



**211 Greenbrooke Drive
Vaughan, ON**

Application #: A131/22

**Meeting Date:
THURSDAY, JUNE 16th, 2022 AT 6:00 P.M.**



Location: Part 4, PLAN 65M2192 Block 21 municipally known as 211
Greenbrooke Drive

File No.(s): A131/22

Zoning Classification:

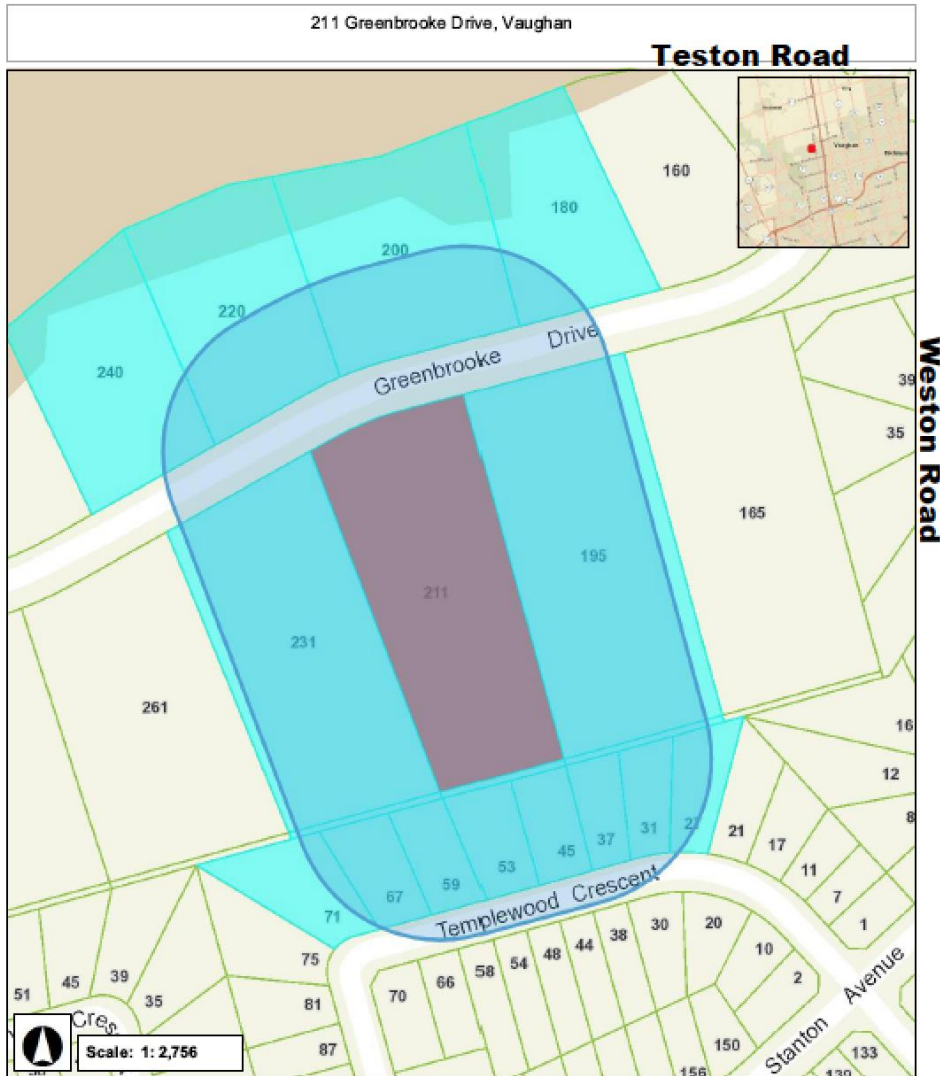
The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The maximum building height shall be a maximum of 9.5 metres for the dwelling. Section 4.5	To permit a maximum building height of 11.8 metres for the dwelling.
2	The minimum interior side yard shall be the existing interior side yards of 17.46 metres and 14.99 metres to the dwelling. Section 4.5	To permit a minimum interior side yard of 4.68 metres and 10.8 metres to the dwelling.
3	The maximum lot coverage for the accessory building shall be 10% or 67.0m ² , whichever is less. S.4.1.3	To permit a maximum lot coverage of 221.7m ² for the accessory building.
4	A maximum building height of 3.0 metres is permitted for the accessory building. Section 4.1.4	To permit a maximum building height of 4.38 metres to the highest point of the accessory building.
5	An outdoor swimming pool shall only be permitted in the rear of a lot. Section 4.21.2	To permit the outdoor swimming pool to not be located within the rear yard.

