

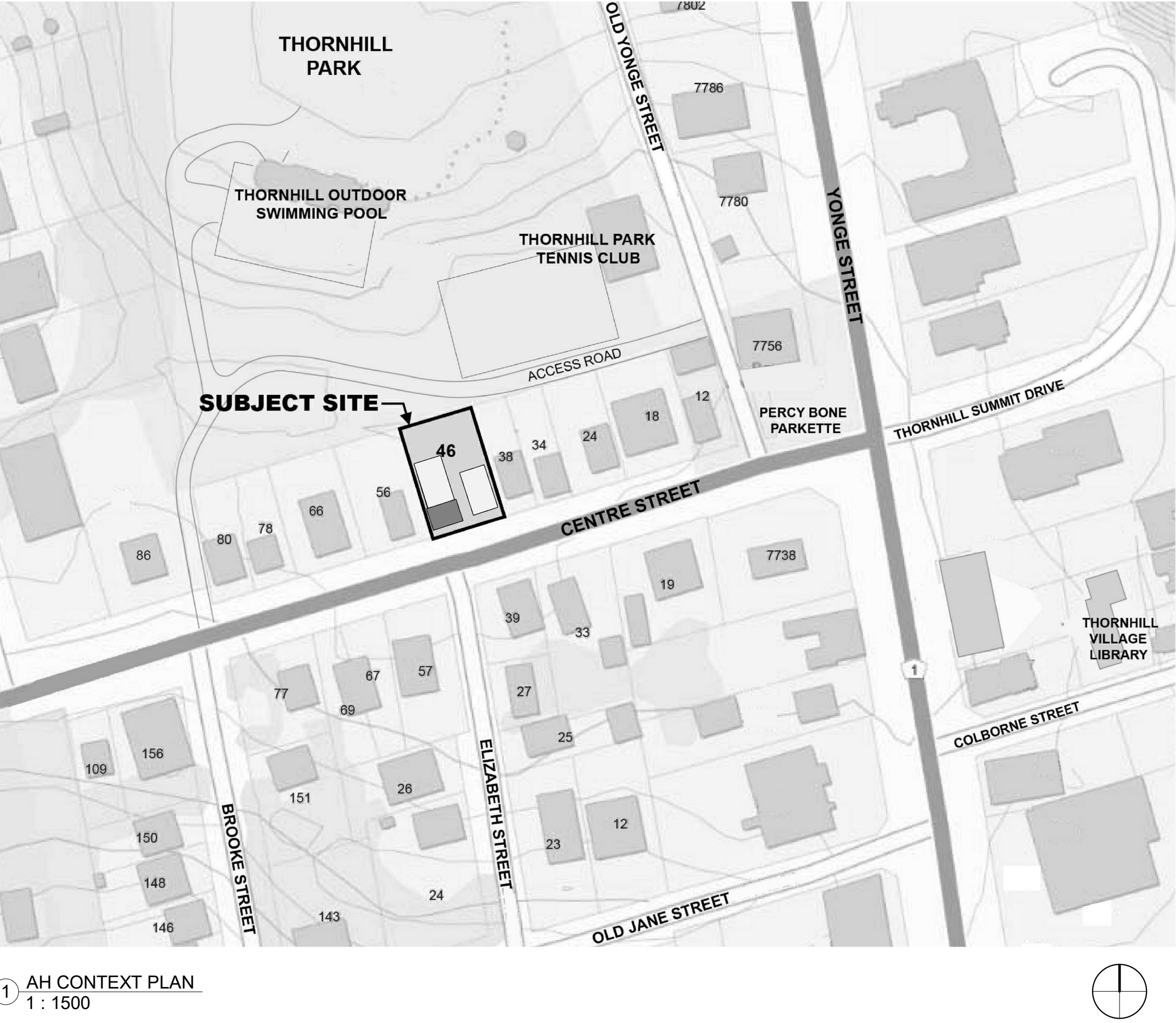
46 CENTRE STREET
THORNHILL (VAUGHAN), ONTARIO

BLDG A 'MAIN HOUSE' RENOVATION (PHASE 1)

RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT APPLICATION - CONSERVATION PLAN
SEPT 07, 2021

DRAWING LIST:

AH000	COVER & DRAWING LIST
AH001	SCHEDULES & NOTES
AH100	SURVEY
AH101	EXISTING FLOOR PLANS
AH102	EXISTING ELEVATIONS
AH103	EXISTING BUILDING SECTIONS
AH200	PROPOSED FLOOR PLANS
AH201	PROPOSED FLOOR PLANS
AH400	PROPOSED ELEVATIONS
AH401	PROPOSED ELEVATIONS
AH500	PROPOSED BUILDING SECTIONS
AH700	PROPOSED DETAILS



ISSUED		
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22	
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07	
DRAWINGS NOT FOR CONSTRUCTION		

REVISED		

- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET	
Thornhill, ON L4J 1E9 (City of Vaughan)	
1846057 Ontario Inc	
Architect: Michael Scott Architect Inc.	

COVER & DRAWING LIST	
Dwg. Title :	
DATE :	18-11-06
SCALE :	1 : 1500
DRAWN :	MS
CHECKED :	MS
PROJECT NO. :	1702
Dwg. No. : AH000	

GENERAL NOTES:

1. ALL DIMENSIONS IN MILLIMETERS (MM)
2. DO NOT SCALE DRAWINGS
3. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
4. CHECK DRAWINGS AGAINST SPECIFICATIONS
5. USE THE LATEST REVISED DRAWINGS ONLY
6. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
7. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT
8. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION

46 CENTRE STREET

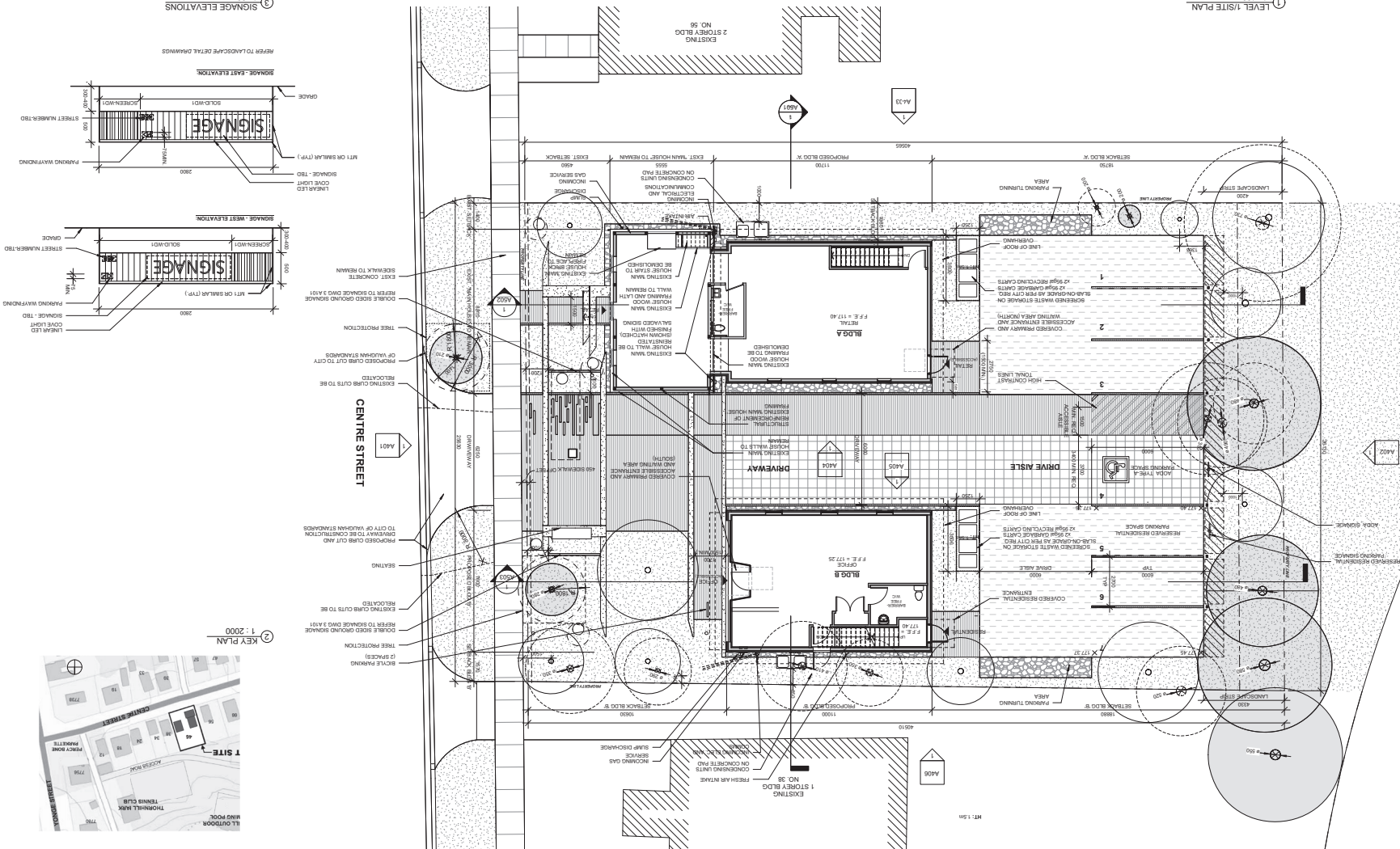
1846057 Ontario Inc

LEVEL 1/SITE
PLAN/LANDSCAPE

A101

① LEVEL 1/SITE PLAN
1 : 100

③ SIGNAGE ELEVATIONS 1 : 30

[illegible]

GENERAL NOTES:

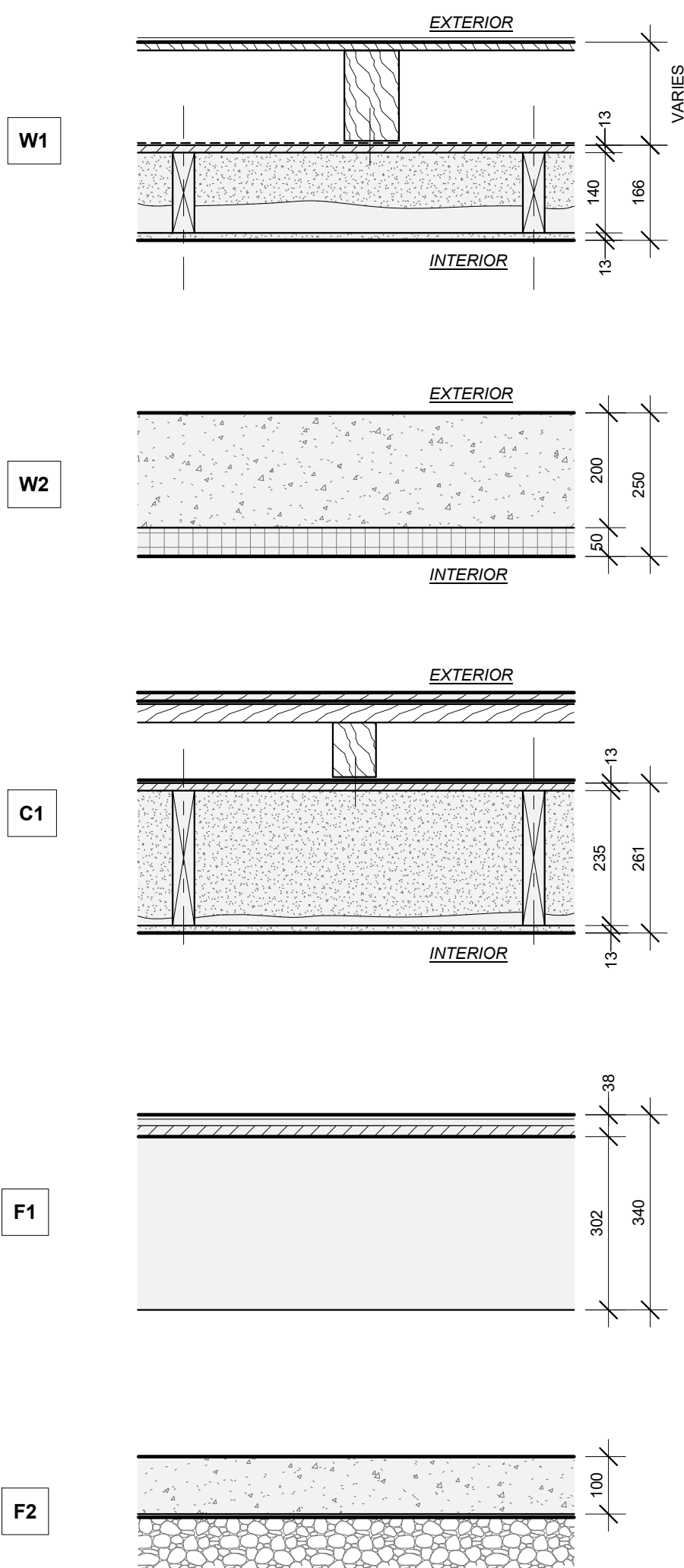
- 1.0 Recording of Existing Building Fabric During Demolition**
Fully record existing building fabric during demolition. Details to be recorded include:
- Location and dimensions of framing members
 - Details of timber-framing joinery
 - Locations and dimensions of siding, interior sheathing, etc.
 - Locations and dimensions of existing or former openings, windows, doors, etc.
 - Details of interior and exterior trim
- Recording to consist of drawings and photographs. Submit to architect for review and proceed with demolition of recorded elements only on receipt of written confirmation that recording has been accepted.
- 2.0 Salvage**
Salvage demolished material for re-use elsewhere in the building, as indicated on drawings or as directed by architect. Material to be salvaged for re-use includes, but is not limited to:
- Exterior siding
 - Fascia, soffit, and board-and-batten trim
 - Plank wall sheathing (interior or exterior) and wide-plank subfloor.
- At conclusion of construction, removal of salvaged material to be turned over to owner or disposed of by contractor as directed by architect.
- 3.0 Shoring During Demolition**
Contractor to provide shoring drawings stamped by a professional engineer licensed to practice in the Province of Ontario, indicating temporary supports, demolition sequencing, etc. Shoring design to be coordinated with installation of new foundations and structural reinforcement for the existing building.
- Shoring drawings to be submitted to architect for review. Undertake demolition work only on receipt of written authorization to proceed from the architect.
- 4.0 Temporary Protection**
Provide temporary protection to openings during demolition and construction. Temporary protection to be weathered, animal resistant, and resistant to forced intrusion. General standard of protection to be 12mm plywood on framing 400 c/m, with Blueskin weather barrier.

- ## 1.0 General
- ### 1.1 Methods and materials:
- Strictly follow all methods outlined in specifications, in notes, and on drawings. Use only materials specified, and obtain written approval for substitutions prior to using them in the work.
- Damage caused to the building through the use of unapproved methods or materials will be repaired at the contractor's cost, at the sole discretion of the owner.
- ### 1.2 Safety and designated substances:
- Contracting paint material, sealants, and window putty have not been tested for lead, asbestos, or other designated substances. Contractor to assume all responsibility for testing and control of designated substances.
- Assume all paint is lead-containing and take necessary precautions.
- ## 2.0 Paint Removal
- Remove paint using only methods that do not damage the wood. Sanding or scraping which results in any noticeable removal of material including rounding of corners, blurring of profiles, etc. is not acceptable. Remove all paint to bare wood.
- ## 3.0 Wood Restoration
- ### 3.1 Repair all wood by
- removing and resetting loose or displaced material
 - replacing badly damaged or missing elements
 - repairing rotten, open, or checked wood using epoxy consolidants and fillers
 - filling minor gaps with flexible sealant
- ### 3.2 Fasteners
- New fasteners to be hot-dip galvanized or stainless steel nails, smooth shank for window casings and interior trim, ring shank for siding, soffits, or fascia
- ## 4.0 Wood Replacement
- Where new wood is required to replace damaged or missing material:
- Use matching wood salvaged from elsewhere on the building, if possible, including siding and sheathing
 - New wood, where required, to be clear white pine
 - Mill replacement wood to match dimensions of flat stock exactly
 - Where profiled replacement is required, match profile of existing material as closely as possible.
 - Use router bits and hand shaping for small elements. For larger pieces, allow for custom moulding runs using custom knives.
- ## 5.0 Epoxy Consolidant and Filler
- Repair minor rot and open or checked wood surfaces use epoxy consolidants and filler. Use products specifically designed for restoration of heritage woodwork and follow all manufacturer's directions.
 - Avoid using epoxy repairs on simple elements with rectangular cross sections, unless the element is difficult to replace or the damage to be repaired is minor.
 - Avoid bonding separate pieces with an epoxy repair. Repair in such a way that normal movement between the two pieces will continue.
- ## 6.0 Flexible Sealant
- Where minor gaps (< 10mm) have opened between wood elements and no displacement of the elements is noticeable, fill the gaps with paintable flexible sealant. Avoid use of epoxy or hard wood fillers between separate elements.
- ## 7.0 Painting
- Apply at least two coats of knot-blocking sealant to bare wood.
 - Prime & paint in accordance with specifications.

- | | |
|-----|---|
| 1.0 | Restore front door in accordance with wood restoration notes, and as follows: |
| | <ul style="list-style-type: none"> • Strip all existing paint • Remove all existing sealant • Remove existing glazing putty • Fill & repair damaged wood • Re-glaze with existing glass. Replace broken panes with new to match. • Caulk between door and siding with paintable sealant • Sand and restore all existing hardware • Carefully examine condition of door sill. Repair minor damage with epoxy, or replace sill with new to match using Douglas fir, if directed by architect. |
| 2.0 | Restore or replaced front screen door |
| 3.0 | Supply and install new spring bronze weatherstripping. |
| 4.0 | Supply additional hardware as directed under hardware allowance. (See window restoration notes). Allow for new door and screen hardware at installed price, including filling existing holes and mortises with wood patches to allow for new hinges, deadbolts, and locksets of different dimensions from existing. |

- 1.0 **Window Restoration Notes:**
- All existing historic windows, and all frames to be restored as follows:
- Strip all existing paint
 - Remove all existing sealant
 - Remove existing glazing putty
 - Fill & repair damaged wood
 - Fabricate new trim to replace damaged or missing items, matching profile of existing exactly
 - Re-glaze with existing glass. Replace broken panes with new to match.
- See Wood Restoration Notes for restoration techniques and requirements.
- Where interior casings are damaged or missing, fabricate new trim to matching existing.
- 2.0 **Hardware**
- Salvage and restore all existing hardware. Do not reinstall until directed by architect.
- Supply additional hardware as directed under a cash allowance. Carry a \$1,000 cash allowance for this purpose. Allow for installation of new &/or salvaged hardware in contract price.
- 3.0 **Weatherstripping:**
- All existing and replacement sashes to be weatherstripped. Weatherstripping to consist of v-bronze seals against parting stops, straight bronze seal on meeting rail, and silicone bulb seal for bottom of sash.
- 4.0 **Mock Up:**
- Carry out mock up on one existing window showing complete restoration process, including restoration of frame and sash and weatherstripping. Do not proceed with restoration of remaining windows until mock up approved by owner's representative in writing.
- 5.0 **Sull Sashes (Interior Storm Windows):**
- Fabricate new double-glazed sull sashes for historic windows as detailed.
- 6.0 **Shutters:**
- Fabricate new shutters for all windows. Shutters to be fully functional, mounted on existing hinge cut-outs on exterior window casings. Base shutter detailing on existing mouldings at 30 Centre street; adjust shutter sizes to allow closed shutters to properly fit window openings. Provide shop drawings for review prior to fabrication.
- Provide new shutter hardware consisting of Clark's Tip Shutter Hinges or approved equivalent.

- | | |
|-----|--|
| 1.0 | <p>General</p> <p>Restore wood siding in accordance with wood restoration notes, and as follows:.</p> <ul style="list-style-type: none"> • Strip all paint • Survey all siding and rescure loose siding with new stainless steel nails • Cut back split siding to sound wood and replace with salvaged or new wood |
| 2.0 | <p>Siding replacement</p> |
| 2.1 | <p>Small Areas (single plank replacement)</p> <p>For small areas of siding replacement (patching), proceed as follows:</p> <ul style="list-style-type: none"> • Where piece to be replaced is short (less than 3'9/00m), replace entire piece, if sound salvaged material is available for the replacement. • For longer pieces, join repair with a 45 degree scarf joint and secure with a nail through the outer edge of the scarf joint, 25mm from the joint. • Seal and prime all cut ends of new and existing siding • Provide concealed aluminum flashing behind all joints in repaired work. |
| 2.2 | <p>Larger Areas (multiple adjacent planks)</p> <p>For larger areas, proceed as noted above for small areas of replacement but ensure that joints are staggered a minimum of 2' 0/00m to conceal the repair. Where possible, replace longer boards or entire lengths where salvaged material is available for this work.</p> |
| 3.0 | <p>Replacement Material</p> <p>Replacement material (salvaged or new) is to match the profile of existing siding being repaired exactly. Allow for milling salvaged material, if necessary, to the correct profile.</p> |



EXTERIOR
EXISTING WOOD CLAPBOARD TO REMAIN
EXISTING TIMBER FRAMING TO REMAIN
AIR BARRIER
13mm PLYWOOD SHEATHING
SPRAY FOAM INSULATION (R-13) BTWN.
38mm x 140mm FRAMING (2x6) AT 610mm O.C.
13m GWB
INTERIOR

EXTERIOR
WATERPROOFING (BELOW GRADE)
200mm REINFORCED CONCRETE
50mm RIGID INSULATION (R-10)
INTERIOR

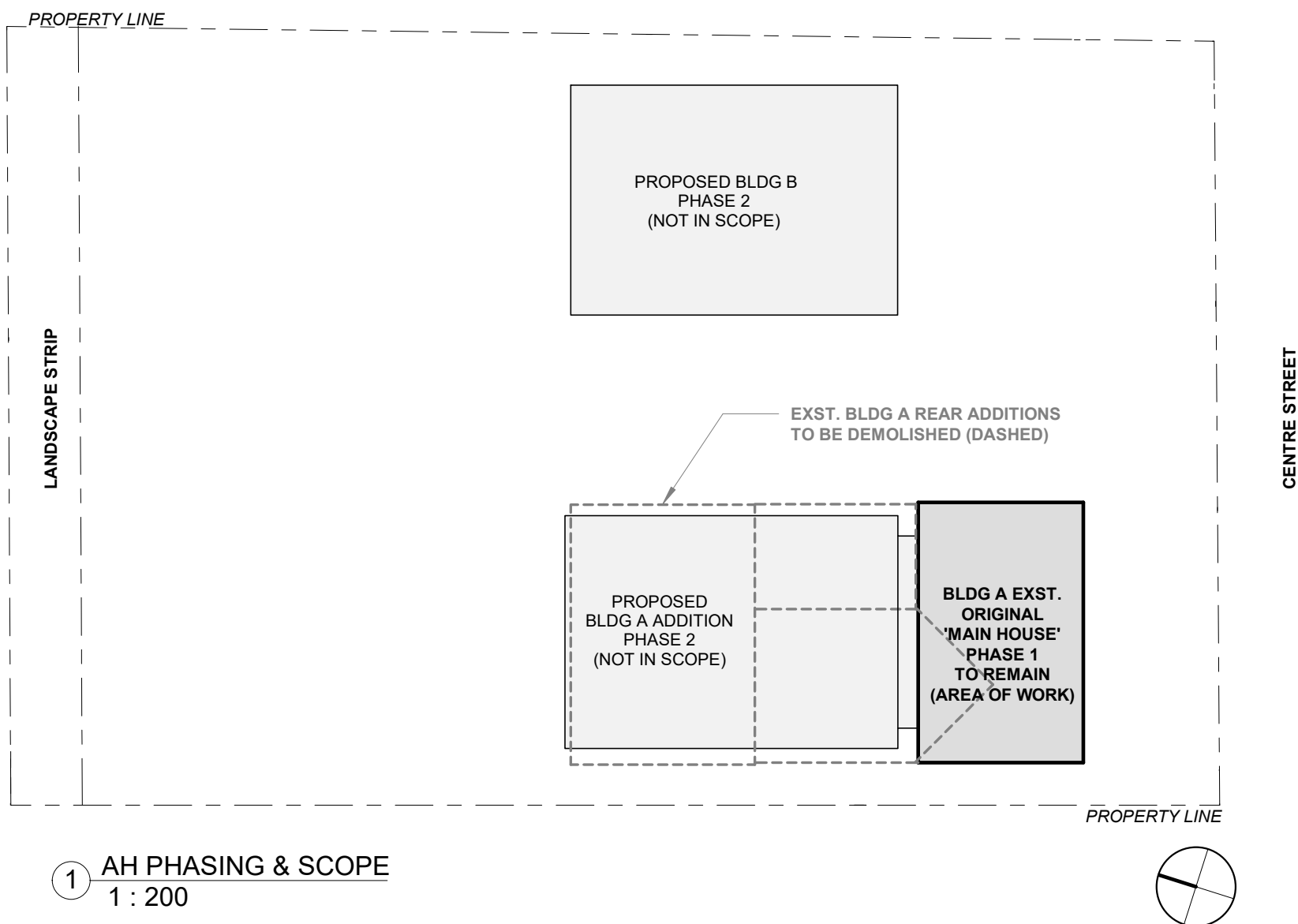
EXTERIOR

SHINGLE ROOFING (WD)
ROOFING UNDERLAYMENT
EXISTING WOOD DECK TO REMAIN
EXISTING TIMBER RAFTERS TO REMAIN (75mm x 95mm TYP.)
ROOFING MEMBRANE
13mm SHEATHING
SPRAY FOAM INSULATION (R-60) BTWN.
38mm x 235mm FRAMING (2x10) AT 610 O.C.
13m GWB

INTERIOR

19mm FLOORING
19mm SUBFLOOR
FLOOR JOIST AT 406mm O.C.

