

| | |
|---------------------|---|
| ITEM #: 6.20 | COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A132/22 80 York Hill Blvd, Thornhill |
|---------------------|---|

COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|--|------------|-------------------|------------|---------------------------------|
| Committee of Adjustment | X | X | | General Comments |
| Building Standards -Zoning Review <i>*Schedule B</i> | X | X | | General Comments |
| Building Inspection (Septic) | X | | | No Comments Recieved to Date |
| Development Planning <i>*Schedule B</i> | X | X | X | Recommend Approval w/Conditions |
| Development Engineering | X | X | X | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | X | X | | No Comments or Concerns |
| By-law & Compliance, Licensing & Permits | X | | | No Comments Recieved to Date |
| Development Finance | X | X | | No Comments or Concerns |
| Real Estate | | | | |
| Fire Department | X | | | No Comments Recieved to Date |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA <i>*Schedule B</i> | X | X | | General Comments |
| Ministry of Transportation (MTO) <i>*Schedule B</i> | X | | | No Comments Recieved to Date |
| Region of York <i>*Schedule B</i> | X | X | | General Comments |
| Alectra <i>*Schedule B</i> | X | X | | General Comments |
| Bell Canada <i>*Schedule B</i> | X | X | | No Comments Recieved to Date |
| YRDSB <i>*Schedule B</i> | X | X | | General Comments |
| YCDSB <i>*Schedule B</i> | | | | |
| CN Rail <i>*Schedule B</i> | | | | |
| CP Rail <i>*Schedule B</i> | | | | |
| TransCanada Pipeline <i>*Schedule B</i> | X | | | No Comments Recieved to Date |
| Metrolinx <i>*Schedule B</i> | | | | |
| Propane Operator <i>*Schedule B</i> | | | | |

PUBLIC & APPLICANT CORRESPONDENCE
Please see **Schedule C of this report for a copy of the public & applicant correspondence listed below.*

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------------------------------|---------------------------|-------------------------------|---|
| Applicant | Weston Consulting | | | Cover Letter submitted with application |
| Public | David Hayempour | 37 Gailcrest, Thornhill | 6/7/2022 | Letter of Support |
| Public | Avrohom & Gail Baumwolspiner | 37 Jenstar Way, Thornhill | 6/8/2022 | Letter of Support |
| Public | David Horowitz | 113 Lisa Crescent | 6/9/2022 | Letter of Support |
| Public | Julian Lebowitz | 131 York Hill Blvd | 6/7/2022 | Letter of Support |

| PREVIOUS COA DECISIONS ON THE SUBJECT LAND | | |
|--|--------------------------------|------------------|
| *Please see Schedule D for a copy of the Decisions listed below | | |
| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
| None | | |
| ADJOURNMENT HISTORY | | |
| * Previous hearing dates where this application was adjourned by the Committee and public notice issued. | | |
| None | | |



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A132/22
80 York Hill Blvd Thornhill**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

| | |
|--|--|
| ITEM NUMBER: 6.20 | CITY WARD #: 5 |
| | |
| APPLICANT: | EITZ CHAIM SCHOOLS |
| | |
| AGENT: | Weston Consulting Group |
| | |
| PROPERTY: | 80 York Hill Blvd Thornhill ON L4J 2N2 |
| | |
| ZONING DESIGNATION: | See Below |
| | |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| | |
| RELATED DEVELOPMENT APPLICATIONS: | DA.19.077. |
| | |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit a two storey addition to the existing school and to facilitate Site Plan Application DA.19.077. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned I1, Institutional and subject to the provisions of Exception 14.272 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 01-2021 | Variance requested |
|---|---|--|
| 1 | A landscape strip of 3.0 metres is required along a lot line which abuts the street line. Table 13-3 | To permit a minimum landscape strip of 2.94 metres along the lot line which abuts the street line. |
| 2 | A minimum landscape strip of 3.0 metres is required along any interior side lot line abutting a Residential Zone. Table 13-3 | To permit a minimum landscape strip of 2.37 metres on the southerly interior side lot line. |

The subject lands are zoned R4 Residential Zone Four and subject to the provisions of Exception 9(471) under Zoning By-law 1-88, as amended

| | Zoning By-law 1-88 | Variance requested |
|---|--|--|
| 3 | A minimum interior side yard of 15.0 metres is required to the building. Schedule "A" | To permit a minimum southerly interior side yard of 8.8 metres |
| 4 | A maximum lot coverage of 20% is permitted. Schedule "A" | To permit a maximum lot coverage of 30.2% (School 14.04%, Addition 16.16%). |
| 5 | Where an Institutional Use abuts the boundary of the lands zoned Residential, a strip of land not less than 2.4 metres in width abutting the boundary of the Residential Zone. Section 3.13 | To permit a strip of land not less than 1.55 metres in width abutting the boundary of the Residential Zone on the northerly interior side and a strip of land not less than 2.37 metres in width on southerly interior side. |
| 6 | A landscape strip of a minimum of 6.0 metres is required along a lot line which abuts the street line. Section 3.13 | To permit a minimum landscape strip of 2.94 metres on a lot line which abuts the street line. |

| HEARING INFORMATION |
|---|
| DATE OF MEETING: Thursday, June 16, 2022 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil |
| PUBLIC PARTICIPATION |
| <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p> |

| INTRODUCTION |
|--|
| <p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p> |

| COMMITTEE OF ADJUSTMENT COMMENTS | | |
|--|--|--|
| Date Public Notice Mailed: | June 2, 2022 | |
| Date Applicant Confirmed Posting of Sign: | May 24, 2022 | |
| Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small> | Two of the three variances are required to legalize the existing condition. The only variance which is related to the proposed development is the lot coverage of the subject property. The new addition to the school building increases the lot coverage to 31% while the permitted lot coverage is 20%. | |
| Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small> | None | |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: | No | |
| <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | | |
| <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> | | |
| <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small> | | |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | | |
| Committee of Adjustment Comments: | None | |
| Committee of Adjustment Recommended Conditions of Approval: | None | |

| BUILDING STANDARDS (ZONING) COMMENTS | |
|---|------|
| **See Schedule B for Building Standards (Zoning) Comments | |
| Building Standards Recommended Conditions of Approval: | None |

| DEVELOPMENT PLANNING COMMENTS | |
|--|---|
| **See Schedule B for Development Planning Comments. | |
| Development Planning Recommended Conditions of Approval: | That all comments on Site Plan Application DA.19.077 be addressed to the satisfaction of the Development Planning Department. |

| DEVELOPMENT ENGINEERING COMMENTS | |
|---|--|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| The Development Engineering (DE) Department does not object to variance application A132/22 subject to the following condition: | |
| Development Engineering Recommended Conditions of Approval: | The Owner/applicant shall obtain approval for the related Site Development Application (DA.19.077) from the Development Engineering (DE) Department. |

| PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS | |
|---|------|
| Forestry: Forestry is currently working with Development planning for the proposed works on this site. Forestry has no comment at this time | |
| PFH Recommended Conditions of Approval: | None |

| DEVELOPMENT FINANCE COMMENTS | |
|--|--|
| <p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p> | |
| Development Finance Recommended Conditions of Approval: | |

| BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS | |
|---|------|
| No comments received to date. | |
| BCLPS Recommended Conditions of Approval: | None |

| BUILDING INSPECTION (SEPTIC) COMMENTS | |
|---|------|
| No comments received to date. | |
| Building Inspection Recommended Conditions of Approval: | None |

| FIRE DEPARTMENT COMMENTS | |
|---|------|
| No comments received to date. | |
| Fire Department Recommended Conditions of Approval: | None |

