

ITEM #: 6.4	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A064/22 - 27 WELLER CRESCENT
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X			No Comments Recieved to Date
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X	X		General Comments
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<i>*Please see Schedule D for a copy of the Decisions listed below</i>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
<i>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</i>	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A064/22**

FILE MANAGER: Adriana MacPherson, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 6.4	CITY WARD #: 1
APPLICANT:	Dino and Claudia Nunno
AGENT:	Pool Craft
PROPERTY:	27 Weller Cres, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	Pool equipment is permitted to encroach a maximum of 1.5 metres into the required rear yard. [4.13, Table 4-1]	To permit the pool equipment to encroach a maximum of 1.59 metres in the required rear yard.
2	The minimum required interior side yard is 2.4 metres. [4.1.2 b.]	To permit a minimum interior side yard of 0.82 m.
3	The maximum permitted lot coverage is 23%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 33.9%. (Dwelling 31.35%, Cabana 2.55%)
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [4.13 3]	To permit the eaves of the proposed accessory building to be a minimum of 0.58 m from the east interior side lot line.

The subject lands are zoned R1V – Old Village Residential under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
5	Pool equipment is permitted to encroach a maximum of 1.5 metres into the required rear yard. [3.14 h) ii)	To permit the pool equipment to encroach a maximum of 1.59 metres in the required rear yard.
6	The minimum required rear yard is 7.5 metres. [4.1.9, Schedule A]	To permit a minimum rear yard of 7.43 metres.
7	The minimum required interior side yard is 1.5 metres. [4.1.9, Schedule A]	To permit a minimum interior side yard of 0.82 metres.
8	The maximum permitted lot coverage is 20%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 30.1%.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 16, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

HEARING INFORMATION
<p style="text-align: center;">PUBLIC PARTICIPATION</p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p style="text-align: center;">THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	May 31, 2022
Date Applicant Confirmed Posting of Sign:	May 30, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	If the Cabana were to comply to the required 2.4m setback from the interior side yard, it would allow for 3' of egress space between the existing pool and Cabana. By locating it closer to the fence it allows for adequate and safe egress and pedestrian pathway between the accessory structure and pool.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the proposed dwelling in the subject property is 23.48m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition.	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Parks: No response Forestry: Forestry has no comment. Horticulture: No response	
PFH Recommended Conditions of Approval:	Parks: No response Forestry: None Horticulture: No response

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No response	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No response	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No response	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

