

ITEM #: 6.6	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A086/22 19 Granary Rd. Kleinburg
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		General Comments
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Robert Pasutto		06/07/2022	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A086/22

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER:	CITY WARD #: 1
APPLICANT:	Robert Pasutto & Anne Teresa Riga
AGENT:	None
PROPERTY:	19 Granary Rd Kleinburg ON L0J 1C0
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed pavilion in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R1B (EN) – First Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.336** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum rear yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum rear yard of 1.0 metre.
2	The minimum interior side yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum interior side yard of 1.52 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the residential accessory structure to be 3.65 metres.
4	Eaves shall not project more than 0.5 metres into a required yard. [4.13, Table 4-1]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
5	In the R1B Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape.[4.19.1 1]	To permit the portion of the rear yard in excess of 135.0 m ² to be comprised of a minimum of 55% soft landscape.

The subject lands are zoned **R1 – Residential Zone** and subject to the provisions of **Exception 9(563)** under **Zoning By-law 1-88**, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum rear yard is 9.0 metres. [9(563 iii), Schedule T-52]	To permit a minimum rear yard of 1.0 metre.
7	Eaves shall not project more than 0.5 metres into a required yard. [3.14 c)]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
8	The nearest part of the roof of any accessory building or structure shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit the nearest part of the roof of the accessory to be a maximum of 3.05 metres above finished grade.
9	In an R1 Zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [4.1.2 b)]	To permit the portion of the rear yard in excess of 135.0 sq. m to be comprised of a minimum of 55% soft landscaping.

HEARING INFORMATION

DATE OF MEETING: June 16, 2022

TIME: 6:00 p.m.

HEARING INFORMATION
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	June 2, 2022	
Date Applicant Confirmed Posting of Sign:	June 1, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	The pavilion that i would like to build is larger then what is allowed in the bi-law. I would like to build the pavilion so i can have some shade in the backyard for my family to enjoy. We get constant sun in the backyard and we can't enjoy the backyard without looking for shade.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS
**See Schedule B for Building Standards (Zoning) Comments

BUILDING STANDARDS (ZONING) COMMENTS	
Building Standards Recommended Conditions of Approval:	None
DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None
DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the proposed dwelling in the subject property is 60.65m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	
The Development Engineering (DE) Department does not object to variance application A086/22 subject to the following condition:	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Parks: Forestry: Forestry has no comment at this time. Horticulture:	
PFH Recommended Conditions of Approval:	None
DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None
BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None
BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None
FIRE DEPARTMENT COMMENTS	
Owner to ensure permits process prior to construction. Reviewed submitted application package for minor variance pool in back yard. Standard requirements for owner's to go through the permit process before construction and acquire all necessary inspections and associated documents. All construction to be in compliance with the OBC as amended and applicable standards.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

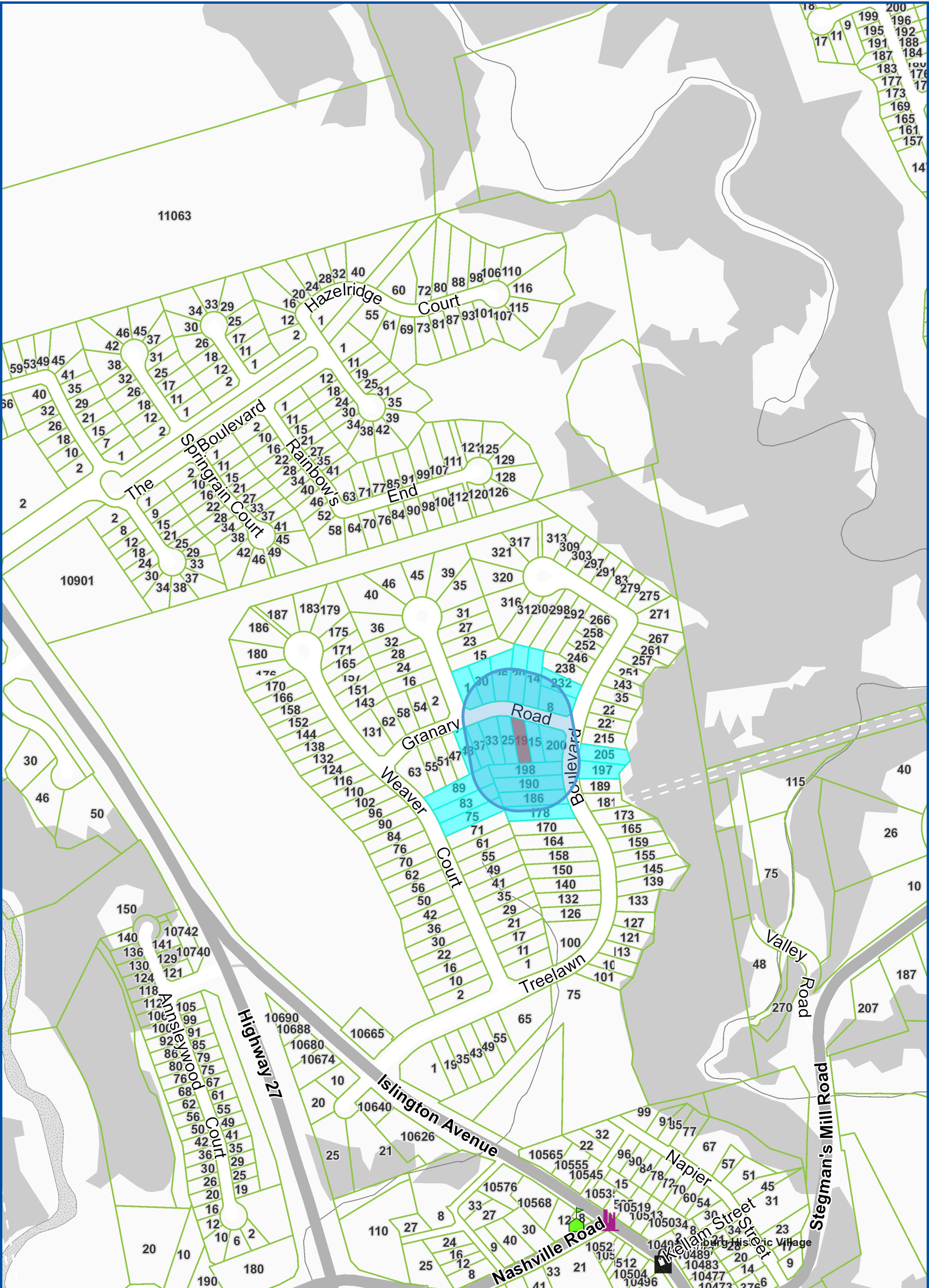
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>