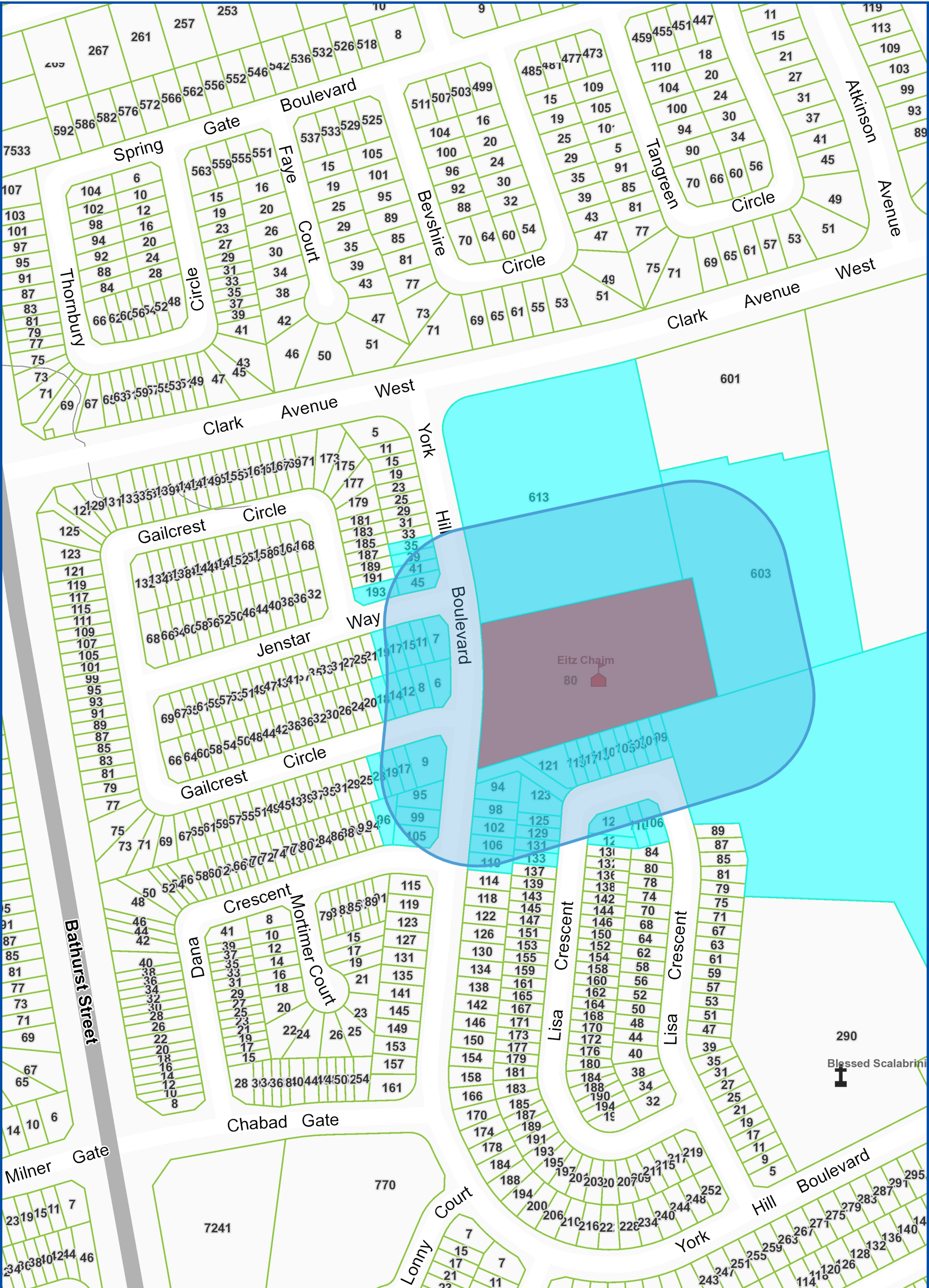
| SCHEDULES TO STAFF REPORT | |
|--|---|
| *See Schedule for list of correspondence | |
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

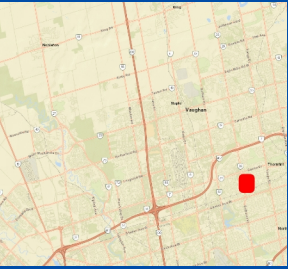
| SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL | | |
|---|--|--|
| All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. | | |
| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
| 1 | Development Planning Michelle.perrone@vaughan.ca | That all comments on Site Plan Application DA.19.077 be addressed to the satisfaction of the Development Planning Department. |
| 5 | Development Engineering farzana.khan@vaughan.ca | The Owner/applicant shall obtain approval for the related Site Development Application (DA.19.077) from the Development Engineering (DE) Department. |

| IMPORTANT INFORMATION – PLEASE READ |
|--|
| <p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p> |

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

80 YORK HILL BOULEVARD, THORNHILL

NOTIFICATION MAP - A132/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 3,302
0 0.05 km



Created By:
Infrastructure Delivery
Department
May 5, 2022 1:58 PM

Projection:
NAD 83
UTM Zone
17N

Eitz Chaim School Springfarm Branch Addition

80 York Hill Blvd, Thornhill ON, L4J 2P6

Issued for Committee of Adjustment

ARCHITECTURAL

Gow Hastings Architects
275 Spadina Rd, Toronto, ON M5R 2V3
416 920 0031

LANDSCAPE

MSLA (Marton Smith Landscape Architects)
170 The Don Way West #206, North York, ON M3C 2G3
416 492 9966

CIVIL

EMC Group Ltd.
7577 Keele St, #200, Concord, ON L4K 4X3
905 738 3939

STRUCTURAL

Atkins + Van Groll Inc.
130 Bridgeland Ave #101, North York, ON M6A 1Z4
416 489 7888

TRAFFIC

LEA Consulting Ltd.
425 University Ave #400, Toronto, ON M5G 1T6
905 470 0015

GEOTECHNICAL

Soil Engineers Ltd.
90 West Beaver Creek Rd #100, Richmond Hill, ON L4B 1E7
416 754 8515

PLANNING

Weston Consulting
201 Millway Avenue, #19, Vaughan, ON L4K 5K8
905 738 8080

MECHANICAL

Quasar Consulting Group
250 Rowntree Dairy Rd, Woodbridge, ON L4L 9J7
905 999 3046

ELECTRICAL

Quasar Consulting Group
250 Rowntree Dairy Rd, Woodbridge, ON L4L 9J7
647 460 8400

COMMUNICATIONS

Quasar Consulting Group
250 Rowntree Dairy Rd, Woodbridge, ON L4L 9J7
905 999 3046

