

<b>ITEM #: 6.22</b>	<b>COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A134/22 51 Marlene Ct Maple</b>
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**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

*\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.*

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X	X	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X	X		General Comments
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X	X		General Comments
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE</b> <i>*Please see <b>Schedule C</b> of this report for a copy of the public &amp; applicant correspondence listed below.</i>
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The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

<b>PREVIOUS COA DECISIONS ON THE SUBJECT LAND</b> <i>*Please see <b>Schedule D</b> for a copy of the Decisions listed below</i>
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File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

<b>ADJOURNMENT HISTORY</b> <i>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</i>
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None
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A134/22  
51 Marlene Ct Maple ON L4L 8L3**

**FILE MANAGER:** Lenore Providence, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER:</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Patrizia Donadio
<b>AGENT:</b>	Napa Design Group Inc.
<b>PROPERTY:</b>	51 Marlene Ct Maple ON L4L 8L3
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of an addition to the existing dwelling, a new detached garage and cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.65 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback. Sect. 4.13 table 4-1	To permit an encroachment of 0.91m into the required interior side yard setback.

**The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(138) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
2	The maximum permitted lot coverage is 10% of the lot area. Schedule A	To permit a lot coverage of 11.29% of the lot area (Dwelling 5.18%, Covered Porches 0.01%, Addition 6.10%).
3	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback. Sect. 3.14 a)	To permit an encroachment of 0.91m into the required interior side yard setback.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, June 16, 2022

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained.  That the general intent and purpose of the official plan will be maintained.  That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	June 2, 2022	
Date Applicant Confirmed Posting of Sign:	May 31, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	The homeowners cannot comply as they need the extra space to meet their personal requirements	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
As the proposed addition in the subject property is over 10.00 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering (DE) Department does not object to variance application A134/22 subject to the following condition(s):	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Parks: None Forestry: See condition. Horticulture: None	
<b>PFH Recommended Conditions of Approval:</b>	Parks: None Forestry: Applicant to apply to Forestry for a Private tree Permit. Horticulture: None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

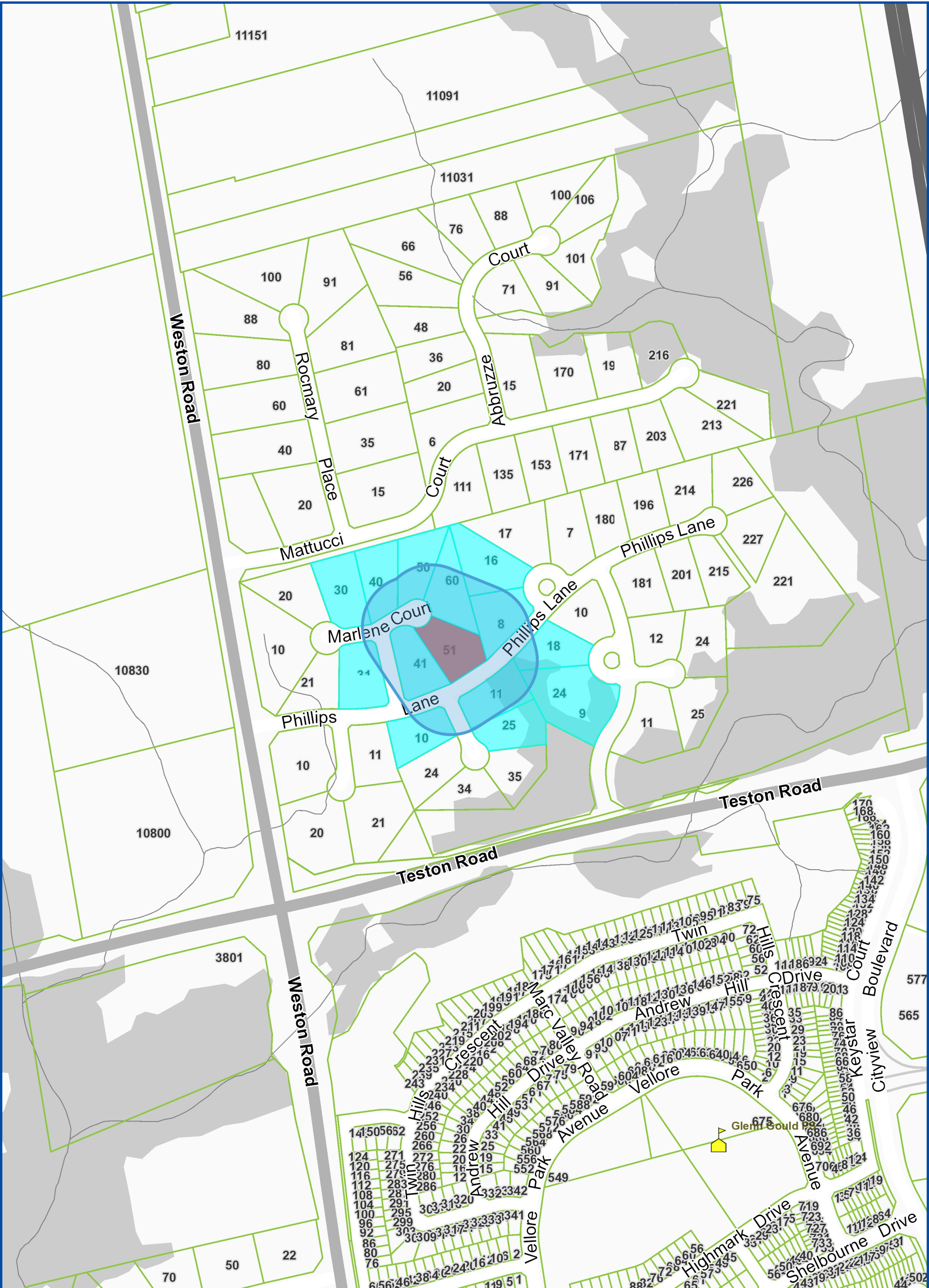
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the