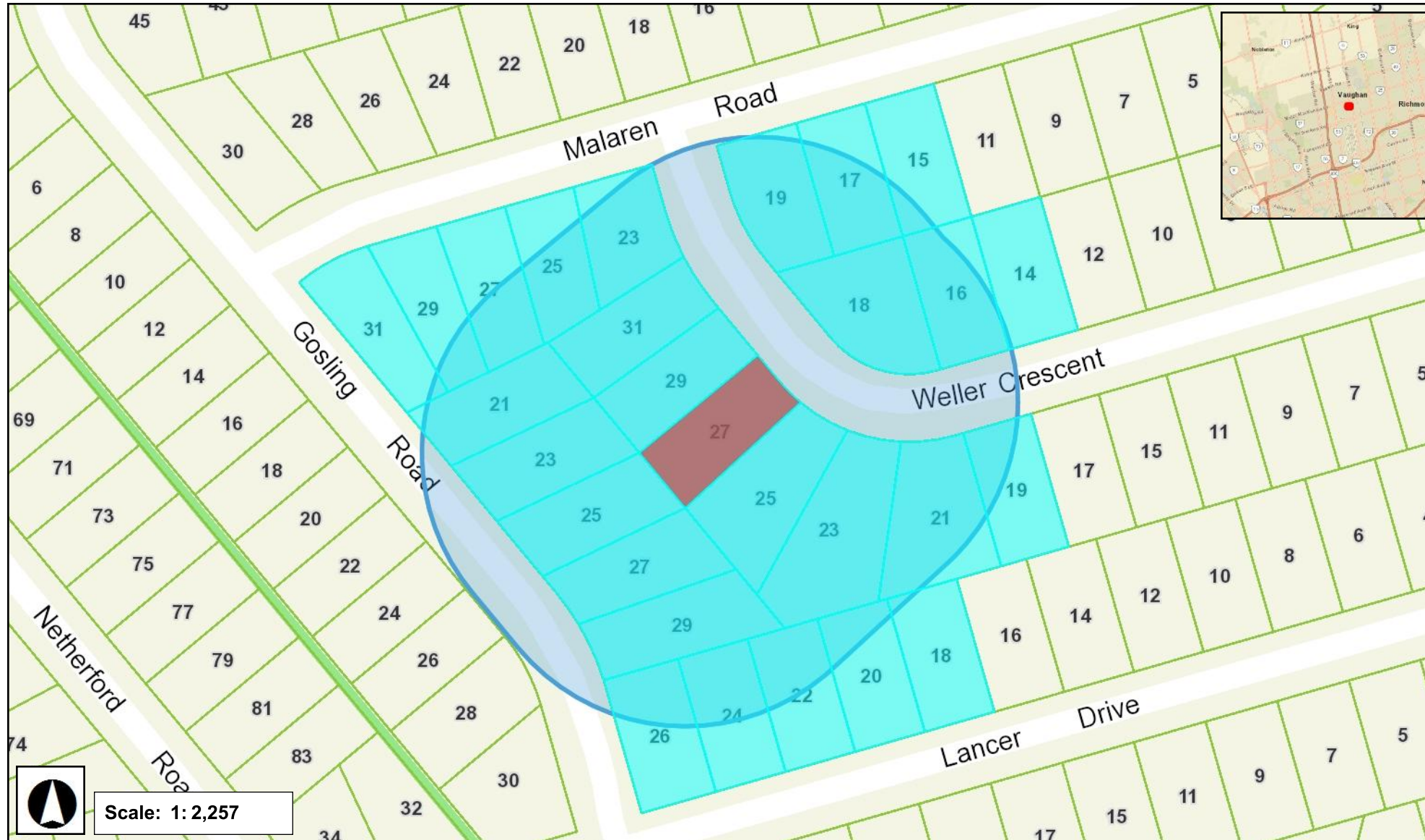
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