CODE

NSP Consultant
64 Hammersmith Ave, Toronto, ON M4E 2W4
647 385 411

PROJECT MANAGEMENT

Marlex Project Management Inc.
647 518 6615

Drawing List

- A-000

Cover, Drawing List & Consultant List
- A-102

Site Plan
- A-401

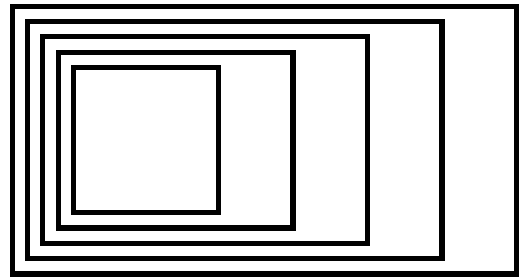
Exterior Elevations



1 Eitz Chaim School Entrance View (West View)



2 Kollel Entrance & Study Hall View (Northwest View)



GOW HASTINGS
ARCHITECTS

275 SPADINA ROAD
TORONTO ONTARIO M5R 2V3
416-920-0031
GOWHASTINGS.COM

ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY BE RETURNED UPON REQUEST. REPRODUCTION OF THE DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN IN WHOLE OR IN PART IS STRICTLY FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED.

| | | |
|---|--|------------|
| 6 | ISSUED FOR COFA | 08/04/2022 |
| 5 | ISSUED FOR SITE DEVELOPMENT APPLICATION 3RD SUBMISSION | 04/04/2022 |
| 2 | SITE DEVELOPMENT APPLICATION 2ND SUBMISSION | 18/11/2021 |

| No. | ISSUED/REVISED | DATE |
|-----|----------------|------|
|-----|----------------|------|

Eitz Chaim School - Springfarm Branch Addition

80 York Hill Blvd, Thornhill, ON L4J 2P6

Cover, Drawing List & Consultant List

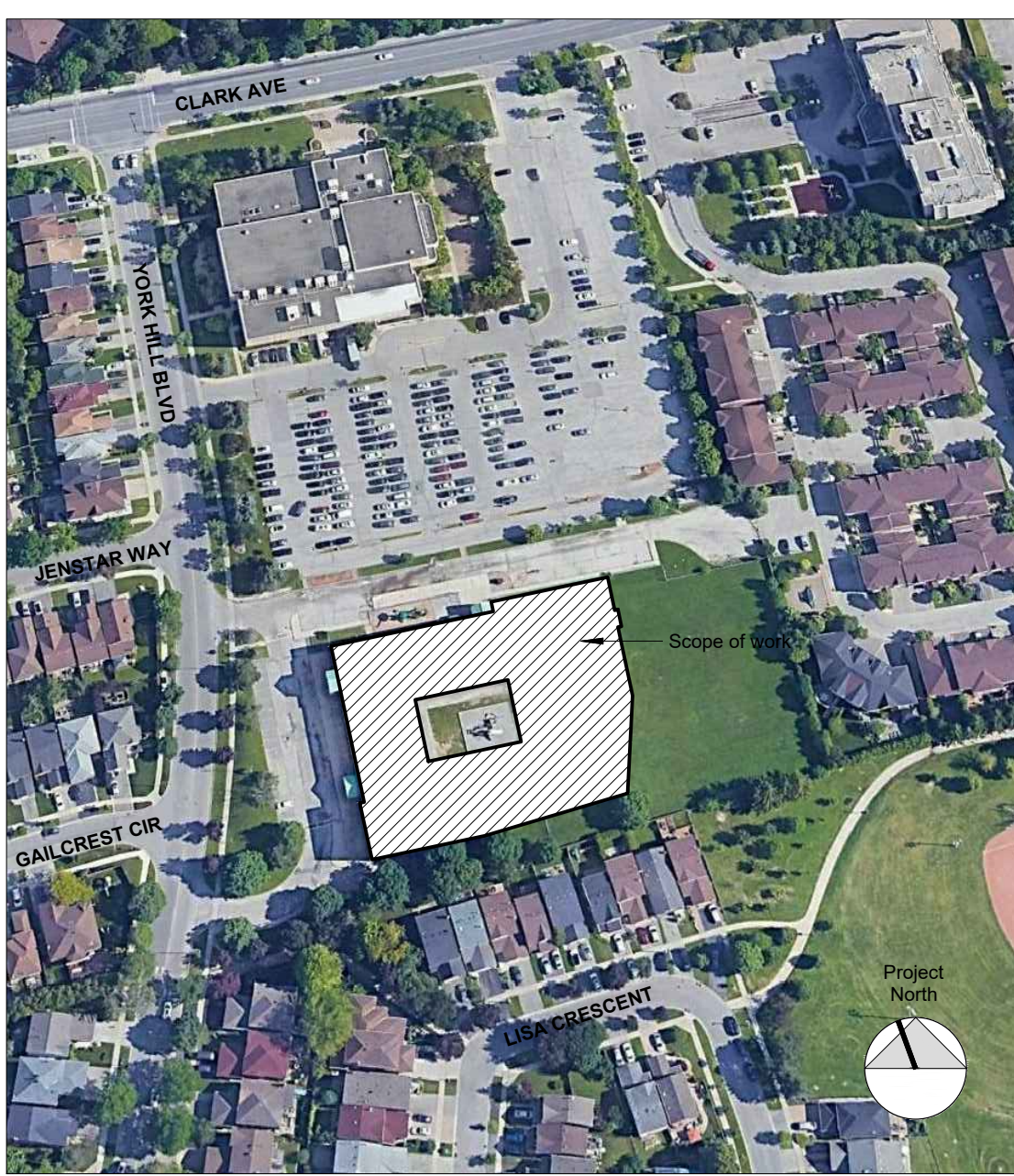
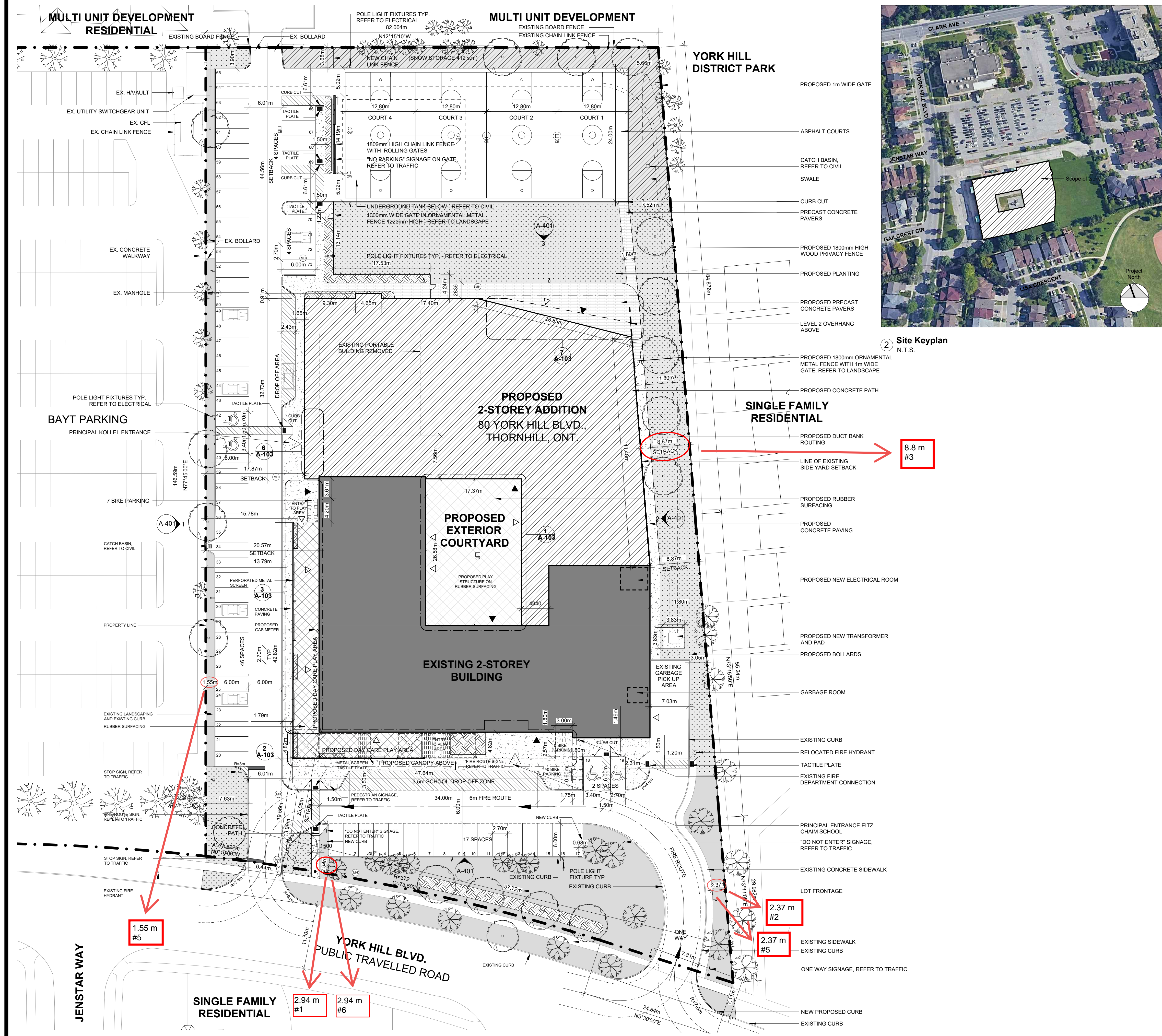
| | |
|-----------------|--------|
| Scale: | |
| Project Number: | 21-118 |
| Drawn By: | KW |
| Checked By: | RW |