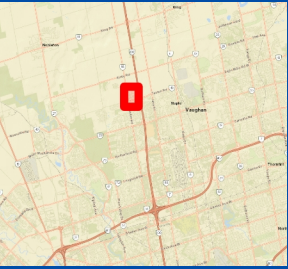
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
		Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a> <a href="mailto:andrew.swedlo@vaughan.ca">andrew.swedlo@vaughan.ca</a>	Applicant to apply to Forestry for a Private tree Permit.

IMPORTANT INFORMATION – PLEASE READ		
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>		
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>		
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>		





Map Information:



Title:

51 MARLENE COURT, MAPLE

NOTIFICATION MAP - A134/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:6,280

0 0.10 km



Created By:

Infrastructure Delivery  
Department  
May 24, 2022 4:02 PM

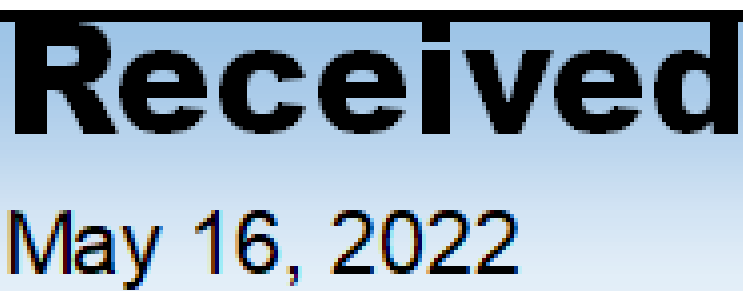
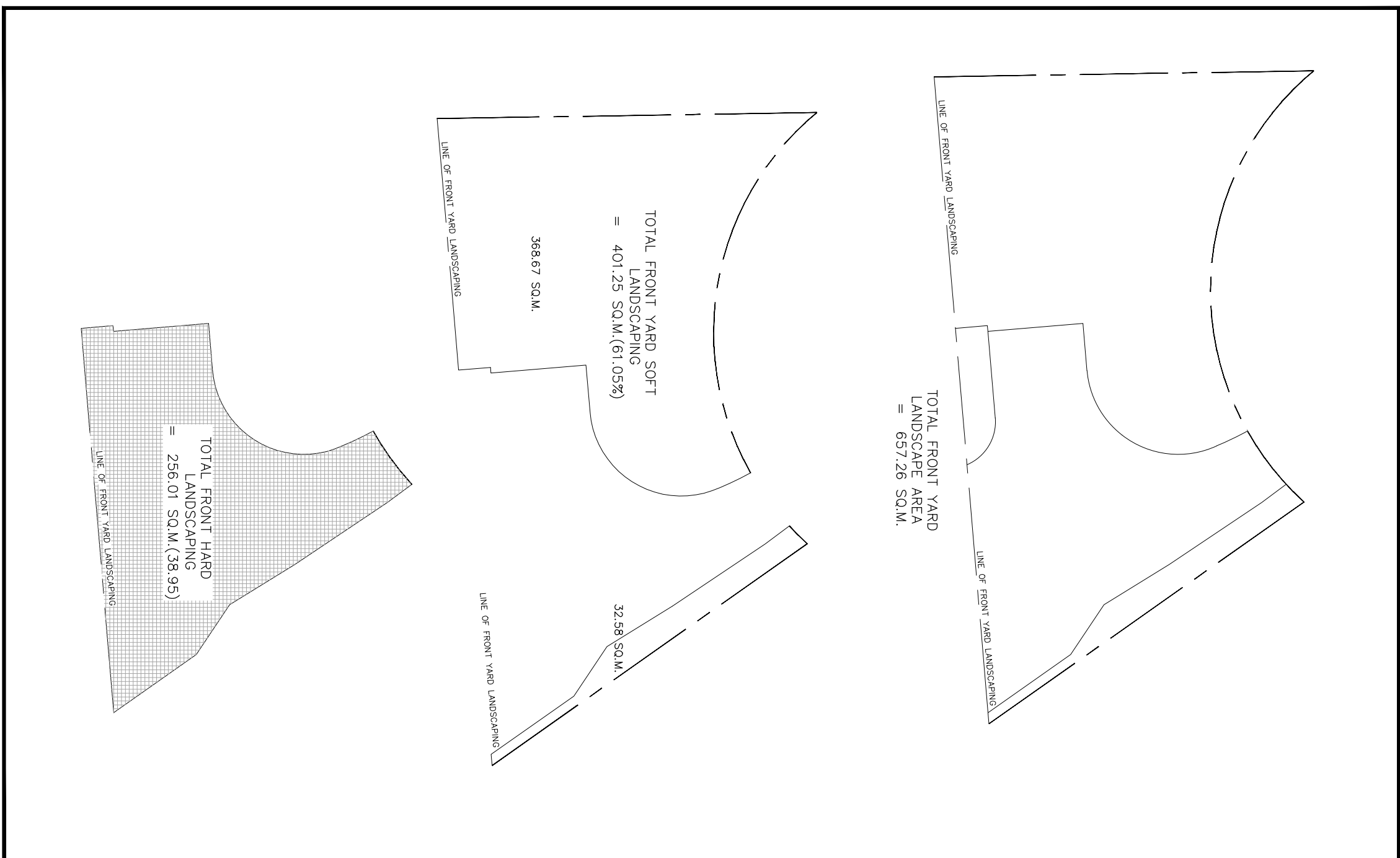
Projection:  
NAD 83  
UTM Zone  
17N