(MECH. CRAWL SPACE)
100mm REINFORCED CONCRETE
6 mil POLY VAPOUR BARRIER
100mm WASHED STONE

[illegible]

DRAWINGS NOT FOR CONSTRUCTION

REVISED

1. ALL DIMENSIONS IN MILLIMETRES (MM)
2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
5. CHECK DRAWINGS AGAINST SPECIFICATIONS
6. USE THE LATEST REVISED DRAWING
7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
9. REPRODUCTION OF ANY PARTS OR DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

SCHEDULES & NOTES

Dwg. Title :

DATE : 18-11-06

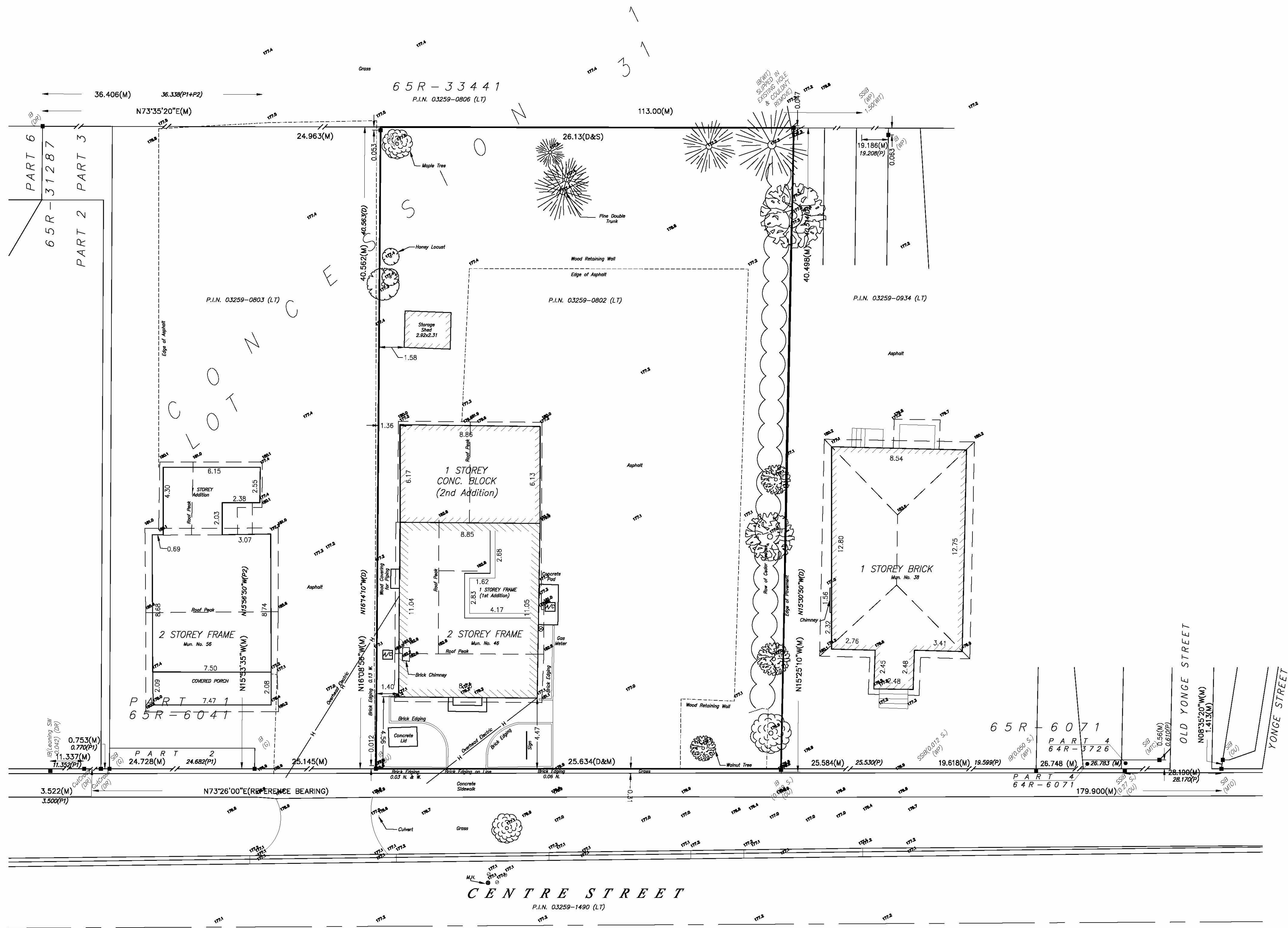
SCALE : As indicated

DRAWN :

Dwg. No.

AH001

SURVEYOR'S REAL PROPERTY REPORT PART 1



PLAN OF SURVEY
OF
PART OF LOT 31, CONCESSION 1
(IN THE GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF
YORK) IN THE
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

© TOTAL TECH SURVEYING INC.

PART 2 THIS PLAN MUST BE READ IN CONJUNCTION WITH
THE REPORTING LETTER DATED JANUARY 20, 2017.

"THIS PLAN WAS PREPARED FOR SAM KASEMEINIK"



BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF CENTRE
STREET AND HAVING A BEARING OF N73°26'00"E AS SHOWN ON PLAN 65R-3726.

"METRIC" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- | | |
|----------|--|
| SIB | DENOTES 25 mm X 25 mm X 1.22 m STANDARD IRON BAR |
| SSIB | DENOTES 25 mm X 25 mm X 0.61 m SHORT STANDARD IRON BAR |
| IB | DENOTES 16 mm X 16 mm X 0.61 m IRON BAR |
| IB# | DENOTES 19 mm Diameter X 0.61 m ROUND IRON BAR |
| ■ | DENOTES SURVEY MONUMENT FOUND |
| □ | DENOTES SURVEY MONUMENT SET AND MARKED 1858 |
| WIT. | DENOTES WITNESS |
| ⊥ | DENOTES PERPENDICULAR |
| (S) | DENOTES SET |
| (PROP) | DENOTES SET PROPORTIONALLY |
| (N.T.S.) | DENOTES NOT TO SCALE |
| (OU) | DENOTES ORIGIN UNKNOWN |
| (D) | DENOTES DEED Inst. No. 361902 |
| (P) | DENOTES PLAN 65R-6071 |
| (P2) | DENOTES PLAN 65R-6041 |
| (WTO) | DENOTES MINISTRY OF TRANSPORTATION, ONTARIO |
| (SVN) | DENOTES SPEIGHT AND VAN NOSTRAND LTD., O.L.S. |
| (DR) | DENOTES DONALD E. ROBERTS, O.L.S. |
| (WP) | DENOTES WILLIAM J. PLAXTON, O.L.S. |
| (G) | DENOTES W.S. GIBBON AND SONS LTD., O.L.S. |
| (M) | DENOTES MEASURED |
| (C) | DENOTES CALCULATED |
| -/- | DENOTES NOT TO SCALE |
| (LT) | DENOTES LAND TITLES |
| -#- | DENOTES SET BY INTERSECTION |
| (P1) | DENOTES PLAN 65R-31287 |

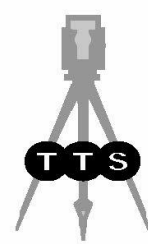
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE
UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 20th DAY OF JANUARY, 2017

DATE: JULY 19, 2017

BLOSS J. SUTHERLAND
ONTARIO LAND SURVEYOR
for TOTAL TECH SURVEYING INC.



**Total
Tech
Surveying Inc.**

341 Talbot St. N.
Units 2 & 3
Essex, ON N8M 2W3
(519) 776-9887

Drawn by: N.E.B.

Checked by: B.J.S.

Job No: 2017-013

Plan File No: D-227

ISSUED

ISSUED FOR SITE DEVELOPMENT APPROVAL 20-01-22
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT 21-09-07

REVISED

GENERAL NOTES:

- ALL DIMENSIONS IN MILLIMETRES (MM)
- DO NOT SCALE DRAWINGS
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
- REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
- CHECK DRAWINGS AGAINST SPECIFICATIONS
- USE THE LATEST REVISED DRAWINGS ONLY
- DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
- DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT
AND MUST BE RETURNED UPON COMPLETION OF THE WORK
- REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN
WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

SURVEY

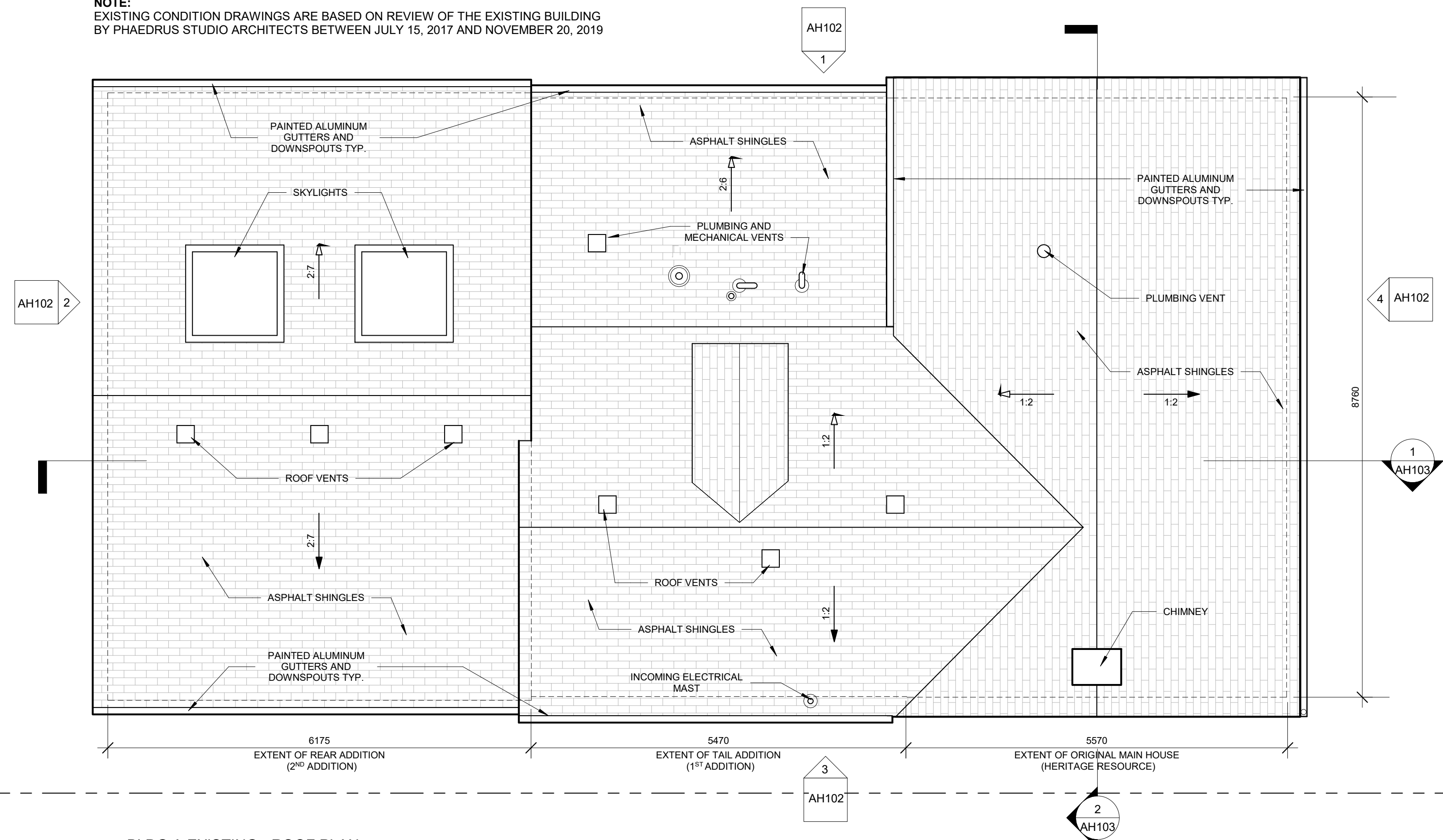
Dwg. Title :

DATE : 18-11-06
SCALE : 1 : 175
DRAWN : -
CHECKED : -
PROJECT NO. : 1702

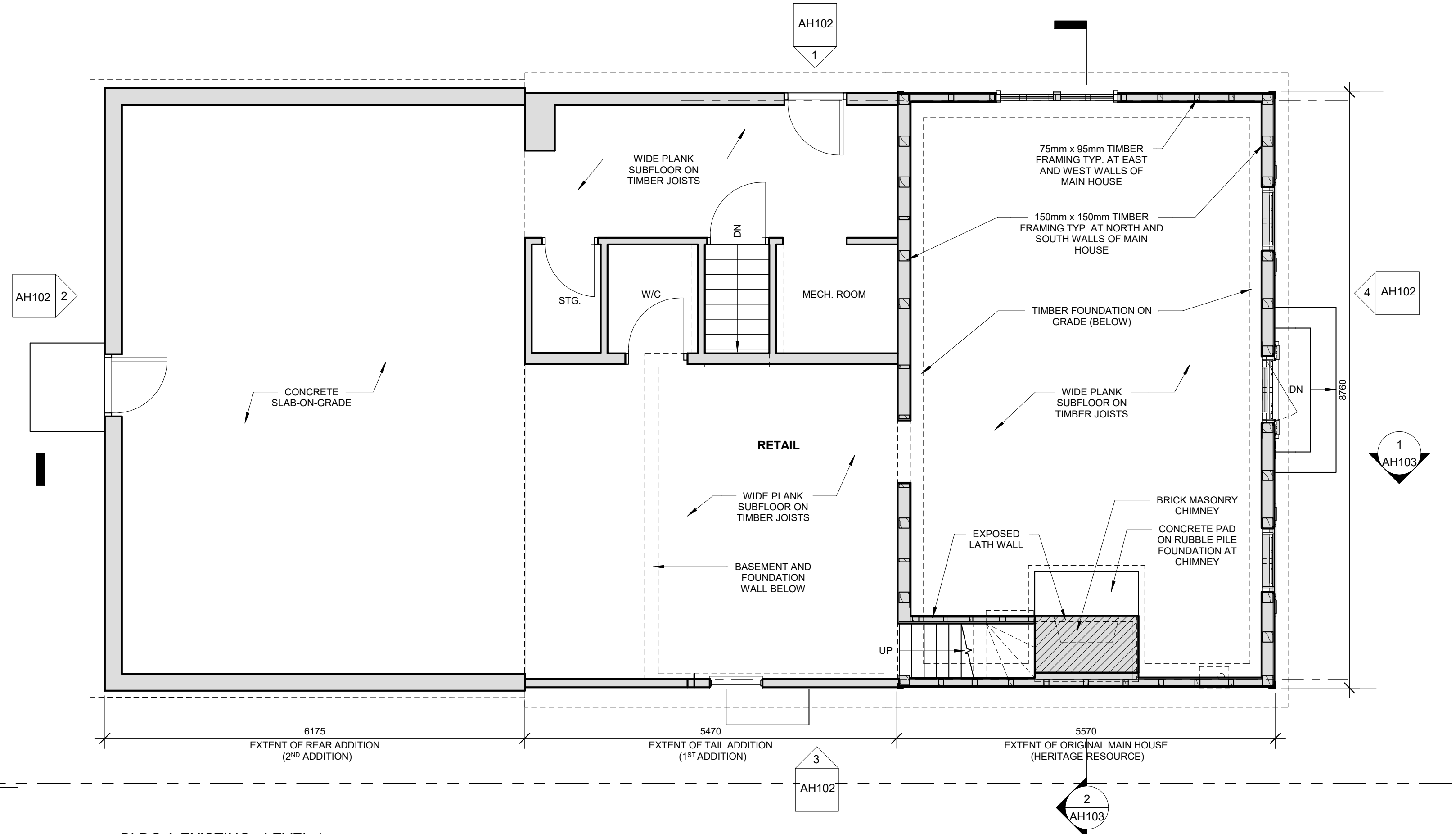
Dwg. No. :

AH100

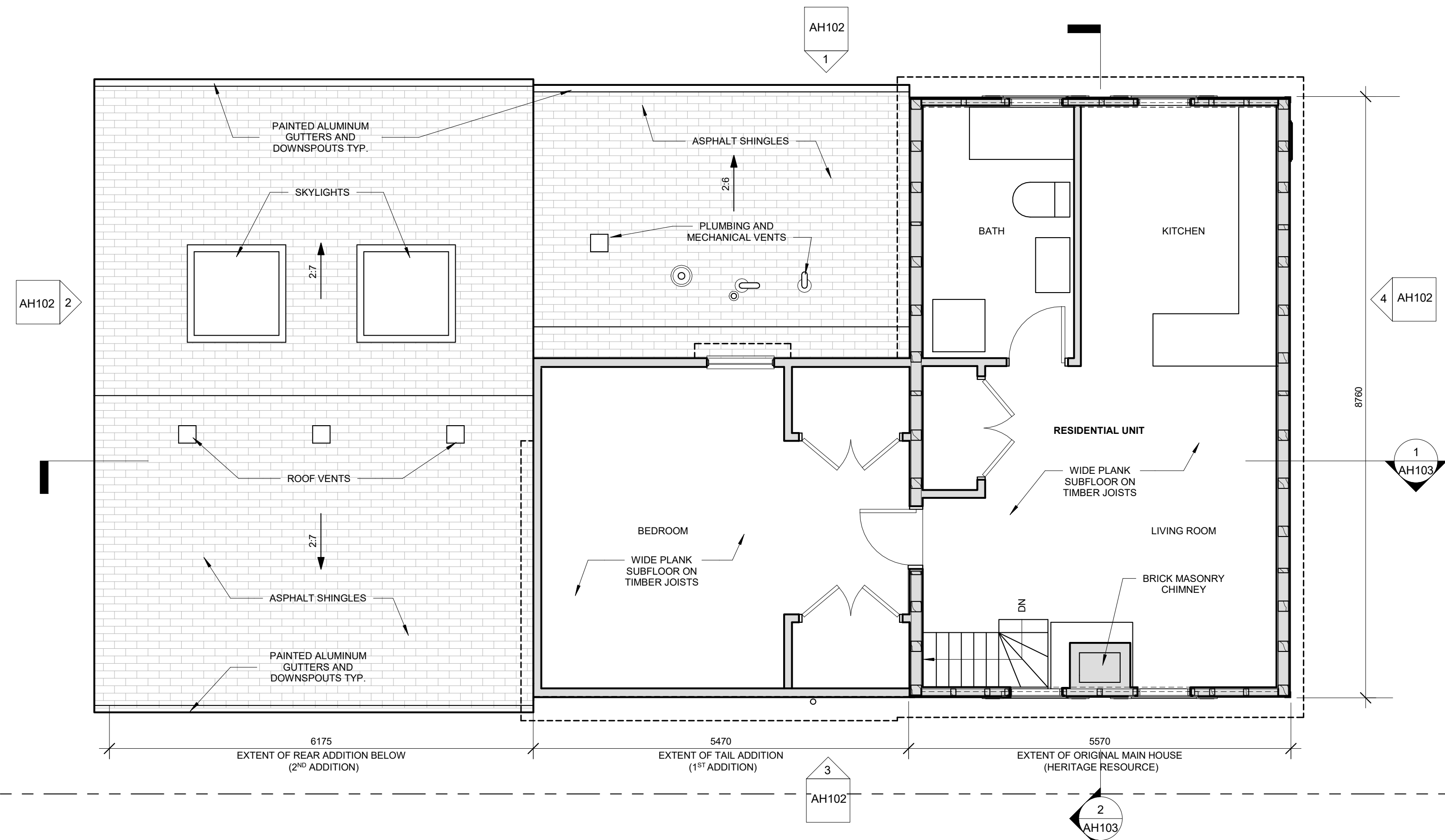
NOTE:
EXISTING CONDITION DRAWINGS ARE BASED ON REVIEW OF THE EXISTING BUILDING
BY PHAEDRUS STUDIO ARCHITECTS BETWEEN JULY 15, 2017 AND NOVEMBER 20, 2019



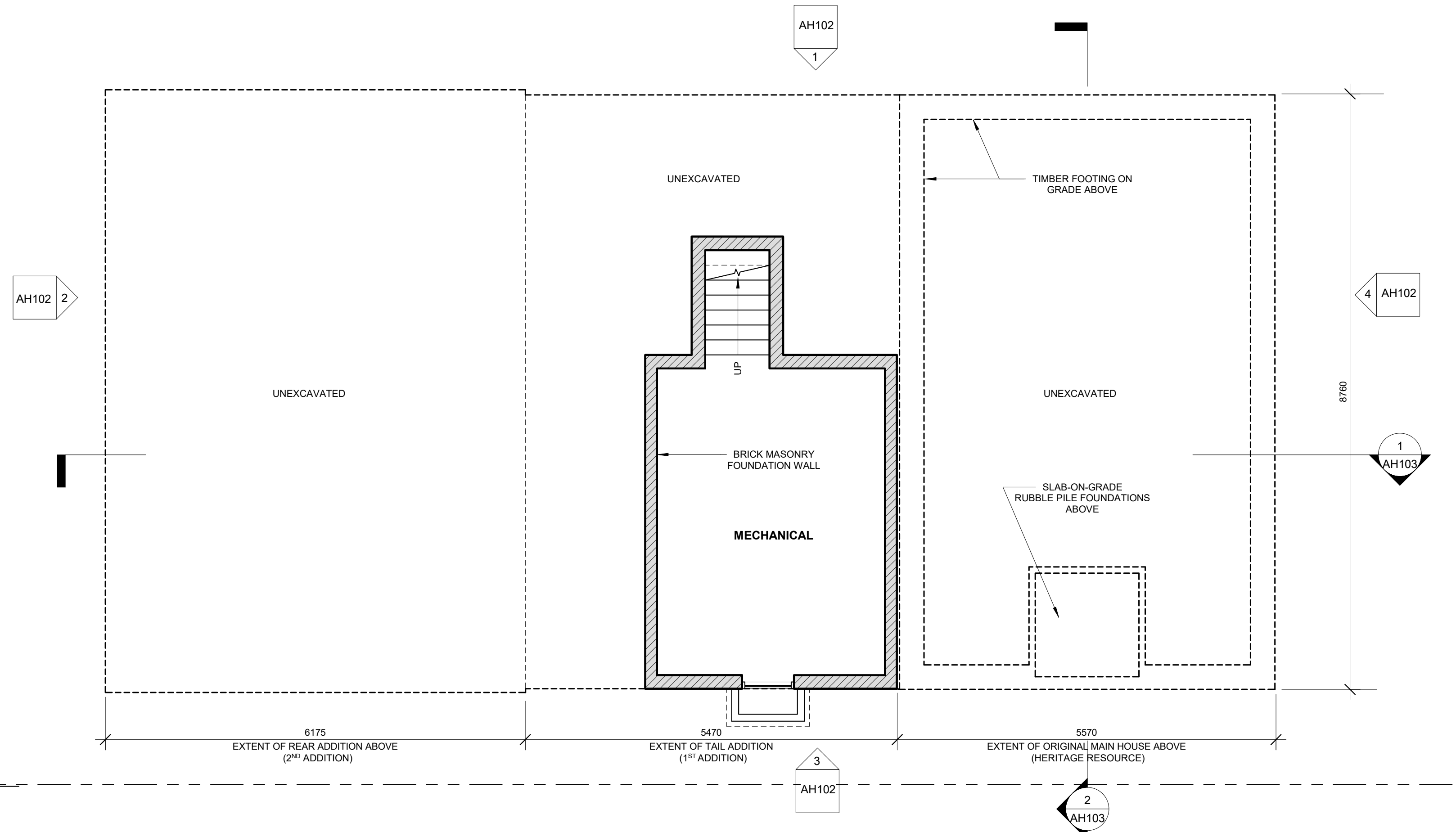
3 BLDG A EXISTING - ROOF PLAN
1 : 50



2 BLDG A EXISTING - LEVEL 1
1 : 50



4 BLDG A EXISTING - LEVEL 2
1 : 50



1 BLDG A EXISTING - BASEMENT
1 : 50

ISSUED

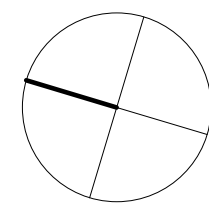
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07

REVISED

DRAWINGS NOT FOR CONSTRUCTION

GENERAL NOTES:

1. ALL DIMENSIONS IN MILLIMETRES (MM)
2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
5. CHECK DRAWINGS AGAINST SPECIFICATIONS
6. USE THE LATEST REVISED DRAWINGS ONLY
7. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT
9. AND MUST BE RETURNED UPON COMPLETION OF THE WORK
10. REPRODUCTION OF DRAWINGS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECTS WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

EXISTING FLOOR PLANS

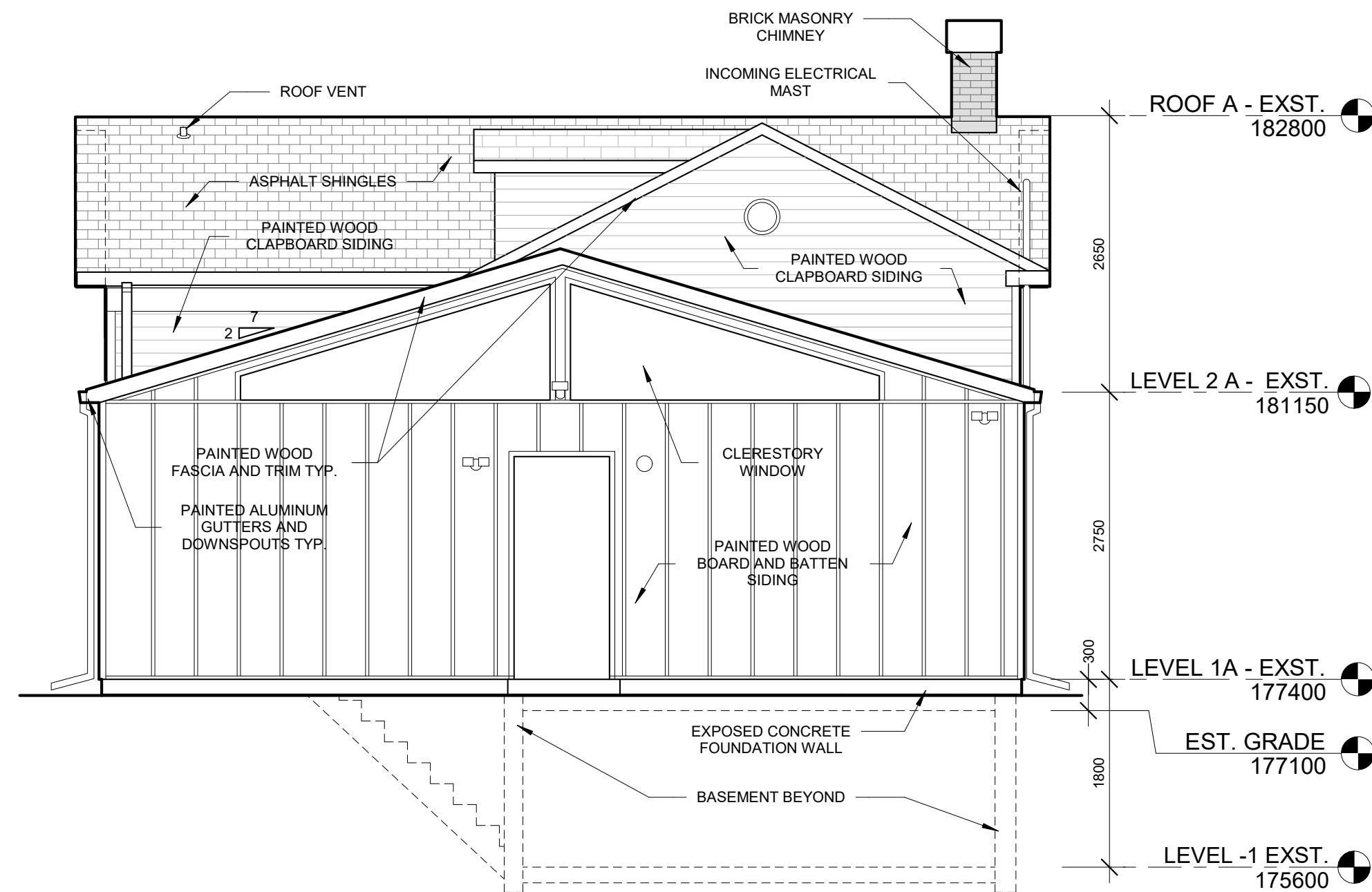
Dwg. Title :