The subject lands are zoned RR – Rural Residential under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	A maximum building height of 9.5 metres is permitted for the dwelling. Schedule A	To permit a maximum building height of 11.8 metres for the dwelling.
7	The maximum lot coverage for the accessory building shall be 10% or 67.0m ² , whichever is less. S.4.1.1	To permit a maximum lot coverage of 221.7m ² for the accessory building.
8	A private swimming pool shall be only constructed in the rear yard. Section 3.14(j)	To permit the private swimming pool to not be located within the rear yard.

211 Greenbrooke Drive, Vaughan



June 2, 2022 12:21 PM





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211 Greenbrooke Drive, Vaughan, ON
A131/22



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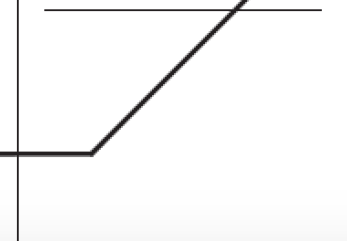


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211 Greenbrooke Drive, Vaughan, ON
A131/22

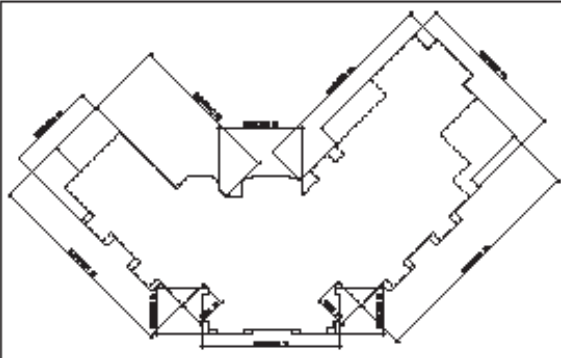


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1 OVERALL NORTH ELEVATION
VP - P-P



2 ELEVATION KEY PLAN
VP - P-P



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

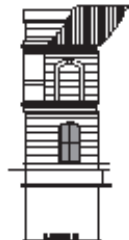


11.8m
#1.#6

3 FRONT ELEVATIONS
VP - P-P



NORTH-EAST ELEVATION



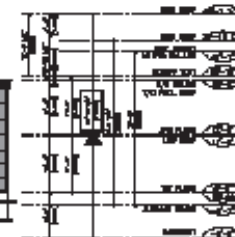
NORTH-WEST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



11.8m
#1.#6

4 FRONT ELEVATIONS
VP - P-P



our cool blue architects inc.
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OCBA

general notes:

1. All dimensions are in millimeters unless otherwise specified.
2. All work shall be in accordance with the latest edition of the Ontario Building Code.
3. The architect is not responsible for the structural design of the building.
4. The architect is not responsible for the mechanical, electrical, and plumbing design of the building.
5. The architect is not responsible for the fire protection design of the building.
6. The architect is not responsible for the accessibility design of the building.
7. The architect is not responsible for the environmental design of the building.
8. The architect is not responsible for the sustainability design of the building.
9. The architect is not responsible for the security design of the building.
10. The architect is not responsible for the safety design of the building.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/11/22
2	ISSUED FOR PERMIT	11/11/22
3	ISSUED FOR PERMIT	11/11/22
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8	ISSUED FOR PERMIT	11/11/22
9	ISSUED FOR PERMIT	11/11/22
10	ISSUED FOR PERMIT	11/11/22



COMMITTEE OF ADJUSTMENT

LAND & 2022

NAME: [] DATE: []