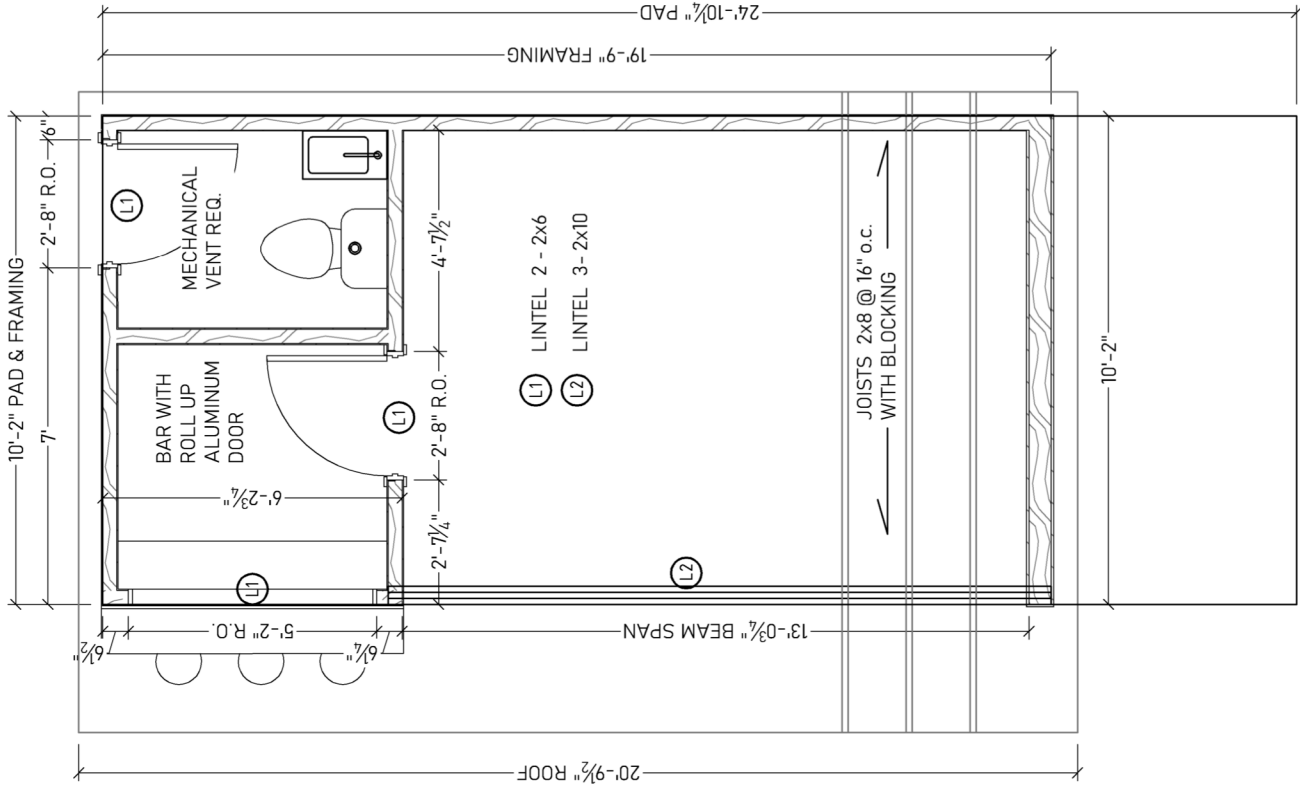
A064/22 - Notification Map

27 Weller Crescent, Maple

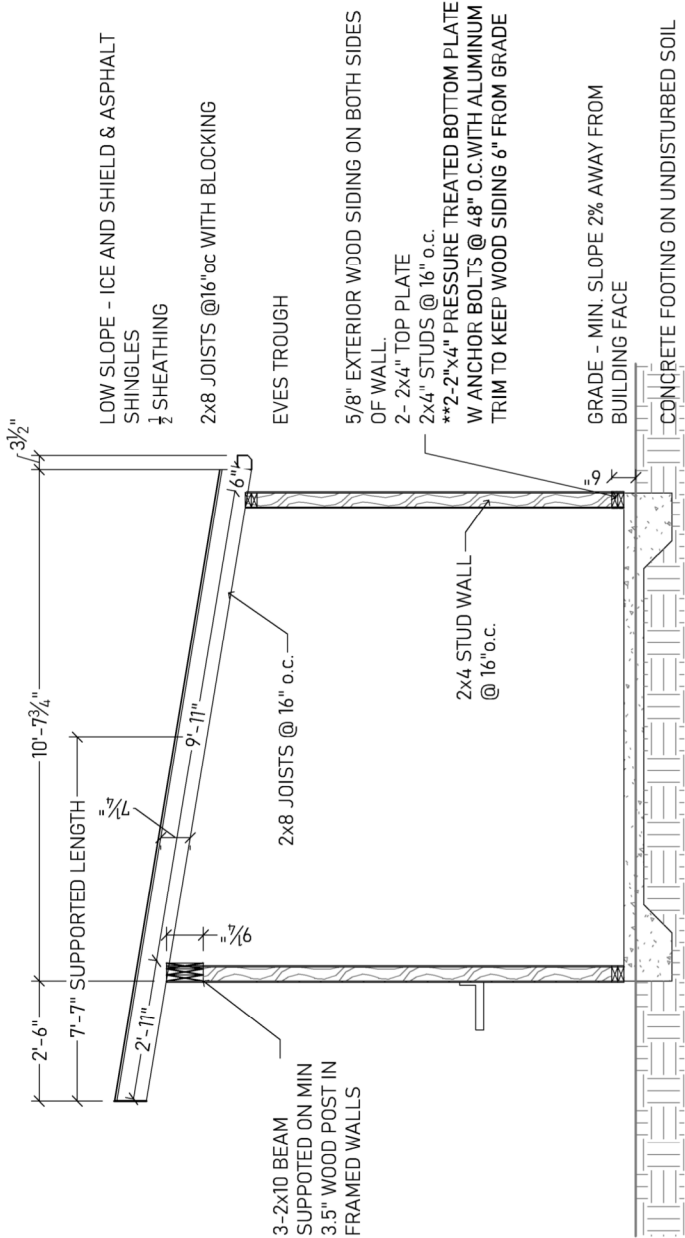


Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions.

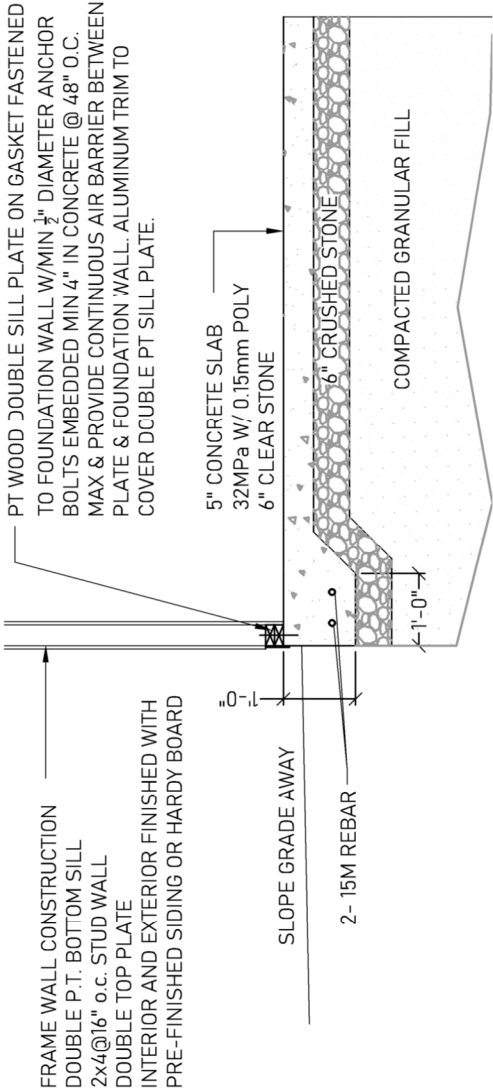
MAIN FLOOR ARCHITECTURAL PLAN
Scale: 1/4"=1'



SECTION
Scale: 1/4"=1'



SECTION DETAIL
Scale: 3/8"=1'



GENERAL NOTES:

SNOW LOAD CALCULATIONS
Vaughan Cb 0.45 * Ss 11 * Sr 0.4 = Snow 0.89
(CWC THE SPAN BOOK 1.0kPa OR 21.9psf)

ALL FRAMING TO BE SPF No. 1 & 2 OR GREATER UNLESS NOTED OTHERWISE

ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE ONTARIO BUILDING CODE REGULATION (332-12), PART 9. DRAWINGS MUST NOT BE SCALED

HANDWRITTEN NOTES ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK. DESIGNER IS TO BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DESIGNER.

DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO INSIDE FACE OF STUD.

