

**ITEM #: 6.22**

**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A134/22  
51 Marlene Ct Maple**

**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X	X	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision MM/DD/YYYY</b>	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A134/22  
51 Marlene Ct Maple ON L4L 8L3**

**FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment**

<b>ITEM NUMBER:</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Patrizia Donadio
<b>AGENT:</b>	Napa Design Group Inc.
<b>PROPERTY:</b>	51 Marlene Ct Maple ON L4L 8L3
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of an addition to the existing dwelling, a new detached garage and cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.65 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback. Sect. 4.13 table 4-1	To permit an encroachment of 0.91m into the required interior side yard setback.

**The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(138) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
2	The maximum permitted lot coverage is 10% of the lot area. Schedule A	To permit a lot coverage of 11.29% of the lot area (Dwelling 5.18%, Covered Porches 0.01%, Addition 6.10%).
3	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback. Sect. 3.14 a)	To permit an encroachment of 0.91m into the required interior side yard setback.

**HEARING INFORMATION**

<p><b>DATE OF MEETING:</b> Thursday, June 16, 2022  <b>TIME:</b> 6:00 p.m.  <b>MEETING LOCATION:</b> Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  <b>LIVE STREAM LINK:</b> <a href="http://Vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a></p> <p align="center"><b>PUBLIC PARTICIPATION</b></p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>          If you would like to submit written comments, please quote file number above and submit by mail or email to:  <b>Email:</b> <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p><b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p align="center"><b>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b></p>
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## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	June 2, 2022	
<b>Date Applicant Confirmed Posting of Sign:</b>	May 31, 2022	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The homeowners cannot comply as they need the extra space to meet their personal requirements	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING COMMENTS

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed addition in the subject property is over 10.00 m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to variance application A134/22 subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Parks: None  
Forestry: See condition.  
Horticulture: None

<b>PFH Recommended Conditions of Approval:</b>	Parks: None Forestry: Applicant to apply to Forestry for a Private tree Permit. Horticulture: None
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## DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

		Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a> <a href="mailto:andrew.swedlo@vaughan.ca">andrew.swedlo@vaughan.ca</a>	Applicant to apply to Forestry for a Private tree Permit.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

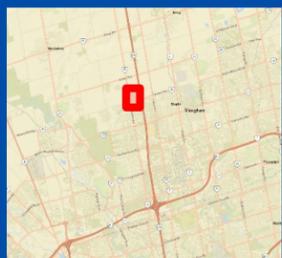
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Map Information:



Title:

**51 MARLENE COURT, MAPLE**

**NOTIFICATION MAP - A134/22**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:6,280

0 0.10 km



Created By:

Infrastructure Delivery  
Department  
May 24, 2022 4:02 PM

Projection:  
NAD 83  
UTM Zone  
17N

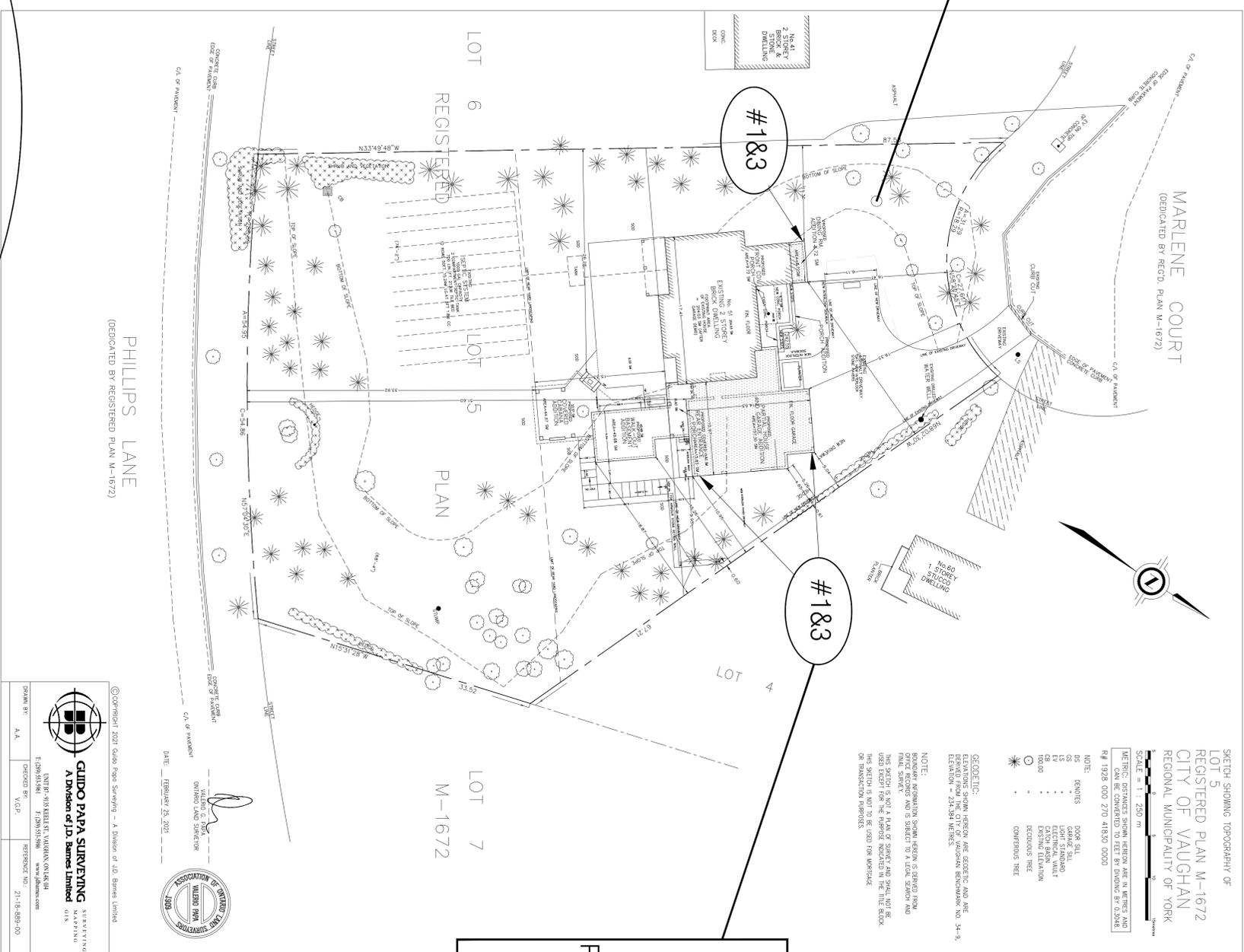
## PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