211 Greenbrooke Drive

Vaughan, Ontario

Project Number

Project Name

Project Address

Project Phone

Project Email

Project Website

Project Social Media

Project Portfolio

Project Testimonials

Project Case Studies

Project Press Releases

Project Newsletters

Project Blog

Project Podcast

Project YouTube

Project Instagram

Project Facebook

Project Twitter

Project LinkedIn

Project Nextdoor

Project Zillow

Project Realtor

Project Mortgage

Project Insurance

Project Legal

Project Accounting

Project HR

Project IT

Project Security

Project Compliance

Project Risk Management

Project Quality Management

Project Sustainability

Project Innovation

Project Research & Development

Project Marketing

Project Sales

Project Customer Service

Project Support

Project Training

Project Development

Project Operations

Project Logistics

Project Procurement

Project Finance

Project Administration

Project Management

Project Leadership

Project Strategy

Project Vision

Project Mission

Project Values

Project Culture

Project Environment

Project Community

Project Society

Project World

Project Universe

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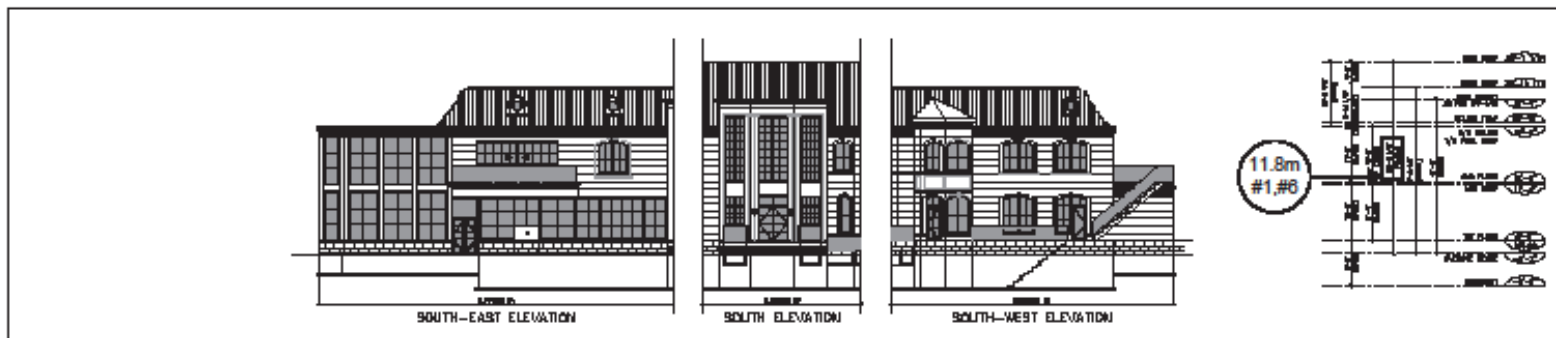
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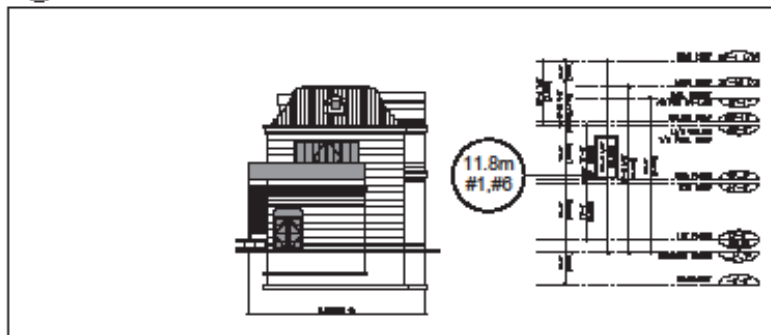
Project Everywhere

Project Anywhere

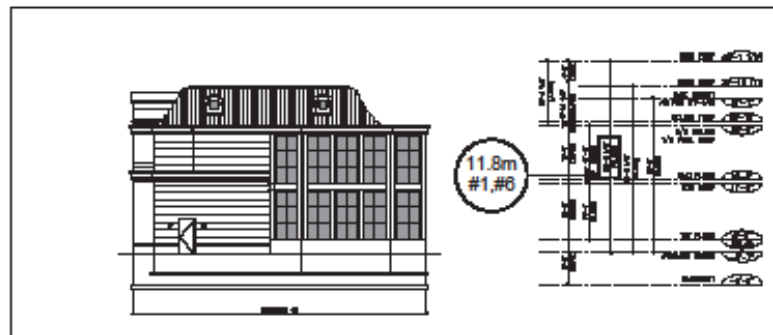
211 Greenbrooke Drive, Vaughan, ON A131/22