DATE : 18-11-06
SCALE : 1 : 50
DRAWN : -
CHECKED : MS
PROJECT NO. : 1702

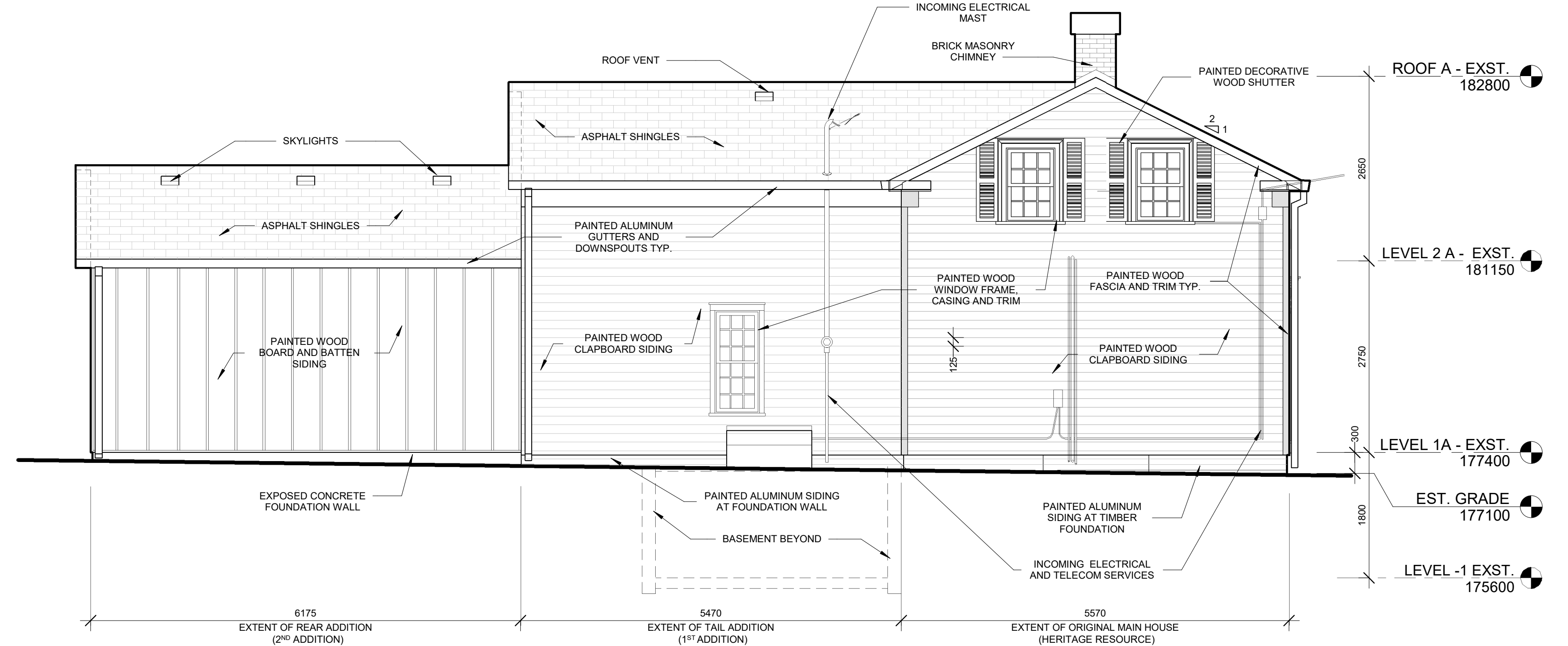
g. No. :

H101

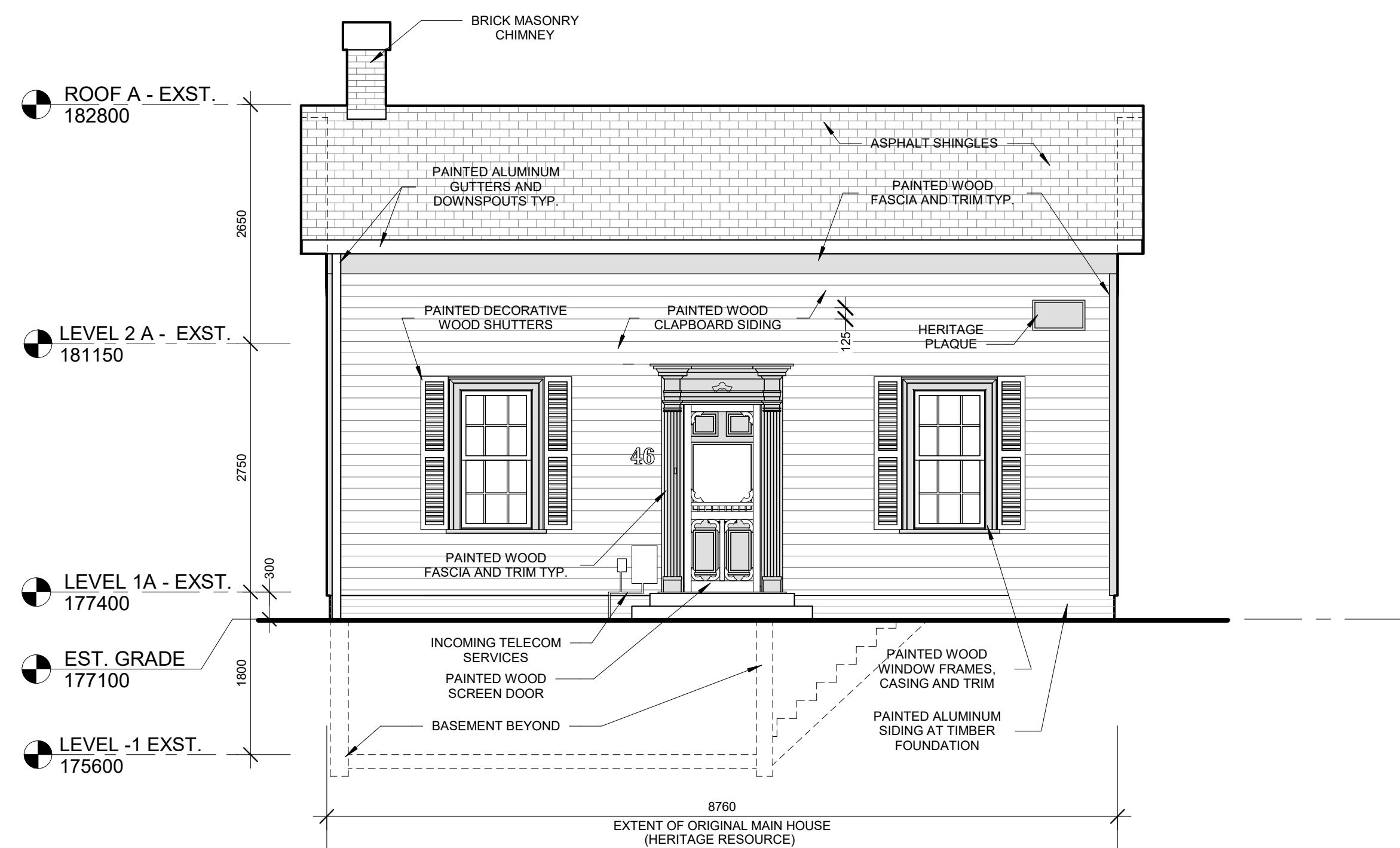
NOTE:
EXISTING CONDITION DRAWINGS ARE BASED ON REVIEW OF THE EXISTING BUILDING
BY PHAEDRUS STUDIO BETWEEN JULY 15, 2017 AND NOVEMBER 20, 2019



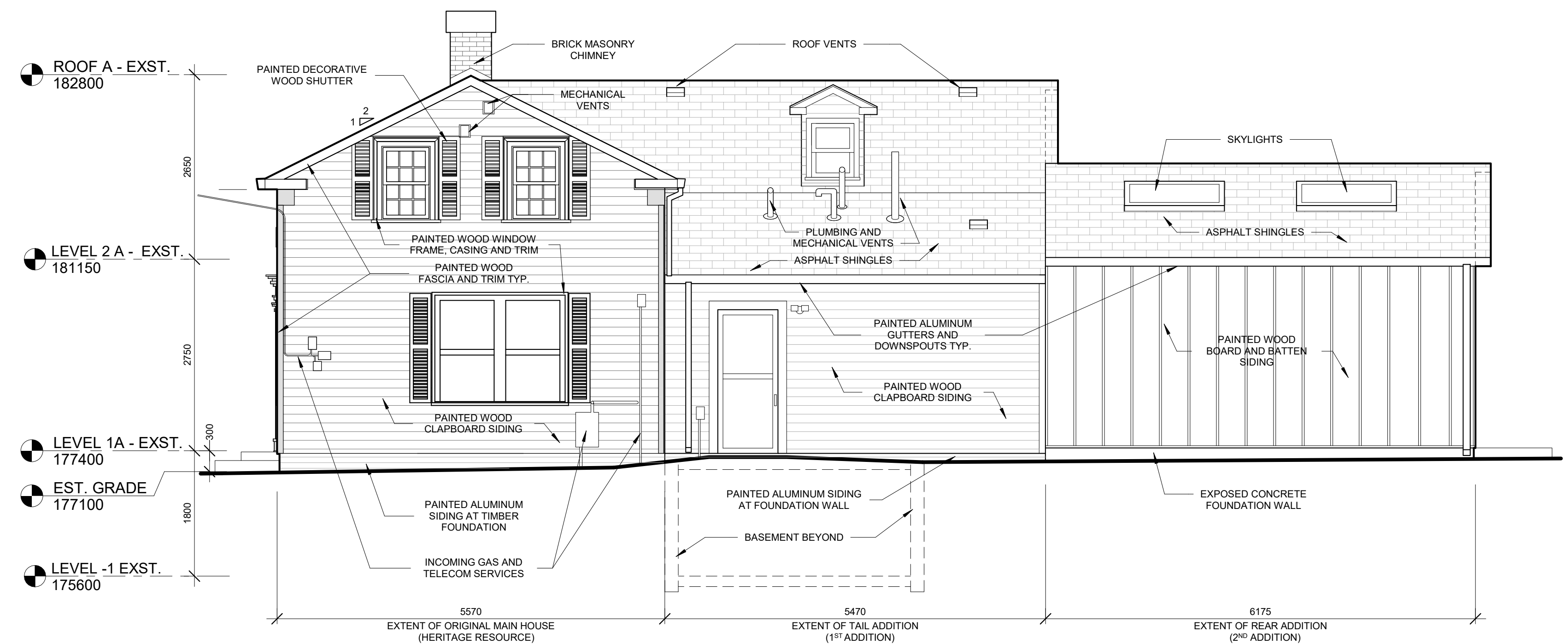
2 EXISTING BLDG A - NORTH ELEVATION
1 : 50



3 EXISTING BLDG A - WEST ELEVATION
1 : 50



4 EXISTING BLDG A - SOUTH ELEVATION
1 : 50



1 EXISTING BLDG A - EAST ELEVATION
1 : 50

ISSUED

[illegible]

DRAWINGS NOT FOR CONSTRUCTION

REVISED

[illegible]

GENERAL NOTES:

1. ALL DIMENSIONS IN MILLIMETRES (MM)
2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
5. CHECK DRAWINGS AGAINST SPECIFICATIONS
6. USE THE LATEST REVISED DRAWINGS ONLY
7. DRAWINGS ARE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

EXISTING ELEVATIONS

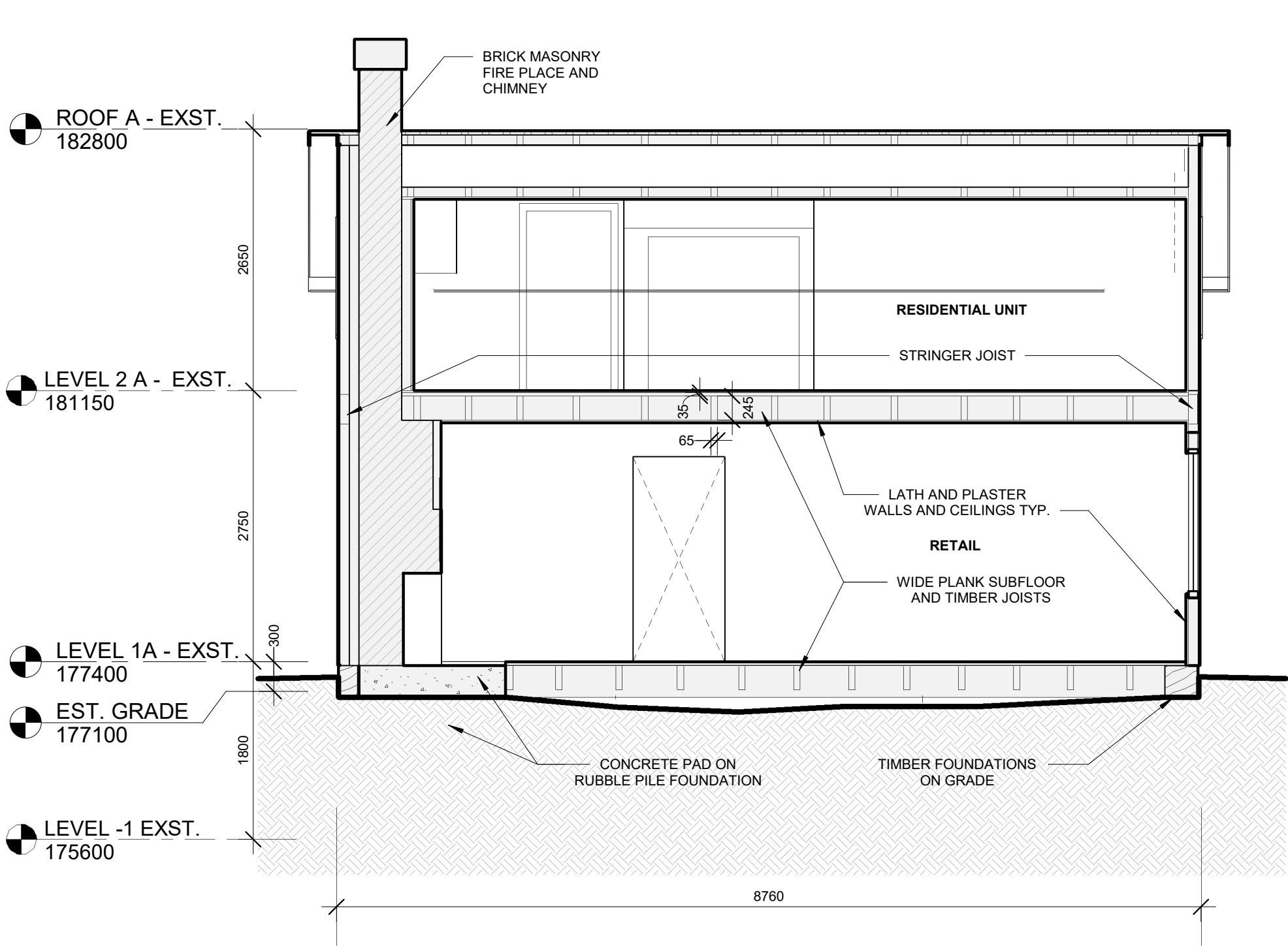
Dwg. Title :

DATE : 18-11-06
SCALE : 1 : 50
DRAWN :
CHECKED : MS
PROJECT NO. : 1702

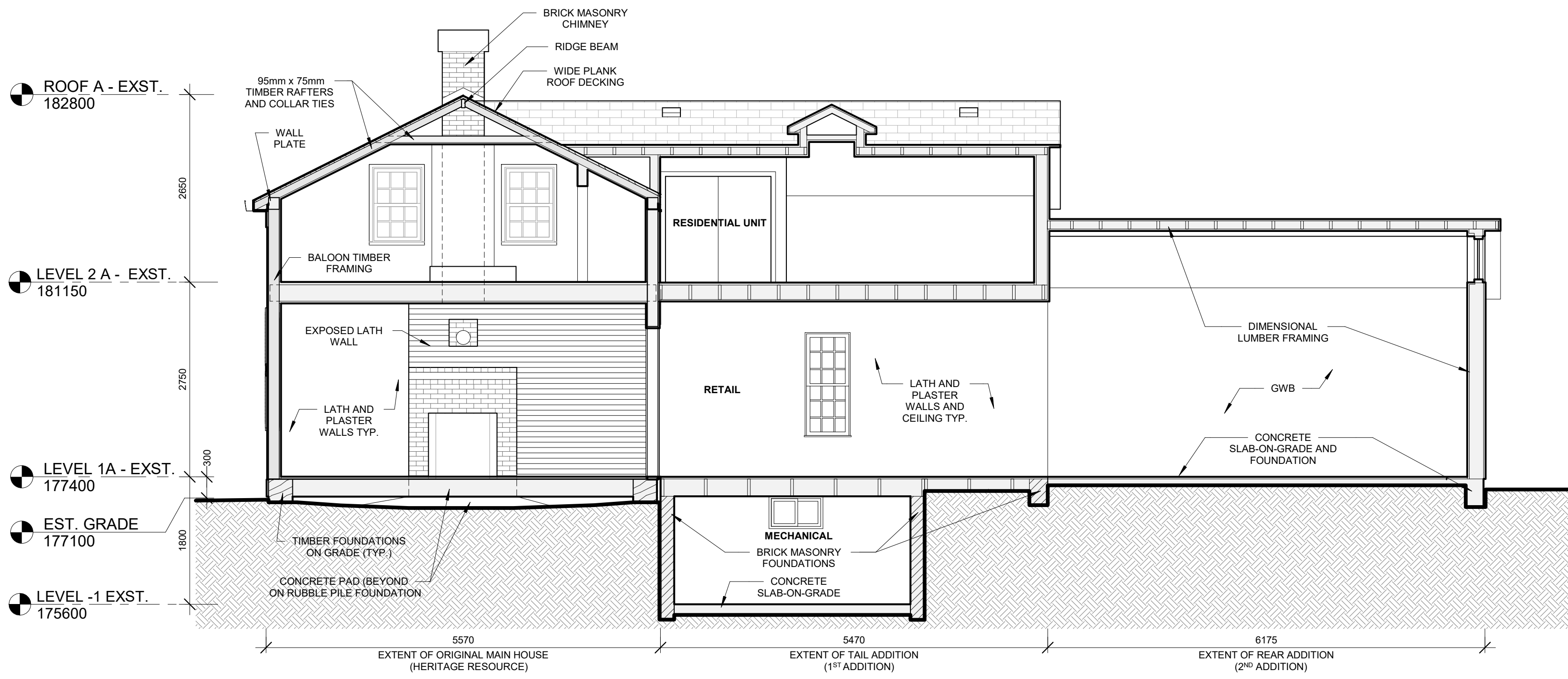
Fig. No. :

AH102

NOTE:
EXISTING CONDITION DRAWINGS ARE BASED ON REVIEW OF THE EXISTING BUILDING
BY PHAEDRUS STUDIO BETWEEN JULY 15, 2017 AND NOVEMBER 20, 2019



② EXISTING BLDG A - E-W SECTION
1 : 50



① EXISTING BLDG A N-S SECTION
1 : 50

ISSUED

ISSUED FOR SITE DEVELOPMENT APPROVAL 20-01-22
RE-ISSUED FOR HERITAG PERMIT/SITE DEVELOPMENT 21-09-07

REVISED

DRAWINGS NOT FOR CONSTRUCTION

GENERAL NOTES:

1. ALL DIMENSIONS IN MILLIMETRES (MM)
2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
5. CHECK DRAWINGS AGAINST SPECIFICATIONS
6. USE THE LATEST REVISED DRAWINGS ONLY
7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

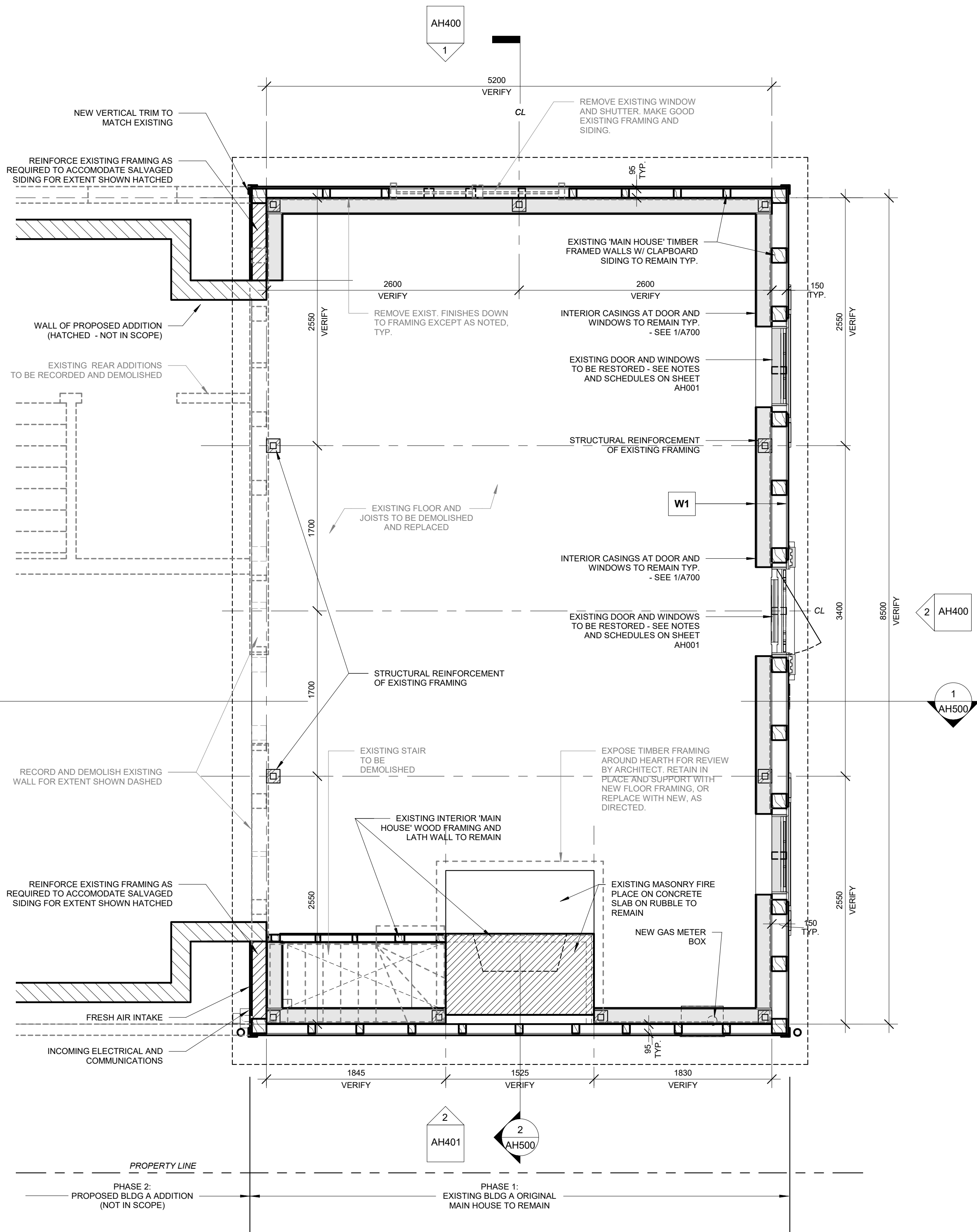
EXISTING BUILDING
SECTIONS

Dwg. Title :

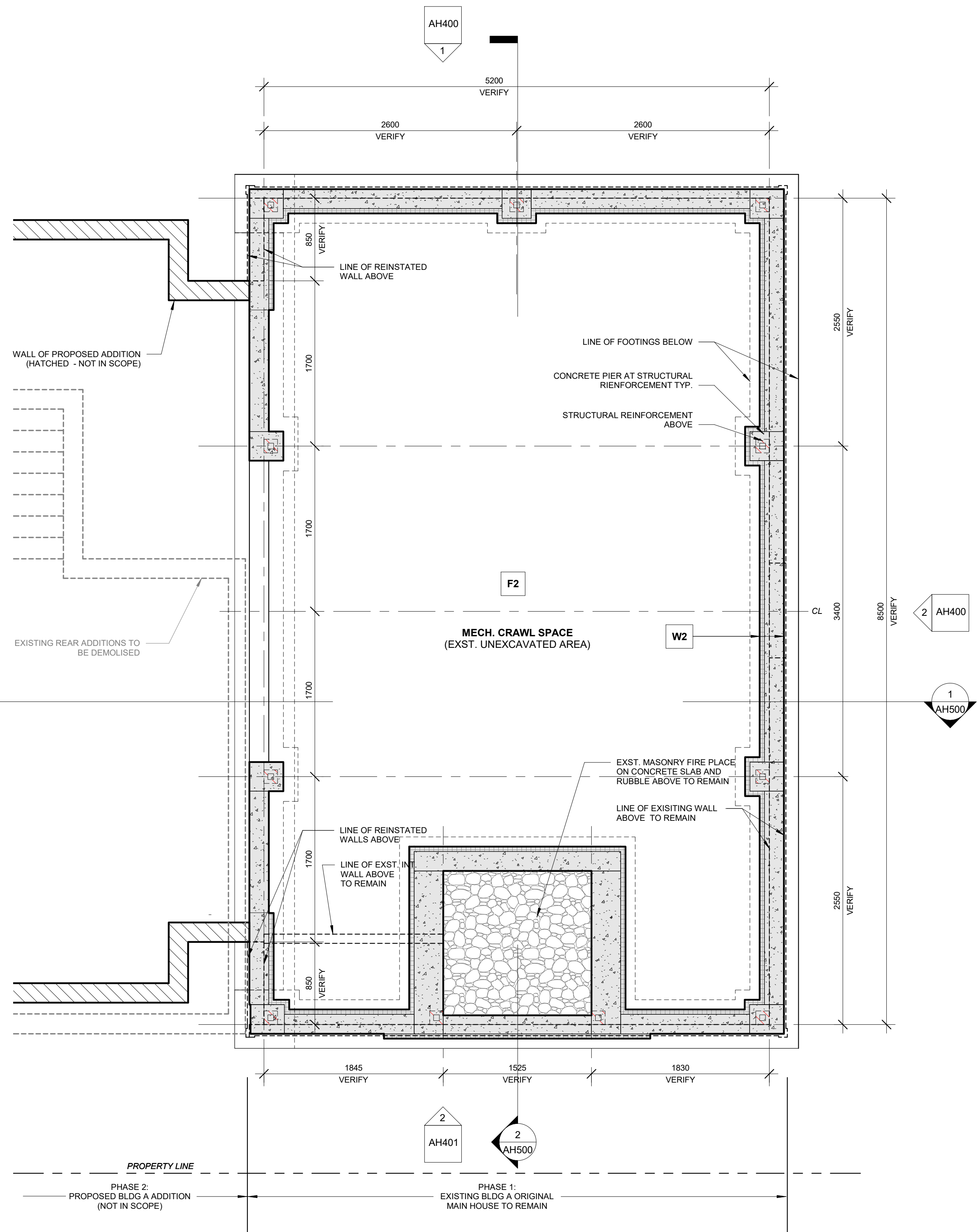
DATE : 18-11-06
SCALE : 1 : 50
DRAWN : MS
CHECKED : MS
PROJECT NO. : 1702

Dwg. No. :

