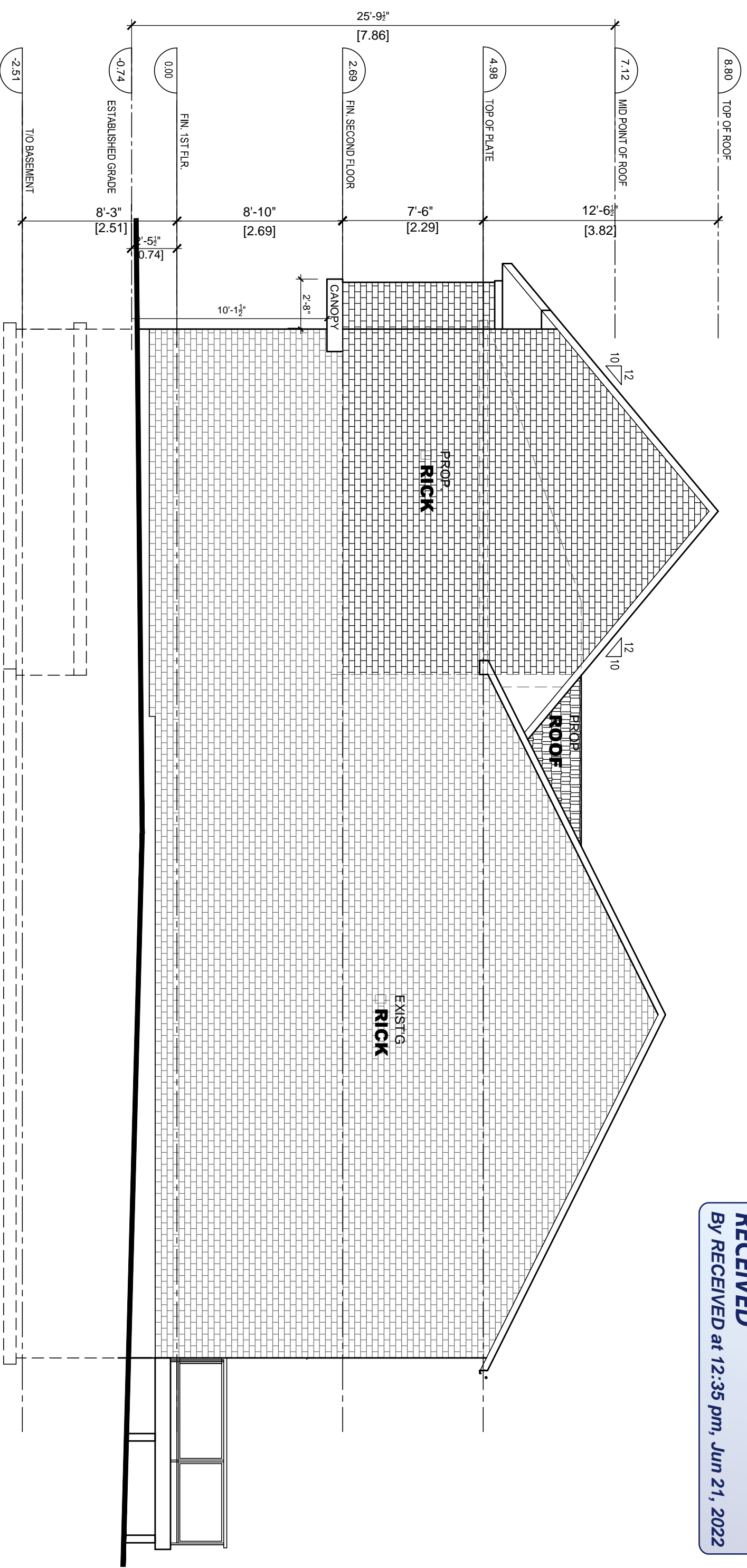
REVISION / ISSUE
1. ISSUED FOR COA

DATE
2022-05-12

DATE: MAY 12, 2022
SCALE: 3/16" = 1'-0"
DRAWN: MK
CHECKED: RI

SHEET NO.:
A8

RECEIVED
By RECEIVED at 12:35 pm, Jun 21, 2022



iqi
IDELS ARCHITECT INC.
80 NORTH MEADOW CRESCENT
THORNHILL, ONTARIO L4J 3R1
tel: (905) 886-0632 fax: (905) 886-7064
email: rick@idelsarchitect.com