1 SOUTH ELEVATION
1/8" = 1'-0"



2 SOUTH-EAST ELEVATION
1/8" = 1'-0"



3 SOUTH-WEST ELEVATION
1/8" = 1'-0"



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fx: 905-363-7677

OCBA

general notes:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 NATIONAL BUILDING CODE OF CANADA (NBC) AND THE 2012 ONTARIO BUILDING CODE (OBC).
2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL ELECTRICAL CODE OF CANADA (NEC) AND THE 2012 ONTARIO ELECTRICAL CODE (OEC).
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL PLUMBING CODE OF CANADA (NPC) AND THE 2012 ONTARIO PLUMBING CODE (OPC).
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL MECHANICAL CODE OF CANADA (MCC) AND THE 2012 ONTARIO MECHANICAL CODE (OMC).
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL FIRE CODE OF CANADA (NFC) AND THE 2012 ONTARIO FIRE CODE (OFC).
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL SAFETY CODE OF CANADA (NSC) AND THE 2012 ONTARIO SAFETY CODE (OSC).
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL ENVIRONMENTAL CODE OF CANADA (NEC) AND THE 2012 ONTARIO ENVIRONMENTAL CODE (OEC).
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL ACCESSIBILITY CODE OF CANADA (NAC) AND THE 2012 ONTARIO ACCESSIBILITY CODE (OAC).
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NATIONAL SUSTAINABLE BUILDING CODE OF CANADA (NSBC) AND THE 2012 ONTARIO SUSTAINABLE BUILDING CODE (OSBC).

NO.	DESCRIPTION	DATE
1	REVISION	11/11/22
2	REVISION	11/11/22
3	REVISION	11/11/22
4	REVISION	11/11/22
5	REVISION	11/11/22
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7	REVISION	11/11/22
8	REVISION	11/11/22
9	REVISION	11/11/22
10	REVISION	11/11/22