AH103



8 BLDG A MAIN HOUSE - LEVEL 1
1 : 30



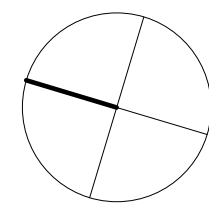
1 BLDG A MAIN HOUSE - LEVEL -5
1 : 30

ISSUED		
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07	

REVISED		

DRAWINGS NOT FOR CONSTRUCTION

- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

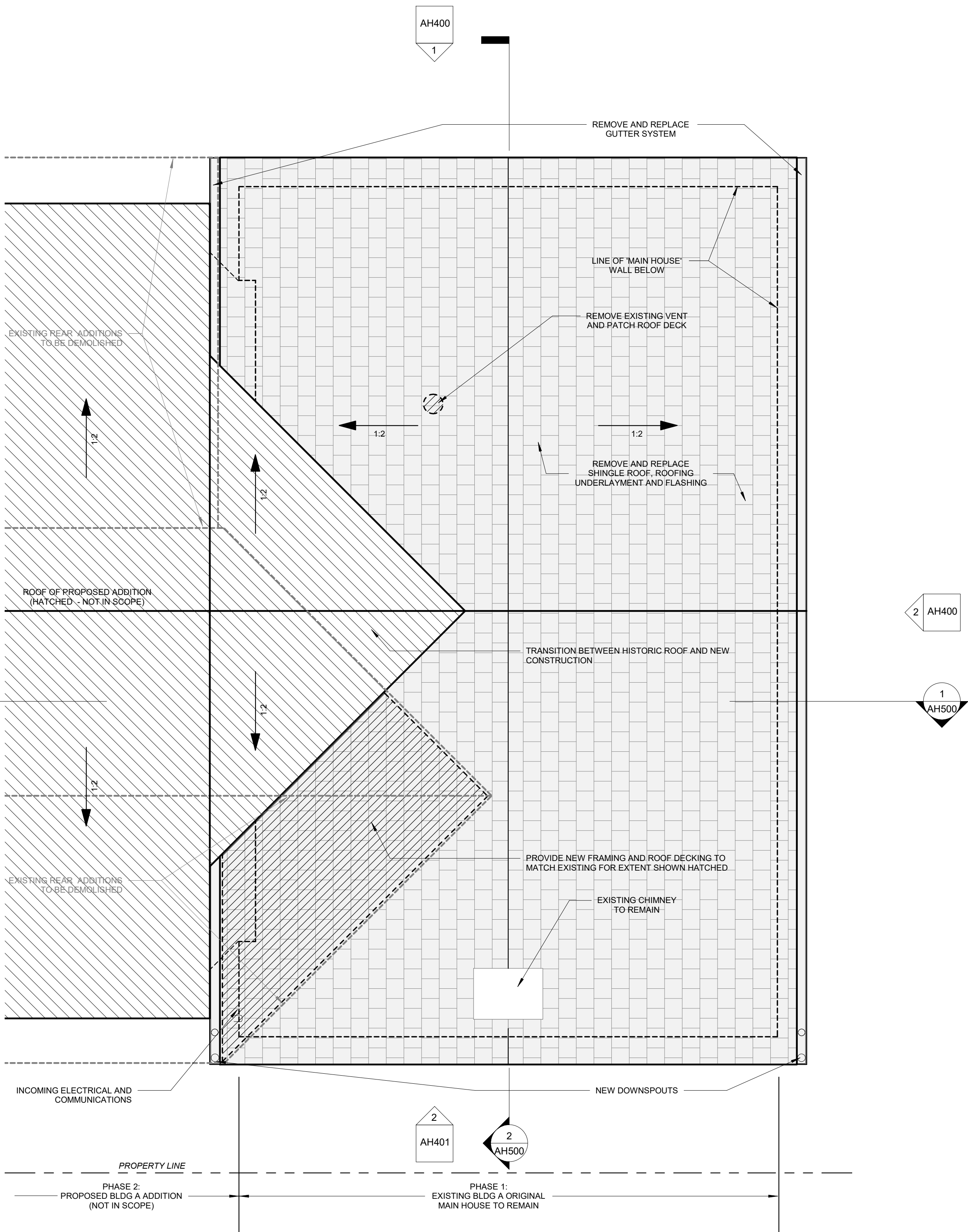
PROPOSED FLOOR PLANS

Dwg. Title :

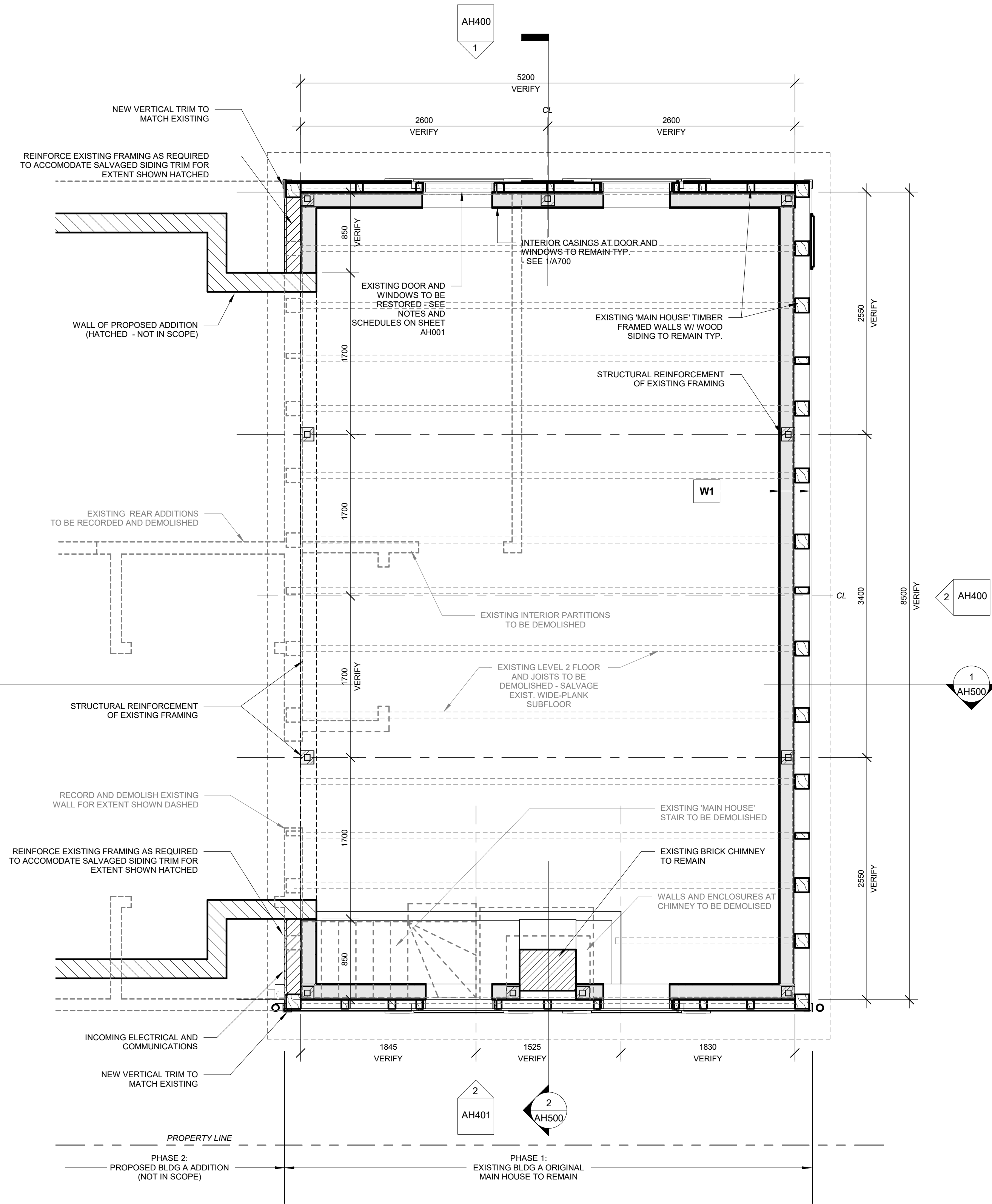
DATE : 18-11-06
SCALE : 1 : 30
DRAWN : MS
CHECKED : MS
PROJECT NO. : 1702

Dwg. No. :

AH200



1 BLDG A MAIN HOUSE- ROOF PLAN
1 : 30



2 BLDG A MAIN HOUSE - LEVEL 1.5
1 : 30

ISSUED

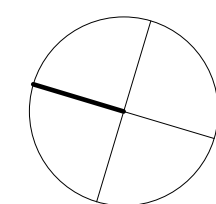
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07

REVISED

DRAWINGS NOT FOR CONSTRUCTION

GENERAL NOTES:

1. ALL DIMENSIONS IN MILLIMETRES (MM)
2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
5. CHECK DRAWINGS AGAINST SPECIFICATIONS
6. USE THE LATEST REVISED DRAWINGS ONLY
7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

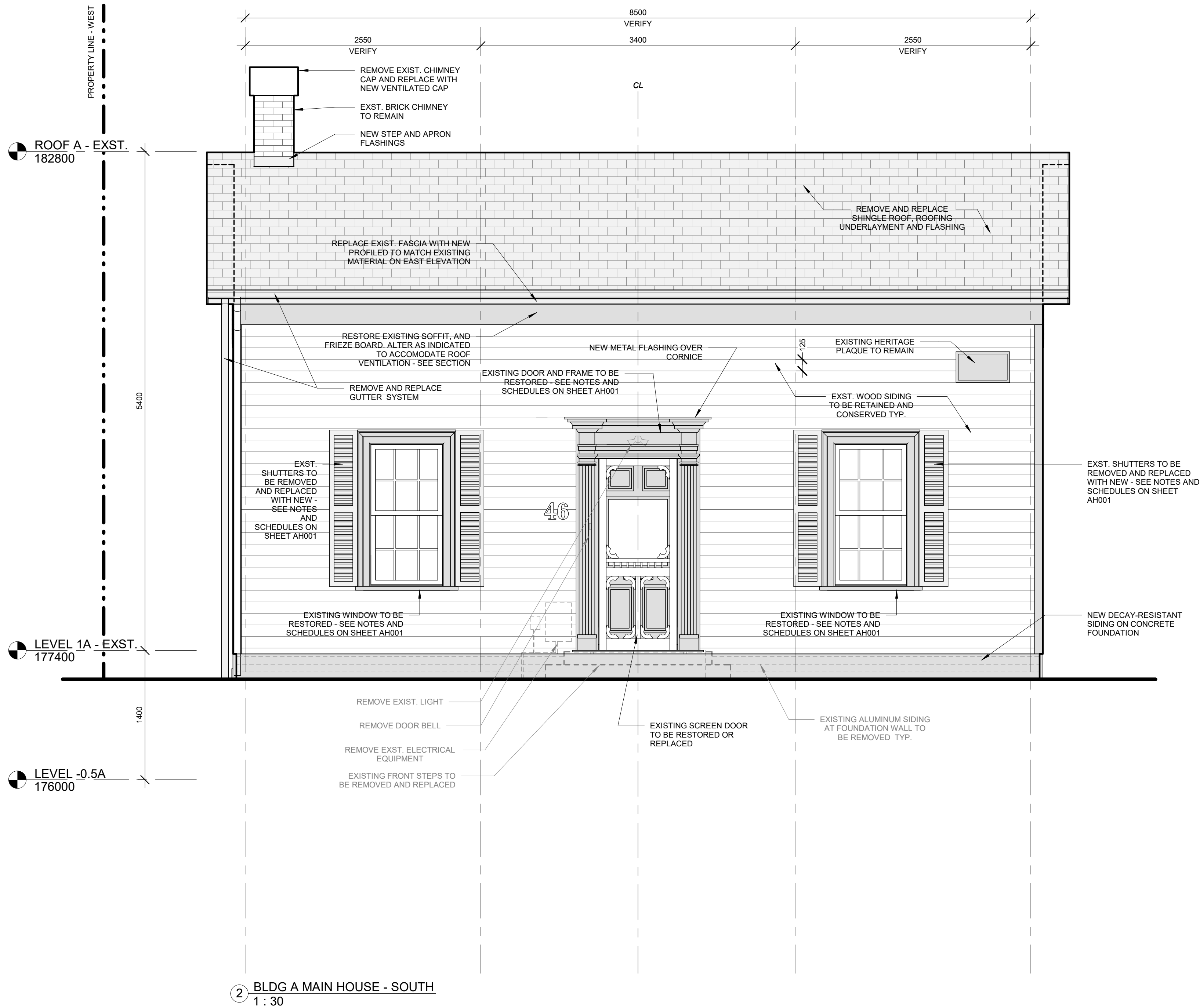
PROPOSED FLOOR PLANS

Dwg. Title :

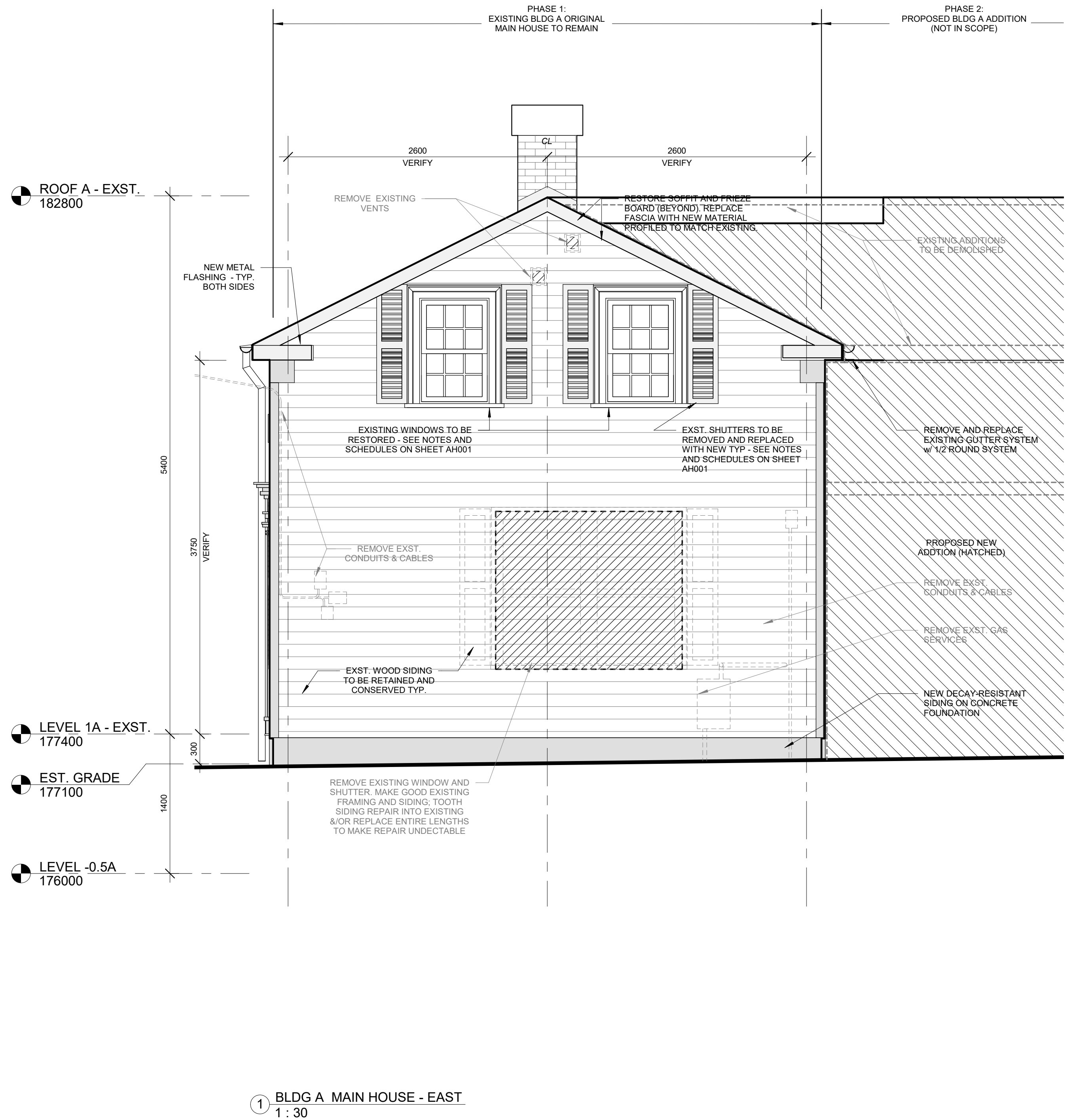
DATE : 18-11-06
SCALE : 1 : 30
DRAWN : MS
CHECKED : MS
PROJECT NO. : 1702

Dwg. No. :

AH201



2 BLDG A MAIN HOUSE - SOUTH
1 : 30



1 BLDG A MAIN HOUSE - EAST
1 : 30

ISSUED		
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22	
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-08-07	

REVISED		

- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

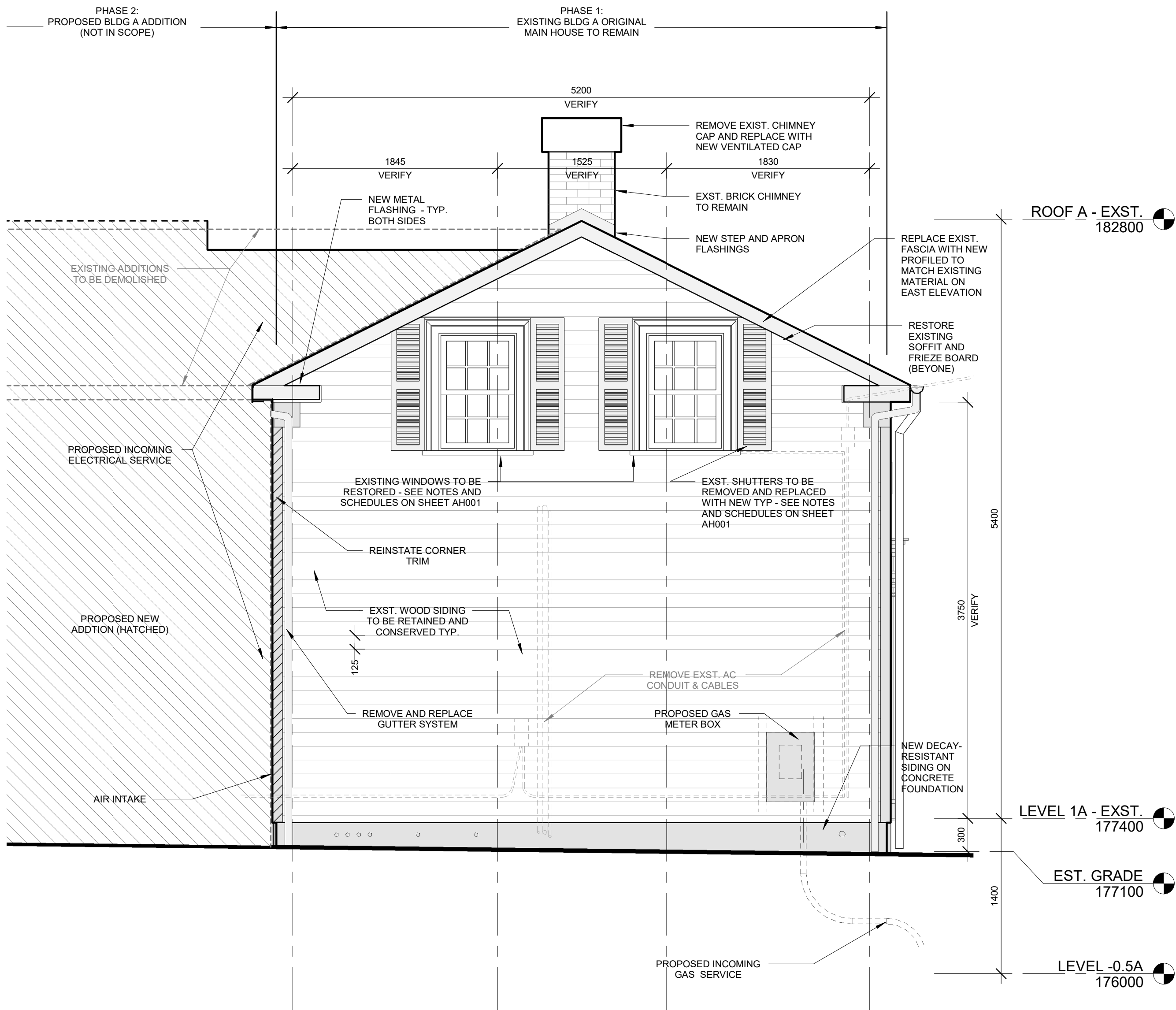
PROPOSED ELEVATIONS

Dwg. Title :

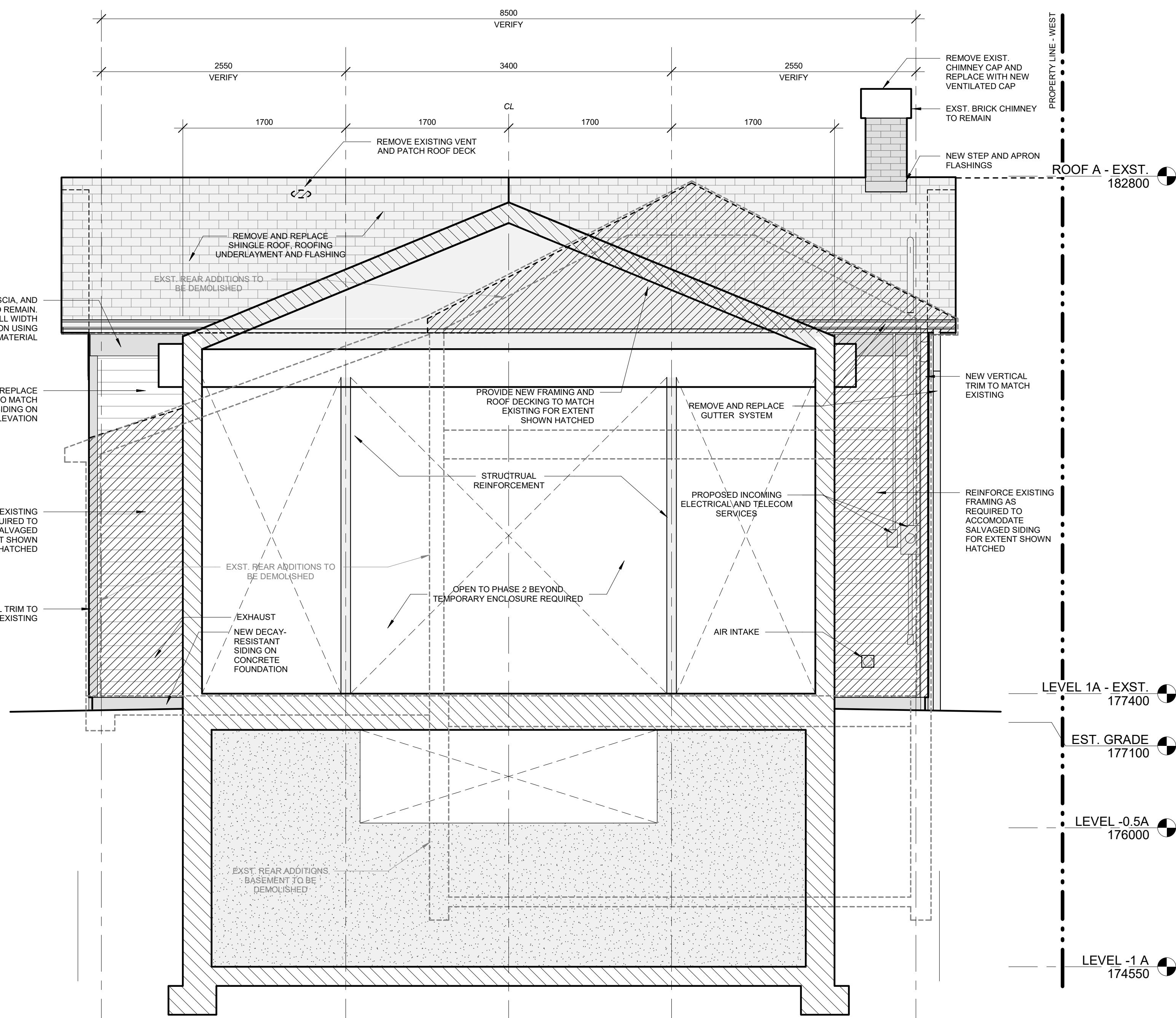
DATE : 18-11-06
SCALE : 1 : 30
DRAWN : MS
CHECKED :
PROJECT NO. : 1702

Dwg. No. :

AH400



2 BLDG A MAIN HOUSE - WEST
1 : 30



1 BLDG A MAIN HOUSE - NORTH
1 : 30

ISSUED		
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22	
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07	
DRAWINGS NOT FOR CONSTRUCTION		

REVISED	

- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

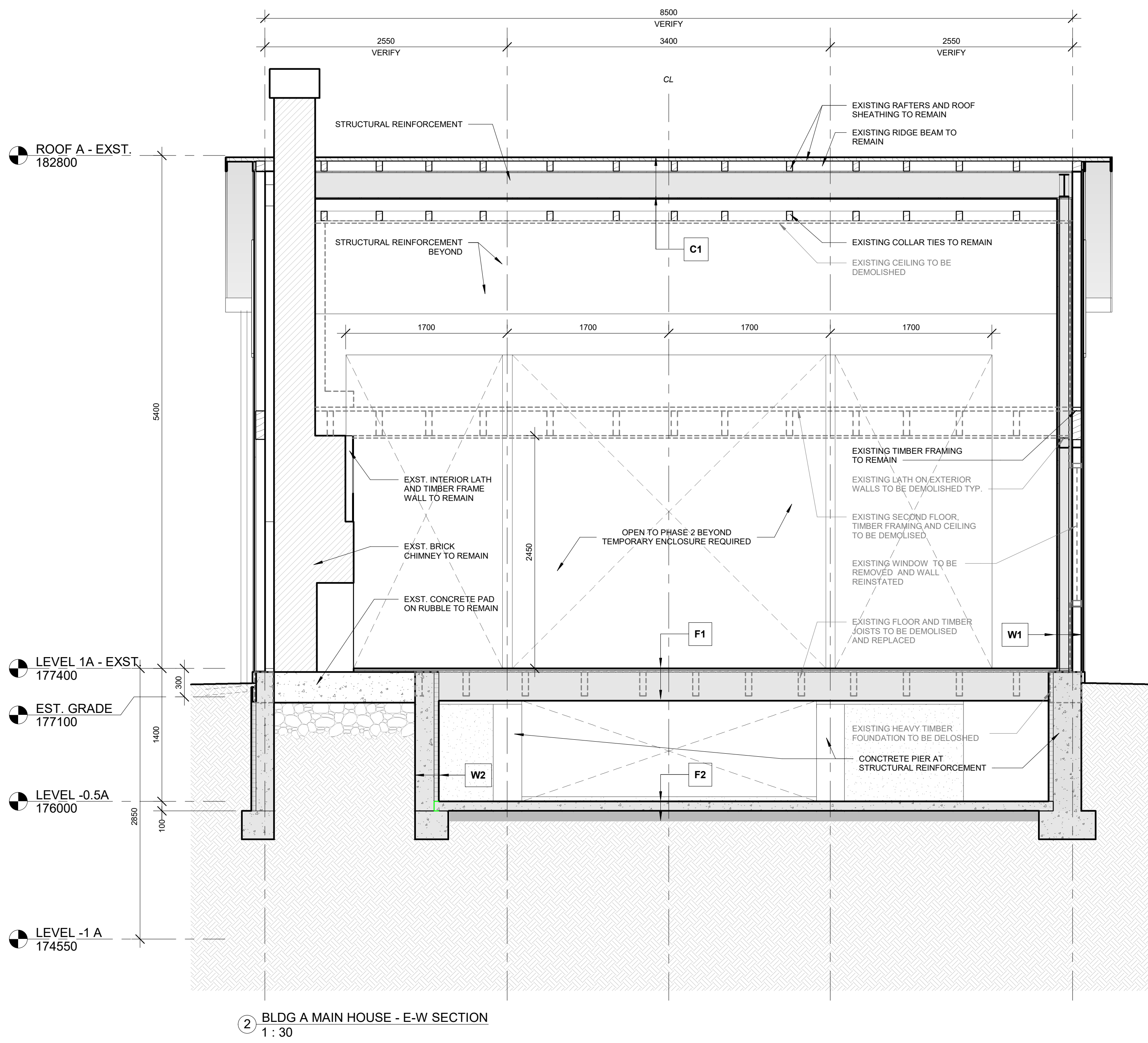
Architect:
Michael Scott Architect Inc.