PROJECT TITLE:
ADDITION AND RENOVATION
35 McMORRAN CRES., THORNHILL, ON L4J 1T4

APPLICANT'S NAME:
RICK IDELS

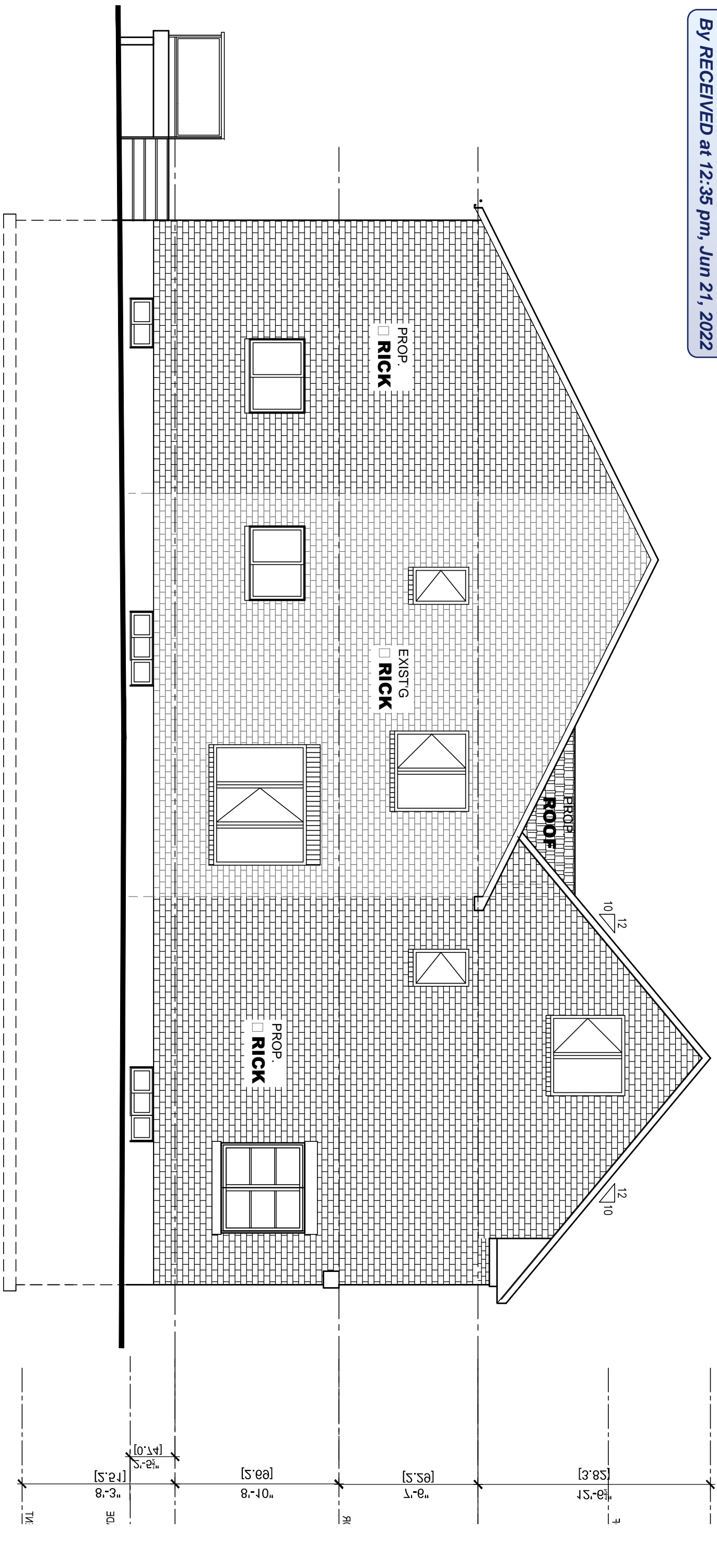
DRAWING TITLE:
SIDE WEST ELEVATION

REVISION / ISSUE	DATE
1. ISSUED FOR COA	2022-05-12

DATE: MAY 12, 2022
SCALE: 3/16" = 1'-0"
DRAWN: MK
CHECKED: RI

SHEET NO.:
A9

RECEIVED
 BY RECEIVED at 12:35 pm, Jun 21, 2022



iqi
 IDELS ARCHITECT INC.
 80 NORTH MEADOW CRESCENT
 THORNHILL, ONTARIO L4J 3R1
 tel: (905) 886-0632 fax: (905) 886-7064
 email: richard@idelsarchitect.com