**Received**  
May 21, 2022

**ITEM #4**  
HARD LANDSCAPE 38.95%  
SOFT LANDSCAPE 61.05%  
SEE DRAWING A1c

**ITEM #2**  
MAX. COVERAGE 10%  
PROP COVERAGE 11.29%

**ITEM #1 & 3**  
MAX. ENCROACHMENT OF EAVES IS .50M INTO A REQD. INT. SIDE YARD SETBACK  
PROP. ENCROACHMENT OF EAVES INTO A REQD. INT. SIDE YARD SETBACK IS 0.91m



**SITE ANALYSIS**

ZONING	RR	RR
LOT AREA	4,414.89 SQ.M.	
EXISTING LOT COVERAGE EXIST. HOUSE & ATTACH. GARAGE	6.53%	28.25 SQ.FT. EXIST. FOOTPRINT
MAX. ALLOWABLE COV.	10.00%	
PROPOSED COV.	11.29%	498.66 SQ.FT. EXIST. FOOTPRINT VARIANCE REQD.
EXIST. HOUSE FOOTPRINT WITH GARAGE ONLY	204.03 SQ.M.	
PROP. GARAGE ADDITION INCL. MATERIAL ON FL. ADDITION	157.30 SQ.M.	
PROP. FRONT & REAR COV. PORCH ADDITION	25.56 SQ.M.	
PROP. FRONT & REAR HOUSE ADDITION (RR#1)	58.40 SQ.M.	
PROP. ATTACHED COV. CABANA ADDITION	53.37 SQ.M.	
TOTAL PROP. ADDITION FOOTPRINT	294.63 SQ.M.	
TOTAL PROP. ADDITION & EX. HOUSE FOOTPRINT	498.66 SQ.M.	
TOTAL FOOTPRINT	498.66 SQ.M.	
PERCENT COVERAGE	11.29%	

**PROPOSED ADDITIONS**

FRONT YARD SETBACK (NORTH)	PROP.	MIN. REQD.	MIN. REQD.
FRONT YARD SETBACK (NORTH)	16.41M	15.00M	
FRONT YARD SETBACK (EAST)	5.04M	4.50M	
FRONT YARD SETBACK (WEST)	23.25M	15.00M	
FRONT YARD SETBACK (SOUTH)	6.91M	9.50M	
HEIGHT U/S OF SOFFIT	5.59M	MIN. REQD.	
FRONT YARD AREA (LANDSCAPING)	2,031.49 SQ.M.		
FRONT YARD SETBACK (LANDSCAPING)	100.00 %		
HARD LANDSCAPING	0.00 %		
SOFT LANDSCAPING	2,031.49 SQ.M.		
HARD LANDSCAPING	0.00 %		
SOFT LANDSCAPING	2,921.80 SQ.M.		
HARD LANDSCAPING	300.48 SQ.M.		

**PROPOSED GRADING / SITE PLAN**

Scale 1:300

Checked LP

DATE FEB 2021

Drawing No. A-1

Project No. 21-000

**GENERAL NOTES**

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL REMAIN THE PROPERTY OF THE DESIGNER IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST PRACTICES AND CONFORM TO THE ONTARIO BUILDING CODE.