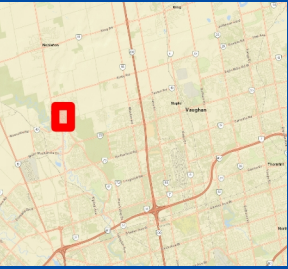
IMPORTANT INFORMATION – PLEASE READ

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

19 GRANARY ROAD, KLEINBURG

NOTIFICATION MAP - A086/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:6,709

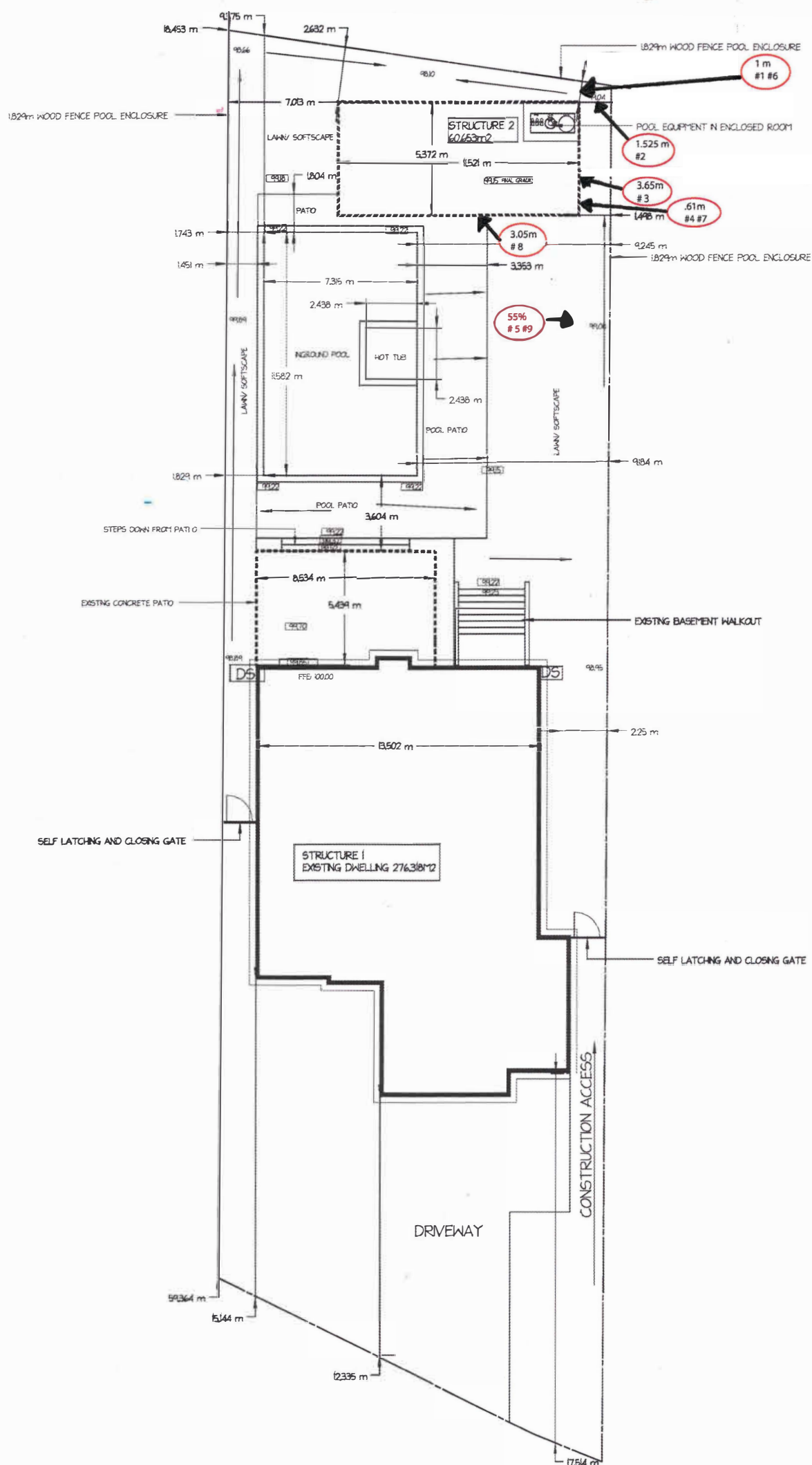
0 0.11 km



Created By:

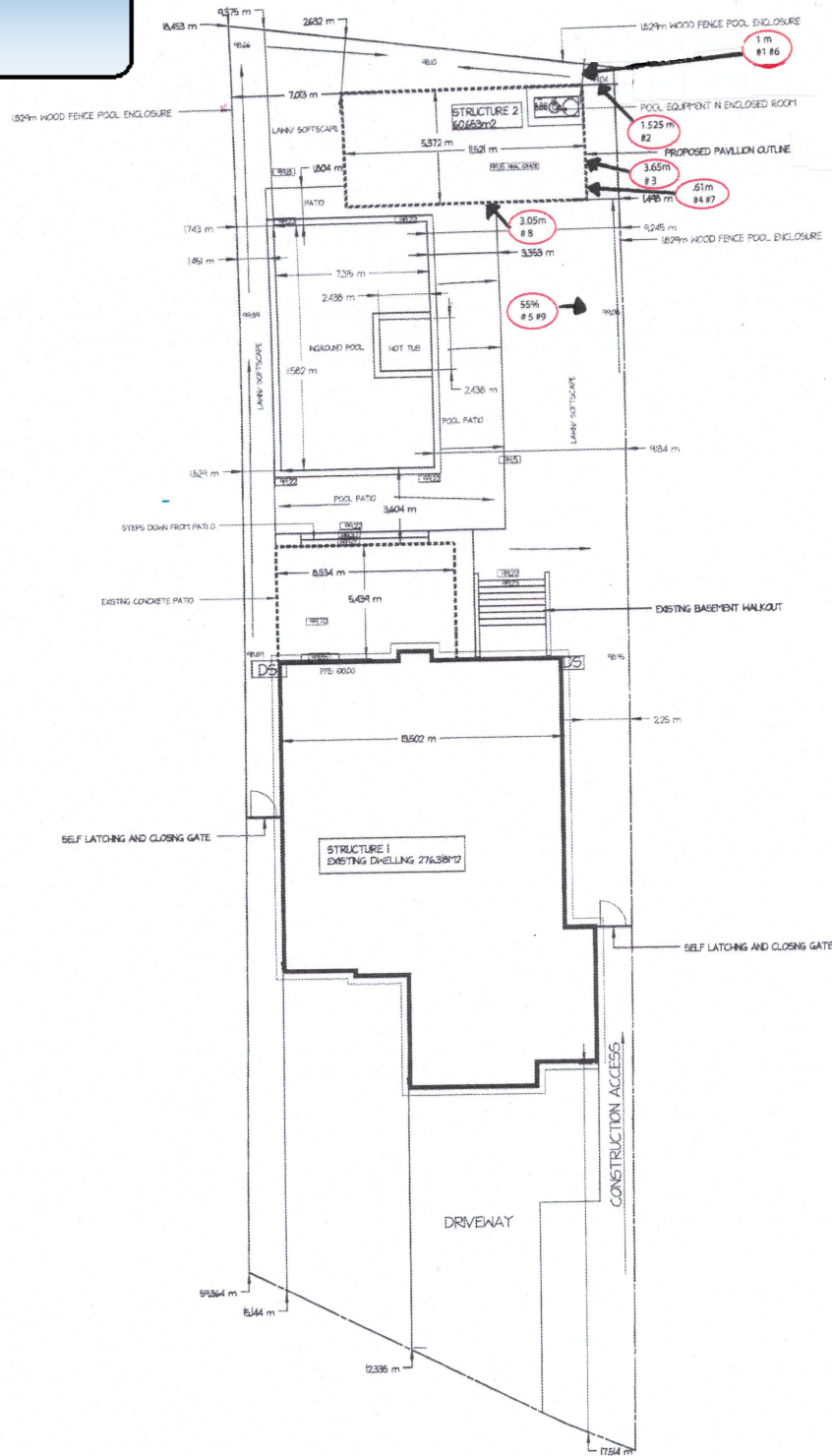
Infrastructure Delivery
Department
May 31, 2022 10:36 AM