PROJECT TITLE:
ADDITION AND RENOVATION
 35 McMORRAN CRESC., THORNHILL, ON L4J 1T4

APPLICANT'S NAME:
Rick Idels

DRAWING TITLE:
SIDE EAST ELEVATION

REVISION / ISSUE
 1. ISSUED FOR COA

DATE
 2022-05-12

DATE: MAY 12, 2022
 SCALE: 3/16" = 1'-0"
 DRAWN: MK
 CHECKED: RI

SHEET NO.:
A10

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B	X	X		General Comments
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X			General Comments

Date: June 3rd , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A145-22**

Related Files:

Applicant Yonatan Colman

Location 35 Mcmorran Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

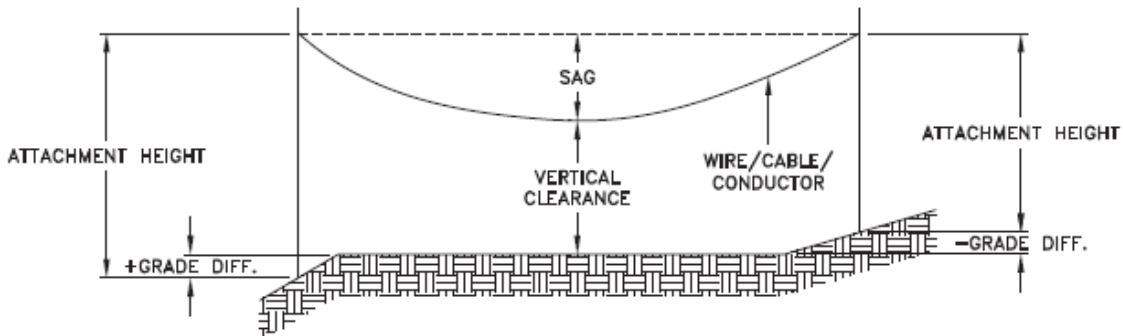
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

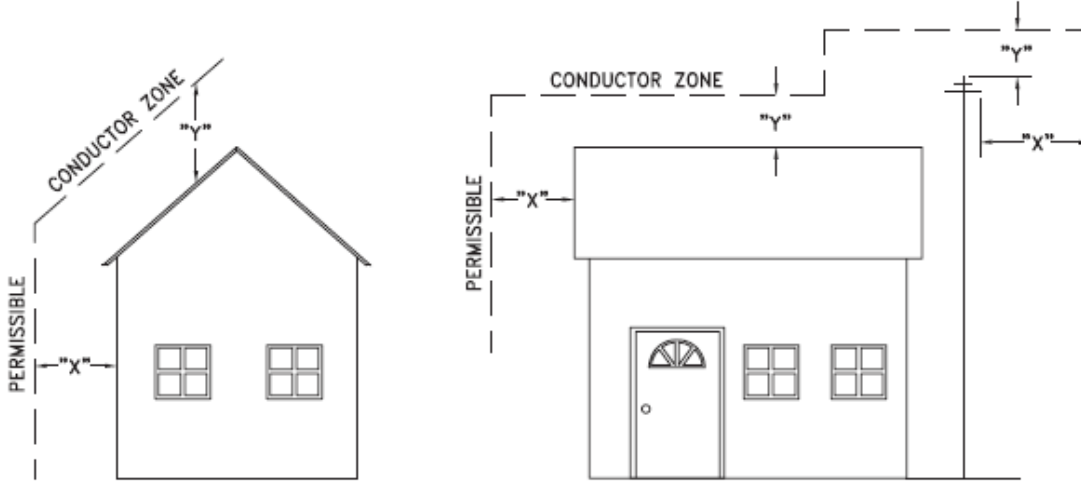
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