**REVISIONS**

No.	REVISION / ISSUE	DATE
1	PERMIT SUBMISSION	FEB 20 2022
2	EAST SIDE SETBACK REVISION	APR 2 2022
3	REVISED PER REV ENG	MAY 21 2022
4	EAST SIDE SETBACK REVISION	FEB 20 2022

**ASSOCIATION OF PROFESSIONAL ENGINEERS**

Valerio G. D'Ala  
ONARIO PROFESSIONAL ENGINEER  
DATE: FEBRUARY 25, 2021

**GUIDO PAPA SURVEYING**  
A Division of J.D. Barnes Limited

ENT BR: 4383 EVELYN ST., VAUGHAN, ON L4K 4L4  
TEL: (905) 853-5881 FAX: (905) 853-5886  
WWW.PAPASURVEYING.COM

PROJECT NO. 21-18-889-00

**PHILLIPS LANE**  
(DEDICATED BY REGISTERED PLAN M-1672)

**REGIS. PLAN M-1672**

**LOT 4, 5, 6, 7**

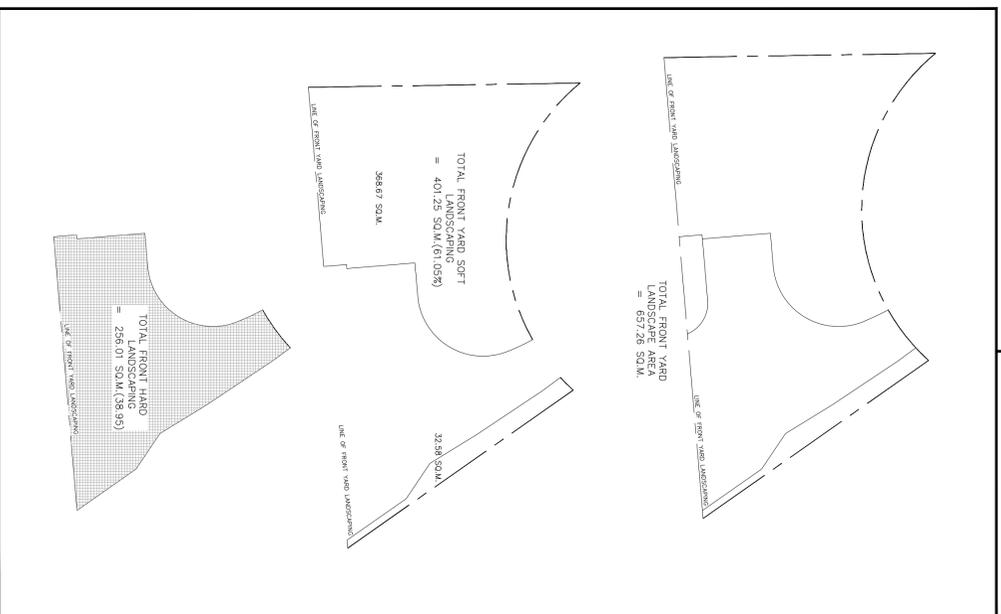
**CLIENT INFORMATION**

**Patrizia Donato and Robert Zepicchi**  
51 Madrone Court  
Vaughan, Ontario  
L4L 8L3  
416 576 7797

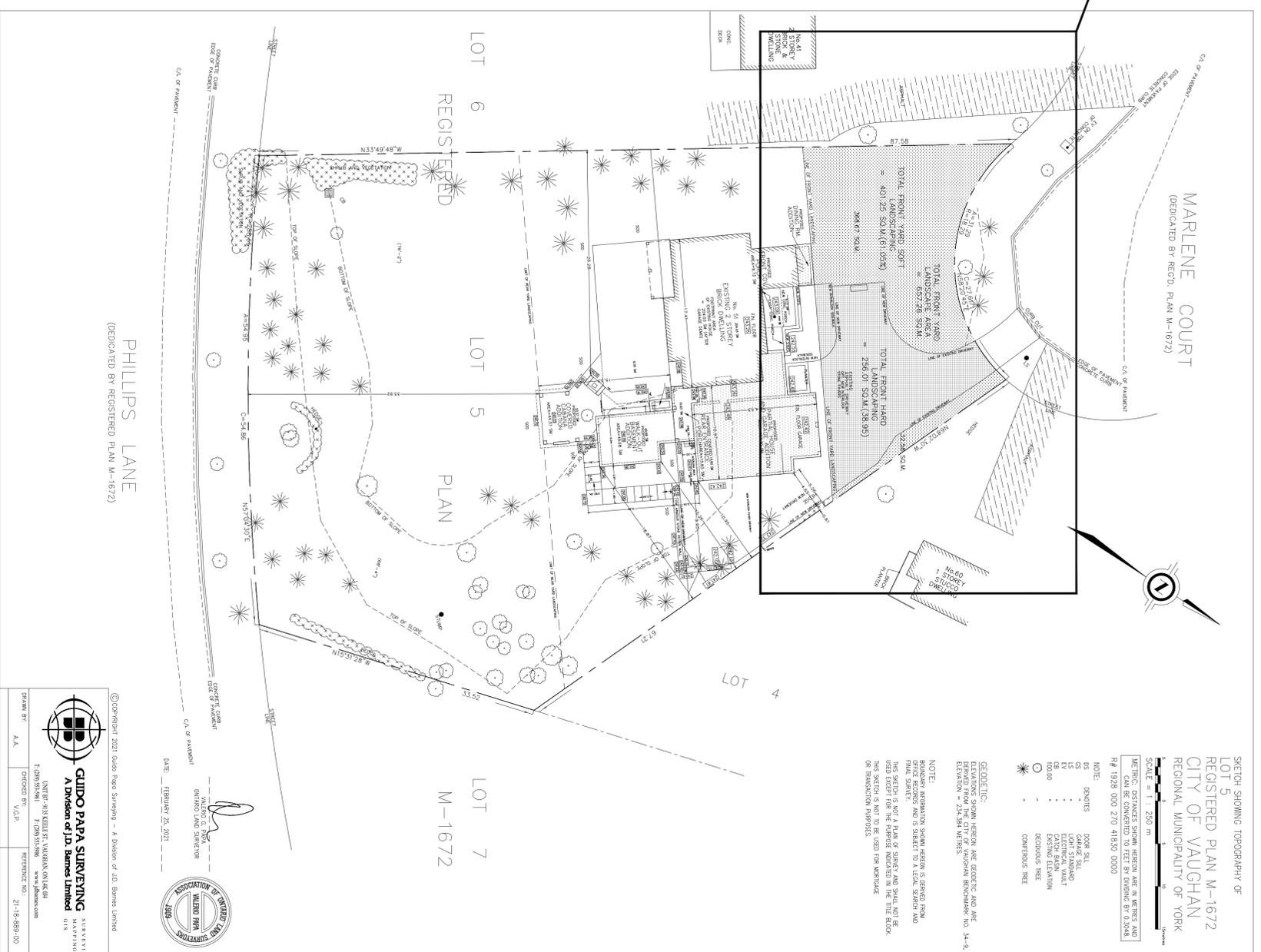
**DESIGNER**

**NAPA design**  
Napa Design Group Inc. 471 Lansdowne Ave.  
Urberville, Ontario L4R7V6  
905 477 3633 M 416 990 6337  
info@napadsg.com

**ITEM #4**  
**HARD LANDSCAPE 38.95%**  
**SOFT LANDSCAPE 61.05%**



**MARLENE COURT**  
 (DEDICATED BY REGD. PLAN M-1672)



SKETCH SHOWING TOPOGRAPHY OF  
**LOT 5**  
**REGISTERED PLAN M-1672**  
**CITY OF VAUGHAN**  
**REGIONAL MUNICIPALITY OF YORK**

SCALE = 1 : 250

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

REF: 1928 000 270 41850 0000

NOTE:  
 DENOTES: DOOR SILL  
 ○ GROUND FINISH  
 ○ ELECTRICAL WALT  
 ○ EXISTING ELEVATION  
 ○ DECKING FINE  
 ○ CONCRETE FINE

GEOMETRIC:  
 ELEVATIONS SHOWN HEREON ARE GEOMETRIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 34-9, ELEVATION = 245.34 METRES.

NOTE:  