06/04/2022 10:30 AM

1 Proposed Site Plan
1 : 350

PLANS PREPARED BY APPLICANT

Received May 13, 2022



2 Site Keyplan
N.T.S.

SITE STATISTICS

ZONE: I1-272 (General Institution Zone) / 1-88 "R4 Residential"

APPLICABLE ZONING BY-LAWS:
City of Vaughan, Comprehensive Zoning By-Law No.001-2021
Comprehensive Zoning By-Law No.1-88

| COVERAGE | AREA (m2) | PERCENTAGE OF LOT (%) |
|----------------------------------|-----------|-----------------------|
| 1) LOT AREA: | 13,764 | |
| 2) FLOOR AREA: | | |
| EXISTING BUILDING GRD FLOOR: | 1,932 | |
| NEW ADDITION GRD FLOOR: | 2,225 | |
| TOTAL AREA FOR COVERAGE: | 4,157 | |
| TOTAL COVERAGE (TOTAL AREA/LOT): | | 30.2% #4 |

| GROSS FLOOR AREA | AREA (m2) |
|----------------------------------|-----------|
| 1) EXISTING | |
| GROUND FLOOR GROSS FLOOR AREA: | 1,893 |
| SECOND FLOOR GROSS FLOOR AREA: | 1,939 |
| TOTAL EXISTING GROSS FLOOR AREA: | 3,832 |
| 2) NEW ADDITION | |
| GROUND FLOOR GROSS FLOOR AREA: | 2,214 |
| SECOND FLOOR GROSS FLOOR AREA: | 1,978 |
| TOTAL ADDITION GROSS FLOOR AREA: | 4,192 |
| TOTAL GROSS FLOOR AREA: | 8,024 |

| HEIGHT AND SETBACKS | DISTANCE(m) |
|-----------------------------------|-------------|
| 1) HEIGHT OF EXISTING | 10.29 |
| 2) HEIGHT OF NEW ADDITION | 9.4 |
| FOR SETBACKS - REFER TO SITE PLAN | |

| SITE COVERAGE | AREA (m2) | PERCENTAGE OF LOT (%) |
|-------------------------|-----------|-----------------------|
| 1) SNOW STORAGE AREA: | 412 | |
| 2) ASPHALT PAVING AREA: | 4,573 | 33.2% |
| 3) LANDSCAPING AREA: | 5,034 | 36.6% |

VEHICLE PARKING REQUIREMENTS (By-Law No.1-88):

| | QUANTITY | REQUIREMENTS (MIN) | TOTAL REQ'D SPACES | TOTAL PROVIDED |
|----------------------------------|----------|--------------------|--------------------|----------------|
| 1) ELEMENTARY SCHOOL CLASSROOMS: | | | | |
| TOTAL CLASSROOMS GRADES 1-8: | 16 | 1.5/CLASSROOM | 24 | |
| 2) DAY CARE: | | | | |
| NUMBER OF EMPLOYEES: | 23 | 1.5/EMPLOYEE | 35 | |
| 3) SCHOOL, POST-SECONDARY | | NO MIN REQ. | 0 | |
| TOTAL PARKING REQUIREMENTS: | | | 59 | 73 |

VEHICLE PARKING REQUIREMENTS (By-Law No.001-2021):

| | QUANTITY | REQUIREMENTS (MIN) | TOTAL REQ'D SPACES | TOTAL PROVIDED |
|----------------------------------|----------|--------------------|--------------------|----------------|
| 1) ELEMENTARY SCHOOL CLASSROOMS: | | | | |
| TOTAL CLASSROOMS GRADES 1-8: | 16 | 1.5/CLASSROOM | 24 | |
| 2) DAY CARE: | | | | |
| NUMBER OF EMPLOYEES: | 23 | 1/EMPLOYEE | 23 | |
| 3) SCHOOL, POST-SECONDARY | | NO MIN REQ. | 0 | |
| TOTAL PARKING REQUIREMENTS: | | | 47 | 73 |

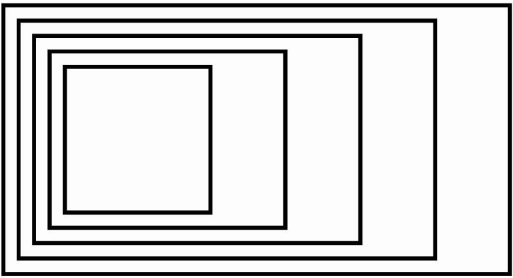
BARRIER-FREE VEHICLE PARKING REQUIREMENTS (Applicable to both By-Laws No.1-88/001-2021):

| | REQUIREMENTS (MIN) | TOTAL REQ'D SPACES | TOTAL PROVIDED |
|---|--------------------|--------------------|------------------|
| 3.8.d.iii/6.4.3 BARRIER-FREE PARKING REQ'S: | 4% OF TOTAL REQ'D | 59 | 73 |
| 3.8.d.i/6.4.2 TYPE A: 3.4m x 5.7m | | 2 | 2 |
| TYPE B: 2.4m x 5.7m | | 2 | 2 |
| TOTAL BARRIER-FREE SPOTS: | | 4 (BARRIER-FREE) | 4 (BARRIER-FREE) |