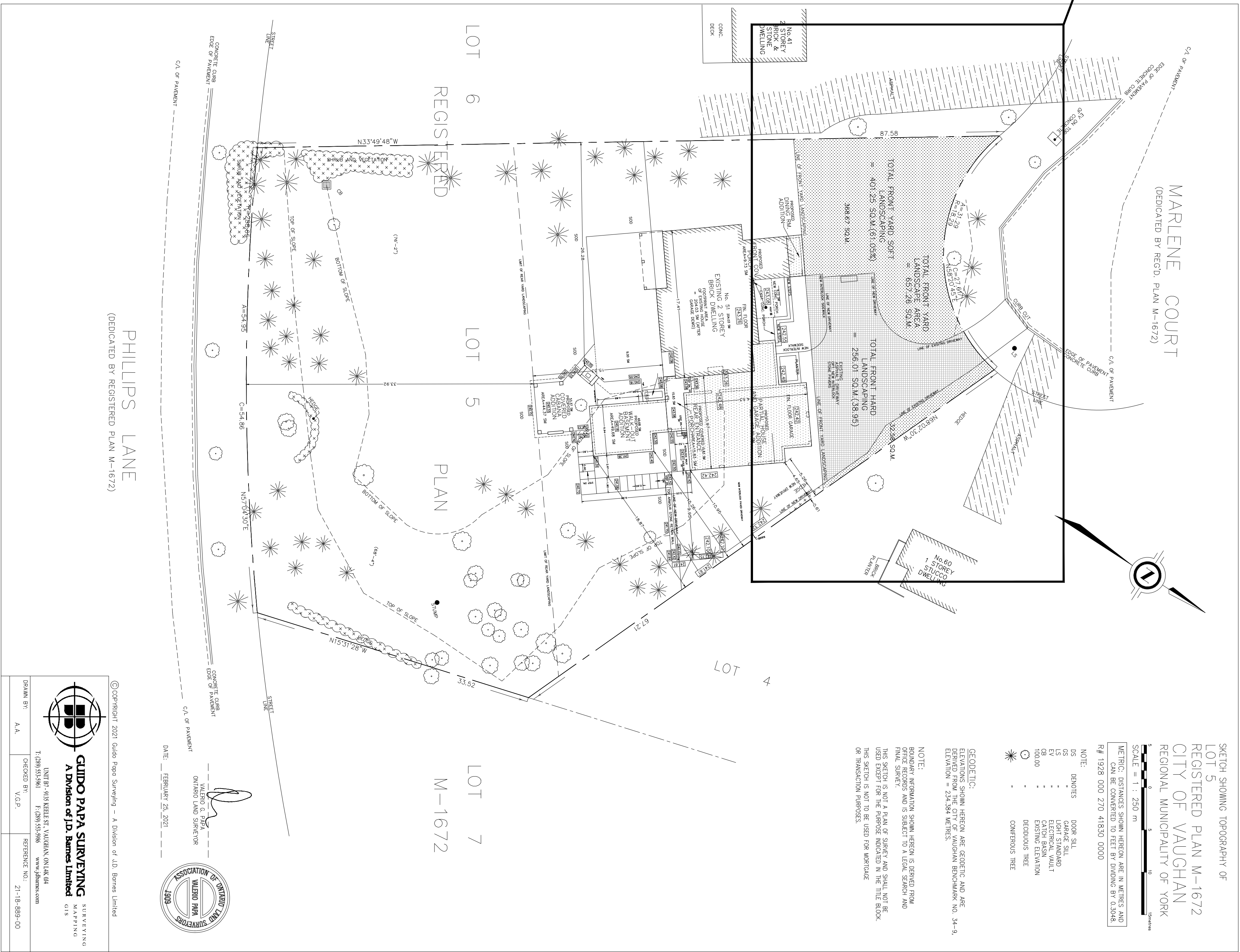


HARD LANDSCAPE	38.95%
SOFT LANDSCAPE	61.05%

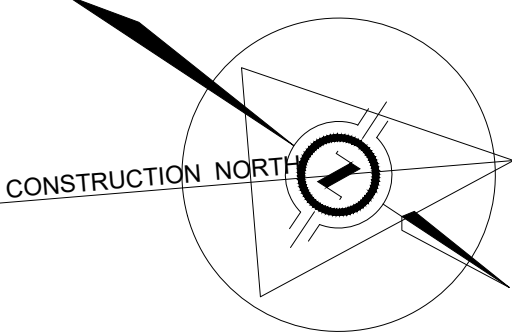


ZONING  
LOT AREA

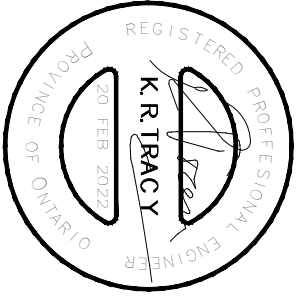
EXISTING LOT COVERAGE	EXIST. HOUSE & ATTACH GARAGE	288.50 SQ. FT. EXIST. FOOTPRINT	6.53%
MAX. ALLOWABLE COV.	10.00%		
PROPOSED LOT COV.	11.29%	486.66 SQ. FT. EXIST. FOOTPRINT	NA
EXIST. HOUSE FOOTPRINT	219.53 SQ. FT.		
EXIST. HOUSE FOOTPRINT AFTER GARAGE DEM.	125.56 SQ. FT.		
PROPOSED HOUSE FOOTPRINT	498.66 SQ. FT.		
PROP. FRONT & REAR COV. PORCH (ADDN)	125.56 SQ. FT.		
PROP. FRONT & REAR HOUSE ADDITION (ADDN)	54.50 SQ. FT.		
PROP. ATTACHED COV. CABANA ADDITION	53.37 SQ. FT.		
TOTAL PROP. ADDITION FOOTPRINT	294.63 SQ. FT.		
TOTAL PROP. ADDITION & EX. HOUSE FOOTPRINT	498.66 SQ. FT.		
		498.66 SQ. FT. EXIST. LOT AREA	
TOTAL FOOTPRINT	498.66 SQ. FT.		
PERCENT COVERAGE	11.29%		



ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.



<p>The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer</p> <p align="center"><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under 2.17.5.1 of the Building Code</p>		<p>NAME <u>ROLAND TRACON</u></p> <p>DATE <u>12/2/2002</u></p>
<p>Required unless design is exempt under 2.17.4.1 of the Building Code</p> <p align="center"><b>REGISTRATION INFORMATION</b></p>		<p>EXEMPT <input type="checkbox"/></p> <p>REGISTERED <input checked="" type="checkbox"/></p>
<p>TRACON Services Inc.</p>		<p>33846</p>
<p>COMPANY</p>		<p>8000</p>



6		
7		
8		
5		
4		
3		
2	EAST SIDE SETBACK REVISION	APR 2 2022
1	PERMIT SUBMISSION	FEB 20 2022
No.	REVISION / ISSUE	DATE