 ALL INFORMATION FROM HEREON IS DERIVED FROM OFFICE RECORDS AND IS SUBJECT TO A LOCAL SEARCH AND FINAL SURVEY. THE PLAN OF RECORD IS THE FINAL AND TRUE COPY FOR THE PURPOSES OF THE REGISTRATION OF THIS PLAN. THE PLAN OF RECORD IS THE TRUE COPY FOR THE PURPOSES OF THE REGISTRATION OF THIS PLAN. THIS SKETCH IS NOT TO BE USED FOR WORKFACE OR BENCHMARK PURPOSES.

Valerio G. PAPA  
 ONTARIO LAND SURVEYOR  
 ASSOCIATION OF ONTARIO LAND SURVEYORS  
 1988

DATE: FEBRUARY 25, 2021

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**GUIDO PAPA SURVEYING** SURVEYING  
 A Division of J.D. Barnes Limited

ENT BR: 4838 VENT ST, VAUGHAN, ON L4K 4L4  
 TEL: (905) 851-8881 FAX: (905) 851-8888  
 WWW.GUIDOPAPA.COM

DRAWN BY: A.A. CHECKED BY: V.G.P. REFERENCE NO.: 21-1E-889-00

PROPOSED  
**Grading / Site Plan**  
 SCALE 1:300 metric

**Received**  
**May 16, 2022**



**SITE ANALYSIS**

ZONING: RR

LOT AREA: 4,414.89 SQ.M.

EXISTING LOT COVERAGE EXIST. HOUSE & ATTACH. GARAGE: 6.53%

MAX. ALLOWABLE COV.: 10.00%

EXIST. HOUSE FOOTPRINT AREA GARAGE: 204.03 SQ.M.

PROP. GARAGE ADDITION AREA: 25.56 SQ.M.

PROP. FRONT & REAR COV. PORCH ADDITION: 58.40 SQ.M.

PROP. FRONT & REAR HOUSE ADDITION: 53.37 SQ.M.

PROP. ATTACHED COV. CABANA ADDITION: 294.83 SQ.M.

TOTAL PROP. ADDITION & EX. HOUSE FOOTPRINT: 498.66 SQ.M.

TOTAL FOOTPRINT: 498.66 SQ.M.

PERCENT COVERAGE: 11.29%

**PROPOSED ADDITIONS:**

FRONT YARD SETBACK (NORTH): 6.53%

FRONT YARD SETBACK (EAST): 10.00%

FRONT YARD SETBACK (WEST): 10.00%

FRONT YARD SETBACK (SOUTH): 10.00%

HEIGHT U/S OF SOFFIT: 5.59M

FRONT YARD AREA (LANDSCAPING): 2,031.49 SQ.M.

FRONT YARD AREA (LANDSCAPING): 2,031.49 SQ.M.