Pravina Attwala

Subject: FW: [External] RE: A145/22 (35 MCMORRAN CRESCENT - REQUEST FOR COMMENT)

From: Gordon, Carrie <carrie.gordon@bell.ca>

Sent: June-03-22 11:17 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A145/22 (35 MCMORRAN CRESCENT - REQUEST FOR COMMENT)

Hello Pravina,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

Zoning By-law 01-2021

1	Eaves and gutters are permitted to encroach up to 0.5 metres into a required yard but shall not encroach beyond the property line [Section 4.13, By-law 001-2021 as amended].
---	--

Zoning By-law 1-88

2	Eaves and gutters are permitted to encroach up to 0.5 metres into a required yard but shall not encroach beyond the property line [Section 3.14, By-law 1-88a.a.].
---	---

General Comments

3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
---	--

Pravina Attwala

Subject: FW: [External] FW: A145/22 (35 MCMORRAN CRESCENT - REQUEST FOR COMMENTS)
Attachments: CIRC_A145_22.pdf; SCHEDA_A145_22.pdf

From: Ashkan Matlabi <Ashkan.Matlabi@cn.ca> **On Behalf Of** Proximity
Sent: June-03-22 3:57 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: [External] FW: A145/22 (35 MCMORRAN CRESCENT - REQUEST FOR COMMENTS)

Hello Pravina,

Thank you for circulating CN the proposed project mentioned in subject. CN Rail does not have any comments concerning this application.

Best regards

Ashkan Matlabi, Urb. OUQ. MBA

Urbaniste sénior / Senior Planner (CN Proximity)
Planning, Landscape Architecture and Urban Design
Urbanisme, architecture de paysage et design urbain



E : proximity@cn.ca
T : 1-438-459-9190
1600, René-Lévesque Ouest, 11e étage
Montréal (Québec)
H3H 1P9 CANADA
wsp.com

From: [Andrew Swedlo](#)
To: [Committee of Adjustment](#)
Subject: A145/22 Vaughan - Forestry - Complete With Conditions (Pravina Attwala)
Date: July-11-22 11:59:28 AM

Please note that Vaughan - Forestry process is now complete for a COA folder with the following details:

File No: A145/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 35 Mcmorran Cr

Comments:

Conditions: 1) Applicant to provide tree protection plan for trees located on subject site and municipally owned ROW.

Pravina Attwala

Subject: FW: [External] FW: A145/22 (35 MCMORRAN CRESCENT) REQUEST FOR COMMENTS
Attachments: CIRC_A145_22_07_15_2022.pdf

From: Development Services <developmentsservices@york.ca>
Sent: July-21-22 4:31 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] FW: A145/22 (35 MCMORRAN CRESCENT) REQUEST FOR COMMENTS

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A145/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: August 2, 2022
Applicant: Yonatan Colman
Location: PLAN RS66R12262 Part 15
 PLAN M1934 Part of Block 36
 PLAN RS66R12262 Part 16 municipally known as
 35 Mcmorran Crescent
File No.(s): A145/22

Zoning Classification:

The subject lands are zoned R4 (EN) and subject to the provisions of Exception 14.268 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 45% is permitted. [Section 14.268]	To permit a maximum lot coverage of 46.5%.
2	A minimum rear yard setback of 5.1 metres to the proposed deck is required. [Section 4.13 and Section 14.268]	To permit a minimum rear yard setback of 4.3 metres to the proposed deck.
3	Where there is no garage a minimum side yard of 2.7 metres or a minimum front yard of 11.0 metres is required. [Section 14.268]	To permit a minimum side yard of 0.16 metres and a minimum front yard of 5.1 metres where there is no garage.