Projection:
NAD 83
UTM Zone
17N



Received

June 7, 2022



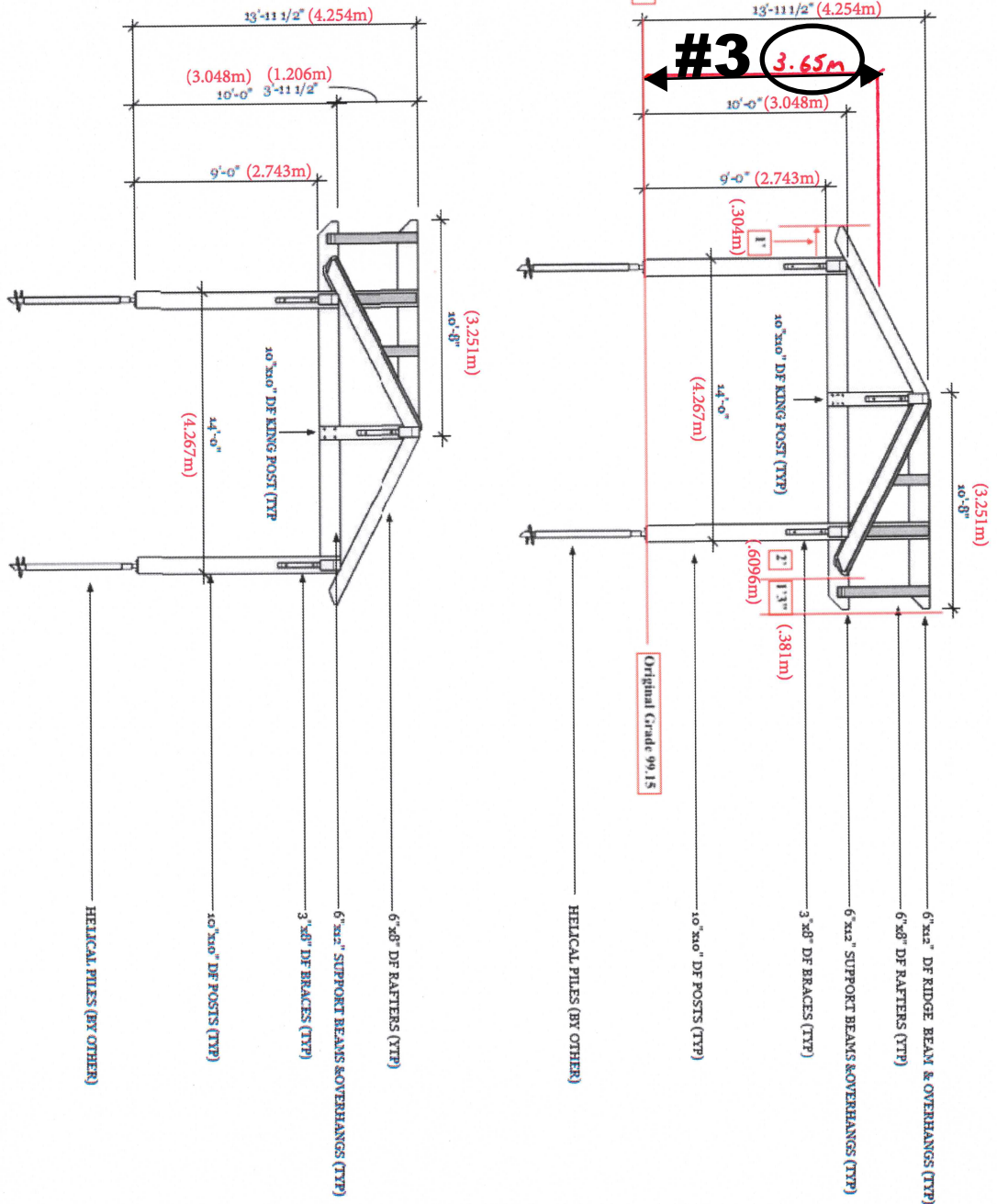
19 GRANARY RD, KLEINBURG ON LOT # 88

NOTES:
 FULL LOT 145.706m²
 STRUCTURE 1 276.38m² INCLUDES EYES
 STRUCTURE 2 60.653m² INCLUDES EYES
 REAR LOT = 522.15m² = 100 PERCENT
 REAR SOFT 266 = 60 PERCENT
 REAR HARD 178.15m² = 40 PERCENT

DOWNSPOUT DS
 DRAINAGE
 EXISTING GRADES 00.00
 PROPOSED GRADES 00.00

NOTES:
 -NO GRADE CHANGES OR HARDSCAPING
 WITHIN 0.6m OF THE PROPERTY LINE WILL BE MADE
 - ALL STRUCTURES INCLUDE EYES

SCALE: 1/200
 DATE: 2022-03-06
 DESIGN: POOL PERMIT PLAN



Received

June 7, 2022



BEAR ELEVATION
1/64" = 1'-0"