THE INFORMATION HEREIN IS THE PROPERTY OF 209 DESIGN AND FOR THE EXCLUSIVE USE OF THE CONTRACTED PARTY FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR OTHER PROJECTS, PUBLISHED, COPIED OR COMMUNICATED TO A THIRD PARTY WITHOUT WRITTEN CONSENT OF 209 DESIGN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Required unless design is exempt under Div. C - 3.2.5.1. of the OBC

Registration Information
Required unless design is exempt under Div. C - 3.2.4.1. of the OBC

DESIGNER
209 DESIGN
Dana Evans
15905 Sideroad 17
Sunderland Ontario
L6A 1E5
647-297-8300

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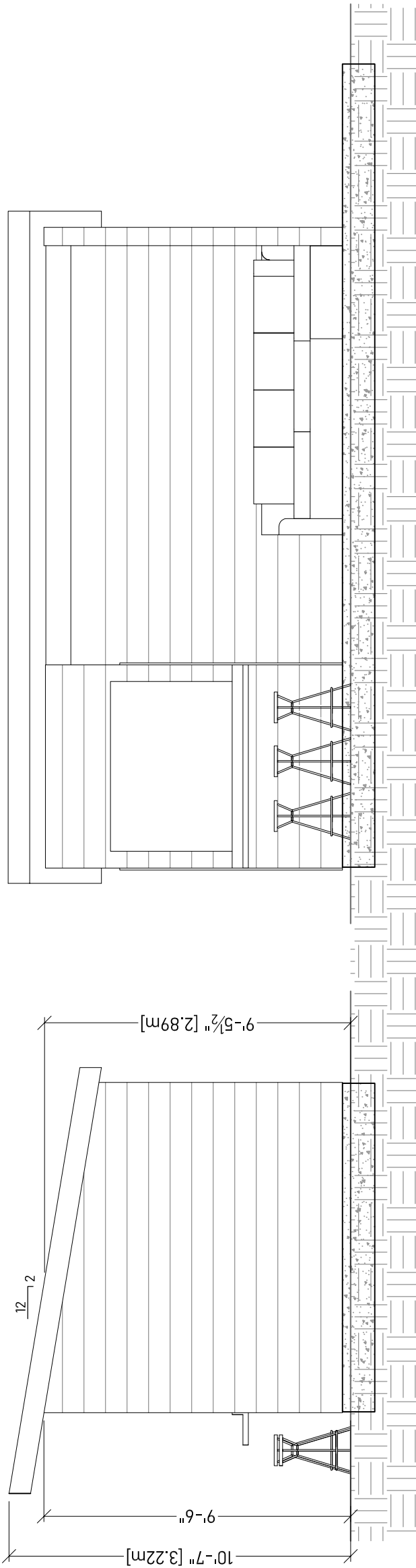
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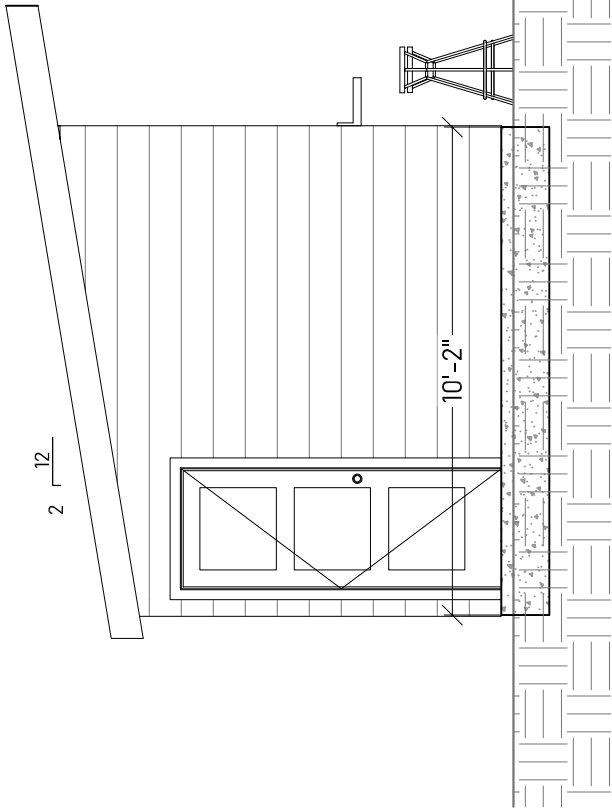
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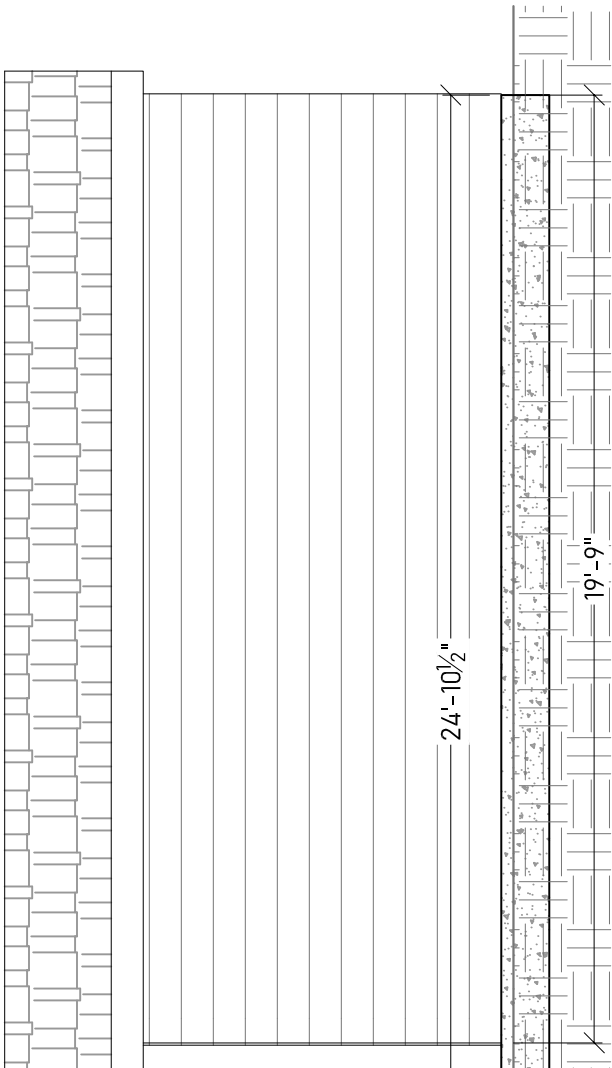
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EAST ELEVATION