HARD LANDSCAPING: 0.00 %

SOFT LANDSCAPING: 0.00 %

**MIN. REQ'D:**

MIN. REQ'D: 15.00M

MIN. REQ'D: 4.50M

MIN. REQ'D: 15.00M

MIN. REQ'D: 9.50M

MIN. REQ'D: 5.59M

FRONT YARD AREA (LANDSCAPING): 2,921.80 SQ.M.

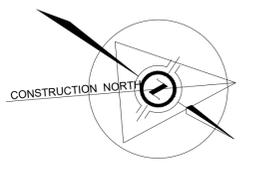
FRONT YARD AREA (LANDSCAPING): 2,921.80 SQ.M.

HARD LANDSCAPING: 300.48 SQ.M.

SOFT LANDSCAPING: 2,621.32 SQ.M.

**GENERAL NOTES**

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND WILL BE RETURNED TO THE DESIGNER IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION.  
 DO NOT SCALE DRAWINGS.  
 ALL CONSTRUCTION TO BE ACCORDING TO BEST PRACTICES AND CONFORM TO THE ONTARIO BUILDING CODE.



The undersigned has reviewed and takes responsibility for this drawing and the information contained therein. The undersigned is a qualified professional in the field of land surveying and is registered with the Association of Ontario Land Surveyors. The undersigned is not to be used for workface or benchmark purposes.

REGISTRATION NO.: 23882  
 BUILDING CODE: 3388  
 REQUIRED UNDER DESIGN IS MANDATORY UNDER 21.1(4) OF THE BUILDING CODE  
 MANDATORY UNDER 21.1(4) OF THE BUILDING CODE



No.	REVISION / ISSUE	DATE
1	FRONT SUBMISSION	FEB 20 2022
2	EAST SIDE SETBACK REVISION	APR 2 2022
3	FRONT SUBMISSION	FEB 20 2022

**NAPA design**

Napa Design Group Inc. 471 Lakeshore Ave.  
 Uxbridge, Ontario L8R7V6  
 905 477 3633 M 416 990 6337

PROPOSED  
 RESIDENTIAL ADDITION  
 FOR  
**Patrizia Donatido**  
 and  
**Robert Zepicci**  
 51 Marlene Court  
 Vaughan, Ontario  
 L4L 8L3  
 416 576 7797