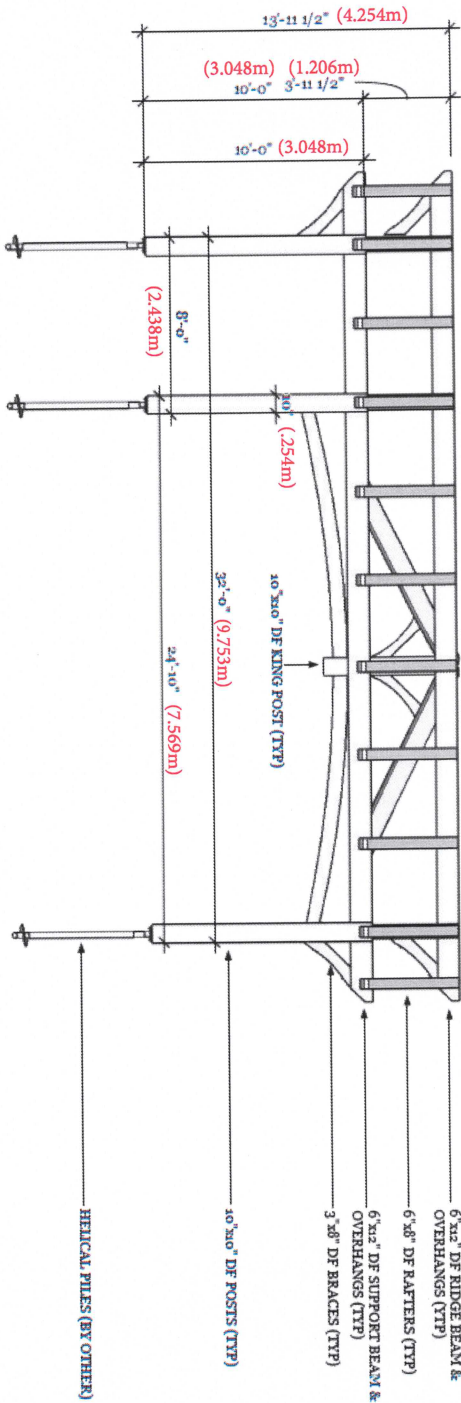
The ELITE
ENGINEERING GROUP INC.
90 ROBERTSON ROAD
INGERSOLL, ONT. N4C 4E1
www.eliteengineeringgroup.com

REV. NO.	BY	REVISION	DATE
1	S.B.	ENGINEER REVIEW	12/23/21

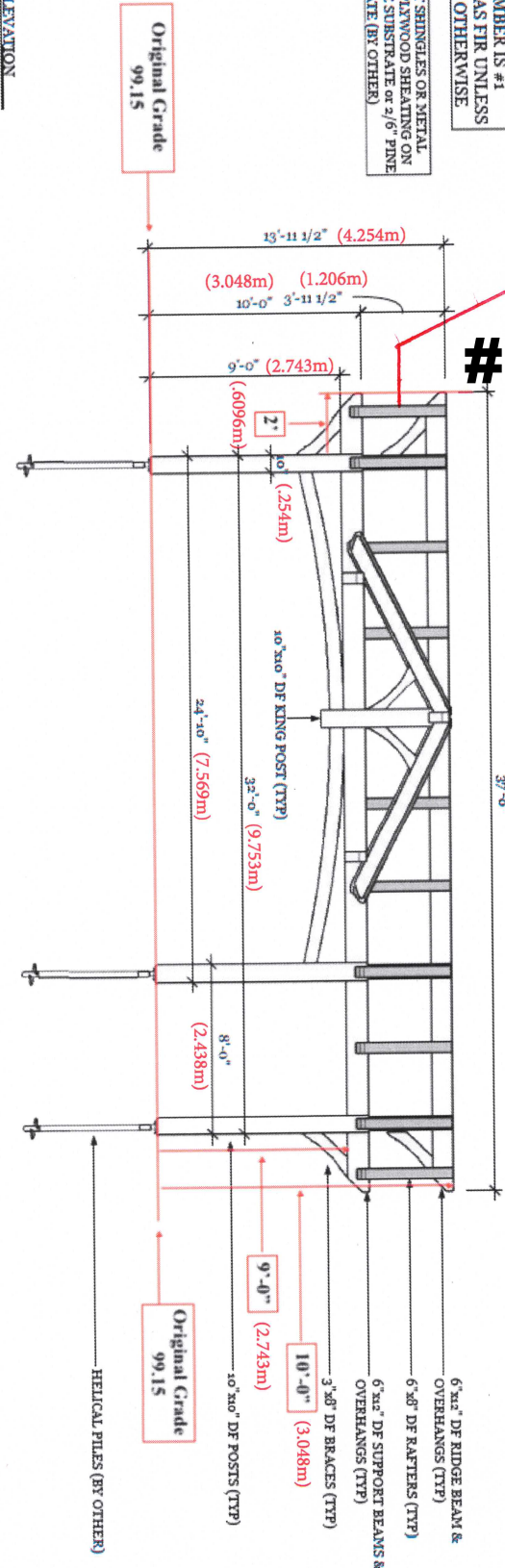
TIMBERKITS™
by Counting & Log Stones

DESIGNED BY	Rob Pasutto - 14 X12 Super Heavy Pavilion
CHECKED BY	19 Granary Rd., Kitchburg, ON
DATE	12/23/21
PROJECT NO.	

A 02



FRONT ELEVATION
1/64" = 1'-0"



ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
4/6" PINE SUBSTRATE OR 2/6" PINE
SUBSTRATE (BY OTHER)

ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE

Elevation: 4.254m - .603m = 3.65m
Midpoint = 1.206m / 2 = .603m

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment

From: Garrett Dvernichuk, Building Standards Department

Date: May 20, 2022

Applicant: Robert Pasutto & Anne Teresa Riga

Location: PLAN 65M3466 Lot 88 municipally known as 19 Granary Road

File No.(s): A086/22

Zoning Classification:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The minimum rear yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum rear yard of 1.0 metre.
2	The minimum interior side yard is 2.4 metres. [4.1.2 1. b.]	To permit a minimum interior side yard of 1.52 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit the maximum height of the residential accessory structure to be 3.65 metres.
4	Eaves shall not project more than 0.5 metres into a required yard. [4.13, Table 4-1]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
5	In the R1B Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1 1]	To permit the portion of the rear yard in excess of 135.0 m ² to be comprised of a minimum of 55% soft landscape.

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(563) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum rear yard is 9.0 metres. [9(563 iii), Schedule T-52]	To permit a minimum rear yard of 1.0 metre.
7	Eaves shall not project more than 0.5 metres into a required yard. [3.14 c)]	To permit the eaves to encroach 0.61 metres into the required interior side yard.
8	The nearest part of the roof of any accessory building or structure shall not be more than three (3) metres above finished grade. [4.1.1 b)]	To permit the nearest part of the roof of the accessory to be a maximum of 3.05 metres above finished grade.
9	In an R1 Zone, where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [4.1.2 b)]	To permit the portion of the rear yard in excess of 135.0 sq. m to be comprised of a minimum of 55% soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 03-004293 for Single Detached Dwelling - Alteration, Issue Date: Nov 06, 2003
Building Permit No. 21-115076 for Single Detached Dwelling - Alteration, Issue Date: Jun 11, 2021
Building Permit No. 22-101537 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: June 6, 2022

Name of Owner: Robert Pasutto & Anne Teresa Riga

Location: 19 Granary Road

File No.(s): A086/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard of 1.0 m.
2. To permit a minimum interior side yard of 1.52 m.
3. To permit the maximum height of the residential accessory structure to be 3.65 m.
4. To permit the eaves to encroach 0.61 m into the required interior side yard.
5. To permit the portion of the rear yard in excess of 135.0 m² to be comprised of a minimum of 55% soft landscape.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum rear yard is 2.4 m.
2. The minimum interior side yard is 2.4 m.
3. The maximum height of an accessory building and residential accessory structure shall be 3.0 m.
4. Eaves shall not project more than 0.5 m into a required yard.
5. In the R1B Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.