COMMITTEE OF ADJUDICATION

APR 11, 2023

NAME

DATE

211 Greenbrooke Drive

Vaughan, Ontario

Project Location

Project Name

Project Number

Project Date

Project Status

Project Notes

Project Comments

Project Details

Project Summary

Project Conclusion

Project Final

Project End

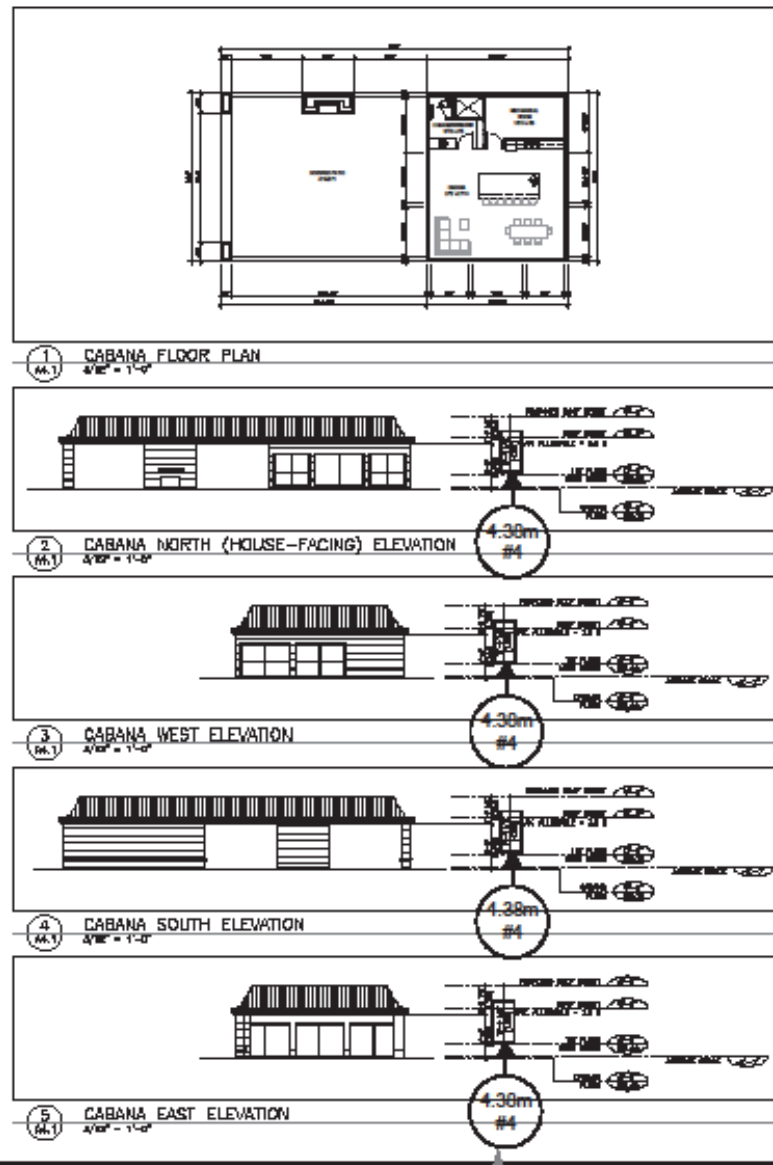
Project Close

Project Done



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OCBA

general notes:

1. All construction to be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
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10. All construction to be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	1.00	CU YD
2	BRICK	1.00	CU YD
3	CEMENT	1.00	CU YD
4	ROOFING	1.00	CU YD
5	PAINT	1.00	CU YD
6	GLASS	1.00	CU YD
7	DOORS	1.00	CU YD
8	WINDOWS	1.00	CU YD
9	CEILING	1.00	CU YD
10	FLOORING	1.00	CU YD



COMMITTEE OF ADJUSTMENT

DATE: 8/1/2022

NAME: S. M. S. (S. M. S. 112)

211 Greenbrooke Drive

Vaughan, Ontario

Owner: S. M. S. (S. M. S. 112)

Architect: S. M. S. (S. M. S. 112)

Engineer: S. M. S. (S. M. S. 112)

Surveyor: S. M. S. (S. M. S. 112)

Inspector: S. M. S. (S. M. S. 112)

11/2

A4.1



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OCBA

general notes:

1. ALL DIMENSIONS IN METERS. VERIFY ALL DIMENSIONS. VERIFY SCALE OF DRAWING.
2. CHECK DIMENSIONS AGAINST SPECIFICATIONS.
3. USE THE LATEST REVISED DIMENSIONS. DIMENSIONS TO THE CENTER OF THE WALL.
4. BEFORE PROCEEDING, CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION. AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS. CONSTRUCTION SHALL BE ACCORDANCE WITH PART 9 AND 10 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAW.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT ANY DISCREPANCIES WITH THESE SECTIONS WHERE APPLICABLE AND BE RE-QUOTED SEPARATELY WITH PART 9 OF THE BUILDING CODE.

DATE	DESCRIPTION	BY
1	ISSUED	CLIENT REVIEW
2	REVISED	CLIENT REVIEW
3	REVISED	CLIENT REVIEW
4	REVISED	CLIENT REVIEW
5	REVISED	CLIENT REVIEW
6	REVISED	CLIENT REVIEW
7	REVISED	COMMITTEE OF ADJUSTMENT