SOUTH ELEVATION



GENERAL NOTES:

SNOW LOAD CALCULATIONS
Vaughan Cb 0.45 * Ss 11 * Sr 0.4 = Snow 0.89
(CWC THE SPAN BOOK 1.0kPa OR 20.9psf)

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Required unless design is exempt under Div. C - 3.2.5.1. of the OBC

DANA EVANS

Name

100322

BCIN

Signature



Registration Information

Required unless design is exempt under Div. C - 3.2.4.1. of the OBC

209 DESIGN

Firm Name

101221

BCIN

DESIGNER



209 DESIGN

Dana Evans

19905 Sideroad 17

Sunderland Ontario

647-297-8300

27 Weller Crescent

Maple Ontario

L6A 1E5

No.	DESCRIPTION	DATE	DATE
			MAY 16, 2022
		SCALE	AS NOTED
5	REVISED FOR M.A.W. APPLICN	MAY 2022	
4	REVISED FOR M.A.W. APPLICN	APR 2022	
3	REVISED FOR M.A.W. APPLICN	MAR 2022	
2	REVISED FOR PERMIT APPLICN	MAR 2022	
1	ISSUED FOR PERMIT APPLICN	JAN 2022	
		DWG. No	21-044
		PAGE	2/3

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
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Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Garrett Dvernichuk, Building Standards Department
Date: May 25, 2022
Applicant: Dino and Claudia Nunno
Location: PLAN RP5590 Lot 162 municipally known as 27 Weller Crescent
File No.(s): A064/22

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	Pool equipment is permitted to encroach a maximum of 1.5 metres into the required rear yard. [4.13, Table 4-1]	To permit the pool equipment to encroach a maximum of 1.59 metres in the required rear yard.
2	The minimum required interior side yard is 2.4 metres. [4.1.2 b.]	To permit a minimum interior side yard of 0.82 m.
3	The maximum permitted lot coverage is 23%. [7.2.2, Table 7-3]	To permit a maximum lot coverage of 33.9%.
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [4.13 3]	To permit the eaves of the proposed accessory building to be a minimum of 0.58 m from the east interior side lot line.