Proposed Variance(s) (By-law 1-88):

6. To permit a minimum rear yard of 1.0 m.
7. To permit the eaves to encroach 0.61 m into the required interior side yard.
8. To permit the nearest part of the roof of the accessory to be a maximum of 3.05 m above finished grade.
9. To permit the portion of the rear yard in excess of 135.0 m² to be comprised of a minimum of 55% soft landscaping.

By-Law Requirement(s) (By-law 1-88):

6. The minimum rear yard is 9.0 m.
7. Eaves shall not project more than 0.5 m into a required yard.
8. The nearest part of the roof of any accessory building or structure shall not be more than three 3.0 m above finished grade.
9. In an R1 Zone, where the area of a rear yard of a lot is greater than 135 m², a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 m² shall be composed of soft landscaping.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting to permit the construction of a pavilion with the above noted variances.

The proposed pavilion is a mostly open structure that contains two walls along portions of the south and west sides to enclose the pool equipment. The Development Planning Department has no objection to Variances 1, 2, and 6 for the proposed rear yard and interior side yard setbacks for the pavilion as it is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties. Only part of the requested rear yard setback would be fully utilized by the pavilion. The minimum rear yard setback to the pavilion is measured at a pinch-point and the setback expands to 2.63 m at its greatest extent. The setbacks also maintain an appropriate area for access and drainage.

The Development Planning Department has no objection to Variances 3 and 8 for the proposed height of the pavilion as it is a mostly open structure which will have minimal massing impact to the abutting properties. The proposed height is also consistent with previous approvals in the neighbourhood.

The Development Planning Department has no objection to Variances 4 and 7 as the proposed eave encroachments are only located on three sides of the structure. The side of the pavilion that faces the rear lot line has 0.3 m eaves, which complies with both Zoning By-laws. The 0.61 m eaves, located at the remaining three sides of the structure, are further set back from any lot line and will not pose a significant visual impact to the adjacent properties.

The Development Planning Department has no objection to Variances 5 and 9 for the proposed reduction in rear yard soft landscaping as the reduction is minor in nature and the subject property continues to maintain an appropriate balance of soft landscaping to facilitate drainage on the property.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I

David Harding, Senior Planner

Date: May 26th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A086-22**

Related Files:

Applicant Robert Pasutto and Anne Teresa Riga

Location 19 Granary Road

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Lenore Providence

Subject: FW: [External] RE: A086/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-30-22 3:22 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Subject: [External] RE: A086/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP, RPP | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Lenore Providence

Subject: FW: [External] RE: A086/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Sent: May-31-22 10:07 AM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Subject: [External] RE: A086/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Lenore,

The subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit and TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments and no objection to the application.

Regards,

Hamedeh Razavi MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:4166616600) ext. 5256

E: Hamedeh.Razavi@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



***TRCA's Offices are closed to visitors.** The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at Hamedeh.Razavi@trca.ca We thank you for your cooperation as we respond to the current situation.*

Lenore Providence

Subject: FW: [External] RE: A086/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Gordon, Carrie <carrie.gordon@bell.ca>

Sent: May-25-22 2:50 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A086/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Lenore,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				

Lenore Providence

Subject: FW: [External] A086/22 - Robert Pasutto 19 Granary Road | Supporting Documents for Minor Variance
Attachments: Cabana Minor Variance Applications in Area.pdf

From: Robert Pasutto
Sent: June-07-22 10:32 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>; Christine Vigneault <Christine.Vigneault@vaughan.ca>
Subject: [External] A086/22 - Robert Pasutto 19 Granary Road | Supporting Documents for Minor Variance

Hi Lenore,

I was wondering if you can add these documents to my file for the minor variance meeting.

I put together a list of “some” of the cabana applications in my area within a 5 minute walking distance from my house. There are more but didn’t want to spend all night searching.

I took a photo of my backyard which shows 3 cabanas, I listed the file or permit number for 2 of them which are similar or larger than my Pavillion.

I also went on some of the approved notice of decisions for the cabanas in the area and took a picture of some of them which shows taller cabanas than what I am proposing, as well as closer to the lot line that have been approved by the city.

Can you please put these in my file so that when I am speaking if I need to refer to these then I can? Thank you.