Drawing Name: PROPOSED FRONT YARD LANDSCAPING

Drawing No.: LP

Project No.: 21-000

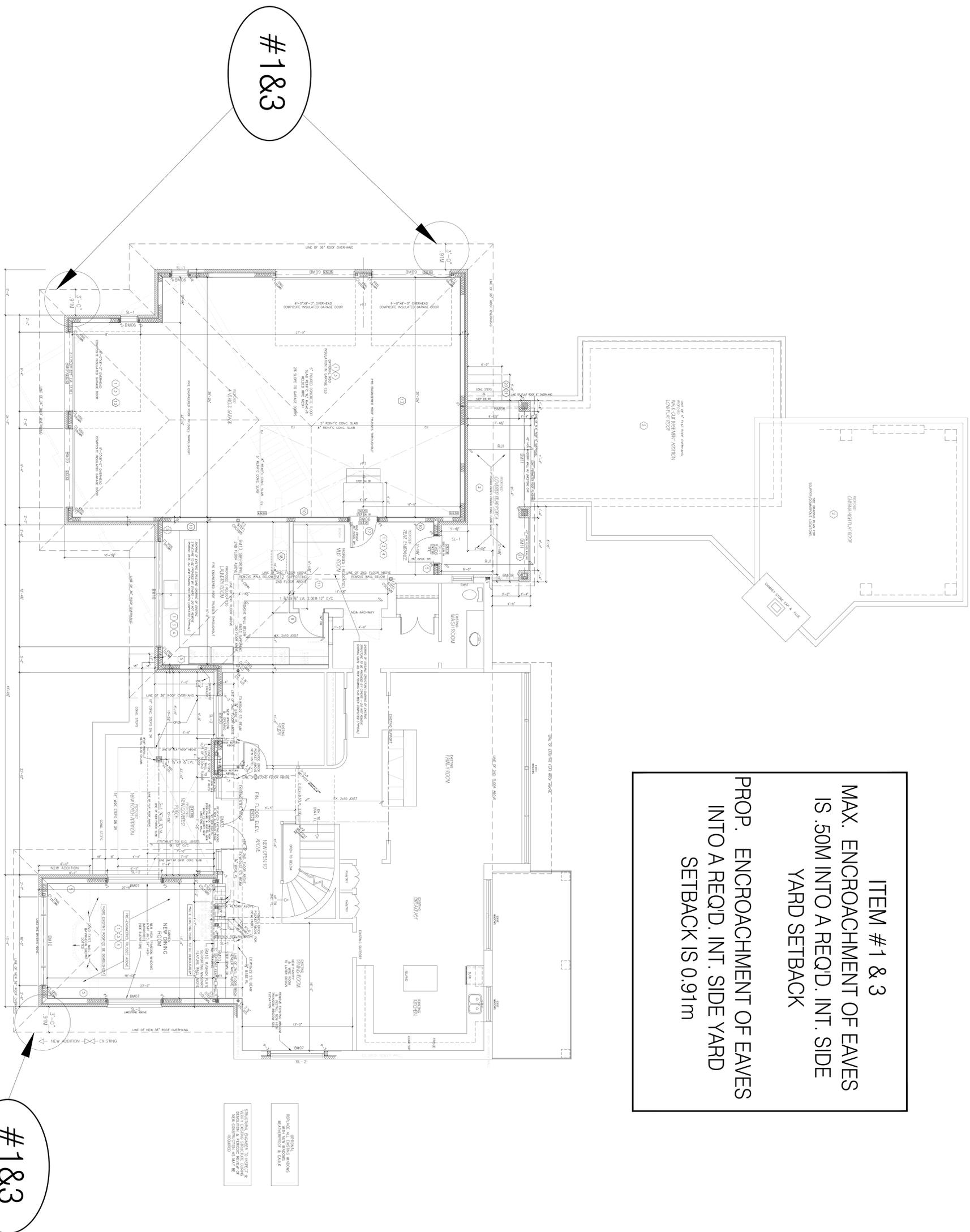
Date: FEB 2021

Scale: 1:300

Checked: LP

**A-1c**

**Received**  
May 16, 2022



**ITEM #1 & 3**  
**MAX. ENCROACHMENT OF EAVES**  
**IS .50M INTO A REQ'D. INT. SIDE**  
**YARD SETBACK**  
**PROP. ENCROACHMENT OF EAVES**  
**INTO A REQ'D. INT. SIDE YARD**  
**SETBACK IS 0.91m**

PROPOSED  
**Basement Floor Plan**  
 SEE STRUCTURAL NOTES ON A-3  
 SCALE 1/4" = 1'-0"

**#1&3**

**GENERAL NOTES**

1. THE DRAWING IS TO BE CONSIDERED AS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE CONSULTATION OF THE ARCHITECT.
2. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE RESULTS OF ANY INVESTIGATION OR ANALYSIS CONDUCTED BY OTHER PROFESSIONALS.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE RESULTS OF ANY INVESTIGATION OR ANALYSIS CONDUCTED BY OTHER PROFESSIONALS.

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STRUCTURAL ONLY

No.	REVISION / ISSUE	DATE
1	ISSUED FOR CONSTRUCTION	MAR 22 2022
2	ISSUED FOR CONSTRUCTION	MAR 22 2022
3	ISSUED FOR CONSTRUCTION	MAR 22 2022
4	ISSUED FOR CONSTRUCTION	MAR 22 2022
5	ISSUED FOR CONSTRUCTION	MAR 22 2022

**NAPM design**

Napim Design Group Inc. 27 Lakeshore Ave.  
 University Heights, Ontario M8H 5L6  
 416-291-2833 416-898-8337

PROJECT: PROPOSED RESIDENTIAL ADDITION  
 DONALDA BARTIZA AMA and ROBERT ZEPPIET  
 51 Madison Court  
 Vaughan, Ontario  
 416-510-7197

**BASMENT FLOOR PLAN**

Drawn by: [Name]  
 Project No: [Number]  
 Date: FEB 2021  
 Scale: 1/4" = 1'-0"  
 Sheet: **A-3**