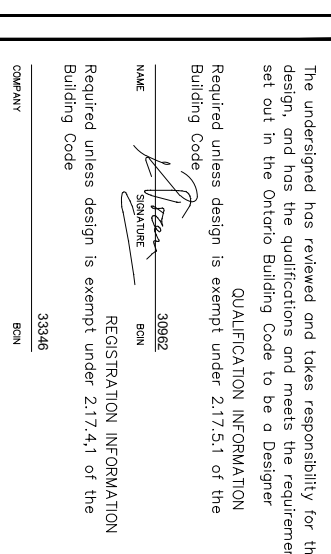
**NAPA**  
design

Napa Design Group Inc. 47 Loweswater Ave.  
Unionville, Ontario, L3R7W8  
e 905 477 3663 m 416 950 6337  
info@napadg.com

PROPOSED  
RESIDENTIAL ADDITION  
FOR  
Patrizia Donadio  
and  
Robert Zeppieri  
51 Marlene Court  
Vaughan, Ontario  
L4L8L3  
416 676 7797

Drawing Name		PROPOSED FRONT YARD LANDSCAPING
Drawing by	Project No.	
LP	21 - 000	
Date	Drawing No.	
FEB 2021		A-1C
Scale		
1/320		
Checked		
LP		





No.	REVISION / ISSUE	DATE
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1		
2		
3		
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6		
7		
8		

No.	REVISION / ISSUE	DATE
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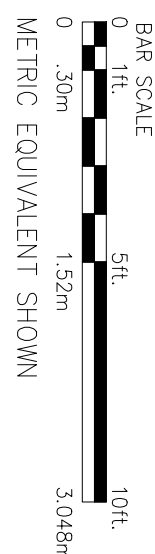
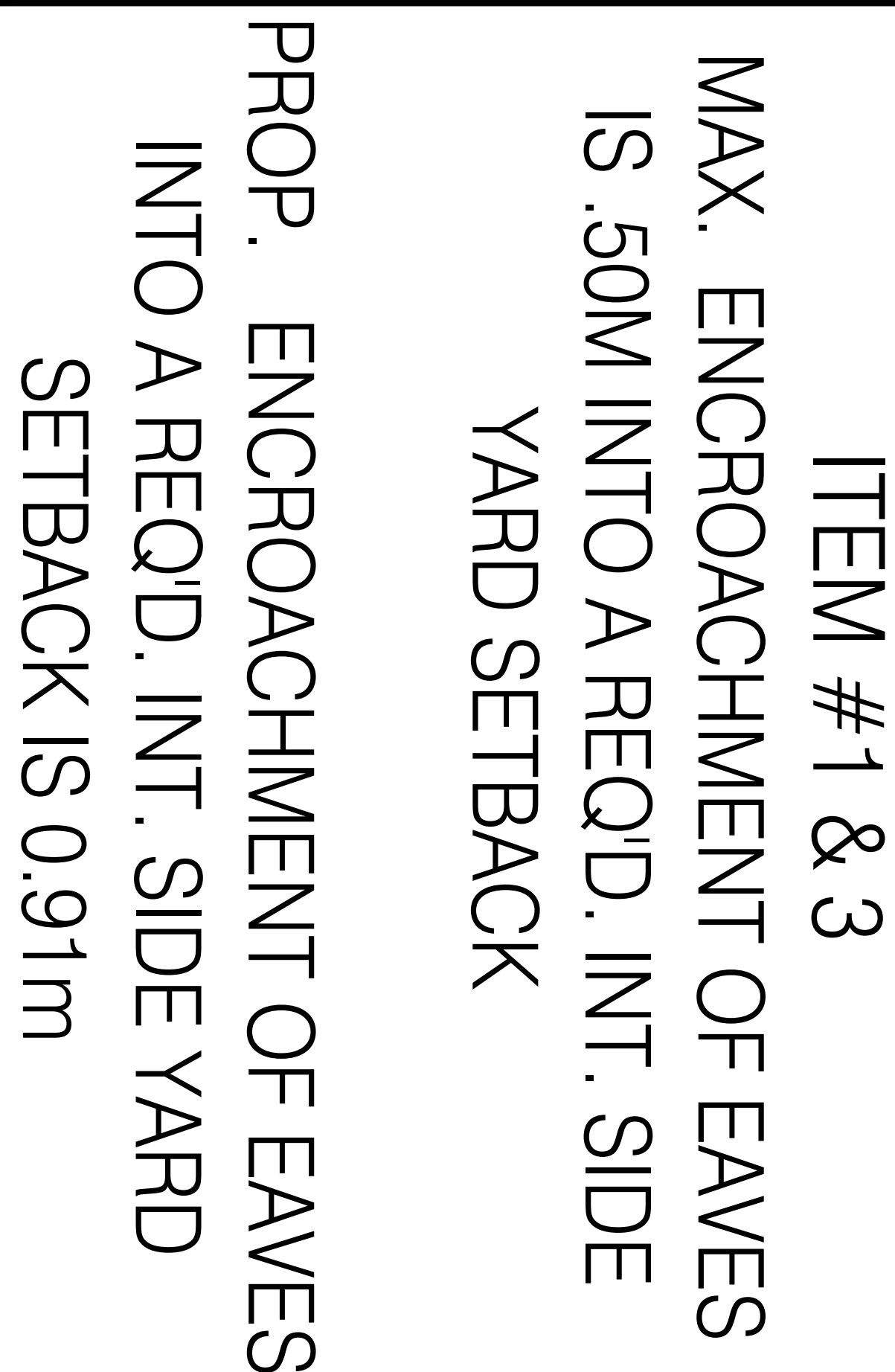
**NAPA design**  
Napa Design Group Inc. 47 Loweswater Ave.  
Unionville, Ontario, L3R7M8  
#905.477.3033 w 416.930.6337  
info@napadg.com