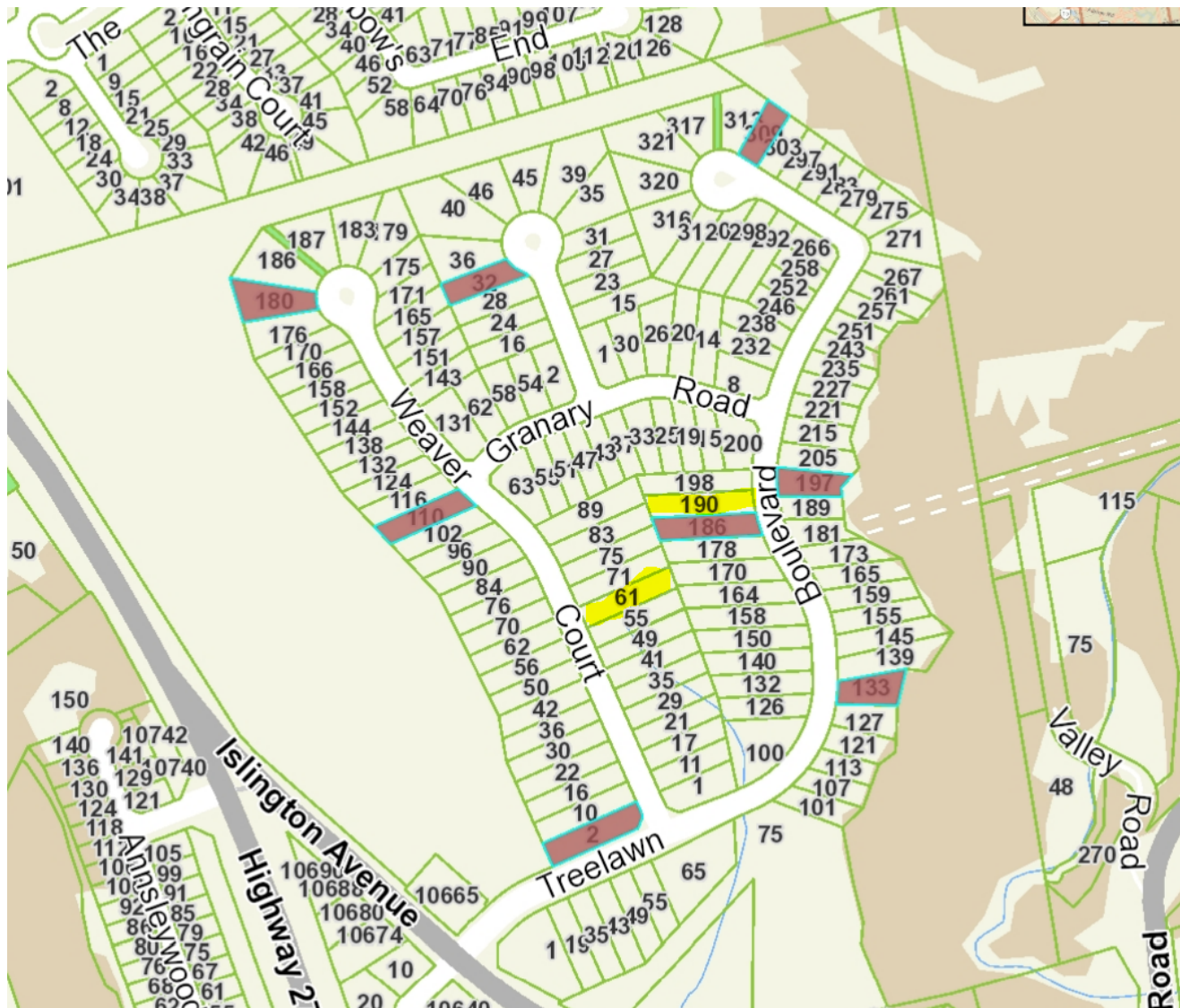
Best Regards,

Robert Pasutto

19 Granary Road
Kleinburg, ON

Cabana Minor Variance Applications in Area

1. File Number: A336/12 – 309 Treelawn Blvd, Elvio & Rosa Rasile
2. File Number: A095/20 – 133 Treelawn Blvd, Hamid Hermati
3. File Number: A033/14 – 197 Treelawn Blvd, Raymond Commisso
4. File Number: A024/13 – 2 Weaver Court, Sushil & Diana Chari
5. File Number: A276/15 – 180 Weaver Court, Albert Vitullo
6. File Number: A089/14 – 110 Weaver Court, Thomas Mascitelli
7. File Number: A270/13 – 32 Northfield Court, Giuseppe Natale
8. File Number: A036/22 – 186 Treelawn Blvd, Robert Fallone
9. Permit Number: 15 001594 000 00-D – 61 Weaver Court
10. Permit Number: 15 001713 000 00-D – 190 Treelawn Blvd





Cabana 1

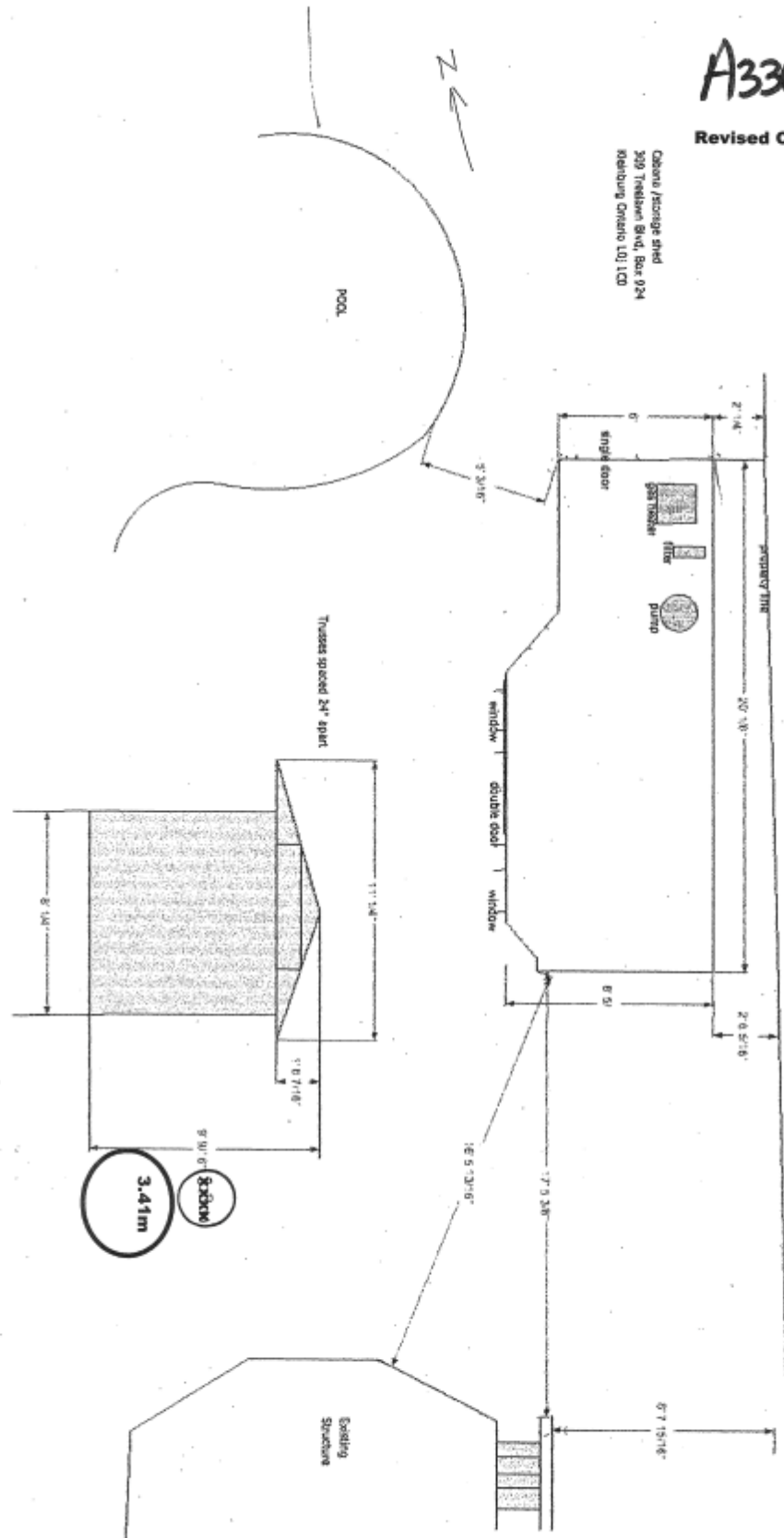
Cabana 2
186 Treelawn Blvd
File #: A036/22

Cabana 3
190 Treelawn Blvd
Permit #:
15 001713 000 00-D

A336/12

Revised Oct. 23/12

Casone / storage shed
309 Trellawn Blvd, Box 924
Richburg, Ontario L0J 1C0



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No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