The subject lands are zoned R4 and subject to the provisions of Exception 9(467) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
4	A maximum lot coverage of 45% is permitted. [Schedule T-08]	To permit a maximum lot coverage of 46.5%.
5	A minimum rear yard setback of 5.7 metres to the proposed deck is required. [Section 3.14 and Schedule T-08]	To permit a minimum rear yard setback of 4.3 metres to the proposed deck.
6	Where there is no garage a minimum side yard of 2.7 metres or a minimum front yard of 11.0 metres is required. [Schedule T-08]	To permit a minimum side yard of 0.16 metres and a minimum front yard of 5.1 metres where there is no garage.
7	No parking shall be permitted in the front yard except on a properly constructed and surfaced driveway used to gain direct access to a garage or carport, or rear or side yard parking space. [Section 4.1.4]	To permit parking in the front yard on a properly constructed and surfaced driveway that is not used to gain direct access to a garage or carport, or rear or side yard parking space.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 24, 2022
Name of Owner: Yonatan Colman
Location: 35 McMorran Crescent
File No.(s): A145/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 46.5%.
2. To permit a minimum rear yard setback of 4.3 metres to the proposed deck.
3. To permit a minimum side yard of 0.16 metres and a minimum front yard of 5.1 metres where there is no garage.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 45% is permitted.
2. A minimum rear yard setback of 5.1 metres to the proposed deck is required.
3. Where there is no garage a minimum side yard of 2.7 metres or a minimum front yard of 11.0 metres is required.

Proposed Variance(s) (By-law 1-88):

4. To permit a maximum lot coverage of 46.5%.
5. To permit a minimum rear yard setback of 4.3 metres to the proposed deck.
6. To permit a minimum side yard of 0.16 metres and a minimum front yard of 5.1 metres where there is no garage.
7. To permit parking in the front yard on a properly constructed and surfaced driveway that is not used to gain direct access to a garage or carport, or rear or side yard parking space.

By-Law Requirement(s) (By-law 1-88):

4. A maximum lot coverage of 45% is permitted.
5. A minimum rear yard setback of 5.7 metres to the proposed deck is required.
6. Where there is no garage a minimum side yard of 2.7 metres or a minimum front yard of 11.0 metres is required.
7. No parking shall be permitted in the front yard except on a properly constructed and surfaced driveway used to gain direct access to a garage or carport, or rear or side yard parking space.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to construct additions to the single detached dwelling with the above noted variances. 2-storey additions at the front and at the southeast rear corner are proposed.

The existing dwelling, including the covered front porch, has a lot coverage of 38.1%. The 2-storey addition adds an additional 8.4%, resulting in a total lot coverage of 46.5%. The additions will square off the dwelling, which has an irregularly shaped east side wall and a one storey attached garage in-front of the front door. The proposed lot coverage is consistent with previous approvals in the City, is 1.5% or about 4.79 m² more than the current requirement and will not pose a significant adverse visual impact to the surrounding properties or streetscape. The increase in total lot coverage is minor in nature and as such, the Development Planning Department has no objection to Variances 1 and 4.

The Development Planning Department has no objection to Variances 2 and 5, as the minimum rear yard setback reduction for the uncovered deck will not pose a significant visual impact to nor impact the function of the abutting uses. The rear yard setback of

4.3 m to the proposed deck also maintains an appropriate area for access, drainage, and vegetated amenity space, and will not impact the abutting properties.

The Development Planning Department has no objection to Variance 7. The dwelling's front wall currently contains a wide single garage door. A smaller single garage door is proposed on the front wall, though the enclosed space will no longer be to store a vehicle due to its modest depth. Instead, parking is proposed on a double-wide driveway in-front of the single garage door, maintaining the character of the neighbourhood.

The Development Planning Department has no objection to Variances 3, and 6, for the reduction in the front and side yard setbacks. As second floor massing is established closer to the street due to the steeper roof pitch of the neighbouring dwelling at 31 McMorran Crescent and the second floor above the garage at 39 McMorran Crescent, no massing impacts are anticipated from the front yard setback reduction. The west wall of the addition above the garage is proposed to be in-line with the west garage wall. There are also no windows at 31 McMorran Crescent where the second floor addition is proposed nor does the addition propose windows on the west wall.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Olga Shebanova	40 McMorran Crescent	06/07/2022	Letter of Support
Public	Edna Benzaquen	53 McMorran Crescent	06/07/2022	Letter of Support
Public	Chaya Rosenberg	28 McMorran Crescent	06/07/2022	Letter of Support
Public	Marni Dishy	44 McMorran Crescent	06/07/2022	Letter of Support
Public	David Kaufman	63 McMorran Crescent	06/07/2022	Letter of Support
Public	Aviv Lavee	67 McMorran Crescent	06/07/2022	Letter of Support
Public	Jin Hau	31 McMorran Crescent	06/07/2022	Letter of Support
Public	Michael Corman	23 McMorran Crescent	06/07/2022	Letter of Support
Public	Laura Farbstein	43 McMorran Crescent	06/07/2022	Letter of Support
Public	Resident	46 McMorran Crescent	06/07/2022	Letter of Support
Public	Gail Cooper	45 McMorran Crescent	06/07/2022	Letter of Support
Public	Wayne Tanaka	36 McMorran Crescent	06/07/2022	Letter of Support
Public	Sergio Bell	7 McMorran Crescent	06/07/2022	Letter of Support
Public	Kelven Kwong	32 McMorran Crescent	06/07/2022	Letter of Support
Public	Margam Bagherzadeh	46 Milner Gate	06/07/2022	Letter of Support
Public	Bathshewa Schochet	42 Milner Gate	06/07/2022	Letter of Support
Public	Elena Vantraub	50 Milner Gate	06/07/2022	Letter of Support
Public	Hedwa Katz	39 McMorran Crescent	06/07/2022	Letter of Support