Project  
PROPOSED  
RESIDENTIAL ADDITION  
for  
**Donadia Patrizia Anna**  
and  
**Robert Zeppieri**  
51 Marlene Court  
Voughn, Ontario  
L4L 8L3  
416 676 7797

BASEMENT FLOOR PLAN

Drawing by LP	Project No. 21 - 000
Date FEB 2021	Drawing No.
Scale $1/4" = 1' - 0"$	A-3
Checked LP	

May 16, 2022





GENERAL NOTES

1. THE DRAWING SET IS TO BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT, R.S.O. 1990, CHAPTER 97, AND THE BUILDING CODE, 1995, AS AMENDED.

2. THE DRAWING SET IS TO BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT, R.S.O. 1990, CHAPTER 97, AND THE BUILDING CODE, 1995, AS AMENDED.

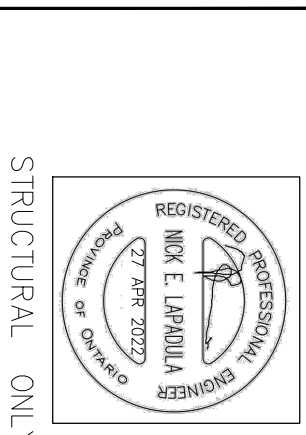
3. THE DRAWING SET IS TO BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT, R.S.O. 1990, CHAPTER 97, AND THE BUILDING CODE, 1995, AS AMENDED.

4. THE DRAWING SET IS TO BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT, R.S.O. 1990, CHAPTER 97, AND THE BUILDING CODE, 1995, AS AMENDED.

5. THE DRAWING SET IS TO BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT, R.S.O. 1990, CHAPTER 97, AND THE BUILDING CODE, 1995, AS AMENDED.

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STRUCTURAL ONLY

1	REVISION	DATE
2	REVISION	DATE
3	REVISION	DATE
4	REVISION	DATE
5	REVISION	DATE
6	REVISION	DATE
7	REVISION	DATE
8	REVISION	DATE
9	REVISION	DATE
10	REVISION	DATE

**NAPEA design**

Napea Design Group Inc. 47 Lakeshore Ave.  
Unit 100, Oakville, Ontario L6H 7W8  
905.477.2633 416.830.0337  
info@napeadesign.com