SMART Structural Solutions
7750 REELE ST. UNIT 295, VAUGHAN, ON L4H 2N6
(416) 912-0177, info@smartsolutions.ca

CLIENT:

Al & Pina Licata

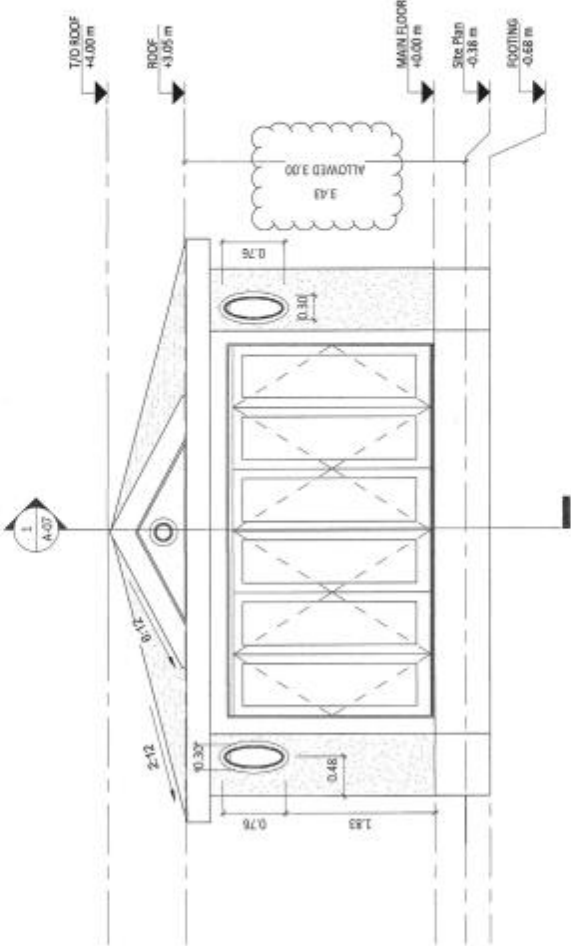
PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:
133 Treadwell Blvd, Woodbridge, ON L4H 3N5

SHEET NAME:
SOUTH ELEVATION

DATE: 10/04/2020	PROJECT No.: 20-05-35
SCALE: 1/4" = 1'-0"	
DESIGNER: Designer	SHEET No:
CHECKER: Checker	A-04



1 SOUTH
1/4" = 1'-0"

Proposal:

1. The proposed rear yard is 7.63 metres.
2. The proposed height to the nearest part of the roof is 3.43 metres.
3. The proposed side yard is 0.76 metres.
4. The proposed rear yard soft landscaping is 57.8%, or 407 square metres.

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No.	DATE	REVISIONS	
		Revised	Issued For
1		Date 1	



ENGINEER:
SMART Structural Solutions
7250 KEELE ST. UNIT 205, VAUGHAN
(416) 312-0177, info@smartsolutions.ca

CLIENT:

Al & Pina Licata

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

133 Treelawn Blvd, Woodbridge, ON L4H 3N5

SHEET NAME:

SITE PLAN

DATE: 10/04/2020

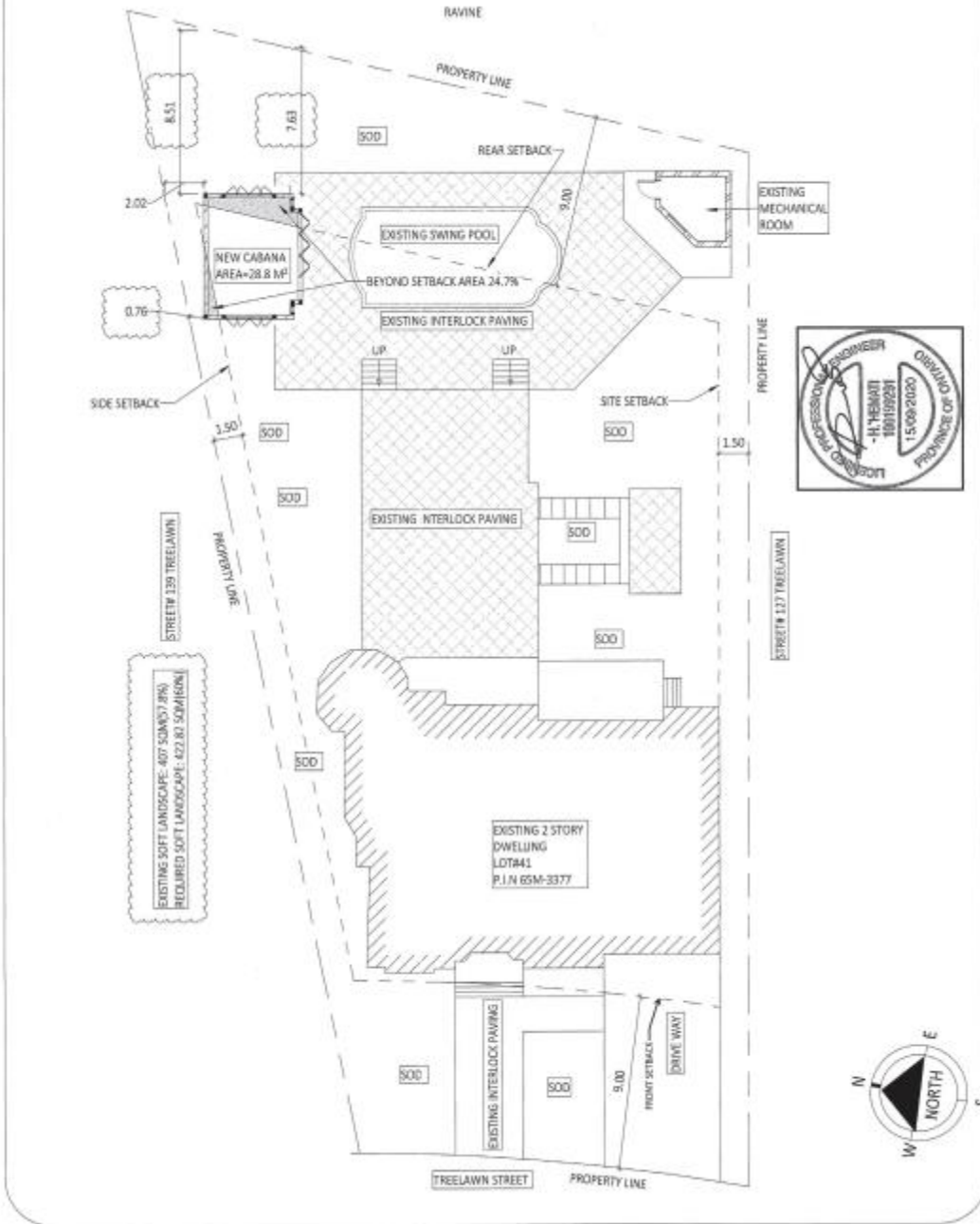
SCALE: 1/16" = 1'-0"