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Olga Shebanova

Signature: Olga

Address: 40 McMorran Cres

A handwritten smiley face consisting of two dots for eyes and a curved line for a mouth, drawn in blue ink.

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Edna Benzouen

Signature: Edna Benzouen

Address: 53 McMorran Crescent
Thornhill, ON
L4J 2T4

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Chaya Rosenberg

Signature: Chaya Rosenberg

Address: 28 McMORRAN

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Narni Dishy

Signature: Narni Dishy

Address: 44 McMorran cres.

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: David Kaufman

Signature: 

Address: 63 McMorran Cr

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: _____

Aviv Lavee

Signature: _____

Aviv Lavee

Address: _____

67 McMorran Cres.

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Jin Han

Signature: 

Address: 31 McMorran Crescent

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22


To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Michael Corman

Signature: 

Address: 23 Mc MORRAN Cres
L4S2T4

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Laura Farbstein

Signature: Laura Farbstein

Address: 43 McMorran Cres.
Thornhill, Ont. L4J 2T4

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

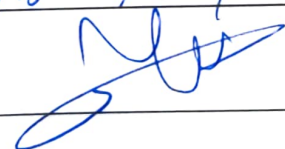
To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Moti Matiyahu

Signature: 

Address: 46. McMorran cres

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

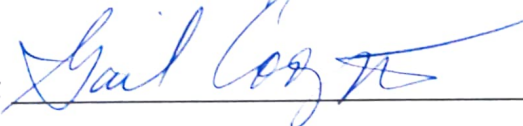
To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Gail COOPER.

Signature: 

Address: 45 McMorran Cres.

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

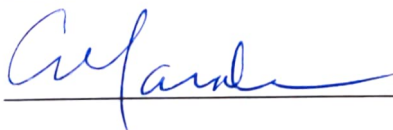
To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: WAYNE TANAKA

Signature: 

Address: 36 McMORRAN CRES!

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22


To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Sergio Belp

Signature: 

Address: 7 McMorran Cr.

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

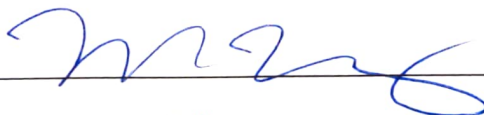
To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Kelvin Kwong

Signature: 

Address: 32 McMorran Crescent

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

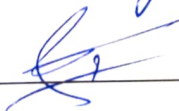
To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Margam Bagherzadeh

Signature: 

Address: 46 Milner Gate

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: BATHSHEWA SCHOCHEIT

Signature: 

Address: 42 MILNER GATE

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Elena Elena Vandrav

Signature: 

Address: 50 Milner Gate

June 7, 2022

City of Vaughan
Urban Development Services
City Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment

Re: 35 McMorran Crescent, Thornhill
Ward 5
Committee of Adjustment
File Number – A145/22

To whom it may concern:

This is to inform the Committee that we have no objections to any of the variances requested for the renovation at 35 McMorran Crescent. We have seen the plans and are supportive of this application.

Thank you,

Yours truly,

Name: Heelwa Katz

Signature: Heelwa Katz

Address: 39 McMorran Cres.