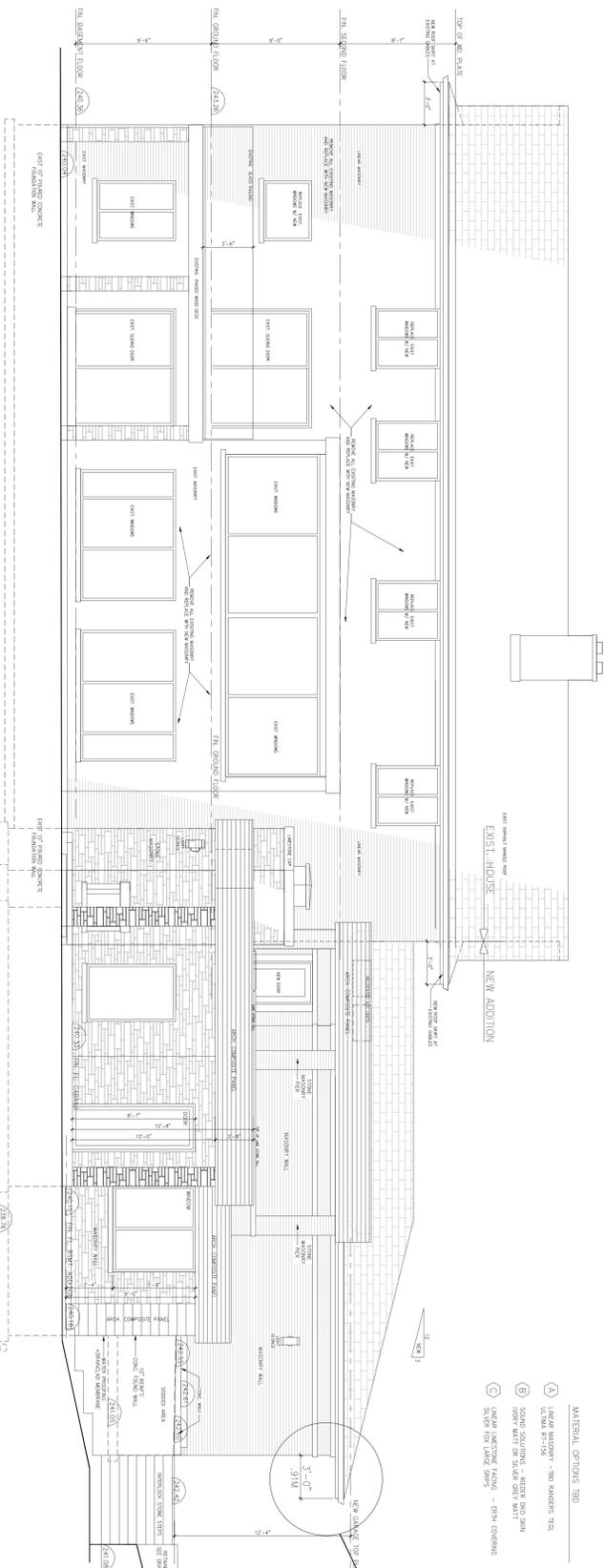
Received

May 16, 2022



#1&3

ITEM #1 & 3  
MAX. ENCROACHMENT OF EAVES  
IS .50M INTO A REQ'D. INT. SIDE  
YARD SETBACK  
PROP. ENCROACHMENT OF EAVES  
INTO A REQ'D. INT. SIDE YARD  
SETBACK IS 0.91m

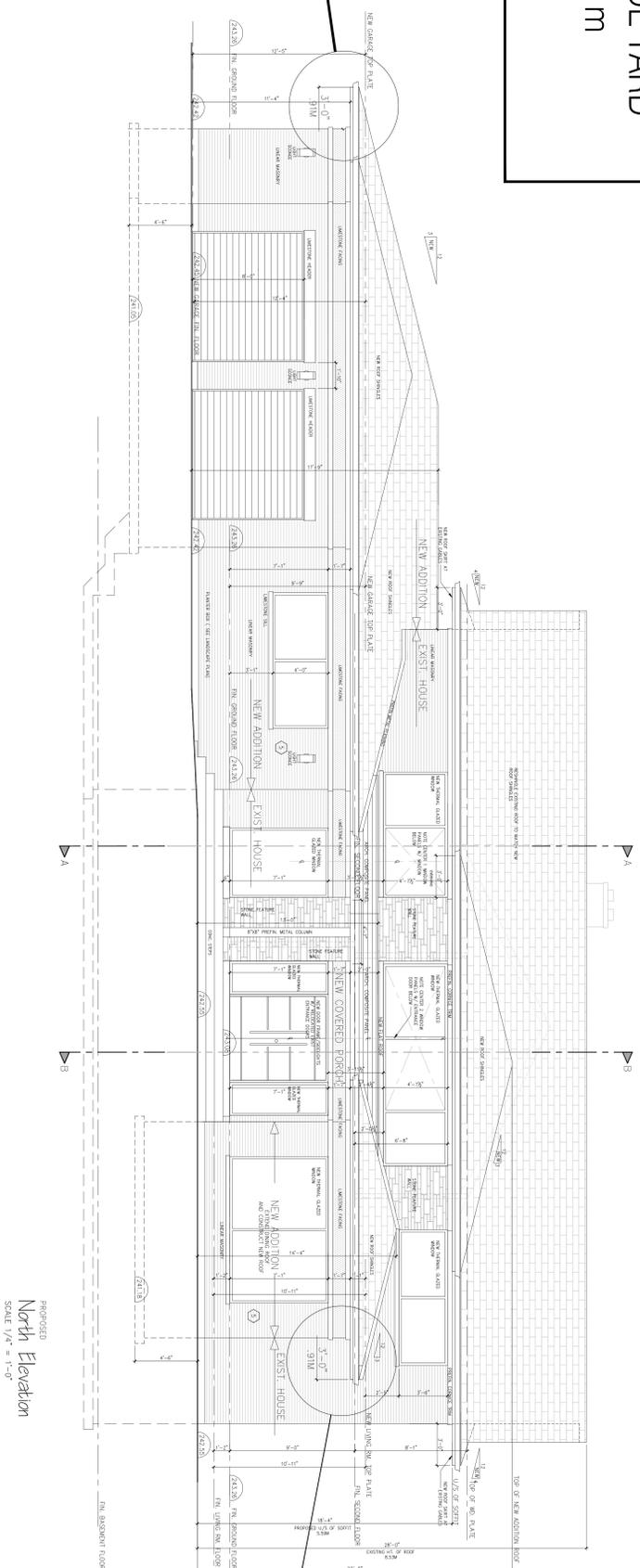


PROPOSED  
South Elevation  
SCALE 1/4" = 1'-0"

- MATERIAL OPTIONS (B):
- A) WINDOW MATERIALS - TBD AWAYERS FTD.
  - ULTRAM R-1750E
  - B) SLAB FINISHES - WHITE AND TAN
  - ROVER MATTE OR SILVER GREY MATTE
  - C) LAMPA LIGHTING FIXTURES - 30W COMPACT
  - SLIVERS FOR LAMPA STRIPS

#1&3

#1&3



PROPOSED  
North Elevation  
SCALE 1/4" = 1'-0"

**GENERAL NOTES**

1. THE DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

2. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS OR FOR THE PERFORMANCE OF ANY OTHER WORKS.

3. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ASSUMPTIONS STATED HEREIN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

4. THE ARCHITECT'S DESIGN IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE OBTAINING OF ANY PERMITS OR FOR THE COMPLIANCE WITH ANY REGULATIONS.

5. THE ARCHITECT'S DESIGN IS SUBJECT TO THE APPROVAL OF THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE OBTAINING OF ANY PERMITS OR FOR THE COMPLIANCE WITH ANY REGULATIONS.

PROPOSED  
SOUTH & NORTH  
ELEVATION  
SCALE 1/4" = 1'-0"

DATE: FEB 2021

PROJECT NO: A-5



No.	REVISION / ISSUE	DATE
1	ISSUED FOR PERMITTING	FEB 2021
2	ISSUED FOR CONSTRUCTION	MAR 2022
3	ISSUED FOR CONSTRUCTION	MAR 2022
4	ISSUED FOR CONSTRUCTION	MAR 2022
5	ISSUED FOR CONSTRUCTION	MAR 2022

**NAPSA**  
design

Napoli Design Group Inc.  
77 Lakeshore Blvd. East  
Unit 1000  
Toronto, Ontario M5S 1A5  
416-491-7888

PROJECT: PROPOSED RESIDENTIAL ADDITION  
RESIDENT: Donatella Parizta Ama and Robert Zepfert  
51 Madison Court  
Vaughan, Ontario  
L4R 1S3  
416-518-7197

Project No: A-5  
Drawing No: FEB 2021  
Scale: 1/4" = 1'-0"

**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** May 13, 2022  
**Applicant:** Patrizia Donadio  
**Location:** PLAN M1672 Lot 5 municipally known as 51 Marlene Court  
**File No.(s):** A134/22

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.65 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback.  Sect. 4.13 table 4-1	To permit an encroachment of 0.91m into the required interior side yard setback.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(138) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	The maximum permitted lot coverage is 10% of the lot area.  Schedule A	To permit a lot coverage of 11.29% of the lot area.
3	The maximum permitted encroachment for an eaves is 0.50m. into the required interior side yard setback.  Sect. 3.14 a)	To permit an encroachment of 0.91m into the required interior side yard setback.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 22-106491 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** June 8, 2022  
**Name of Owner:** Patrizia Donadio  
**Location:** 51 Marlene Court  
**File No.(s):** A134/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit an encroachment of 0.91 m into the required interior side yard setback.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum permitted encroachment for an eave is 0.50 m into the required interior side yard setback.

**Proposed Variance(s) (By-law 1-88):**

2. To permit a lot coverage of 11.29% of the lot area.
3. To permit an encroachment of 0.91 m into the required interior side yard setback.

**By-Law Requirement(s) (By-law 1-88):**

2. The maximum permitted lot coverage is 10% of the lot area.
3. The maximum permitted encroachment for an eave is 0.50 m into the required interior side yard setback.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting to permit the construction of additions to the existing 2-storey dwelling with the above noted variances. Expansions to the north, east, and south sides are proposed.

The Development Planning Department has no objection to Variances 1 and 3 as the proposed 0.91 m eaves are sufficiently set back from any lot line and will not pose a significant visual impact to the adjacent properties.

Portions of the existing building will be demolished to make room for the additions, which will include a garage, cabana, covered porches, and living space. The existing dwelling has a lot coverage of 6.53%. The retained portion of the original dwelling, living space expansions, cabana, and covered porches will have lot coverages of 4.62%, 4.89%, 1.21% and 0.58% respectively. The total lot coverage is suitable for the context of the existing neighbourhood, will not pose a significant visual impact to the adjacent properties, and complies with Zoning By-law 001-2021. As such, the Development Planning Department has no objection to Variance 2 for the increase in lot coverage.

In support of the application, the Owner has submitted an Arborist Report prepared by Noica Consulting Inc., dated March 12, 2022. The report inventoried 67 trees, one of which is proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I

David Harding, Senior Planner

**Date:** May 25<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A134-22**

**Related Files:**

**Applicant** Patrizia Donadio

**Location** 51 Marlene Court



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

## Lenore Providence

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**Subject:** FW: [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

**From:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

**Sent:** May-31-22 12:05 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

Hi Lenore,

The subject property (51 Marlene Court) is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit and TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments and no objection to the application.

Regards,

**Hamedeh Razavi** MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:4166616600) ext. 5256

E: [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



*TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca) We thank you for your cooperation as we respond to the current situation.*

**Lenore Providence**

---

**Subject:** FW: [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

**From:** Gordon, Carrie <carrie.gordon@bell.ca>

**Sent:** May-25-22 8:10 AM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

Hello Lenore

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

*Carrie Gordon*



Associate, External Liaison  
Right of Way Control Centre  
140 Bayfield St, Fl 2  
Barrie ON, L4M 3B1  
T: 705-722-2244/844-857-7942  
F :705-726-4600

**Lenore Providence**

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**Subject:** FW: [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** May-26-22 3:50 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A134/22 - ZONING REVIEW COMPLETE (ACTION REQUIRED)

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP, RPP** | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None