BICYCLE PARKING REQUIREMENTS (Zoning By-Law No.001-2021):

| | GFA (m2) | REQUIREMENTS (MIN) | TOTAL REQ'D SPACES | TOTAL PROVIDED |
|--|----------|------------------------------|--------------------|----------------|
| 6.5.3 BICYCLE PARKING REQUIREMENTS | | | | |
| 1) SCHOOL, INC. POST SECONDARY SCHOOL GROSS FLOOR AREA WITH EXEMPTIONS AS PER 6.5.7: | 8,024 | | 20 | 22 |
| SHORT TERM (STACK/STAND): | | 0.05 /100m2 OF GFA | 4 | 22 |
| LONG TERM (LOCKER ROOM): | | 0.2/100m2 OF GFA OR 3 SPACES | 16 | 0 |

| | Zoning By-law 1-88 | Variance requested |
|---|---|--|
| 3 | A minimum interior side yard of 15.0 metres is required to the building. Schedule "A" | To permit a minimum southerly interior side yard of 8.8 metres |
| 4 | A maximum lot coverage of 20% is permitted. Schedule "A" | To permit a maximum lot coverage of 30.2% |
| 5 | Where an Institutional Use abuts the boundary of the lands zoned Residential, a strip of land not less than 2.4 metres in width abutting the boundary of the Residential Zone. Section 3.13 | To permit a strip of land not less than 1.55 metres in width abutting the boundary of the Residential Zone on the northerly interior side and a strip of land not less than 2.37 metres in width on southerly interior side. |
| 6 | A landscape strip of a minimum of 6.0 metres is required along a lot line which abuts the street line. Section 3.13 | To permit a minimum landscape strip of 2.94 metres on a lot line which abuts the street line. |



GOW HASTINGS ARCHITECTS

275 SPADINA ROAD
TORONTO ONTARIO M5R 2V3
416-820-0031
GOWHASTINGS.COM

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SITE PLAN LEGEND

| | |
|--|---------------------------|
| | Existing Grass |
| | New Grass |
| | New Storage/Snow Storage |
| | Asphalt |
| | Rubber Surfacing |
| | Precast Concrete Pavers |
| | Pedestrian Crossing Paint |
| | Concrete |
| | Area of Proposed Addition |
| | Existing School |
| | Planting |
| | Wood Soffit |

| | |
|--|--|
| | Entrance |
| | Exit |
| | Existing tree to remain |
| | New Tree |
| | Pole Light Fixture - Refer to Electrical |
| | Recessed Strip Light Fixture - Refer to Electrical |
| | Property Line |
| | Perforated Metal Fence |
| | Chain Link Fence - Refer to Landscape |
| | Wood Fence - Refer to Landscape |
| | Ornamental Metal Fence - Refer to Landscape |
| | Manhole - Refer to Civil |
| | Tactile Plate |
| | Catch Basin - Refer to Civil |

| | | |
|-----|--|------------|
| 6 | ISSUED FOR COFA | 08/04/2022 |
| 5 | ISSUED FOR SITE DEVELOPMENT APPLICATION 3RD SUBMISSION | 06/04/2022 |
| 3 | ISSUED FOR CLIENT REVIEW | 25/03/2022 |
| 2 | SITE DEVELOPMENT APPLICATION 2ND SUBMISSION | 18/11/2021 |
| 1 | ISSUED FOR CLIENT REVIEW | 11/01/2021 |
| No. | ISSUED/REVISED | DATE |

Eitz Chaim School Spring Farm Addition

80 York Hill Blvd., Thornhill, ONT.

Site Plan, Site Statistics and Context Map

Scale: As indicated

Project Number:

21-118

Drawn By:

KW

Checked By:

RW

A-102



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| | |
|------|------------------------------------|
| ACM | Aluminum Composite Material Panels |
| CTW | Curtain Wall |
| AW | Aluminum Window |
| MTL1 | Painted Metal |
| MTL2 | Perforated Metal |
| MTL3 | Perforated Metal |
| ST | Stone |
| BRS | Brick Stain |

| | | |
|----|----------------|------|
| b. | ISSUED/REVISED | DATE |
|----|----------------|------|

York Hill Blvd, Thornhill, ON L4J 2P6

| | |
|--------------------------|--|
| Scale: As indicated | |
| Project Number: 1-118 | |
| Drawn By: S | |
| Checked By: W | |

A-401



| SCHEDULE B: STAFF & AGENCY COMMENTS | | | | |
|--|------------|-------------------|------------|------------------------------------|
| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA *Schedule B | X | X | | General Comments |
| Ministry of Transportation (MTO) *Schedule B | X | | | No Comments Recieved to Date |
| Region of York *Schedule B | X | X | | General Comments |
| Alectra *Schedule B | X | X | | General Comments |
| Bell Canada *Schedule B | X | X | | No Comments Recieved to Date |
| YRDSB *Schedule B | | X | | General Comments |
| YCDSB *Schedule B | | | | |
| CN Rail *Schedule B | | | | |
| CP Rail *Schedule B | | | | |
| TransCanada Pipeline *Schedule B | X | | | No Comments Recieved to Date |
| Metrolinx *Schedule B | | | | |
| Propane Operator *Schedule B | | | | |
| Development Planning | X | X | X | Recommend Approval/with conditions |
| Building Standards (Zoning) | X | | | General Comments |

To: Committee of Adjustment

From: Pia Basilone, Building Standards Department

Date: May 11, 2022

Applicant: EITZ CHAIM SCHOOLS

Location: PLAN M2008 Part of Block 116
PLAN M2008 Part of Block 115 municipally known as 80 York Hill Blvd

File No.(s): A132/22

Zoning Classification:

The subject lands are zoned I1, Institutional and subject to the provisions of Exception 14.272 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 01-2021 | Variance requested |
|---|---|--|
| 1 | A landscape strip of 3.0 metres is required along a lot line which abuts the street line. Table 13-3 | To permit a minimum landscape strip of 2.94 metres along the lot line which abuts the street line. |
| 2 | A minimum landscape strip of 3.0 metres is required along any interior side lot line abutting a Residential Zone. Table 13-3 | To permit a minimum landscape strip of 2.37 metres on the southerly interior side lot line. |

The subject lands are zoned R4 Residential Zone Four and subject to the provisions of Exception 9(471) under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|---|--|--|
| 3 | A minimum interior side yard of 15.0 metres is required to the building. Schedule "A" | To permit a minimum southerly interior side yard of 8.8 metres |
| 4 | A maximum lot coverage of 20% is permitted. Schedule "A" | To permit a maximum lot coverage of 30.2%. |
| 5 | Where an Institutional Use abuts the boundary of the lands zoned Residential, a strip of land not less than 2.4 metres in width abutting the boundary of the Residential Zone. Section 3.13 | To permit a strip of land not less than 1.55 metres in width abutting the boundary of the Residential Zone on the northerly interior side and a strip of land not less than 2.37 metres in width on southerly interior side. |
| 6 | A landscape strip of a minimum of 6.0 metres is required along a lot line which abuts the street line. Section 3.13 | To permit a minimum landscape strip of 2.94 metres on a lot line which abuts the street line. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

| General Comments | |
|------------------|--|
| 7 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

Conditions of Approval:

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: June 8, 2022

Name of Owner: Eitz Chaim Schools

Location: 80 York Hill Boulevard

File No.(s): A132/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum landscape strip of 2.94 metres along the lot line which abuts the street line.
2. To permit a minimum landscape strip of 2.37 metres on the southerly interior side lot line.