COMMITTEE OF ADJUSTMENT

MEETING 21, 2022

Project No. DRL TK

Page No. 1 of 1

211 Greenbrooke Drive

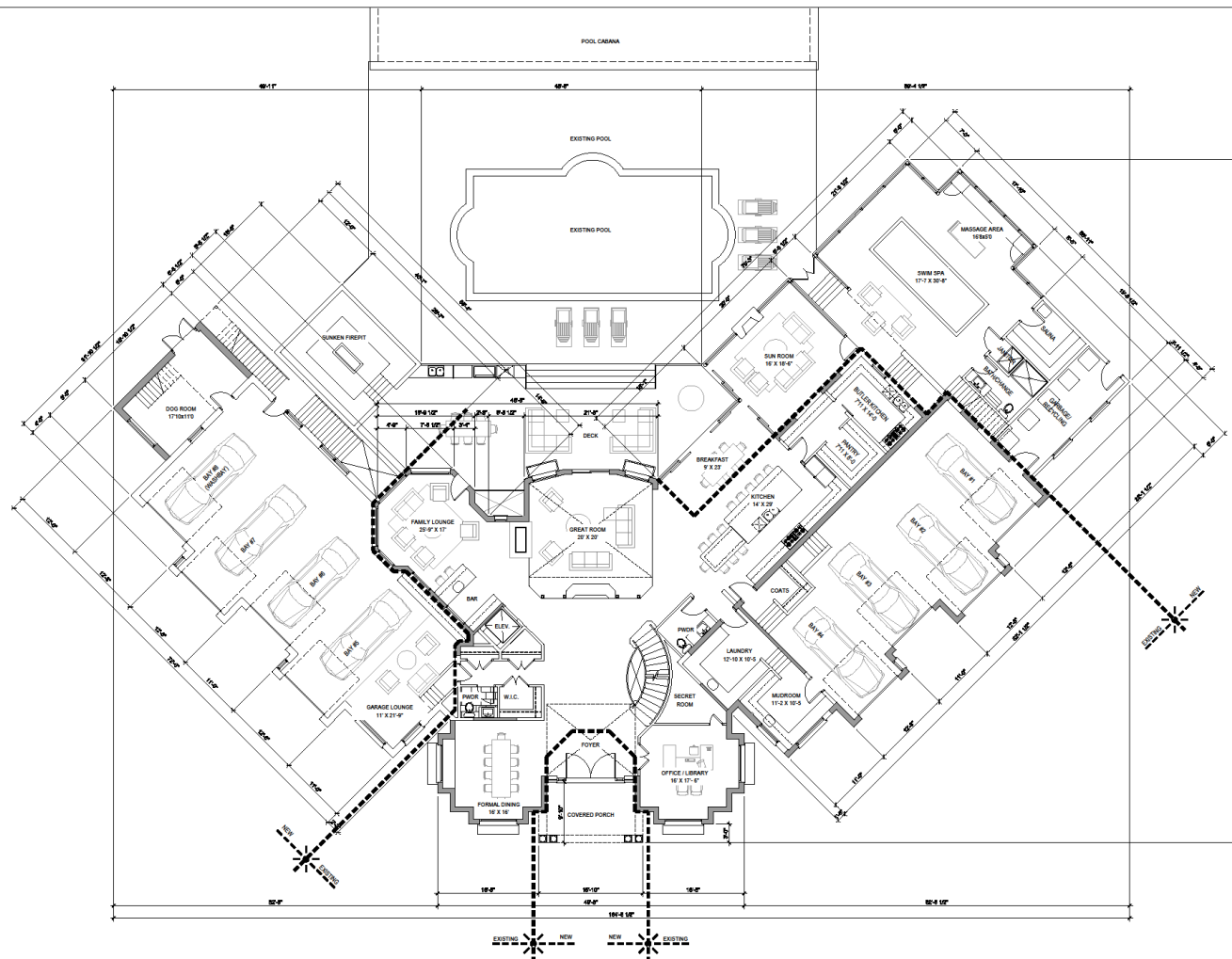
Vaughan, Ontario

Project

Ground Floor Plan

Scale

A2.2



1
A2.2
GROUND FLOOR PLAN
1/8" = 1'-0"

211 Greenbrooke Drive, Vaughan, ON
A131/22



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OCBA

general notes:

1. ALL DIMENSIONS IN IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DIMENSIONS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISIONS.
6. REPORT ANY DISCREPANCIES, DISCOVERED ERRORS OR OMISSIONS TO THE OWNER BEFORE PROCEEDING.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION AND INFORM OWNER OF ALL DISCREPANCIES.
8. DO NOT SCALE THESE DRAWINGS.
9. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BY-LAW OF THE CITY OF MONTREAL AND THE BUILDING CODE AND LOCAL BY-LAWS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SPECIFICATIONS WITHIN THE SCALE AND BE ADJUSTED ACCORDINGLY WITH THE BUILDING CODE.