PROPOSED ELEVATIONS

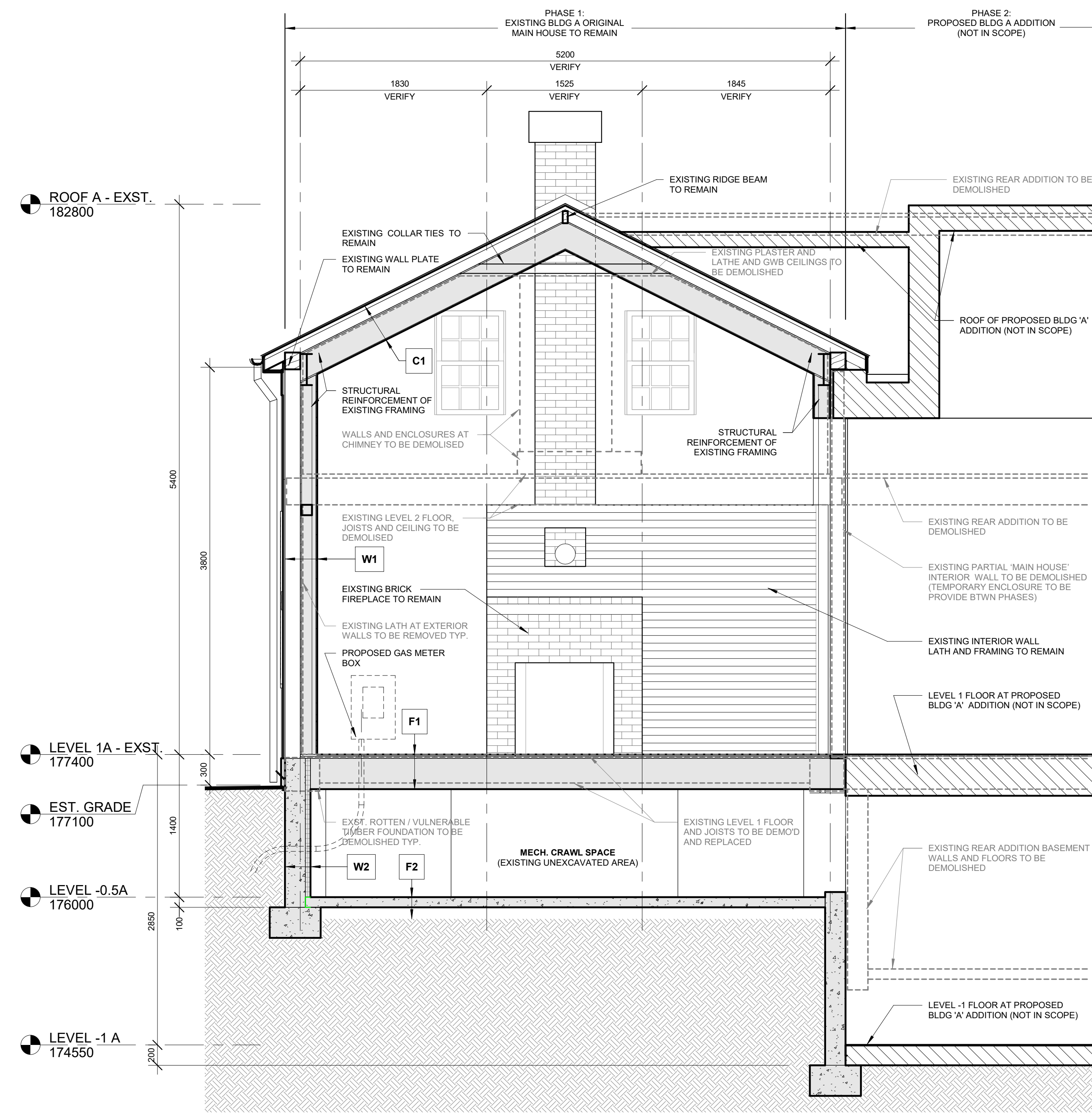
Dwg. Title :

DATE : 18-11-06
SCALE : 1 : 30
DRAWN : MS
CHECKED : MS
PROJECT NO. : 1702

Dwg. No. :
AH401



2 BLDG A MAIN HOUSE - E-W SECTION
1 : 30

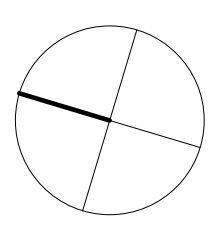


1 BLDG A MAIN HOUSE N-S SECTION
1 : 30

ISSUED		
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22	
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10	
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07	
DRAWINGS NOT FOR CONSTRUCTION		

REVISED		

- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

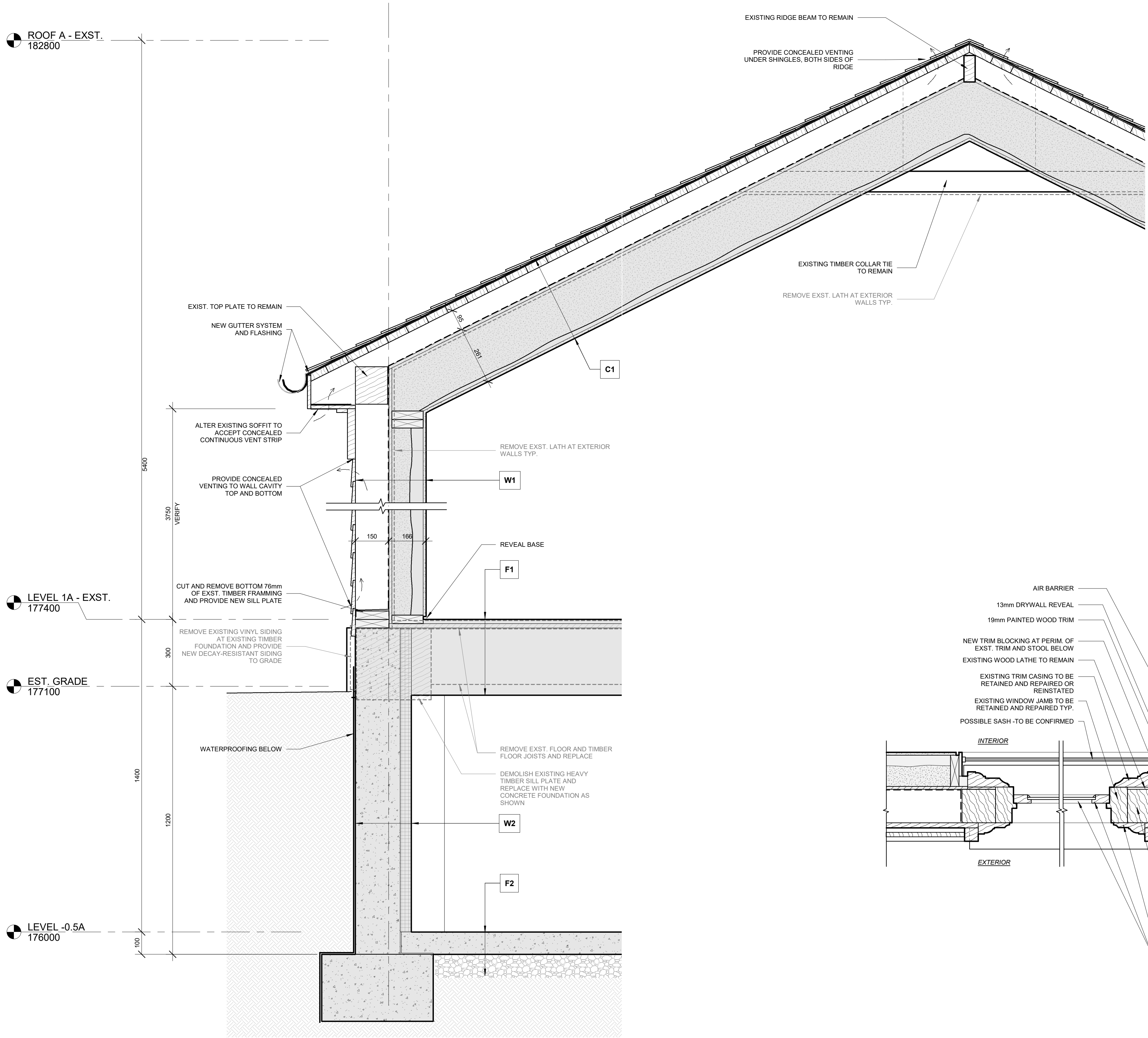
Architect:
Michael Scott Architect Inc.

PROPOSED
BUILDING SECTIONS

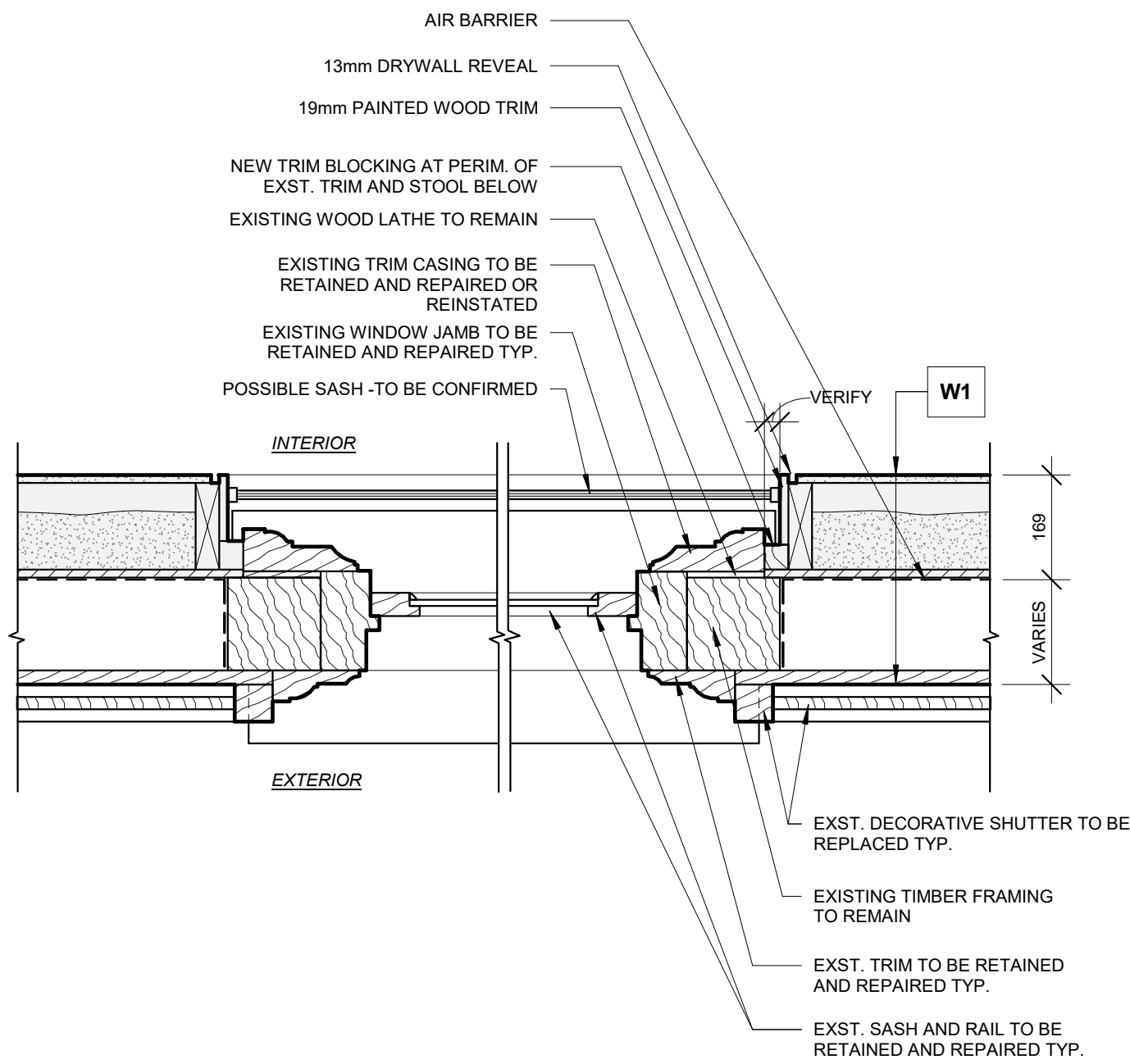
Dwg. Title :

DATE : 18-11-06
SCALE : 1 : 30
DRAWN : MS
CHECKED : MS
PROJECT NO. : 1702

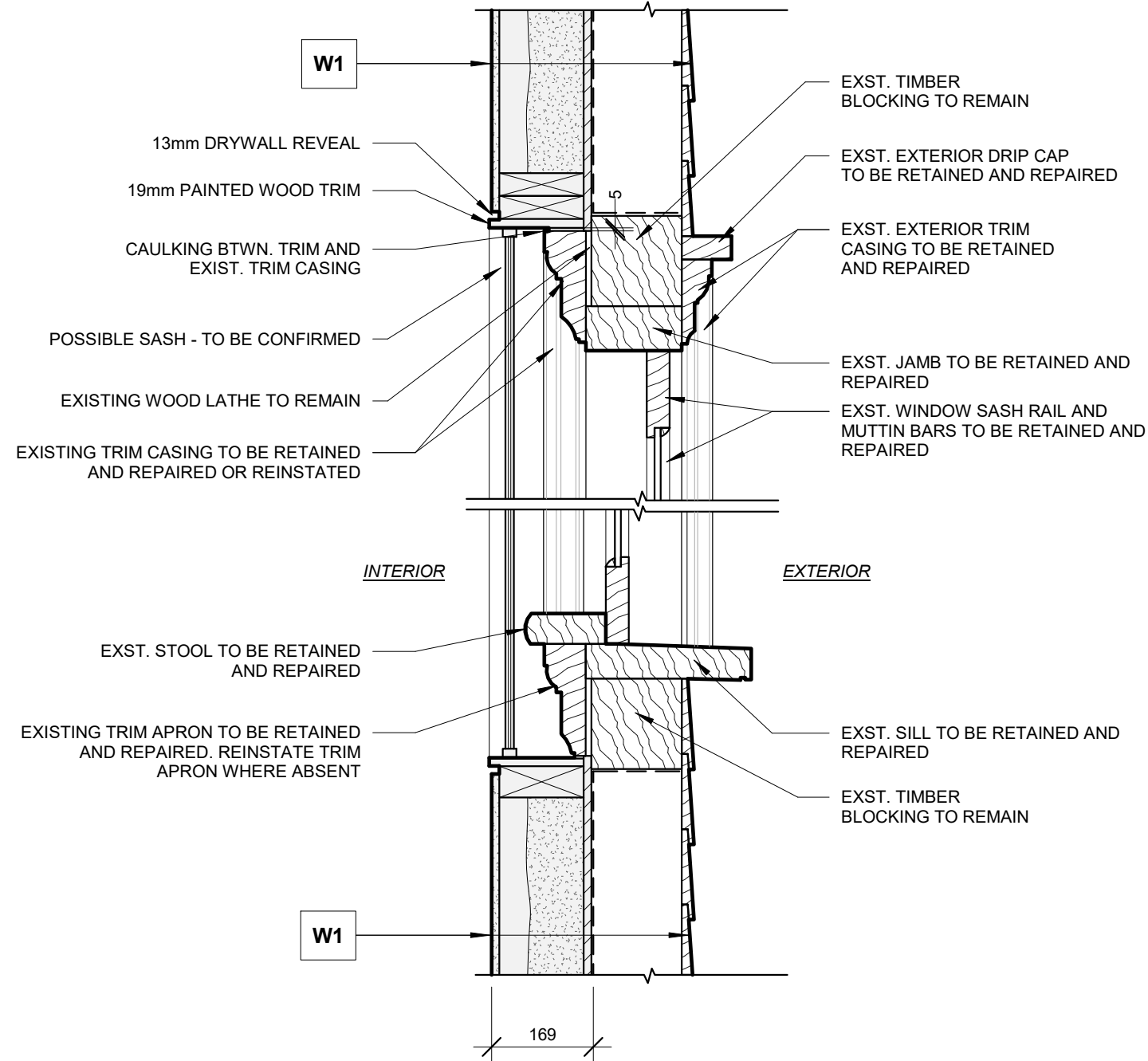
Dwg. No. :
AH500



2 BLDG A MAIN HOUSE SECTION DETAIL
1 : 10



1 BLDG A MAIN HOUSE WINDOW DETAILS
1 : 10



ISSUED		
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22	
RE-ISSUED FOR HERITAG PERMIT/SITE DEVELOPMENT	21-09-07	

DRAWINGS NOT FOR CONSTRUCTION

REVISED		

- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

PROPOSED DETAILS

Dwg. Title :

DATE : 18-11-06
SCALE : 1 : 10

DRAWN :
CHECKED : MS
PROJECT NO. : 1702

Dwg. No. :

AH700

46 CENTRE STREET

THORNHILL (VAUGHAN), ONTARIO

RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT
MAY 10th, 2022

DRAWING LIST:

A000	COVER & DRAWING LIST
A001	CONTEXT PLAN & PROJECT DATA
A002	SURVEY
A100	LEVEL -1 PLAN
A101	LEVEL 1/SITE PLAN/LANDSCAPE
A102	LEVEL 2
A103	ROOF PLAN
A401	SOUTH ELEVATION
A402	NORTH ELEVATION
A403	WEST ELEVATION
A404	EAST ELEVATION (BLDG A)
A405	WEST ELEVATION (BLDG B)
A406	EAST ELEVATION
A501	E-W SITE SECTION
A502	N-S SITE SECTION (BLDG A)
A503	N-S SITE SECTION (BLDG B)

ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-09
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

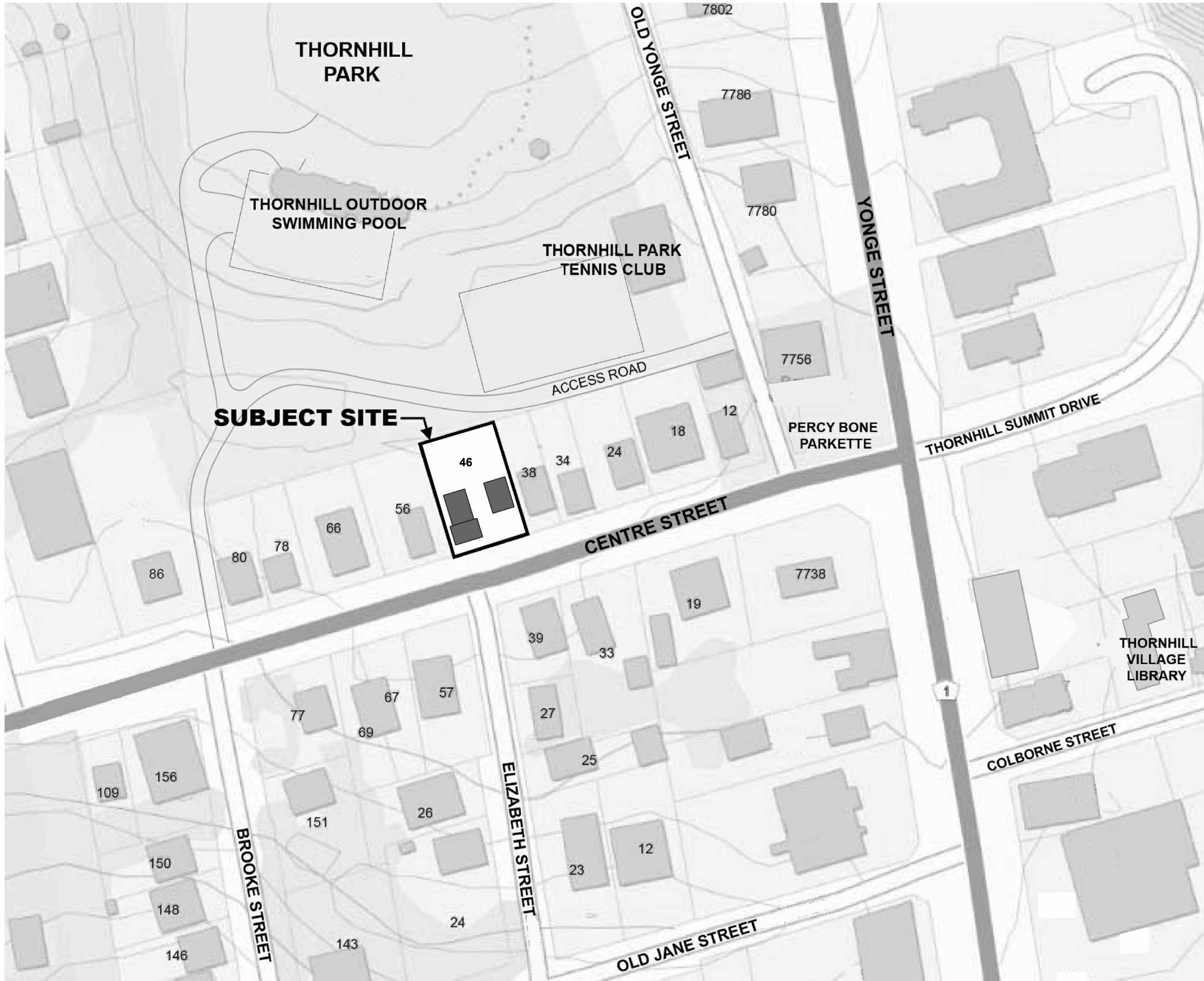
COVER & DRAWING LIST

Dwg. Title :

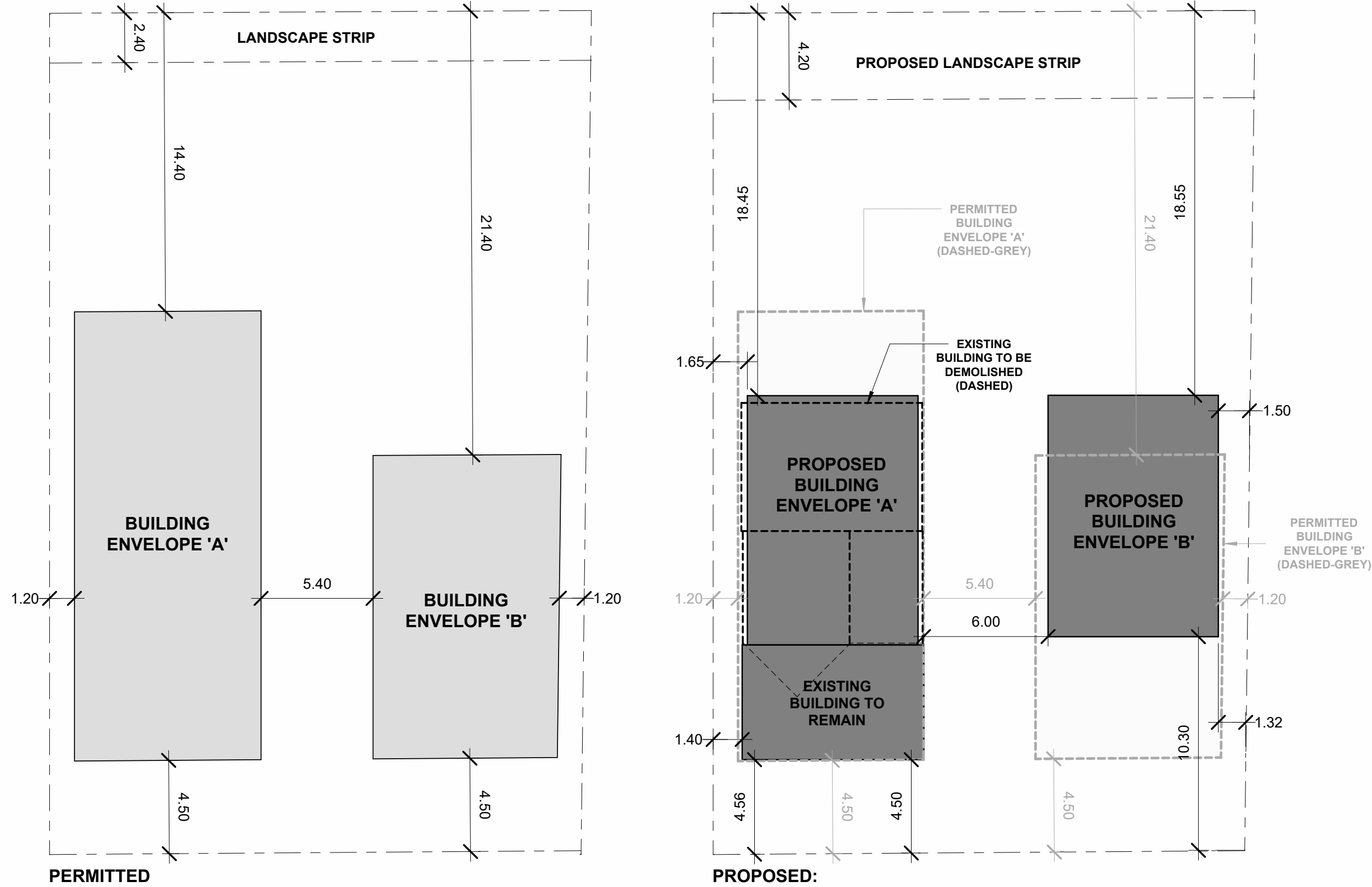
DATE : 2022-05-10
SCALE :
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A000



3 CONTEXT PLAN
1 : 1500



S.S. 0345; Schedule E-357. di) A strip of land having a minimum width of 2.4m adjacent to the north property line, in the area shown as "Landscape Strip" on Schedule E-357 shall only be used for landscaping; ei) All buildings or structures shall be located within the area shown as Building Envelopes 'A' and 'B' on Schedule E-357, save and except accessory buildings with an area of less than 6 sq.m.

1 BUILDING ENVELOPE E-0357
1 : 200

PROJECT DATA:

ZONING:

LOT AREA:
LOT FRONTAGE:
LOT DEPTH:

R1 ZONING; CITY OF VAUGHAN ZONING BY-LAW 1-88,
SITE SPECIFIC (SS) EXCEPTIONS 0345 & BUILDING ENVELOPE E-0357
1,049.1 m²
25.63 m
40.56 m

USES:

BUILDING AREA:

LANDSCAPED AREA:

LOT COVERAGE:

GROSS FLOOR AREA:

DENSITY:

DWELLING UNITS:

MAXIMUM BUILDING HEIGHT:

REQUIRED / PERMITTED:

SINGLE FAMILY DETACHED DWELLING. RETAIL STORE,
BUSINESS or PROFESSIONAL OFFICE, RESIDENTIAL
332.1 m² *Refer to S.S. 0345; Schedule E-357; ei)
-
0.32 *Area from S.S. 0345; Schedule E-357; ei) Building Envelope
-
-
2 UNITS (1 UNIT PER BUILDING)
9.5 m

PROPOSED:

RETAIL STORE, BUSINESS or
PROFESSIONAL OFFICE, RESIDENTIAL
220.3m²
828.8m²
0.21
304.1 m²
0.30 FAR
1 UNIT (EXISTING UNIT TO BE REPLACED)
BLDG "A": 5.7m / BLDG "B": 8.3m

By-law 1-88: 2.0 DEFINITIONS: OFFICE, BUSINESS OR PROFESSIONAL - Means the use of a building or part of building in which one or more persons are employed in the administration, direction or management of a business, agency, brokerage or organization, or by professionally qualified persons and their support staff, and shall include but not be limited to an office of a regulated health professional, lawyer, dentist, architect, engineer, stock broker, accountant, real estate or insurance agency, veterinarian or a similar professional person's office but shall not include a veterinary clinic.
STORE, RETAIL - Means a building or part of a building where goods, wares, merchandise, substances, articles or things are offered or kept for sale directly to the public at retail and includes a convenience retail store, but does not include a supermarket or an automotive retail store.
DWELLING UNIT - Means a room or a suite of two (2) or more rooms, designed or intended for use by a family, in which sanitary conveniences are provided and in which facilities are provided for cooking or the installation of cooking equipment.