By-Law Requirement(s) (By-law 001-2021):

1. A landscape strip of 3.0 metres is required along a lot line which abuts the street line.
2. A minimum landscape strip of 3.0 metres is required along any interior side lot line abutting a Residential Zone.

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum southerly interior side yard of 8.8 metres
4. To permit a maximum lot coverage of 30.2%.
5. To permit a strip of land not less than 1.55 metres in width abutting the boundary of the Residential Zone on the northerly interior side and a strip of land not less than 2.37 metres in width on southerly interior side.
6. To permit a minimum landscape strip of 2.94 metres on a lot line which abuts the street line.

By-Law Requirement(s) (By-law 1-88):

3. A minimum interior side yard of 15.0 metres is required to the building.
4. A maximum lot coverage of 20% is permitted.
5. Where an Institutional Use abuts the boundary of the lands zoned Residential, a strip of land not less than 2.4 metres in width abutting the boundary of the Residential Zone.
6. A landscape strip of a minimum of 6.0 metres is required along a lot line which abuts the street line.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

Comments:

The Owner is requesting relief from the above-noted variances to construct a proposed 2-storey addition to the existing school, Yeshivas Eitz Chaim. The development proposal contemplates the removal of the existing portable(s) to accommodate the addition as well as an interior courtyard for outdoor play, a study hall, classrooms and expand day care facilities.

Related Site Development Application DA.19.077 was submitted to facilitate the proposed development. In order to bring the existing and proposed site features within the Site Development Application into compliance with both By-laws, relief is required.

The Development Planning Department has no objection to Variances 1, 2, 5 and 6 as only the northwestern corner of the front yard parking area and southernmost curve of the driveway entrance would need relief. The remainder of the front yard parking area and driveway entrance complies with By-laws 1-88 and 001-2021. The reduction in a portion of the landscape strips along the lot line which abuts the street line and along the interior side lot line is considered minor in nature, and is appropriate given the lot configuration and existing site conditions.

The Development Planning Department has no objection to Variance 3, as the reduction to the southerly interior side yard proposes to carry on the setback established by the existing southeast corner of the school. A line of trees is also proposed within the reduced southern interior side yard to provide a vegetative buffer to mitigate adverse massing impacts and increase privacy. The proposal will not pose a significant visual impact to nor impact the function of the abutting uses.

The Development Planning Department has no objection to Variance 4, as the increase in total lot coverage is minor in nature and complies to the requirement under Zoning By-law 001-2021.

An Arborist Report prepared by DA White Tree Care, dated April 4, 2022, was submitted in support of the application. The Urban Design Division has reviewed the submitted report and concurs with the recommendations.

The Development Planning Department has no objection to the proposed variances, as they have been reviewed by the Urban Design Division of the Development Planning Department as part of the Site Development Application process and are considered appropriate to facilitate the development.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Plan Application DA.19.077 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Date: June 22nd , 2021

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A132-21**

Related Files:

Applicant: Anthony Bartolini

Location 117 Alistair Cres

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Lenore Providence

Subject: FW: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Stephen Bohan <Stephen.Bohan@trca.ca>

Sent: May-16-22 8:52 AM

To: Committee of Adjustment <CofA@vaughan.ca>

Cc: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Subject: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

The subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit and TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments and no objection to the application.

Stephen Bohan

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5743

E: stephen.bohan@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



Lenore Providence

Subject: FW: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Gordon, Carrie <carrie.gordon@bell.ca>

Sent: May-19-22 9:51 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Christine,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

Lenore Providence

Subject: FW: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-20-22 11:40 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good morning Christine,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP, RPP | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Lenore Providence

Subject: FW: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Pacione, Joseph <joseph.pacione@yrdsb.ca>

Sent: May-27-22 1:25 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A132/22 (80 York Hill Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good afternoon,

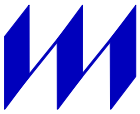
YRDSB does not have any comments regarding the subject application.

Kind regards.

Joseph Pacione
Planner
York Region District School Board
Tel: 905.727.0022, 416.969.7170 **Ext.** 2421
60 Wellington St West
Aurora, ON
L4G 3H2

| |
|--|
| SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE |
|--|

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------------------------------|---------------------------|-------------------------------|---|
| Applicant | Weston Consulting | | | Cover Letter submitted with application |
| Public | David Hayempour | 37 Gailcrest, Thornhill | 6/7/2022 | Letter of Support |
| Public | Avrohom & Gail Baumwolspiner | 37 Jenstar Way, Thornhill | 6/8/2022 | Letter of Support |
| Public | David Horowitz | 113 Lisa Crescent | 6/9/2022 | Letter of Support |
| Public | Julian Lebowitz | 131 York Hill Blvd | 6/7/2022 | Letter of Support |



WESTON CONSULTING

planning + urban design

Development Planning Department
City of Vaughan
2141 Major Mackenzie Dr.
Vaughan, ON L9R 1A1

April 11, 2022
File 8616

Attn: Roberto Simbana
Planner I, Development Planning

Dear Sir,

RE: Minor Variance Application Submission
80 York Hill Boulevard, City of Vaughan
Related Application: DA.19.077

Weston Consulting is the planning consultant for Eitz Chaim Schools, the registered owner of the property municipally addressed as 80 York Hill Boulevard in the City of Vaughan (herein referred to as the "subject property"). This letter has been prepared in support of a Minor Variance application for the subject property to permit the expansion of the existing school.

The purpose of this application is to seek relief from regulations in the City of Vaughan Zoning By-law 1-88 and Zoning By-law 001-2021, which provide various development standards for the site. This Letter provides planning justification in support of the application, along with a review of the variances sought.

Description of Subject Property

The subject property is municipally addressed as 80 York Hill Boulevard, and is located within the Thornhill neighborhood in the southeastern section of the City of Vaughan. The property is generally rectangular in shape and is located on the east side of York Hill Boulevard, south of Clark Avenue West. It has a total lot area of approximately 1.38 hectares (3.4 acres) and a frontage of approximately 98.15 metres along York Hill Boulevard.

The subject property is currently occupied by the Eitz Chaim Schools Vaughan Campus, which includes an existing two-storey private school building with an existing gross floor area ("GFA") of 3,832 m² and associated playground. The property is located immediately south of the Beth Avraham Yoseph of Toronto ("BAYT") Synagogue and site access is achieved directly from York Hill Boulevard.