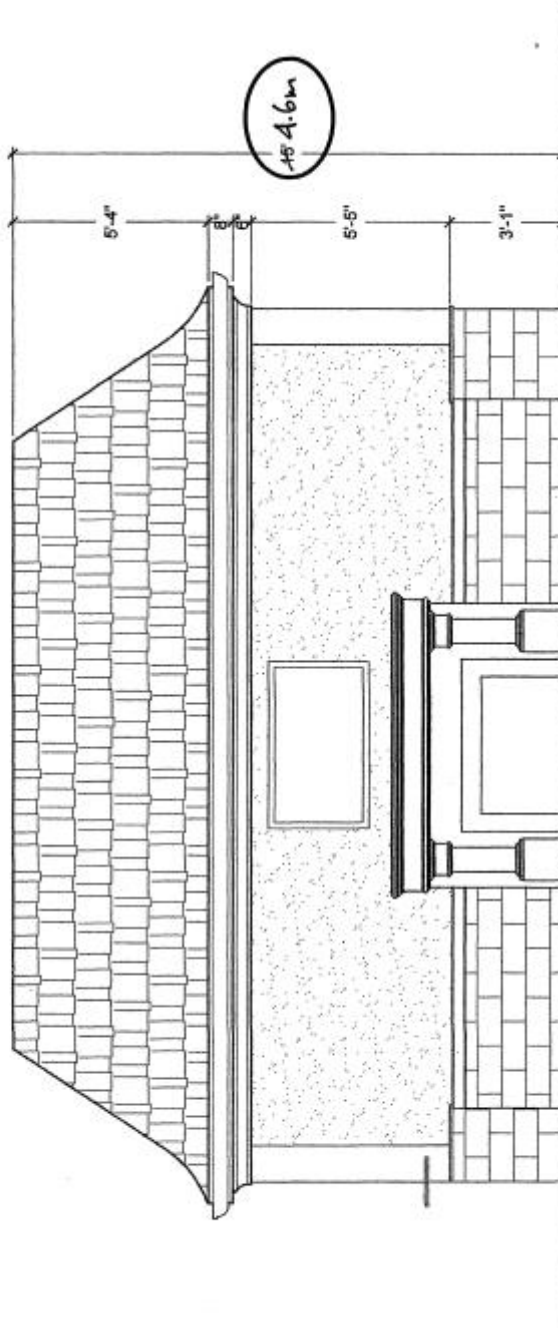
DESIGNER: J. HEMATI

CHECKER: J. HEMATI

PROJECT No.: 20-05-35

SHEET No: A-01





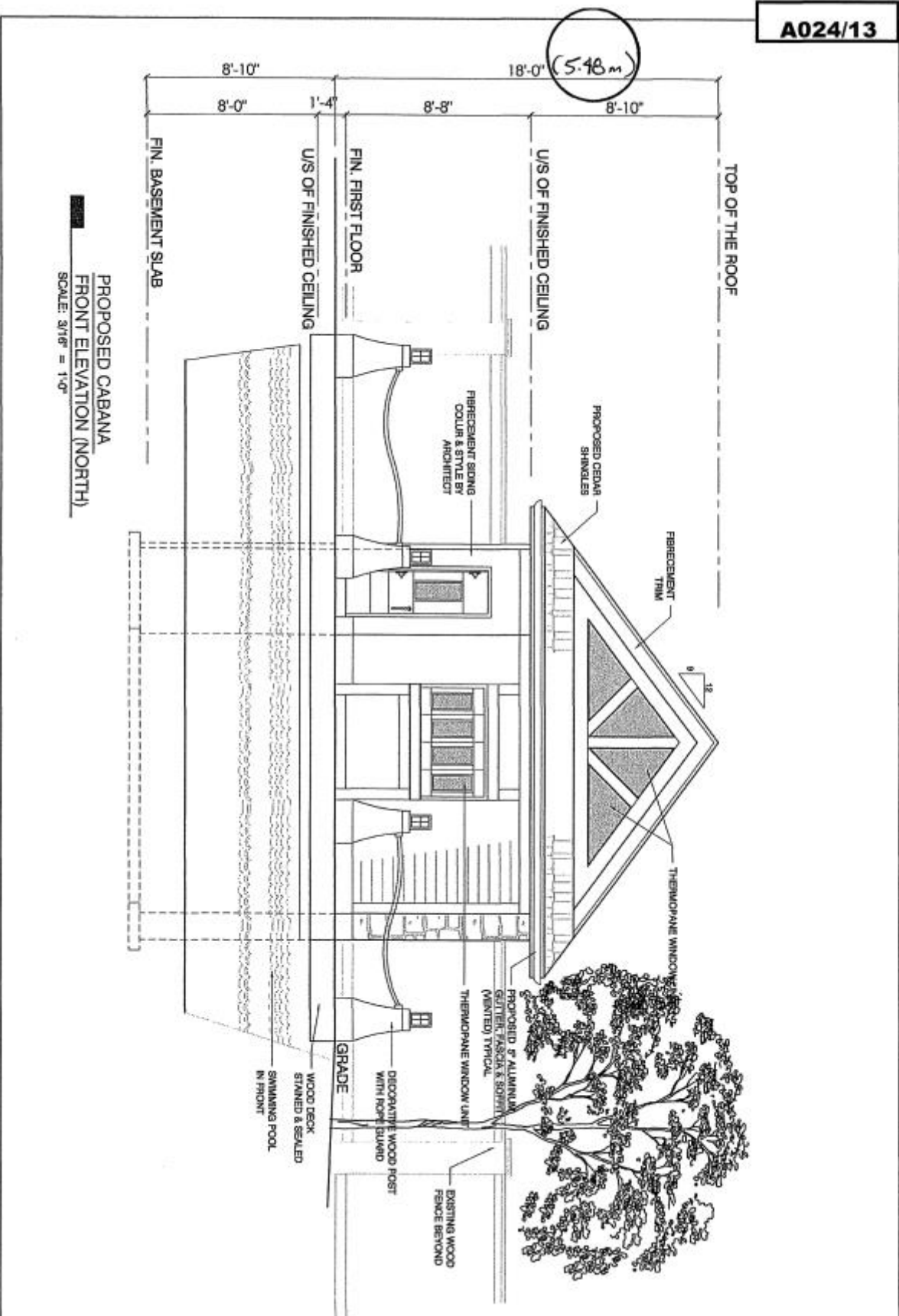
A033/14

PROJECT: BACKYARD PROJECT
ON 157 TREELAWN BLVD
CITY OF SAUBHAM

ELEVATION

DATE: JAN 2014
SCALE: AS NOTED
DRAWN BY: J. J. J. J.

A3.0



PROPOSED CABANA
FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"