*S.S. 0345, Schedule E-357. di) The following maximum floor areas shall be permitted on the Subject Lands:
all combinations of retail commercial, office commercial and residential uses shall be permitted to maximum area determined by the parking standard for all uses provided on the subject lands as set out in b) above.

*S.S. 0345, Schedule E-357. ei) All buildings or structures shall be located within the area shown as Building Envelopes 'A' and 'B' on Schedule E-357, save and except accessory buildings with an area of less than 6 sq.m.

By-law 1-88: ZONE REQUIREMENT TABLE: SCHEDULE 'A' TO BY-LAW 1-88, R1: MAXIMUM BUILDING HEIGHT: 9.5M
By-law 1-88: ZONE REQUIREMENT TABLE: SCHEDULE 'A' TO BY-LAW 1-88, R1: PERMITTED USE: SINGLE FAMILY DETACHED DWELLING

GROSS FLOOR AREA (GFA):

By-law 1-88: 2.0 DEFINITIONS: FLOOR AREA, GROSS (G.F.A.) - Means the aggregate of the floor areas of all storeys of a building, measured to the exterior of the outside walls, but not including the areas of any cellar, or car parking area above or below grade within the building or within a separate structure. CELLAR - Means that portion of a building below the lowest storey which has more than one half of its height from the floor to the underside of floor joists below the finished grade.

EXISTING:

	BUILDING 'A'		BUILDING 'B'	
	RETAIL (NON-RESIDENTIAL)	RESIDENTIAL		
LEVEL 1	150.7 m ²	-	-	
LEVEL 2	-	48.2 m ²	-	
TOTAL	150.7 m ²	48.2 m ²	-	198.9 m ²

RETAINED AND PROPOSED NEW:

	BUILDING 'A'		BUILDING 'B'	
	RETAIL (NON-RESIDENTIAL)	OFFICE (NON-RESIDENTIAL)	RESIDENTIAL	
LEVEL 1	136.5 m ²	78.1 m ²	5.8 m ²	
LEVEL 2	-	-	83.6 m ²	
TOTAL	136.5 m ²	78.1 m ²	89.4 m ²	

PARKING & LOADING:

S.S. 0345, Schedule E-357. di) The office commercial or retail commercial floor area shall be defined as the Commercial Floor Area, as defined in By-law 1-88, that is devoted to these uses.
S.S. 0345, Schedule E-357. di) Commercial uses shall be permitted in a basement or cellar subject to parking being provided for such uses at the applicable standard.

COMMERCIAL FLOOR AREA:

By-law 1-88: 2.0 DEFINITIONS: FLOOR AREA, COMMERCIAL - Means the total floor area of a commercial building excluding any basement or cellar, the exterior walls of the building, fire and exit corridors, any furnace room, waste disposal, laundry room, or other maintenance spaces; any mezzanine, access, administration or management office, elevator and machine rooms, electrical and machine vaults and rooms and facilities related thereto, vertical transportation facilities, public washrooms, loading docks, truck receiving and delivery facilities, any public circulation area which constitutes an enclosed mall, court or arcade, any car parking areas above or below grade including parking structures.

	BUILDING 'A'		BUILDING 'B'	
	RETAIL	OFFICE	RESIDENTIAL	
LEVEL-1 (BASEMENT)	N/A - SERVICE	N/A - SERVICE	-	
LEVEL 1 (GROUND)	-	-	N/A	
MEZZANINE / LEVEL 2	-	57.9 m ²	N/A	
TOTAL	105.8 m ²	57.9 m ²	N/A	161 m ²

PARKING REQUIREMENTS:

By-law 1-88: 2.0 DEFINITIONS: PARKING SPACE - 2.7mx6.0m / PARKING SPACE, HANDICAPPED - 3.9mx6.0
S.S. 0345, Schedule E-357. ai) The minimum size for a parking space shall be 2.7m by 5.5m, provided that this exception shall apply only to a maximum of two (2) parking spaces adjacent to the westerly lot line.
By-law 1-88: 3.8 PARKING REQUIREMENTS: di) If the number of parking spaces required by the By-law equals or exceeds ten (10), then parking spaces shall be provided for the use of the handicapped in accordance with the provisions set out below. These spaces shall be appropriately identified and located as close as possible to the access point(s) and to the building and designed in such a way as to provide for wheelchair access to the building. Minimum Number of Parking Spaces: 10 - 100; Minimum Number of Parking Spaces for Handicapped: 1 space

S.S. 0345, Schedule E-357. bi) The minimum number of parking spaces required shall be as follows:
Business or Professional Office: 3.0 parking spaces per 100 m² of net office commercial floor area
Retail Store: 3.0 parking spaces per 100 m² of net retail commercial floor area
Residential: 1.0 parking spaces per dwelling unit
*Provided that if the application of these standards in total results in part of a space being required, no additional space shall be required.
S.S. 0345, Schedule E-357. ci) The minimum width of the joint ingress and egress driveway shall be 5.4m.

RETAIL STORE:
BUSINESS or PROFESSIONAL OFFICE:
RESIDENTIAL:
TOTAL:

REQUIRED/PERMITTED:

1.0
7.0 (*7.9 - Refer to S.S. 0345 bi, "Part of a space")

PROVIDED:

1.0
7.0

HANDICAPPED SPACES (3.9mx6.0m)
REGULAR SPACES (2.7mx6.0m)
REDUCED SIZE SPACES (2.7mx5.5m)
DRIVEWAY (JOINT INGRESS / EGRESS)
DRIVE AISLE (AT REAR PARKING)
BICYCLE PARKING SPACES

1.0
6.0
0.0
6.0m
6.0m
2

LOADING REQUIREMENTS:

By-law 1-88: 3.9 LOADING SPACE REQUIREMENTS: a) Industrial/Commercial Floor Area
500 m² or less:

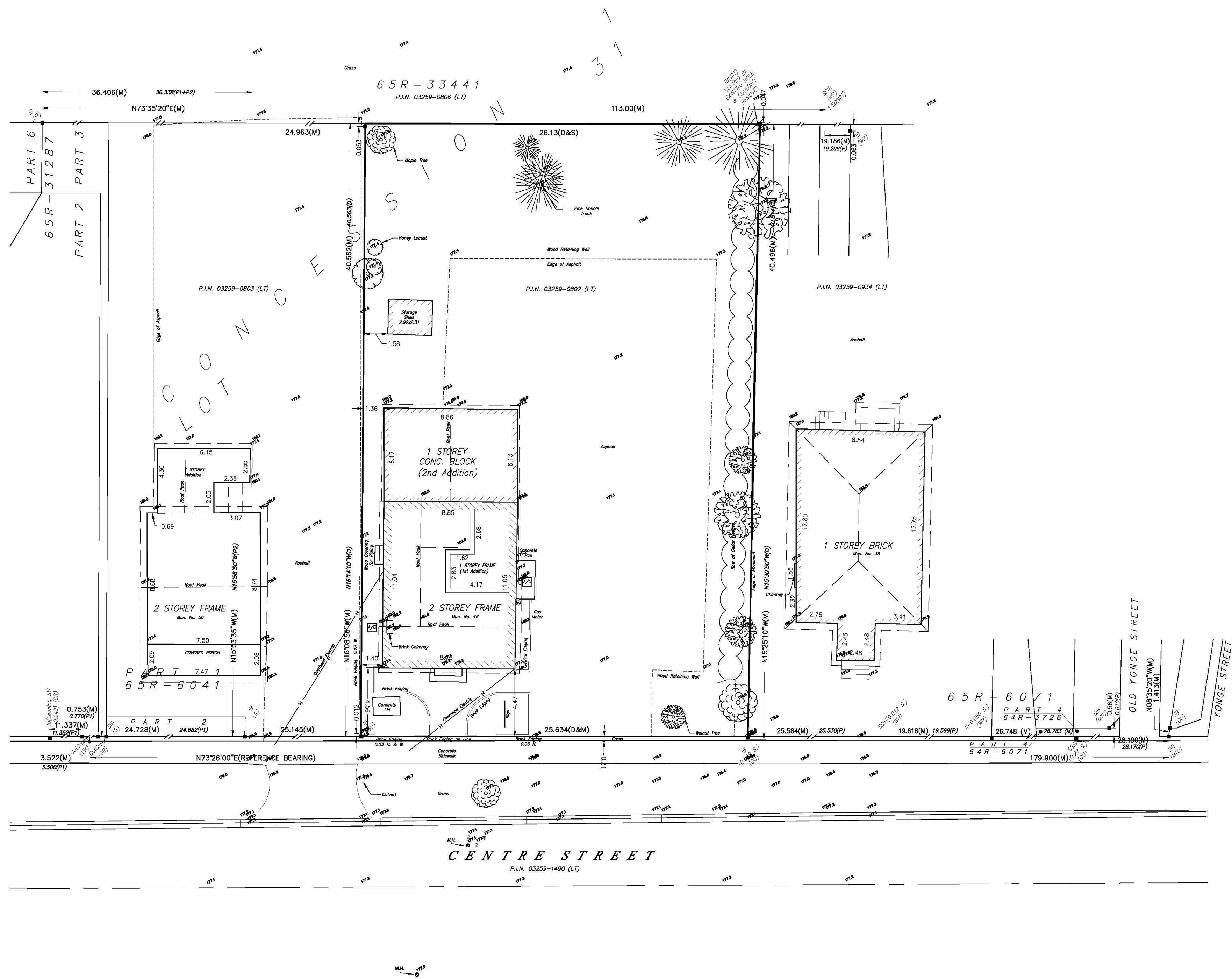
NO LOADING SPACE

NO LOADING SPACE PROVIDED

SETBACKS/BUILDING ENVELOPE:

By-law 1-88: 2.0 DEFINITIONS: LANDSCAPING OR LANDSCAPED AREA - Means an area of land comprising trees, shrubs, flowers, grass or other horticultural elements. Landscaping may include paths, patios, walkways, decorative stonework or other architectural elements designed to enhance the visual amenity of a property but does not include open storage display areas, parking or loading areas, or areas covered by driveways.
LANDSCAPING, SOFT - Means an area of land comprising trees, shrubs, flowers, grass or other horticultural elements.
LANDSCAPING, HARD - Means an area of land surfaced by materials such as unit pavers, patio stones, concrete, decorative stonework or other architectural elements designed to enhance the visual amenity of a property but does not include areas devoted to vehicular or pedestrian use such as parking or loading areas or driveways.
By-law 1-88: 3.12 MINIMUM LANDSCAPED AREA (Unless otherwise provided in this By-law, a minimum of ten percent (10%) of the area of every lot on which a building or structure is erected shall be used for no other purpose than landscaping. Where an institutional Use abuts the boundary of lands zoned Open Space or Residential, a strip of land not less than 2.4 metres in width, contained wholly on the lot on which the institutional Use is located and abutting the boundary of the Open Space or Residential Zone, shall be used for no other purpose than landscaping. Such landscaped area shall not be included in the computing of the minimum landscaping requirements as set out above. In addition, a strip of land not less than 6.0 metres in width shall be provided along a lot line which abuts a street line, and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip.)
By-law 1-88: 4.12 MINIMUM SOFT LANDSCAPED AREA:
a) In an R-V1, R1, R2, R3, R4, R5, R1V1, R1V1V1, R1V2, R2V1V1, R3V1, R3V1V1, R4V1, R4V1V1, R5V1, R5V1V1, R6V1, R6V1V1, R7V1, R7V1V1, R8V1, R8V1V1, R9V1, R9V1V1, R10V1, R10V1V1, R11V1, R11V1V1, R12V1, R12V1V1, R13V1, R13V1V1, R14V1, R14V1V1, R15V1, R15V1V1, R16V1, R16V1V1, R17V1, R17V1V1, R18V1, R18V1V1, R19V1, R19V1V1, R20V1, R20V1V1, R21V1, R21V1V1, R22V1, R22V1V1, R23V1, R23V1V1, R24V1, R24V1V1, R25V1, R25V1V1, R26V1, R26V1V1, R27V1, R27V1V1, R28V1, R28V1V1, R29V1, R29V1V1, R30V1, R30V1V1, R31V1, R31V1V1, R32V1, R32V1V1, R33V1, R33V1V1, R34V1, R34V1V1, R35V1, R35V1V1, R36V1, R36V1V1, R37V1, R37V1V1, R38V1, R38V1V1, R39V1, R39V1V1, R40V1, R40V1V1, R41V1, R41V1V1, R42V1, R42V1V1, R43V1, R43V1V1, R44V1, R44V1V1, R45V1, R45V1V1, R46V1, R46V1V1, R47V1, R47V1V1, R48V1, R48V1V1, R49V1, R49V1V1, R50V1, R50V1V1, R51V1, R51V1V1, R52V1, R52V1V1, R53V1, R53V1V1, R54V1, R54V1V1, R55V1, R55V1V1, R56V1, R56V1V1, R57V1, R57V1V1, R58V1, R58V1V1, R59V1, R59V1V1, R60V1, R60V1V1, R61V1, R61V1V1, R62V1, R62V1V1, R63V1, R63V1V1, R64V1, R64V1V1, R65V1, R65V1V1, R66V1, R66V1V1, R67V1, R67V1V1, R68V1, R68V1V1, R69V1, R69V1V1, R70V1, R70V1V1, R71V1, R71V1V1, R72V1, R72V1V1, R73V1, R73V1V1, R74V1, R74V1V1, R75V1, R75V1V1, R76V1, R76V1V1, R77V1, R77V1V1, R78V1, R78V1V1, R79V1, R79V1V1, R80V1, R80V1V1, R81V1, R81V1V1, R82V1, R82V1V1, R83V1, R83V1V1, R84V1, R84V1V1, R85V1, R85V1V1, R86V1, R86V1V1, R87V1, R87V1V1, R88V1, R88V1V1, R89V1, R89V1V1, R90V1, R90V1V1, R91V1, R91V1V1, R92V1, R92V1V1, R93V1, R93V1V1, R94V1, R94V1V1, R95V1, R95V1V1, R96V1, R96V1V1, R97V1, R97V1V1, R98V1, R98V1V1, R99V1, R99V1V1, R100V1, R100V1V1, R101V1, R101V1V1, R102V1, R102V1V1, R103V1, R103V1V1, R104V1, R104V1V1, R105V1, R105V1V1, R106V1, R106V1V1, R107V1, R107V1V1, R108V1, R108V1V1, R109V1, R109V1V1, R110V1, R110V1V1, R111V1, R111V1V1, R112V1, R112V1V1, R113V1, R113V1V1, R114V1, R114V1V1, R115V1, R115V1V1, R116V1, R116V1V1, R117V1, R117V1V1, R118V1, R118V1V1, R119V1, R119V1V1, R120V1, R120V1V1, R121V1, R121V1V1, R122V1, R122V1V1, R123V1, R123V1V1, R124V1, R124V1V1, R125V1, R125V1V1, R126V1, R126V1V1, R127V1, R127V1V1, R128V1, R128V1V1, R129V1, R129V1V1, R130V1, R130V1V1, R131V1, R131V1V1, R132V1, R132V1V1, R133V1, R133V1V1, R134V1, R134V1V1, R135V1, R135V1V1, R136V1, R136V1V1, R137V1, R137V1V1, R138V1, R138V1V1, R139V1, R139V1V1, R140V1, R140V1V1, R141V1, R141V1V1, R142V1, R142V1V1, R143V1, R143V1V1, R144V1, R144V1V1, R145V1, R145V1V1, R146V1, R146V1V1, R147V1, R147V1V1, R148V1, R148V1V1, R149V1, R149V1V1, R150V1, R150V1V1, R151V1, R151V1V1, R152V1, R152V1V1, R153V1, R153V1V1, R154V1, R154V1V1, R155V1, R155V1V1, R156V1, R156V1V1, R157V1, R157V1V1, R158V1, R158V1V1, R159V1, R159V1V1, R160V1, R160V1V1, R161V1, R161V1V1, R162V1, R162V1V1, R163V1, R163V1V1, R164V1, R164V1V1, R165V1, R165V1V1, R166V1, R166V1V1, R167V1, R167V1V1, R168V1, R168V1V1, R169V1, R169V1V1, R170V1, R170V1V1, R171V1, R171V1V1, R172V1, R172V1V1, R173V1, R173V1V1, R174V1, R174V1V1, R175V1, R175V1V1, R176V1, R176V1V1, R177V1, R177V1V1, R178V1, R178V1V1, R179V1, R179V1V1, R180V1, R180V1V1, R181V1, R181V1V1, R182V1, R182V1V1, R183V1, R183V1V1, R184V1, R184V1V1, R185V1, R185V1V1, R186V1, R186V1V1, R187V1, R187V1V1, R188V1, R188V1V1, R189V1, R189V1V1, R190V1, R190V1V1, R191V1, R191V1V1, R192V1, R192V1V1, R193V1, R193V1V1, R194V1, R194V1V1, R195V1, R195V1V1, R196V1, R196V1V1, R197V1, R197V1V1, R198V1, R198V1V1, R199V1, R199V1V1, R200V1, R200V1V1, R201V1, R201V1V1, R202V1, R202V1V1, R203V1, R203V1V1, R204V1, R204V1V1, R205V1, R205V1V1, R206V1, R206V1V1, R207V1, R207V1V1, R208V1, R208V1V1, R209V1, R209V1V1, R210V1, R210V1V1, R211V1, R211V1V1, R212V1, R212V1V1, R213V1, R213V1V1, R214V1, R214V1V1, R215V1, R215V1V1, R216V1, R216V1V1, R217V1, R217V1V1, R218V1, R218V1V1, R219V1, R219V1V1, R220V1, R220V1V1, R221V1, R221V1V1, R222V1, R222V1V1, R223V1, R223V1V1, R224V1, R224V1V1, R225V1, R225V1V1, R226V1, R226V1V1, R227V1, R227V1V1, R228V1, R228V1V1, R229V1, R229V1V1, R230V1, R230V1V1, R231V1, R231V1V1, R232V1, R232V1V1, R233V1, R233V1V1, R234V1, R234V1V1, R235V1, R235V1V1, R236V1, R236V1V1, R237V1, R237V1V1, R238V1, R238V1V1, R239V1, R239V1V1, R240V1, R240V1V1, R241V1, R241V1V1, R242V1, R242V1V1, R243V1, R243V1V1, R244V1, R244V1V1, R245V1, R245V1V1, R246V1, R246V1V1, R247V1, R247V1V1, R248V1, R248V1V1, R249V1, R249V1V1, R250V1, R250V1V1, R251V1, R251V1V1, R252V1, R252V1V1, R253V1, R253V1V1, R254V1, R254V1V1, R255V1, R255V1V1, R256V1, R256V1V1, R257V1, R257V1V1, R258V1, R258V1V1, R259V1, R259V1V1, R260V1, R260V1V1, R261V1, R261V1V1, R262V1, R262V1V1, R263V1, R263V1V1, R264V1, R264V1V1, R265V1, R265V1V1, R266V1, R266V1V1, R267V1, R267V1V1, R268V1, R268V1V1, R269V1, R269V1V1, R270V1, R270V1V1, R271V1, R271V1V1, R272V1, R272V1V1, R273V1, R273V1V1, R274V1, R274V1V1, R275V1, R275V1V1, R276V1, R276V1V1, R277V1, R277V1V1, R278V1, R278V1V1, R279V1, R279V1V1, R280V1, R280V1V1, R281V1, R281V1V1, R282V1, R282V1V1, R283V1, R283V1V1, R284V1, R284V1V1, R285V1, R285V1V1, R286V1, R286V1V1, R287V1, R287V1V1, R288V1, R288V1V1, R289V1, R289V1V1, R290V1, R290V1V1, R291V1, R291V1V1, R292V1, R292V1V1, R293V1, R293V1V1, R294V1, R294V1V1, R295V1, R295V1V1, R296V1, R296V1V1, R297V1, R297V1V1, R298V1, R298V1V1, R299V1, R299V1V1, R300V1, R300V1V1, R301V1, R301V1V1, R302V1, R302V1V1, R303V1, R303V1V1, R304V1, R304V1V1, R305V1, R305V1V1, R306V1, R306V1V1, R307V1, R307V1V1, R308V1, R308V1V1, R309V1, R309V1V1, R310V1, R310V1V1, R311V1, R311V1V1, R312V1, R312V1V1, R313V1, R313V1V1, R314V1, R314V1V1, R315V1, R315V1V1, R316V1, R316V1V1, R317V1, R317V1V1, R318V1, R318V1V1, R319V1, R319V1V1, R320V1, R320V1V1, R321V1, R321V1V1, R322V1, R322V1V1, R323V1, R323V1V1, R324V1, R324V1V1, R325V1, R325V1V1, R326V1, R326V1V1, R327V1, R327V1V1, R328V1, R328V1V1, R329V1, R329V1V1, R330V1, R330V1V1, R331V1, R331V1V1, R332V1, R332V1V1, R333V1, R333V1V1, R334V1, R334V1V1, R335V1, R335V1V1, R336V1, R336V1V1, R337V1, R337V1V1, R338V1, R338V1V1, R339V1, R339V1V1, R340V1, R340V1V1, R341V1, R341V1V1, R342V1, R342V1V1, R343V1, R343V1V1, R344V1, R344V1V1, R345V1, R345V1V1, R346V1, R346V1V1, R347V1, R347V1V1, R348V1, R348V1V1, R349V1, R349V1V1, R350V1, R350V1V1, R351V1, R351V1V1, R352V1, R352V1V1, R353V1, R353V1V1, R354V1, R354V1V1, R355V1, R355V1V1, R356V1, R356V1V1, R357V1, R357V1V1, R358V1, R358V1V1, R359V1, R359V1V1, R360V1, R360V1V1, R361V1, R361V1V1, R362V1, R362V1V1, R363V1, R363V1V1, R364V1, R364V1V1, R365V1, R365V1V1, R366V1, R366V1V1, R367V1, R367V1V1, R368V1, R368V1V1, R369V1, R369V1V1, R370V1, R370V1V1, R371V1, R371V1V1, R372V1, R372V1V1, R373V1, R373V1V1, R374V1, R374V1V1, R375V1, R375V1V1, R376V1, R376V1V1, R377V1, R377V1V1, R378V1, R378V1V1, R379V1, R379V1V1, R380V1, R380V1V1, R381V1, R381V1V1, R382V1, R382V1V1, R383V1, R383V1V1, R384V1, R384V1V1, R385V1, R385V1V1, R386V1, R386V1V1, R387V1, R387V1V1, R388V1, R388V1V1, R389V1, R389V1V1, R390V1, R390V1V1, R391V1, R391V1V1, R392V1, R392V1V1, R393V1, R393V1V1, R394V1, R394V1V1, R395V1, R395V1V1, R396V1, R396V1V1, R397V1, R397V1V1, R398V1, R398V1V1, R399V1, R399V1V1, R400V1, R400V1V1, R401V1, R401V1V1, R402V1, R402V1V1, R403V1, R403V1V1, R404V1, R404V1V1, R405V1, R405V1V1, R406V1, R406V1V1, R407V1, R407V1V1, R408V1, R408V1V1, R409V1, R409V1V1, R410V1, R410V1V1, R411V1, R411V1V1, R412V1, R412V1V1, R413V1, R413V1V1, R414V1, R414V1V1, R415V1, R415V1V1, R416V1, R416V1V1, R417V1, R417V1V1, R418V1, R418V1V1, R419V1, R419V1V1, R420V1, R420V1V1, R421V1, R421V1V1, R422V1, R422V1V1, R423V1, R423V1V1, R424V1, R424V1V1, R425V1, R425V1V1, R426V1, R426V1V1, R427V1, R427V1V1, R428V1, R428V1V1, R429V1, R429V1V1, R430V1, R430V1V1, R431V1, R431V1V1, R432V1, R432V1V1, R433V1, R433V1V1, R434V1, R434V1V1, R435V1, R435V1V1, R436V1, R436V1V1, R437V1, R437V1V1, R438V1, R438V1V1, R439V1, R439V1V1, R440V1, R440V1V1, R441V1, R441V1V1, R442V1, R442V1V1, R443V1, R443V1V1, R444V1, R444V1V1, R445V1, R445V1V1, R446V1, R446V1V1, R447V1, R447V1V1, R448V1, R448V1V1, R449V1, R449V1V1, R450V1, R450V1V1, R451V1, R451V1V1, R452V1, R452V1V1, R453V1, R453V1V1, R454V1, R454V1V1, R455V1, R455V1V1, R456V1, R456V1V1, R457V1, R457V1V1, R458V1, R458V1V1, R459V1, R459V1V1, R460V1, R460V1V1, R461V1, R461V1V1, R462V1, R462V1V1, R463V1, R463V1V1, R464V1, R464V1V1, R465V1, R465V1V1, R466V1, R466V1V1, R467V1, R467V1V1, R468V1, R468V1V1, R469V1, R469V1V1, R470V1, R470V1V1, R471V1, R471V1V1, R472V1, R472V1V1, R473V1, R473V1V1, R474V1, R474V1V1, R475V1

SURVEYOR'S REAL PROPERTY REPORT PART 1

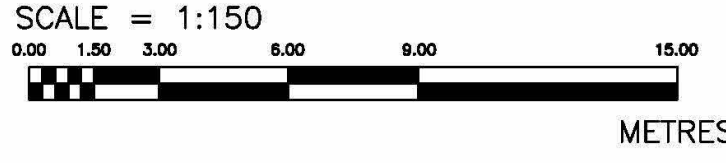


PLAN OF SURVEY
OF
PART OF LOT 31, CONCESSION 1
(IN THE GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF
YORK) IN THE
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

© TOTAL TECH SURVEYING INC.

PART 2 THIS PLAN MUST BE READ IN CONJUNCTION WITH
THE REPORTING LETTER DATED JANUARY 20, 2017.

"THIS PLAN WAS PREPARED FOR SAM KASEMEINIK"



BEARING REFERENCE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF CENTRE
STREET AND HAVING A BEARING OF N73°26'00"E AS SHOWN ON PLAN 65R-3726.

"METRIC" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- | | |
|----------|--|
| SIB | DENOTES 25 mm X 25 mm X 1.22 m STANDARD IRON BAR |
| SSIB | DENOTES 25 mm X 25 mm X 0.61 m SHORT STANDARD IRON BAR |
| IB | DENOTES 16 mm X 16 mm X 0.61 m IRON BAR |
| IB# | DENOTES 19 mm DIAMETER X 0.61 m ROUND IRON BAR |
| ■ | DENOTES SURVEY MONUMENT FOUND |
| □ | DENOTES SURVEY MONUMENT SET AND MARKED 1858 |
| WIT. | DENOTES WITNESS |
| (S) | DENOTES SET |
| (PROP) | DENOTES SET PROPORTIONALLY |
| (N.T.S.) | DENOTES NOT TO SCALE |
| (OU) | DENOTES ORIGIN UNKNOWN |
| (D) | DENOTES DEED Inst. No. 361902 |
| (P) | DENOTES PLAN 65R-6071 |
| (P2) | DENOTES PLAN 65R-6041 |
| (MTO) | DENOTES MINISTRY OF TRANSPORTATION, ONTARIO |
| (SVN) | DENOTES SPEIGHT AND VAN NOSTRAND LTD., O.L.S. |
| (DR) | DENOTES DONALD E. ROBERTS, O.L.S. |
| (WP) | DENOTES WILLIAM J. PLAXTON, O.L.S. |
| (G) | DENOTES W.S. GIBBON AND SONS LTD., O.L.S. |
| (M) | DENOTES MEASURED |
| (C) | DENOTES CALCULATED |
| -#- | DENOTES NOT TO SCALE |
| (LT) | DENOTES LAND TITLES |
| -#- | DENOTES SET BY INTERSECTION |
| (P1) | DENOTES PLAN 65R-31287 |

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE
UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 20th DAY OF JANUARY, 2017

DATE: JULY 19, 2017

BLOSS J. SUTHERLAND
ONTARIO LAND SURVEYOR
for TOTAL TECH SURVEYING INC.