The subject property is designated "*Low-Rise Residential*" by the City of Vaughan Official Plan. Schools are permitted in all land use designations, including the *Low-Rise Residential* designation.

The property is zoned “R4 – Residential” in Zoning By-law 1-88 and is subject to site-specific exception 9(471). In keeping with the Official Plan, private schools are permitted in all residential zones, including the R4 zone. In accordance to Exception 471, on any lot in a Residential Zone the percentage of the lot area covered by all accessory buildings or structures shall not exceed twenty percent (20%).

The City of Vaughan's Comprehensive Zoning By-law 001-2021 categorizes the subject property as “General Institutional Zone- Exception 272” (I1-272). Exception 272 pertains to other parcels surrounding the subject property and does not limit the subject property to any site-specific zoning criteria. The *General Institutional* zone permits school uses.



Figure 1 - Air Photograph

Description of Development Application

A 2-storey addition to the existing school building is proposed on the subject property and has been reviewed by the City of Vaughan's Planning Department through two submissions of a site plan application (DA.19.077). The proposed expansion has been designed to comply with both Zoning By-law 1-88 and Comprehensive Zoning By-law 001-2021, however relief is required to recognize existing site conditions as well as to bring consistency between both By-laws.

The proposed school expansion contemplates the creation of an interior courtyard for outdoor play, expansion of day care facilities, study hall, classrooms and other support rooms for staff and students. In addition to the primary use of the subject property as an elementary school, there is

an existing licensed day care operating out of the existing building, as are common with schools. It is the intention of Eitz Chaim to maintain and expand the day care use following the building expansion by converting four existing classrooms on the ground floor as a part of the licensed day care. A total of nine rooms are proposed for day care and Montessori purposes. The parking configuration has also been revised to allow for a drop off area near the main entrance of the new addition.

The school expansion proposes an addition of 4,192 m² to the Gross Floor Area (GFA). The combined GFA of both the existing building and the proposed addition, is 8,024 m² which results in a total overall Floor Space Index (FSI) of 0.58 and a lot coverage of 30.2%. No changes to vehicular access to the subject property is proposed and the existing access from York Hill Boulevard are maintained. The submitted site plan proposes a total of 73 vehicular parking spaces, including 4 barrier-free spaces and 22 short-term bicycle parking spaces

Table 1 – Development Statistics

| Zoning Provision | Required per Zoning By-law 1-88 | Required per Zoning By-law 001-2021 | Proposed |
|---|---------------------------------|-------------------------------------|-----------------------|
| Minimum Lot Area | - | 650 m ² | 13,724 m ² |
| Minimum Lot Frontage | 20 m | 15 m | 97.7 m |
| Maximum Building Height | 11 m | 11 m | 9.4 m |
| Lot Coverage | 20 % | - | 30.2% |
| Minimum Front Yard Setback | 15 m | 3 m | 25.05 m |
| Minimum Side Yard Setback (Interior – South Side) | 15 m | 4.5 m | 8.87 m |
| Minimum Side Yard Setback (Interior – North Side) | 15 m | 4.5 m | 17.875 m |
| Minimum Rear Yard Setback | 15 m | 7.5 m | 44.55 m |
| Parking | 59 | 47 | 73 |
| Bicycle Parking | - | 20 | 22 |

Relief from the Zoning By-laws are necessary to support the minimum interior side yard setback and minimum landscape strip. Table 2 provides a summary of the variances being sought through this application.

Table 2 - Required Variances under Zoning By-law 1-88 and Comprehensive Zoning By-law 001-2021

| Zoning Standard | Required | Proposed |
|---|----------|----------|
| Zoning By-law 1-88 | | |
| Variance #1: Minimum Interior Side Yard Setback (existing) | 15 m | 8.8 m |
| Variance #2: Minimum Landscape Strip Width along York Hill Boulevard (existing) | 6 m | 2.9 m |
| Variance #3: Maximum Lot Coverage | 20% | 30.2% |
| Zoning By-law 001-2021 | | |
| Variance #1: Minimum Landscape Strip abutting a lot line (existing) | 3 m | 2.9 m |

City of Vaughan Official Plan

Section 9.2.2 of the Official Plan provides the *Low-Rise Residential* policies for development applications within this land use designation. The proposed expansion of the existing building does not consider a change in land use and the current private institutional function is permitted per Section 9.2.2.1. Furthermore, buildings in this designation are to be no greater than three storeys in height, which the proposed development also conforms to.

Per Section 10.1.2.20, the whole of the City of Vaughan is subject to Site Plan Control as it relates to the construction of new development, including an addition or alteration to an existing building. In accordance with this and the City's Planning Approvals process, a site plan application (DA.19.077) has been submitted for the subject property.

Based on the above, it is our opinion that the proposed school expansion conforms to the *Low-Rise Residential* policies of the City of Vaughan's Official Plan, as it respects and reinforces the permitted built form, building type and maximum number of storeys.

The Proposed Minor Variance Applications

It is our opinion that the proposed relief being sought is minor in nature and that the application conforms to all applicable Provincial and City policies. Three variances are sought as part of this application to permit a 2-storey addition to the existing school building. Section 45 of the *Planning Act* authorizes the Committee of Adjustment to make decisions regarding Minor Variance applications. Pursuant to Section 45(1), a Minor Variance may be approved where, in the opinion of the Committee, it satisfies the following four tests:

- The variance requested maintains the general intent and purpose of the Official Plan;
- The variance requested maintains the general intent and purpose of the Zoning By-law;
- The variance requested is desirable for the appropriate use of the land; and,
- The variance requested is minor in nature.

The subject property is designated "*Low-Rise Residential*" by the City of Vaughan Official Plan. Schools are permitted in all land use designations, including the *Low-Rise Residential* designation demonstrating that the proposed application maintains the general intent and purpose of the Official Plan.

The intent of the Zoning By-law is to ensure that new development in *Low-Rise Residential* maintains and respects the existing physical character of the surrounding area and is consistent with the direction of the Official Plan. Given that the proposal conforms to the *Low-Rise Residential* designation policies by respecting the existing physical characteristics of the neighbourhood, and that the proposed school expansion has an appropriate mass and scale to the existing building and neighbourhood, the proposed school expansion is compatible and to the surrounding area. As such, it is our opinion that the proposed development maintains the general intent of the Zoning By-law.

The in-effect Zoning By-law in City of Vaughan is Zoning By-law 1-88. In 2021, the City adopted a new comprehensive Zoning By-law 001-2021, however the By-law is not in effect in its entirety as there have been appeals to the document, rendering Zoning By-law 001-2021 only in effect in part. It is our understanding the City of Vaughan is presently reviewing all applications under both zoning by-laws. As such, this letter reviews the proposed development under both zoning by-laws wherein there are different provisions this letter seeks relief from.

Zoning By-law 1-88

Under Zoning By-law 1-88, three variances are sought, as seen in Table 2 above. Two of the three variances are required to legalize existing conditions. Presently, the existing building has a 8.8 metre setback to the southerly property line whereas Zoning By-law 1-88 requires a minimum side yard setback of 15 metres. The proposed school expansion also has an 8.8 metre side yard setback to provide a uniform building wall. The school expansion's side yard setback is less than the required 15 metres, but consistent with the existing condition. Therefore, relief from the zoning by-law for side-yard setbacks is required for the existing school building/current site condition.