The subject lands are zoned R1V – Old Village Residential under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
5	Pool equipment is permitted to encroach a maximum of 1.5 metres into the required rear yard. [3.14 h) ii)	To permit the pool equipment to encroach a maximum of 1.59 metres in the required rear yard.
6	The minimum required rear yard is 7.5 metres. [4.1.9, Schedule A]	To permit a minimum rear yard of 7.43 metres.
7	The minimum required interior side yard is 1.5 metres. [4.1.9, Schedule A]	To permit a minimum interior side yard of 0.82 metres.
8	The maximum permitted lot coverage is 20%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 30.1%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-102010 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: June 1, 2022

Name of Owner: Dino and Claudia Nunno

Location: 27 Weller Crescent

File No.(s): A064/22

Proposed Variance(s) (By-law 001-2021):

1. To permit the pool equipment to encroach a maximum of 1.59 metres in the required rear yard.
2. To permit a minimum interior side yard of 0.82 m.
3. To permit a maximum lot coverage of 33.9%.
4. To permit the eaves of the proposed accessory building to be a minimum of 0.58 m from the east interior side lot line.

By-Law Requirement(s) (By-law 001-2021):

1. Pool equipment is permitted to encroach a maximum of 1.5 metres into the required rear yard.
2. The minimum required interior side yard is 2.4 metres.
3. The maximum permitted lot coverage is 23%.
4. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.

Proposed Variance(s) (By-law 1-88):

5. To permit the pool equipment to encroach a maximum of 1.59 metres in the required rear yard
6. To permit a minimum rear yard of 7.43 metres
7. To permit a minimum interior side yard of 0.82 metres.
8. To permit a maximum lot coverage of 30.1%.

By-Law Requirement(s) (By-law 1-88):

5. Pool equipment is permitted to encroach a maximum of 1.5 metres into the required rear yard.
6. The minimum required rear yard is 7.5 metres.
7. The minimum required interior side yard is 1.5 metres.
8. The maximum permitted lot coverage is 20%.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

Comments:

The Owner is requesting permission to construct a cabana with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 5, as the proposed pool equipment will be visually screened from the abutting property to the southeast, 25 Weller Court, by an established cedar hedge that runs the length of the mutual side lot line. The hedge is located on the abutting property. Further, the additional 0.09 m of encroachment into the rear yard for the proposed pool equipment is minimal and is considered minor in nature. Sufficient spatial separation is maintained between the pool equipment and rear chain link fence to attenuate any adverse impacts associated with the operation of the equipment.

The Development Planning Department has no objection to Variances 2, 6 and 7 as the minimum rear yard setback and interior side yard setback will not pose a significant visual impact to nor impact the function of the abutting uses. The rear yard setback of 7.43 m and interior side yard setback of 0.82 m also maintains an appropriate area for access and drainage and is not anticipated to impact the uses on the abutting properties.

The existing dwelling, including its eaves, has a lot coverage of 29.6%. The proposed cabana and its eaves will have a lot coverage of 2.55%. The maximum lot coverage is increasing not just because a cabana is proposed, but because the area underneath the eaves is now part of the lot coverage calculation in By-law 001-2021. The cabana coverage is consistent with previous approvals in the City and will not pose a significant visual impact to the adjacent properties or streetscape. As such, the Development Planning Department has no objection to Variances 3 and 8 for the increase in lot coverage.

The Development Planning Department has no objection to Variance 4, as the 0.02 m reduction for the eaves from the east interior side lot line is minor in nature relative to the requirement under Zoning By-law 001-2021.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Adriana MacPherson

Subject: FW: [External] RE: A064/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-30-22 2:56 PM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A064/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP, RPP | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		