#	DATE	DESCRIPTION	BY
1	08/01	CLIENT REVIEW	TK
2	01/16/22	CLIENT REVIEW	TK
3	01/16/22	CLIENT REVIEW	TK
4	02/02/22	CLIENT REVIEW	TK
5	02/02/22	CLIENT REVIEW	TK
6	02/02/22	CLIENT REVIEW	TK
7	02/02/22	COMMITTEE OF ADJUSTMENT	TK



COMMITTEE OF ADJUSTMENT

DATE: MARCH 21, 2022

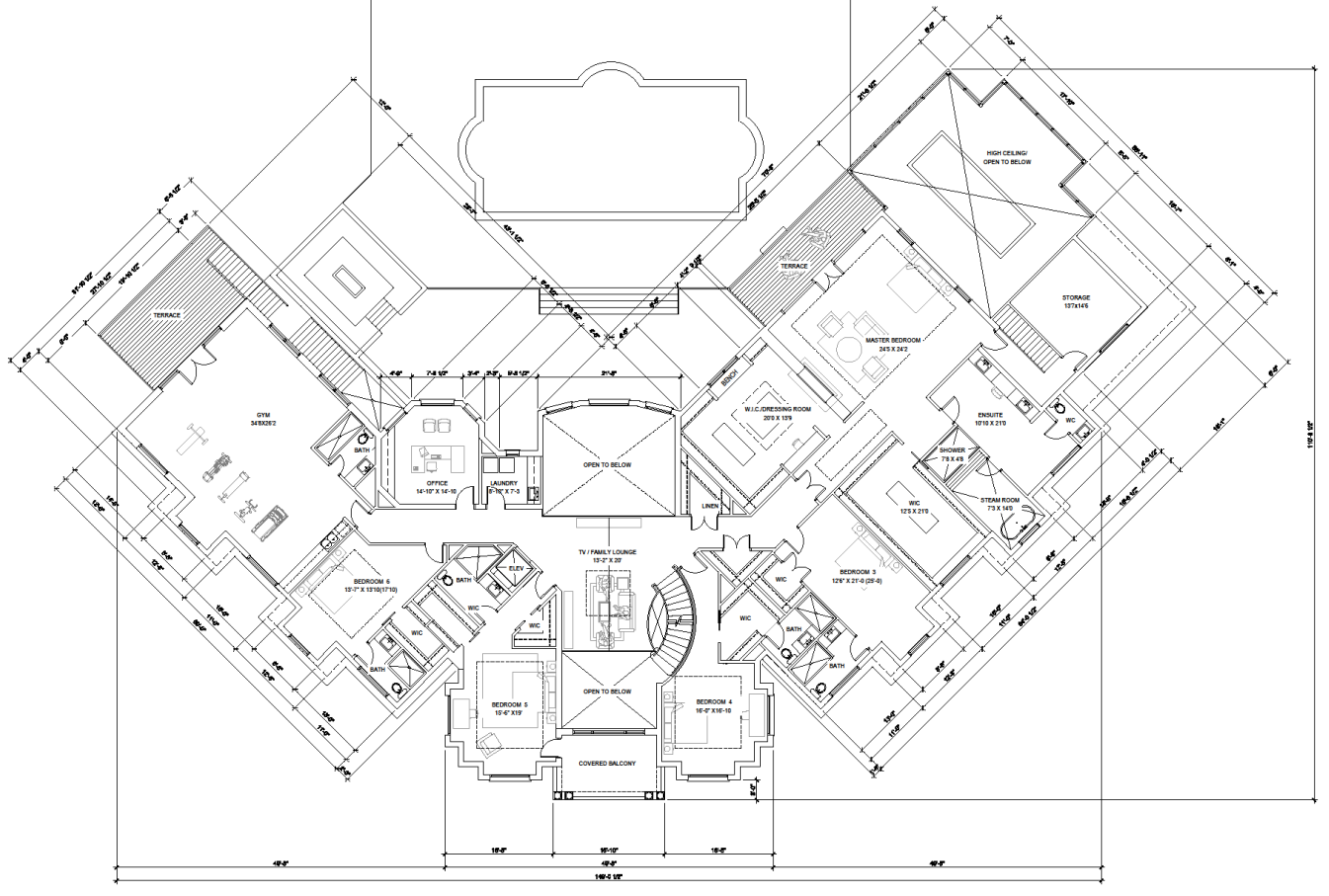
Project No. DRL TK

211 Greenbrooke Drive

Vaughan Ontario

Second Floor Plan

A2.3



1
A2.2
GROUND FLOOR PLAN
1/8" = 1'-0"

211 Greenbrooke Drive, Vaughan, ON
A131/22



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