Zoning By-law 1-88 also requires a minimum front yard landscape strip of 6 metres, whereas the site plan illustrates a gradual landscape buffer which increases in size with the smallest portion as 2.9 metres. Given the gradual change in size of the existing landscape strip, the minimum requirement of 6 metres is not met along the smallest portion of the landscape strip and a variance is sought to recognize the existing condition as presented.

Lastly, Zoning By-law 1-88 requires maximum of 20% lot coverage, while the proposed addition would increase the total lot coverage of the subject property to approximately 31%. The subject property is located within R4 zone which permits 45% for lot coverage. As such, the proposed 31% lot coverage is consistent with the surrounding context. Furthermore, the new Comprehensive Zoning By-law does not require a maximum lot coverage. As a result, the proposed 31% coverage conforms to the future Zoning By-law. Finally, the proposed development meets all the setbacks required by Zoning By-law 1-88 including Front Yard, Rear Yard and Interior Side Yard on the north side of the property. As mentioned previously, the only setback that is not met is the existing interior side yard to the south of the property. Hence, there is no further encroachment by the proposed development.

Zoning By-law 001-2021

Under the new comprehensive Zoning By-law 001-2021, there is only one zoning provision where the proposed development seeks relief. The provision is for the width of the minimum landscape strip abutting a *Residential* zone from the interior and rear lot lines is 3 metres. The enclosed site plan provides for a width of 3 metres along the southerly lot line and 3.6 metres along the easterly lot line. No relief is required to for these zoning provisions.

Relief from Zoning By-law 001-2021 is required for the provisions for the requirement of a 3 metre landscape strip abutting a lot line. As seen in the enclosed site plan, the existing condition for the

front yard landscape strip along York Hill Boulevard is 2.9 metres, requiring relief from this provision to recognize the nominal difference.

The height of the proposed expansion is consistent with the Zoning By-law requirements and height of the existing building. Given that the height of proposed expansion is lesser than the existing building, little to no adverse impact with respect to privacy, shadowing or overlook to surrounding properties is anticipated as a result of this application. The proposed application will result in a massing and scale that is consistent with and complementary to the immediate vicinity of the subject property. As such, it is our opinion that the proposed variances are minor in nature and that the development is desirable and appropriate for the subject property.

In summary, it is our opinion that the proposed Minor Variance application maintains the general intent and purpose of the Official Plan and Zoning By-law, is desirable and appropriate for the use of the land, and is minor in nature.

Further, it is the request of the Eitz Chaim Schools, the Landowner of the subject property that Staff review the submitted application be approved with permissions for a conditional building permit to include site servicing and structural works be allowed to ensure the proposed expansion is constructed and ready for use for the September 2023 school year.

Concluding Remarks

Based on the information provided in this letter, and the other materials accompanying this application, it is our opinion that the proposed Minor Variance application satisfies the four tests prescribed by the *Planning Act*, has planning merit, and represents good planning. Enclosed are the following materials in support of this application:

1. Survey prepared by Schaeffer Dzaldov Bennett Ltd., dated May 10, 2019; and
2. Architectural Drawings prepared by Gow Hastings Architects dated April 4, 2022;
3. Transportation Impact Study prepared by LEA Consulting Ltd. dated April 7, 2022; and
4. Landscape Plan and Arborist Report prepared by MSLA dated April 4, 2022.

It is our understanding that the above is in order and that Staff has all of the required materials to facilitate their review and the preparation of a Staff Report for this application. We request that the application be scheduled for the next available Committee of Adjustment Hearing date. Please do not hesitate to contact the undersigned at extension 236 or 320 should there be any questions regarding this submission.

Yours truly,

Weston Consulting

Per:



Kevin Bechard, BES, M.Sc., RPP
Senior Associate



City of Vaughan Committee of Adjustment
Vaughan City Hall, Level 100
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Re: 80 York Hill Boulevard (A132/22)

To whom it may concern:

I support the building of the new Jewish learning centre to further enrich the cultural atmosphere that is present in Thornhill.

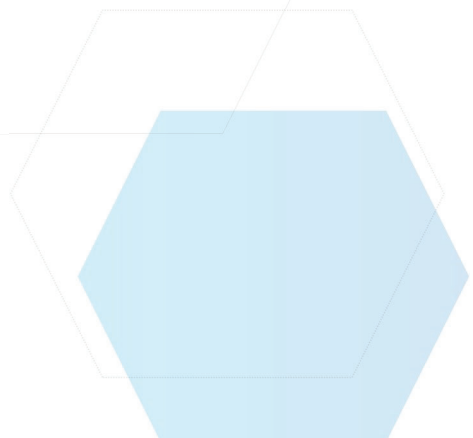
The cultural vitality of the area will be increased with this new centre. Furthermore, I am in support of the construction of the learning centre as the rear portion of my property will face the future site and I will see the construction unfold from my backyard.

Sincerely,

v



David Horowitz
113 Lisa Crescent
Thornhill, ON L4J 2N2



6/08/2022

37 Jenstar Way

Thornhill, ON L4J5W3

City of Vaughan Committee of Adjustment

Re: 80 York Hill Boulevard (A132/22)

To Whom It May Concern,

I have reviewed the proposed plans for the school expansion and the minor variance request for relief that is associated with the project at 80 York Hill Boulevard.

I am a resident of 37 Jenstar Way Thornhill, Ontario L4J 5W3 which is located within the surrounding area of 80 York Hill Boulevard and support the requested minor variance application for this development to proceed.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gail Baumwolspiner', with a stylized, flowing script.

Avrohom & Gail Baumwolspiner

June 7, 2022

37 Gailcrest Cir

Thornhill

L4J 5V3

Ontario

City of Vaughan Committee of Adjustment

Re: 80 York Hill Boulevard (A132/22)

To Whom It May Concern,

I have reviewed the proposed plans for the school expansion and the minor variance request for relief that is associated with the project at 80 York Hill Boulevard.

I am a resident of 37 Gailcrest, Thornhill, L4J 5V3, which is located within the surrounding area of 80 York Hill Boulevard and support the requested minor variance application for this development to proceed.

Sincerely,

David Hayempour

A handwritten signature in dark ink, appearing to read 'David Hayempour', with a long horizontal line extending to the left.

June 7, 2022

131 York Hill Blvd

Thornhill

L4J 2P5

Ontario

City of Vaughan Committee of Adjustment

Re: 80 York Hill Boulevard (A132/22)

To Whom It May Concern,

I have reviewed the proposed plans for the school expansion and the minor variance request for relief that is associated with the project at 80 York Hill Boulevard.

I am a resident of 131 York Hill Blvd, Thornhill, L4J 2P5, which is located within the surrounding area of 80 York Hill Boulevard and support the requested minor variance application for this development to proceed.

Sincerely,

Julian Lebowitz

A handwritten signature in black ink, appearing to read 'Julian Lebowitz', written in a cursive style.