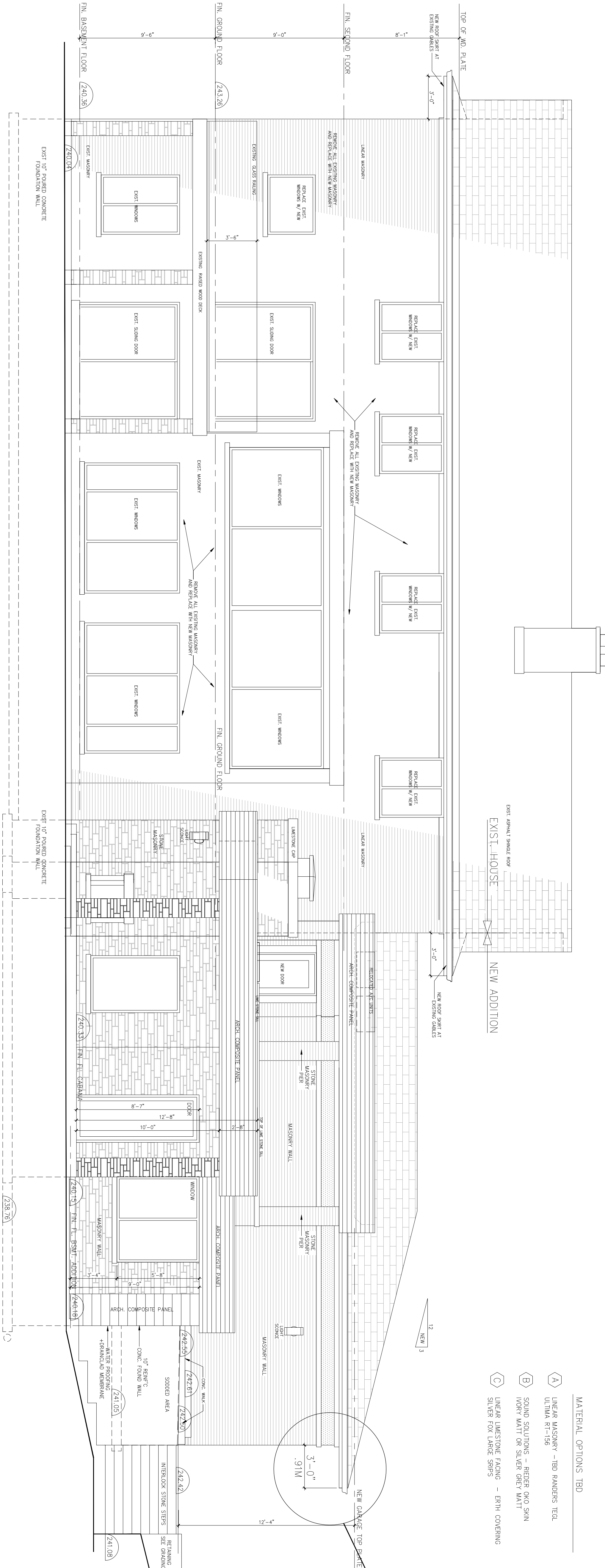
**PROPOSED RESIDENTIAL ADDITION**

**Donatella Parizta Aina and Robert Zepfert**

51 Markham Court  
Vaughan, Ontario  
416.673.7737

Drawing Name	South & North Elevation
Drawing No.	21-000
Rev.	1
Date	Feb 2021
Drawn By	LP
Checked	LP
Scale	1/4" = 1'-0"
Sheet	A-5

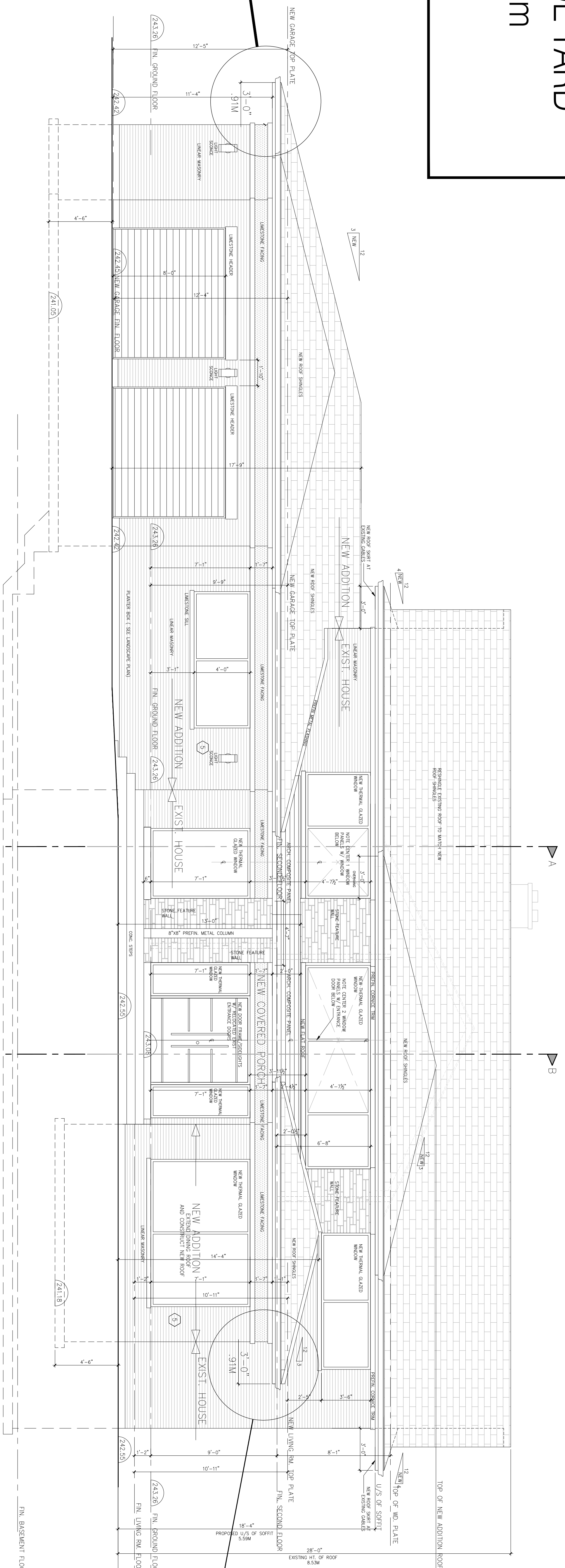
#1&3



PROPOSED  
South Elevation  
SCALE 1/4" = 1'-0"