341 Talbot St. N.
Units 2 & 3
Essex, ON N8M 2W3
(519) 776-9887

Drawn by: N.E.B. Checked by: B.J.S. Job No: 2017-013 Plan File No: D-227

ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

REVISED	



- GENERAL NOTES:**
- ALL DIMENSIONS IN MILLIMETRES (MM)
 - DO NOT SCALE DRAWINGS
 - CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 - REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 - CHECK DRAWINGS AGAINST SPECIFICATIONS
 - USE THE LATEST REVISED DRAWINGS ONLY
 - DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 - DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT
AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 - REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN
WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET SURVEY

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

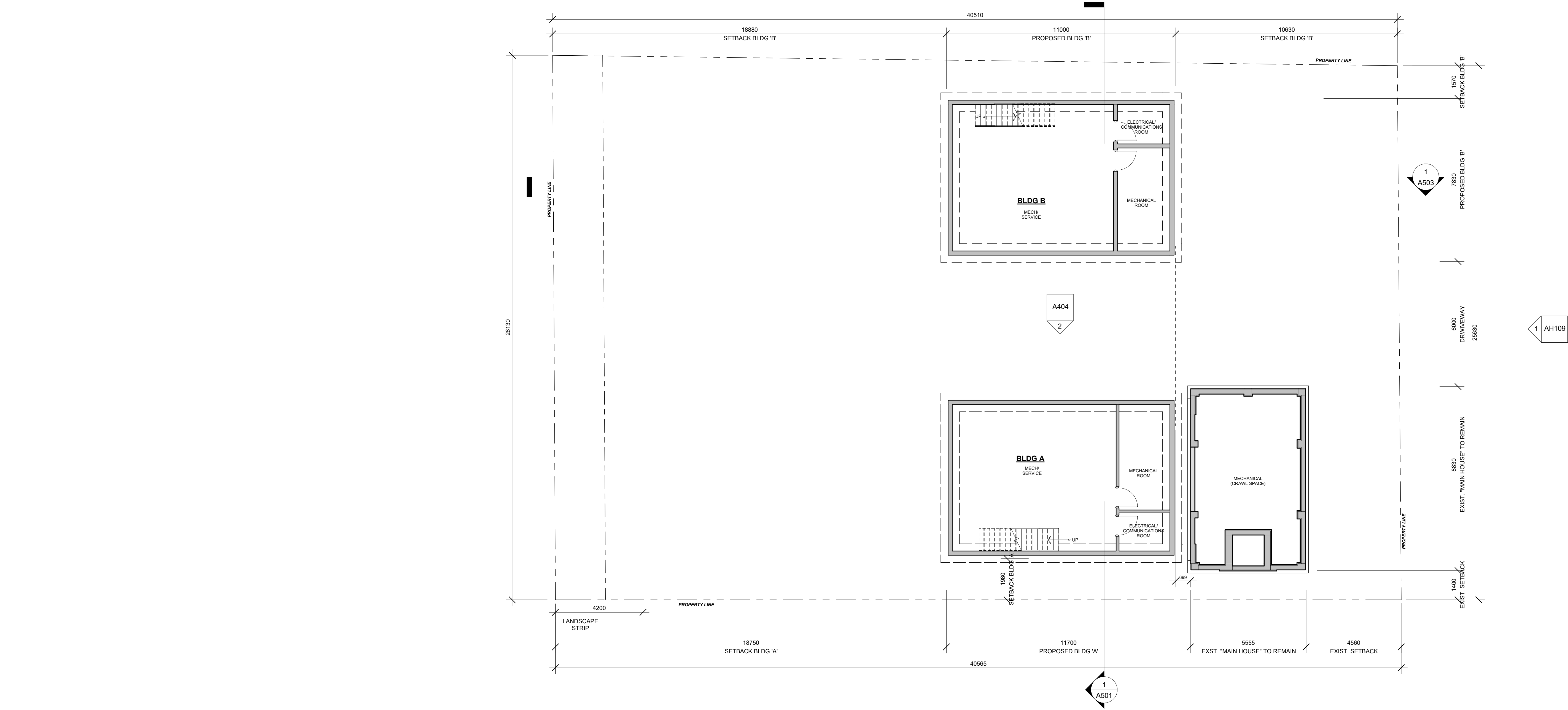
Architect:
Michael Scott Architect Inc.

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 175
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A002



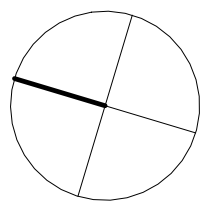
ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

LEVEL -1 PLAN

Dwg. Title :	
DATE :	2022-05-10
SCALE :	1 : 100
DRAWN :	-
CHECKED :	-
PROJECT NO. :	2124

Dwg. No. :

A100

GENERAL NOTES:

- 1) SITE PLAN DRAWINGS TO BE REVIEWED IN COMBINATION WITH LANDSCAPE AND CIVIL DRAWINGS
- 2) STANDARD DRAWINGS OF CITY OF VAUGHAN CONSTITUTE PART OF SITE PLAN DRAWINGS(S).
- 3) LANDSCAPING DESIGN SHALL NOT ENCROACH, NOR SHALL GRADES BE ALTERED ON BOULEVARD OF CENTRE STREET, ADJACENT PROPERTIES AND PARKLAND.
- 4) THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND WHERE SHOWN ON THE DRAWING(S) THE ACCURACY OF THE LOCATION OF UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED.
- 5) THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY INCLUDING THOSE ASSOCIATED WITH THE CHANGES TO CURB CUT LOCATION

LEGEND:

SOFT LANDSCAPING

GRAVEL

ASHPLAT PAVING

CONCRETE PAVERS & LANDSCAPE FEATURE

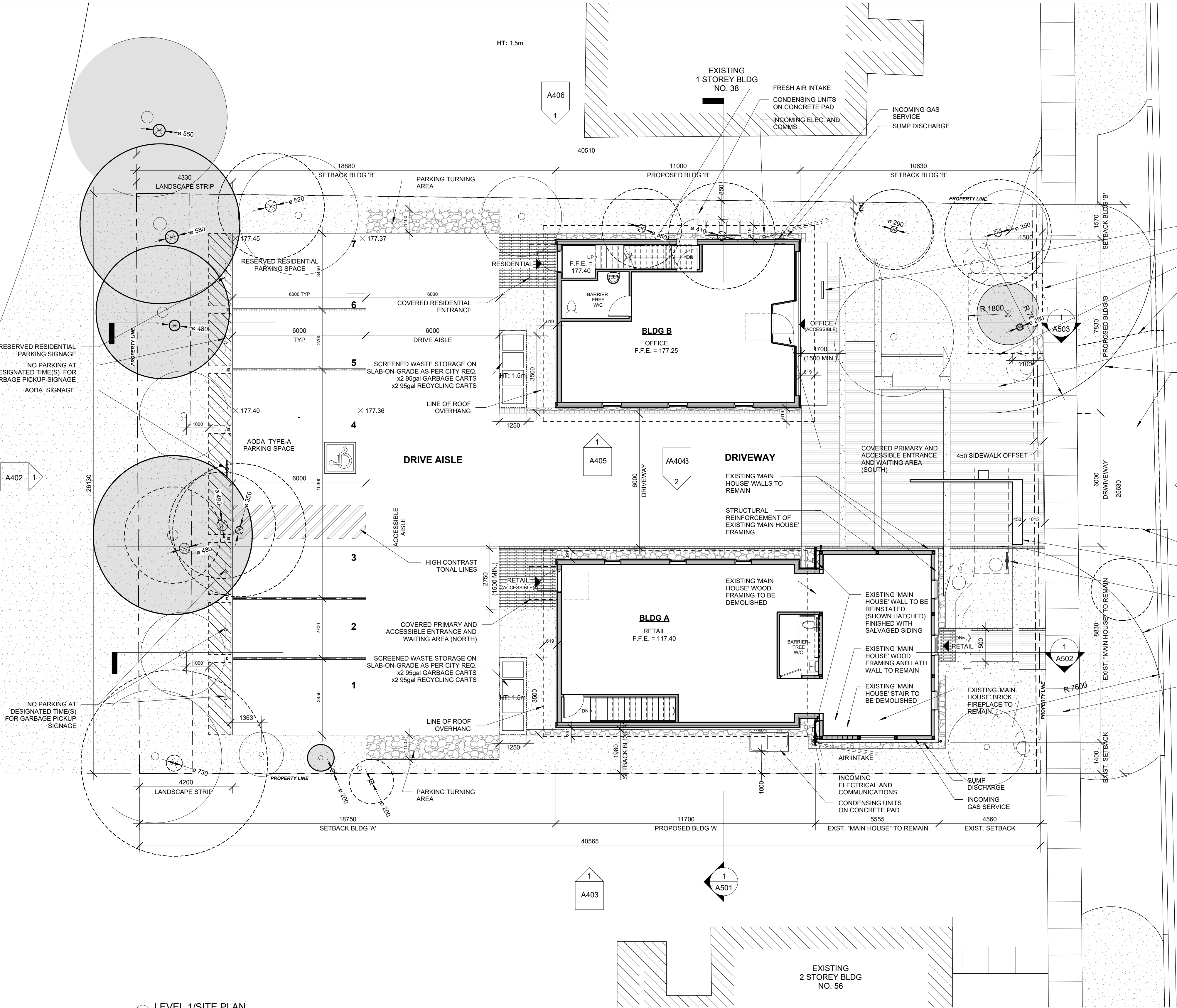
PERMEABLE PAVERS

PAVERS (OTHER)

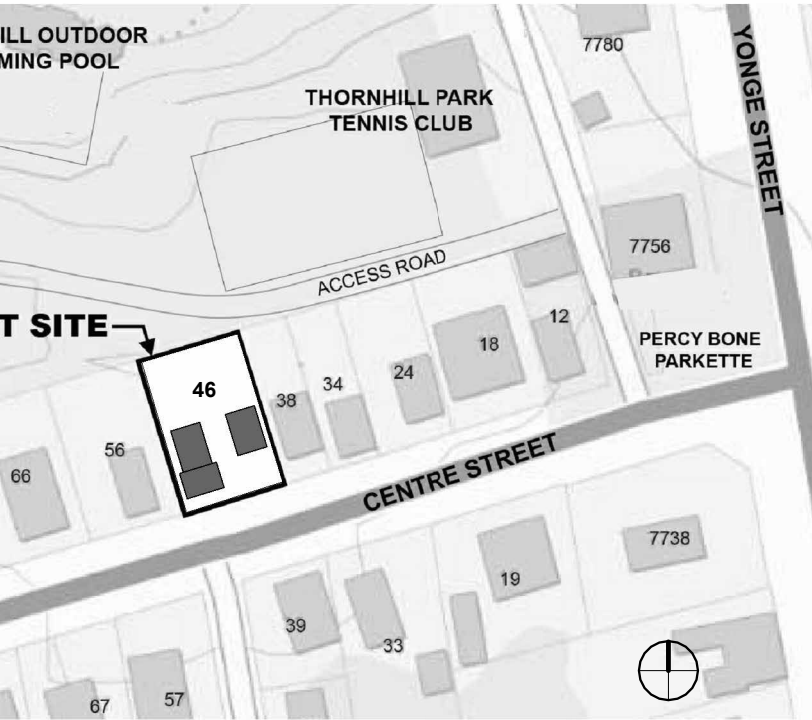
SNOW STORAGE AREA (21.0 SM - 2% OF SITE AREA)

EXST. TREE TO BE REMOVED

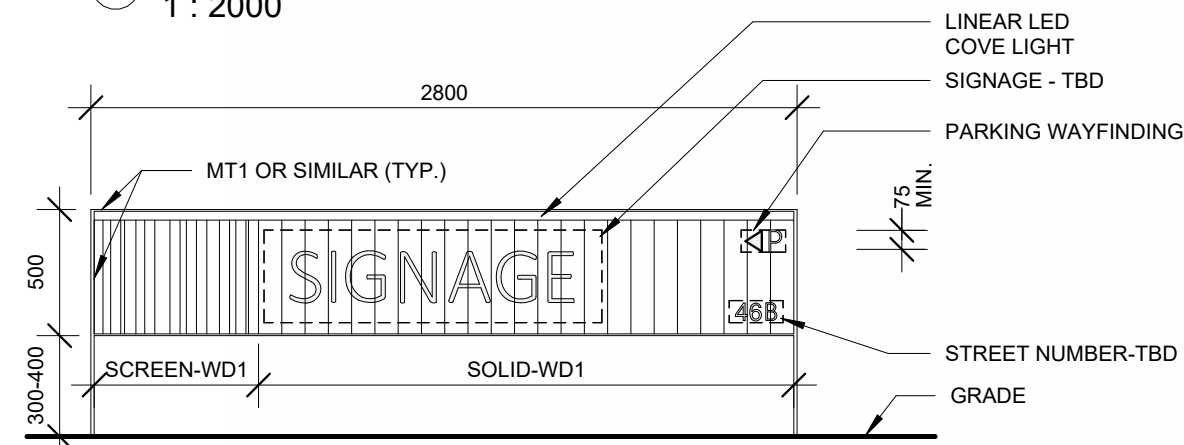
REPLACEMENT TREE



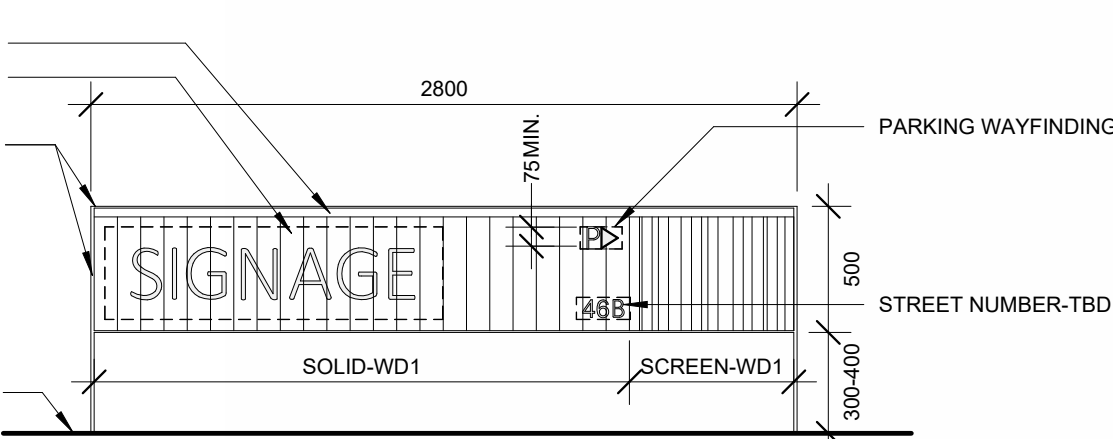
1 LEVEL 1/SITE PLAN
1 : 100



2 KEY PLAN
1 : 2000



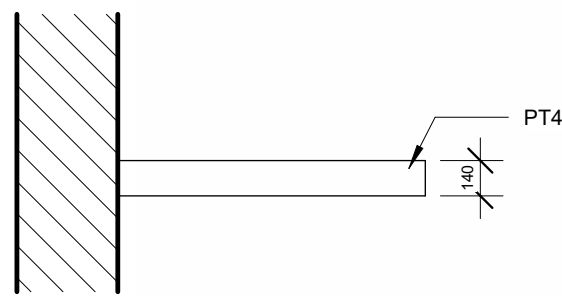
SIGNAGE - WEST ELEVATION:



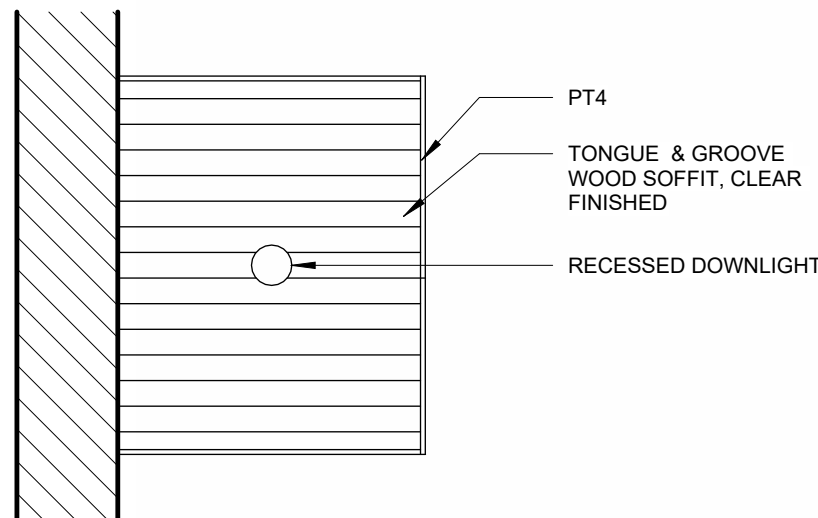
SIGNAGE - EAST ELEVATION:

REFER TO LANDSCAPE DETAIL DRAWINGS

3 SIGNAGE ELEVATIONS
1 : 30



4 REAR CANOPY SIDE ELEVATION
1 : 30



5 REAR CANOPY - R. CEILING PLAN
1 : 30

ISSUED

ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

REVISED



GENERAL NOTES:

1. ALL DIMENSIONS IN MILLIMETRES (MM)
2. DO NOT SCALE DRAWINGS
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
5. CHECK DRAWINGS AGAINST SPECIFICATIONS
6. USE THE LATEST REVISED DRAWINGS ONLY
7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

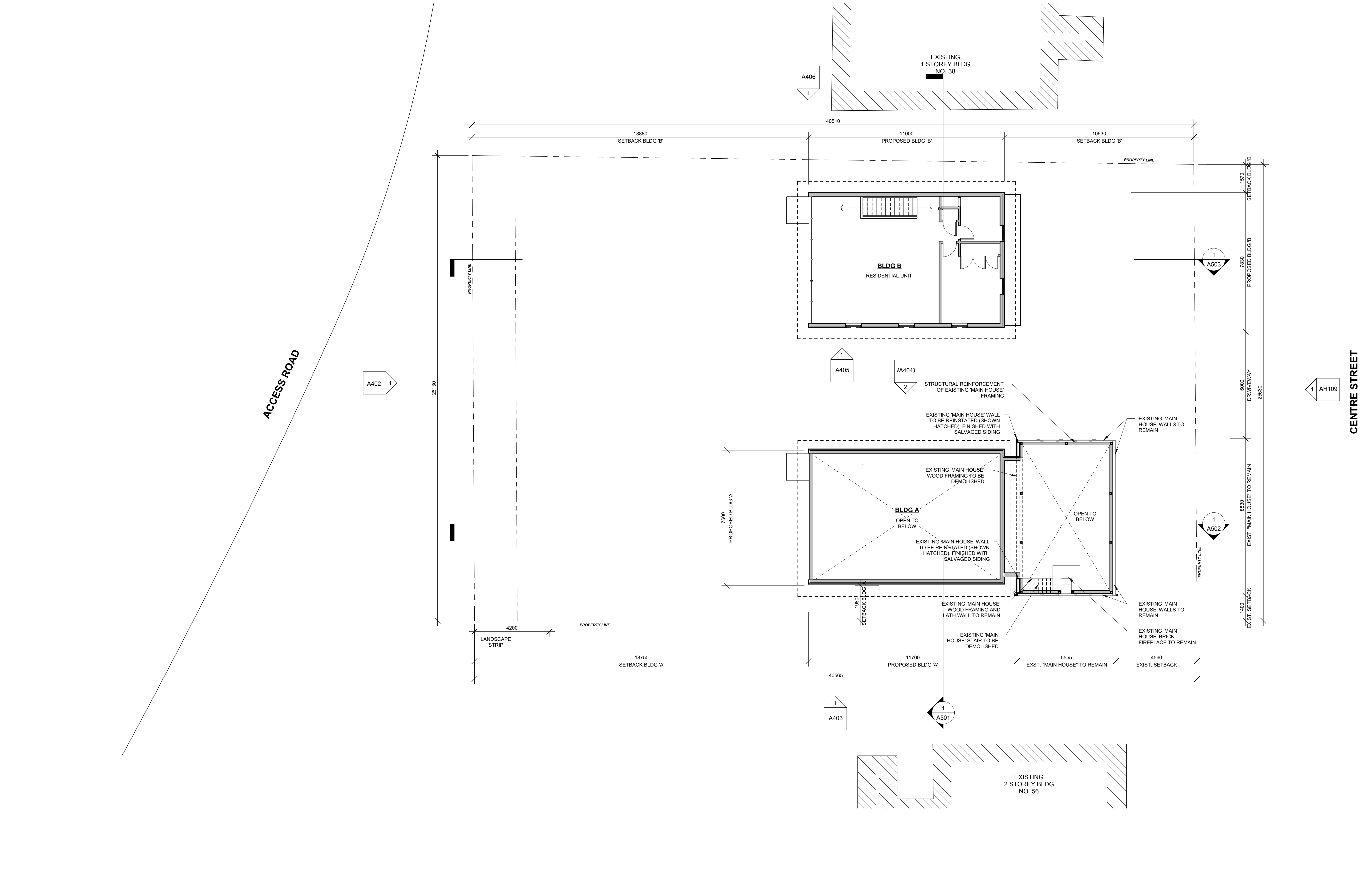
LEVEL 1/SITE
PLAN/LANDSCAPE

Dwg. Title :

DATE : 2022-05-10
SCALE : As Indicated
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A101



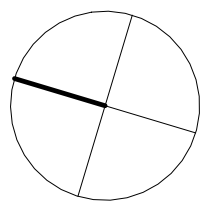
ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	18-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

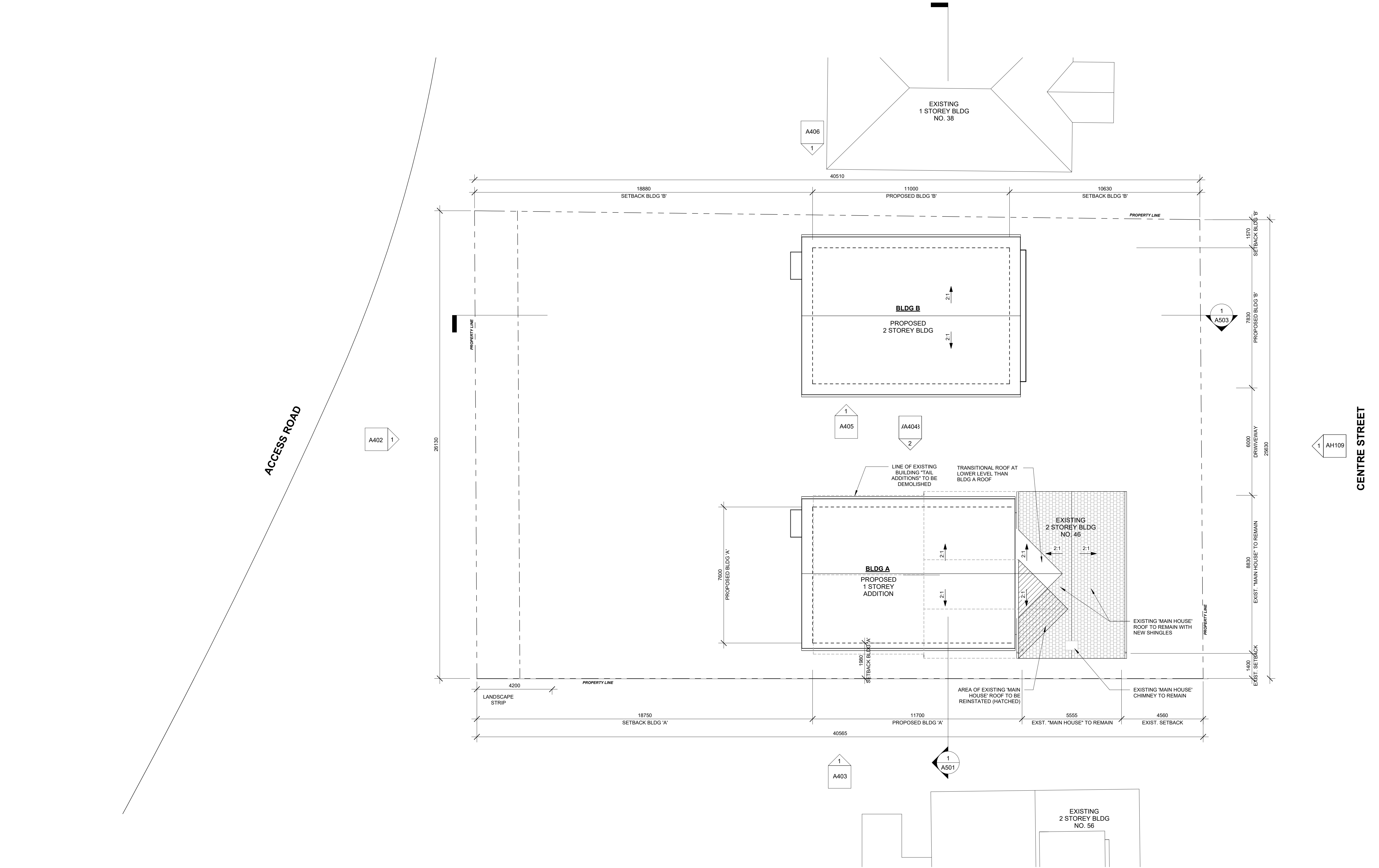
LEVEL 2

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 100
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A102



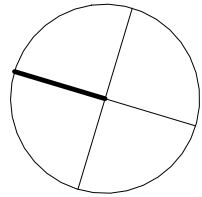
ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	18-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

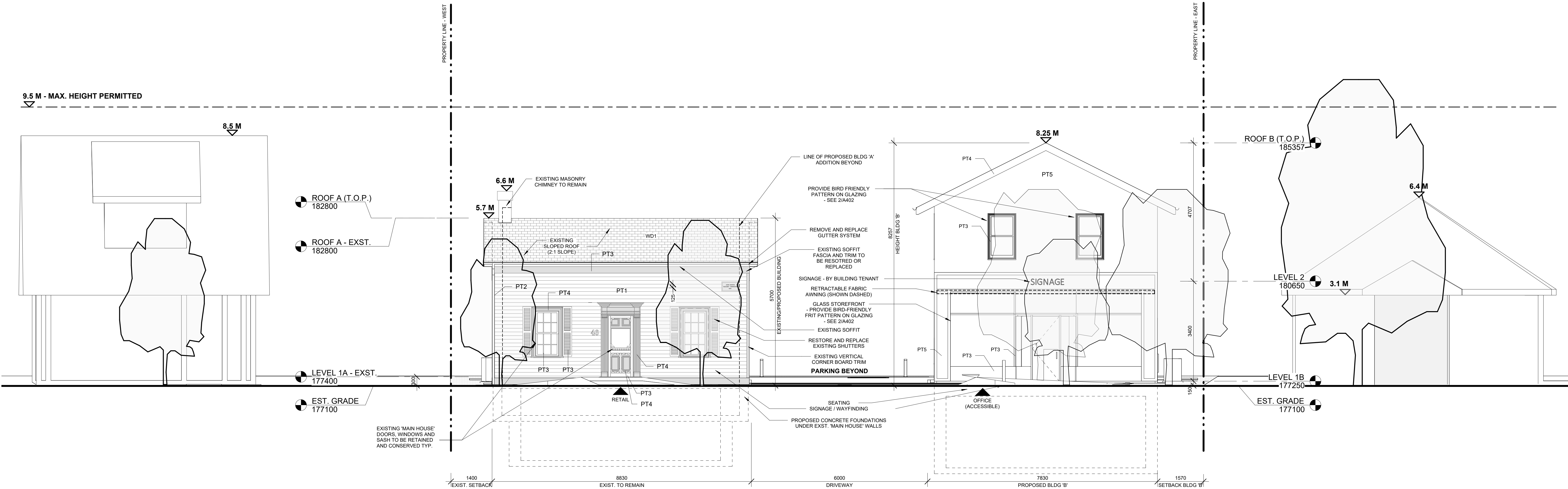
Architect:
Michael Scott Architect Inc.