ITEM #1 & 3  
MAX. ENCROACHMENT OF EAVES  
IS .50M INTO A REQ'D. INT. SIDE  
YARD SETBACK  
PROP. ENCROACHMENT OF EAVES  
INTO A REQ'D. INT. SIDE YARD  
SETBACK IS 0.91m

#1&3

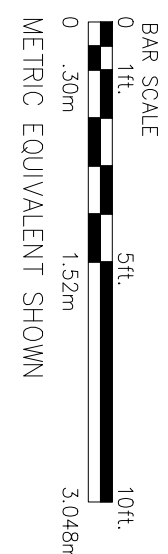


PROPOSED  
North Elevation  
SCALE 1/4" = 1'-0"

#1&3

Received

May 16, 2022



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** May 13, 2022  
**Applicant:** Patrizia Donadio  
**Location:** PLAN M1672 Lot 5 municipally known as 51 Marlene Court  
**File No.(s):** A134/22

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.65 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback.  Sect. 4.13 table 4-1	To permit an encroachment of 0.91m into the required interior side yard setback.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(138) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The maximum permitted lot coverage is 10% of the lot area.  Schedule A	To permit a lot coverage of 11.29% of the lot area.
3	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback.  Sect. 3.14 a)	To permit an encroachment of 0.91m into the required interior side yard setback.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 22-106491 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** June 8, 2022

**Name of Owner:** Patrizia Donadio

**Location:** 51 Marlene Court

**File No.(s):** A134/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit an encroachment of 0.91 m into the required interior side yard setback.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum permitted encroachment for an eave is 0.50 m into the required interior side yard setback.

**Proposed Variance(s) (By-law 1-88):**

2. To permit a lot coverage of 11.29% of the lot area.
3. To permit an encroachment of 0.91 m into the required interior side yard setback.

**By-Law Requirement(s) (By-law 1-88):**

2. The maximum permitted lot coverage is 10% of the lot area.
3. The maximum permitted encroachment for an eave is 0.50 m into the required interior side yard setback.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting to permit the construction of additions to the existing 2-storey dwelling with the above noted variances. Expansions to the north, east, and south sides are proposed.

The Development Planning Department has no objection to Variances 1 and 3 as the proposed 0.91 m eaves are sufficiently set back from any lot line and will not pose a significant visual impact to the adjacent properties.

Portions of the existing building will be demolished to make room for the additions, which will include a garage, cabana, covered porches, and living space. The existing dwelling has a lot coverage of 6.53%. The retained portion of the original dwelling, living space expansions, cabana, and covered porches will have lot coverages of 4.62%, 4.89%, 1.21% and 0.58% respectively. The total lot coverage is suitable for the context of the existing neighbourhood, will not pose a significant visual impact to the adjacent properties, and complies with Zoning By-law 001-2021. As such, the Development Planning Department has no objection to Variance 2 for the increase in lot coverage.

In support of the application, the Owner has submitted an Arborist Report prepared by Noica Consulting Inc., dated March 12, 2022. The report inventoried 67 trees, one of which is proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.



**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I

David Harding, Senior Planner

**Date:** May 25<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A134-22**

**Related Files:**

**Applicant** Patrizia Donadio

**Location** 51 Marlene Court

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

## Lenore Providence

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**Subject:** FW: [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

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**From:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

**Sent:** May-31-22 12:05 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

Hi Lenore,

The subject property (51 Marlene Court) is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit and TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments and no objection to the application.

Regards,

**Hamedeh Razavi** MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:4166616600) ext. 5256

E: [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



*TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca) We thank you for your cooperation as we respond to the current situation.*

**Lenore Providence**

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**Subject:** FW: [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

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**From:** Gordon, Carrie <carrie.gordon@bell.ca>

**Sent:** May-25-22 8:10 AM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)


Hello Lenore

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

*Carrie Gordon*

	Associate, External Liaison Right of Way Control Centre 140 Bayfield St, Fl 2 Barrie ON, L4M 3B1 T: 705-722-2244/844-857-7942 F :705-726-4600
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**Lenore Providence**

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**Subject:** FW: [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** May-26-22 3:50 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

Good afternoon Lenore,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP, RPP** | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

<b>SCHEDULE C: PUBLIC &amp; APPLICANT CORRESPONDENCE</b>
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None