ROOF PLAN

Dwg. Title :	
DATE :	2022-05-10
SCALE :	1 : 100
DRAWN :	-
CHECKED :	-
PROJECT NO. :	2124

Dwg. No. :

A103



ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

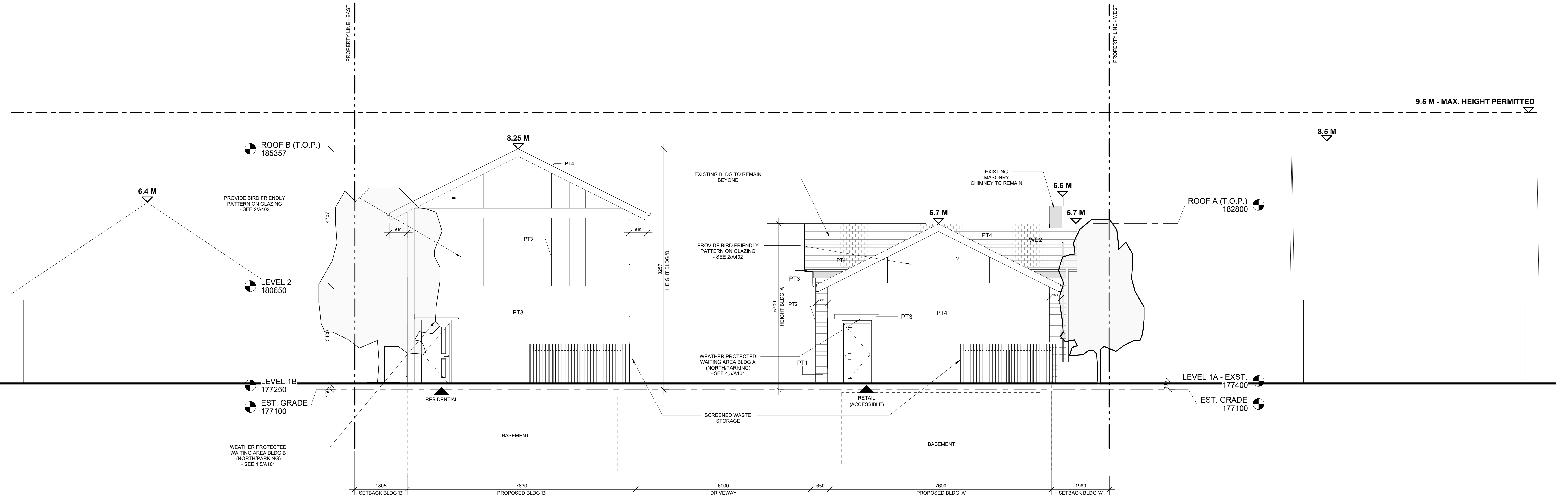
SOUTH ELEVATION

Dwg. Title :

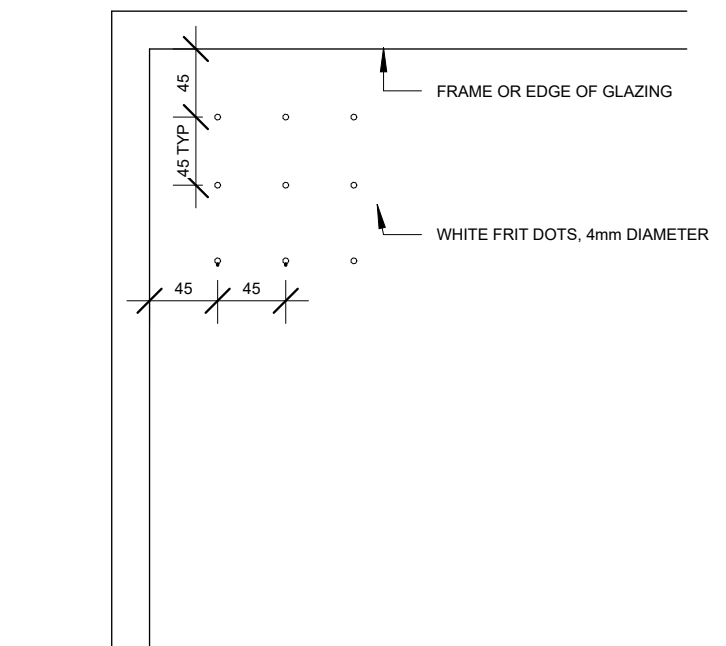
DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A401



1 NORTH ELEVATION
1 : 60



2 Typical Bird-Friendly Window Treatment
1 : 5

BIRD FRIENDLY CHECKLIST MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS <i>(At Grade Condition (check to confirm the below is applied))</i>	
<input checked="" type="checkbox"/>	Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel is greater than 2m ² and within 16m from finished grade.
<i>Roof Landscape Condition (check to confirm the below is applied)</i>	
<input type="checkbox"/>	Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel is greater than 2m ² and within 16m from finished grade.
<input checked="" type="checkbox"/>	Development contains no glass panel with 16m from roof level finished grade.
<i>Patterns (check to confirm one or more of the below are applied)</i>	
<input type="checkbox"/>	Stripes Horizontal strip spacing is less than 5cm on centre; vertical strip spacing is less than 10cm on centre; horizontal strips widths are greater than 3.1mm; and vertical strips widths are greater than 6.1mm.
<input checked="" type="checkbox"/>	Dots Dot size is larger than 5mm; horizontal strip spacing is less than 5cm on centre; and vertical strip spacing is less than 10cm on centre.
<i>Specifications (check to confirm one or more of the below is applied)</i>	
<input checked="" type="checkbox"/>	Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
<input type="checkbox"/>	Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to background.

ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	18-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

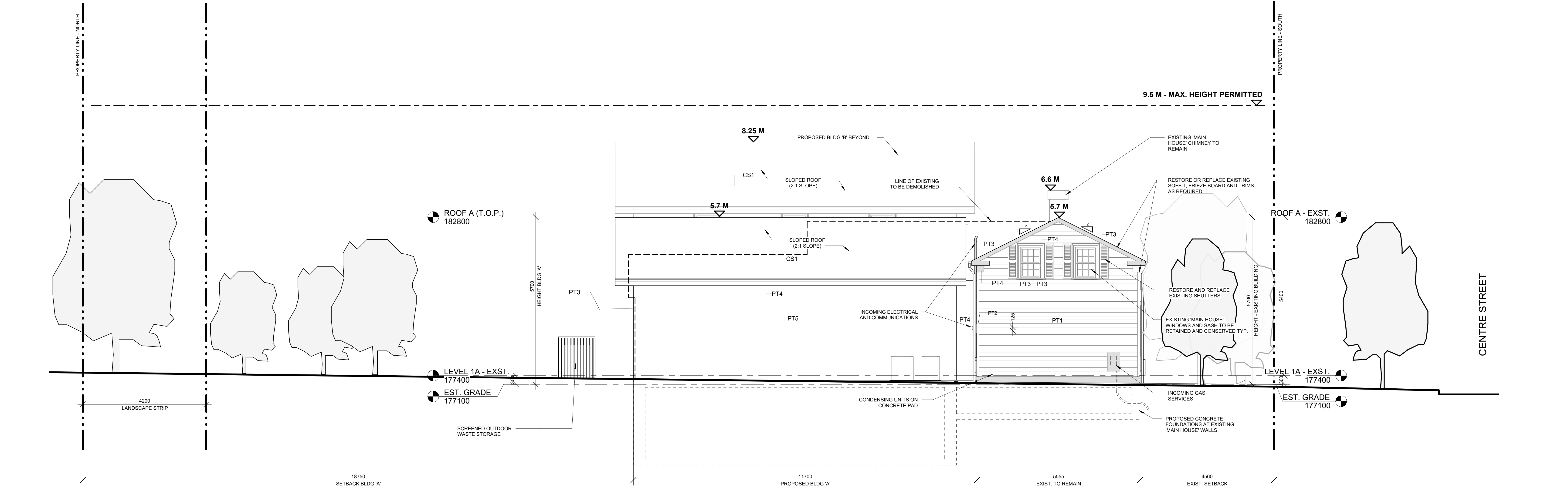
Architect:
Michael Scott Architect Inc.

NORTH ELEVATION

Dwg. Title :

DATE : 2022-05-10
SCALE : As Indicated
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :
A402



ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

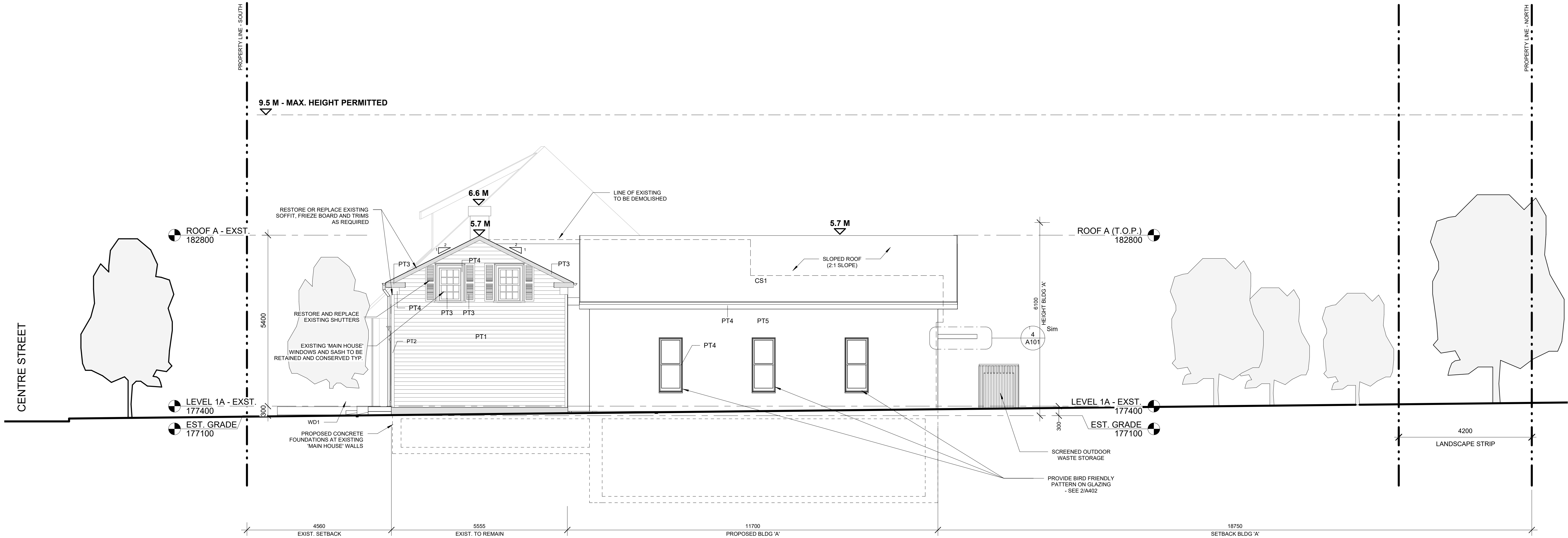
WEST ELEVATION

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A403



ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

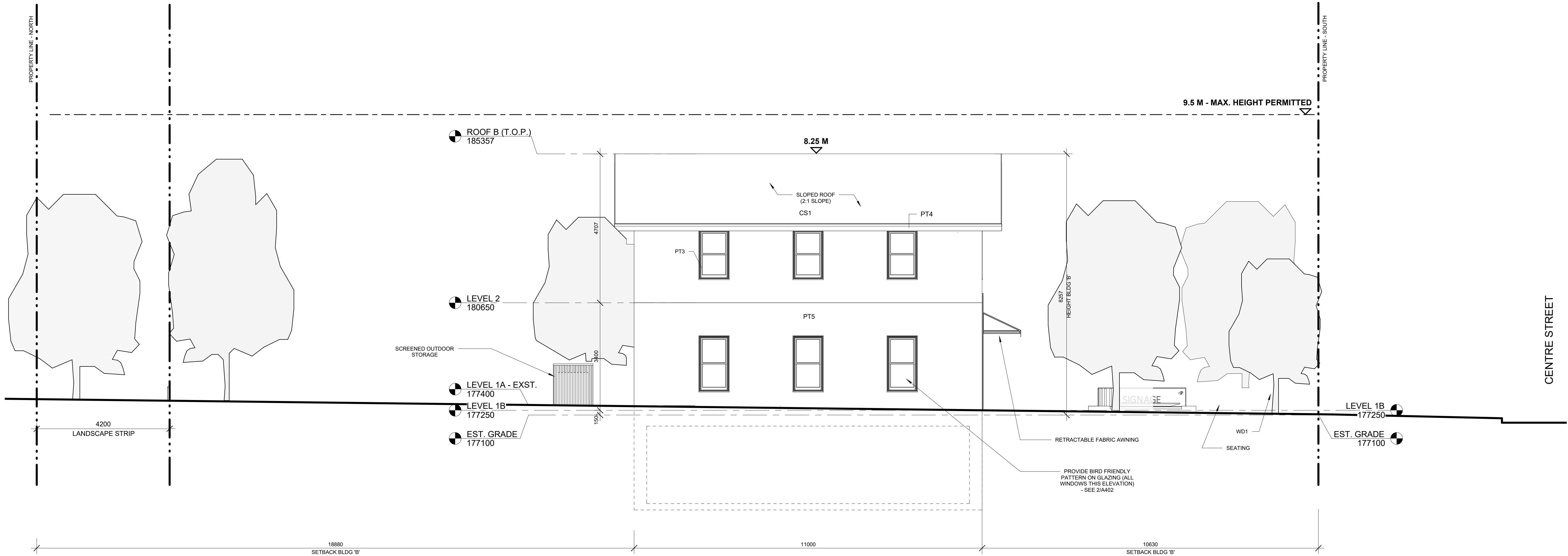
EAST ELEVATION
(BLDG 'A')

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A404



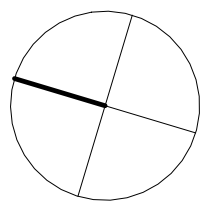
ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	19-02-27
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

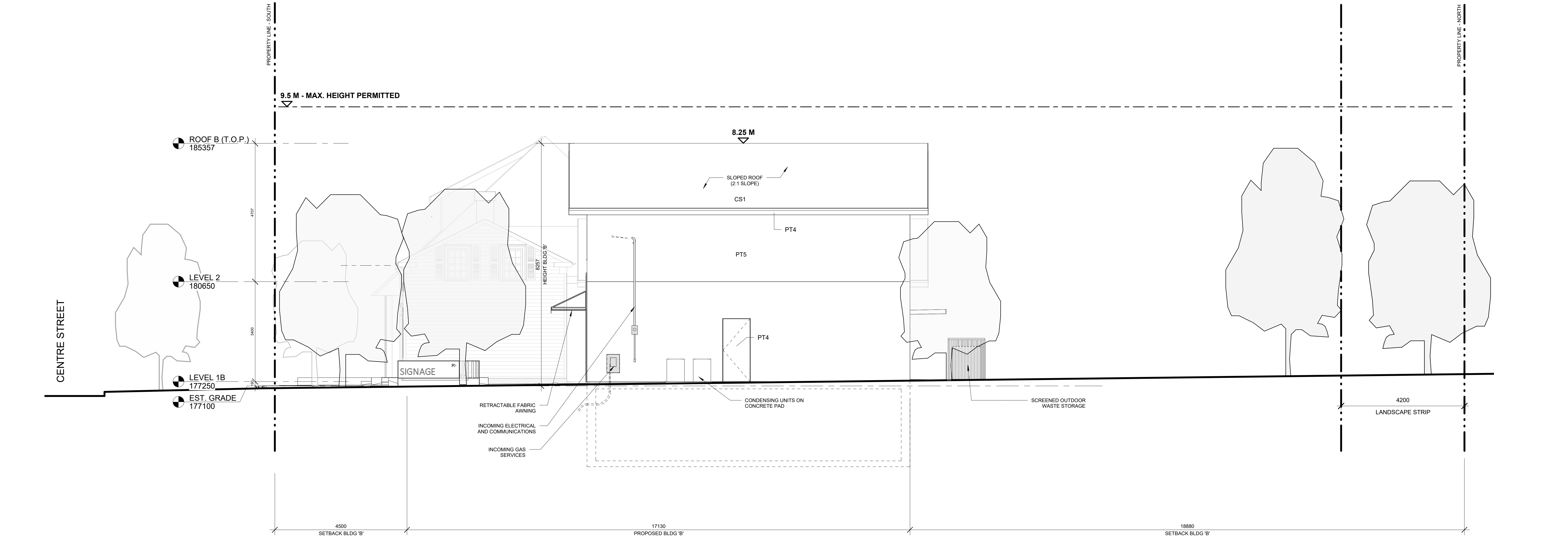
Architect:
Michael Scott Architect Inc.

WEST ELEVATION
(BLDG B)

Dwg. Title :	
DATE :	2022-05-10
SCALE :	1 : 60
DRAWN :	-
CHECKED :	-
PROJECT NO. :	2124

Dwg. No. :

A405



ISSUED	
ISSUED FOR PREAPPLICATION CONSULTATION (PAC)	19-06-05
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-10
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

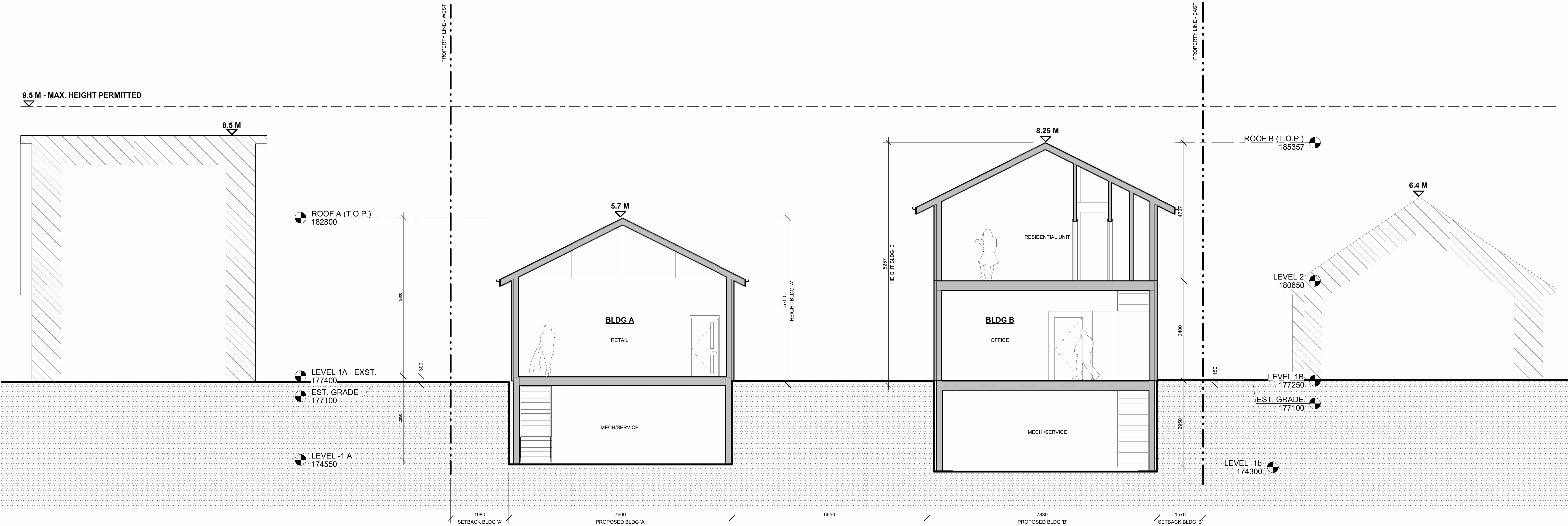
EAST ELEVATION

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A406



ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-19
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWINGS NOT FOR CONSTRUCTION

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

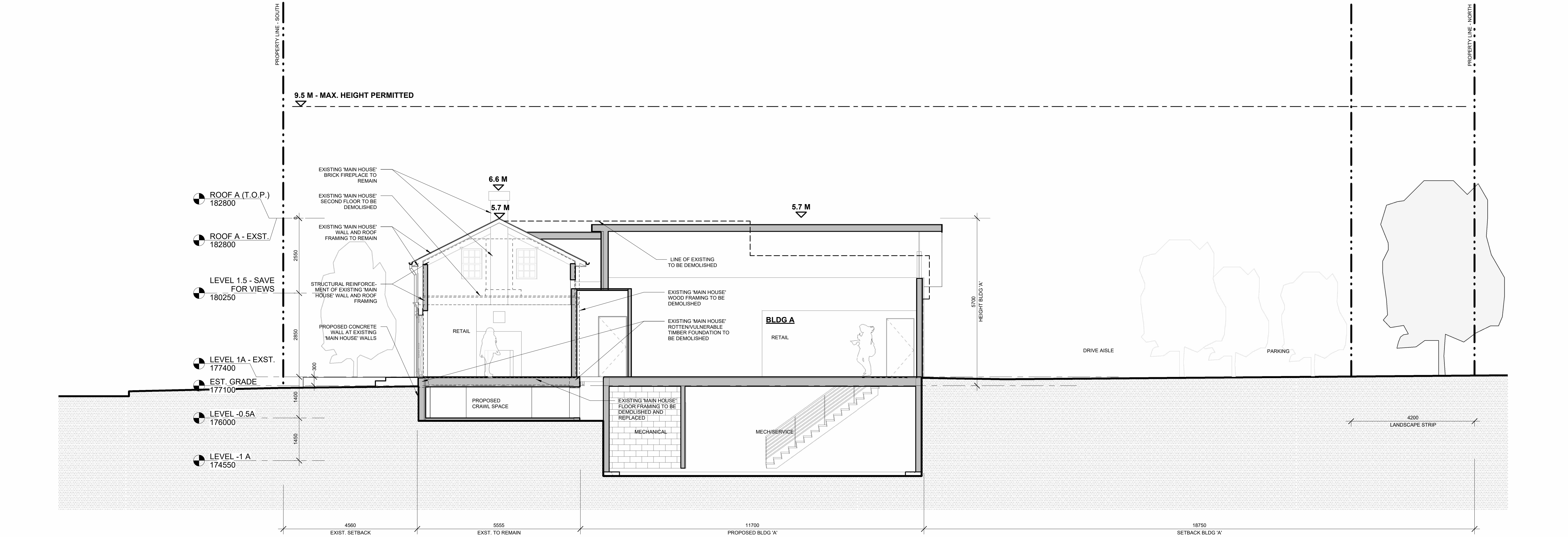
E-W SITE SECTION

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A501



ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-19
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:**
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

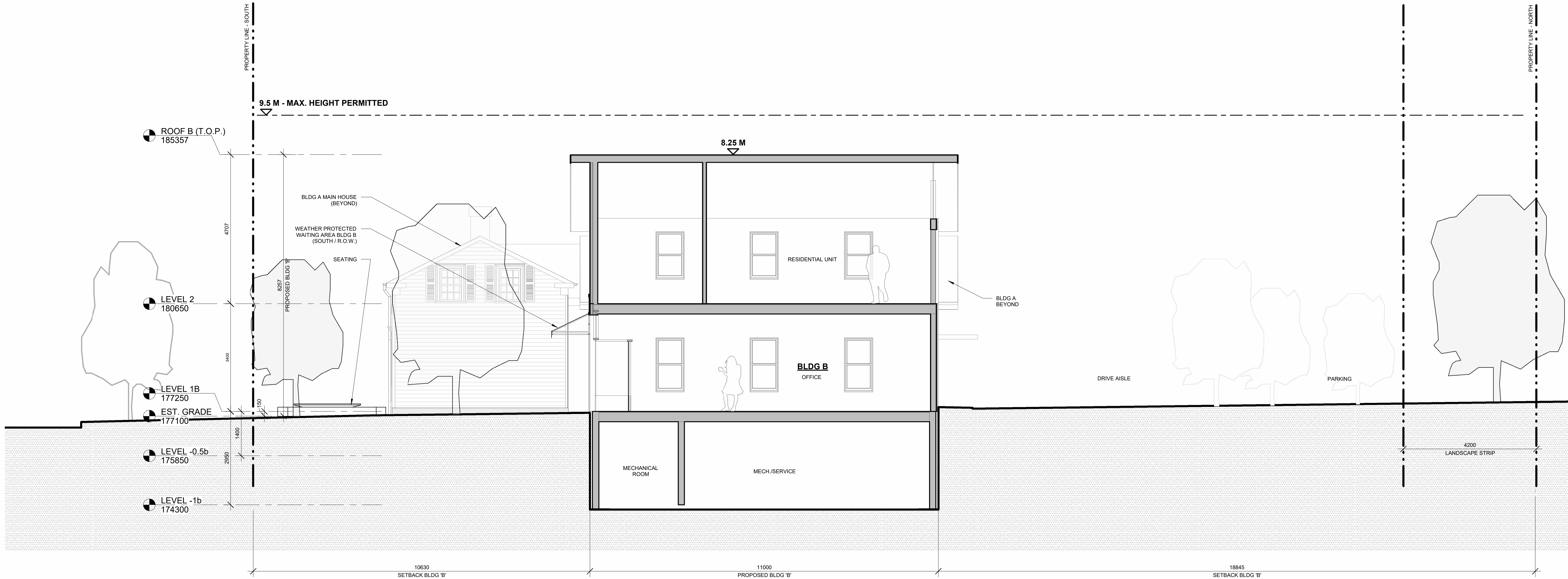
N-S SITE SECTION
(BLDG A)

Dwg. Title :

DATE : 2022-05-10
SCALE : 1 : 60
DRAWN : -
CHECKED : -
PROJECT NO. : 2124

Dwg. No. :

A502



ISSUED	
ISSUED FOR COORDINATION	19-11-06
ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-01-22
RE-ISSUED FOR SITE DEVELOPMENT APPROVAL	20-07-19
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	21-09-07
RE-ISSUED FOR HERITAGE PERMIT/SITE DEVELOPMENT	22-05-10

DRAWINGS NOT FOR CONSTRUCTION

REVISED	



- GENERAL NOTES:
1. ALL DIMENSIONS IN MILLIMETRES (MM)
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS
 4. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
 5. CHECK DRAWINGS AGAINST SPECIFICATIONS
 6. USE THE LATEST REVISED DRAWINGS ONLY
 7. DRAWINGS ARE NOTE TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY ARCHITECT
 8. DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK
 9. REPRODUCTION OF DRAWINGS AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

46 CENTRE STREET

Thornhill, ON L4J 1E9 (City of Vaughan)

1846057 Ontario Inc

Architect:
Michael Scott Architect Inc.

N-S SITE SECTION
(BLDG B)

Dwg. Title :	
DATE :	2022-05-10
SCALE :	1 : 60
DRAWN :	-
CHECKED :	-
PROJECT NO. :	2124

Dwg. No. :

A503