

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A106/22
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AGENDA ITEM NUMBER: 6.20	Thursday, May 26, 2022
APPLICANT:	Elizabeth & Emil Pironkov
AGENT:	Rocco D'Angelo
PROPERTY:	106 Wildhaven Cr Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed inground swimming pool, cabana/pavilion, and wood deck (with platforms) to be located in the rear yard. Relief is also being requested to permit the existing shed located in the southerly side yard.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.
Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A106/22**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 6.20	CITY WARD #: 1
APPLICANT:	Elizabeth & Emil Pironkov
AGENT:	Rocco D'Angelo
PROPERTY:	106 Wildhaven Cr Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed inground swimming pool, cabana/pavilion, and wood deck (with platforms) to be located in the rear yard. Relief is also being requested to permit the existing shed located in the southerly side yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R3(EN) – Third Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.532 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to an exterior side lot line than the principal building on the lot. (Section 4.1.2, 1, c.)	To permit an accessory building to be closer to an exterior side line than the principle building on the lot. (Shed)
2	The minimum exterior side yard setback required is 4.5 metres.(Section 4.1.2, 1, a) & Schedule T-92)	To permit an exterior side yard setback of 0.63 metres to accessory building (Shed).
3	The minimum interior side yard setback required is 1.2 metres. (Section 4.1.2, 1, a) & Schedule T-92)	To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (Cabana).
4	In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling. (Section 4.21, 5.)	To permit a swimming pool to be located closer to an exterior side lot line than the dwelling.
5	The maximum rear yard encroachment permitted to an uncovered platform with a floor height of 1.2 metres or less is 2.4 metres. (Table 4-1)	To permit a maximum rear yard encroachment of 8.68 metres to an uncovered platform.
6.	The maximum exterior side yard encroachment permitted to an uncovered platform with a floor height of 1.2 metres or less is 2.4 metres. (Table 4-1)	To permit a maximum exterior yard encroachment of 4.19 metres to an uncovered platform. (Platform # 1)
7	The maximum exterior side yard encroachment permitted to an uncovered platform with a floor height of 1.2 metres or less is 2.4 metres. (Table 4-1)	To permit a maximum exterior yard encroachment of 4.15 metres to an uncovered platform. (Platform # 2)

The subject lands are zoned R3 – Residential Zone and subject to the provisions of Exception 9(840) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
8	A garden or storage shed shall be located in the rear yard. (Section 4.1.1, f), i))	To permit a garden or storage shed in the exterior side yard.
9	The minimum rear yard setback required is 9.0 metres. (Section 4.1.1, c) & Schedule T-92)	To permit a minimum rear yard setback of 0.61 metres to an accessory building (Cabana).
10	The minimum interior side yard setback required is 1.2 metres. (Section 4.1.1, c) & Schedule T-92)	To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (Cabana).

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday , May 26, 2022 at 6:00 p.m.
<p>PUBLIC PARTICIPATION</p> <p>You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil</p> <p>If you wish to speak to the Committee of Adjustment on an application please complete and submit a Request to Speak Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.</p> <p>Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca</p> <p>For more information, please visit the City of Vaughan website.</p>	

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	May 11, 2022
Date Applicant Confirmed Posting of Sign:	May 6, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	We are encroaching on setbacks of dwelling with irregular shaped lot. Design is more conducive to safety of children living in the house.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No

Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
<p>There are no outstanding Orders on file</p> <p>A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2</p> <p>The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.</p> <p>Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.</p>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.</p> <p>As the proposed dwelling in the subject property is 22.6m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City’s Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The Development Engineering (DE) Department does not object to variance application A106/22 subject to the following condition:</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.</p>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Applicant has already obtained a valid PTP.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comment received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

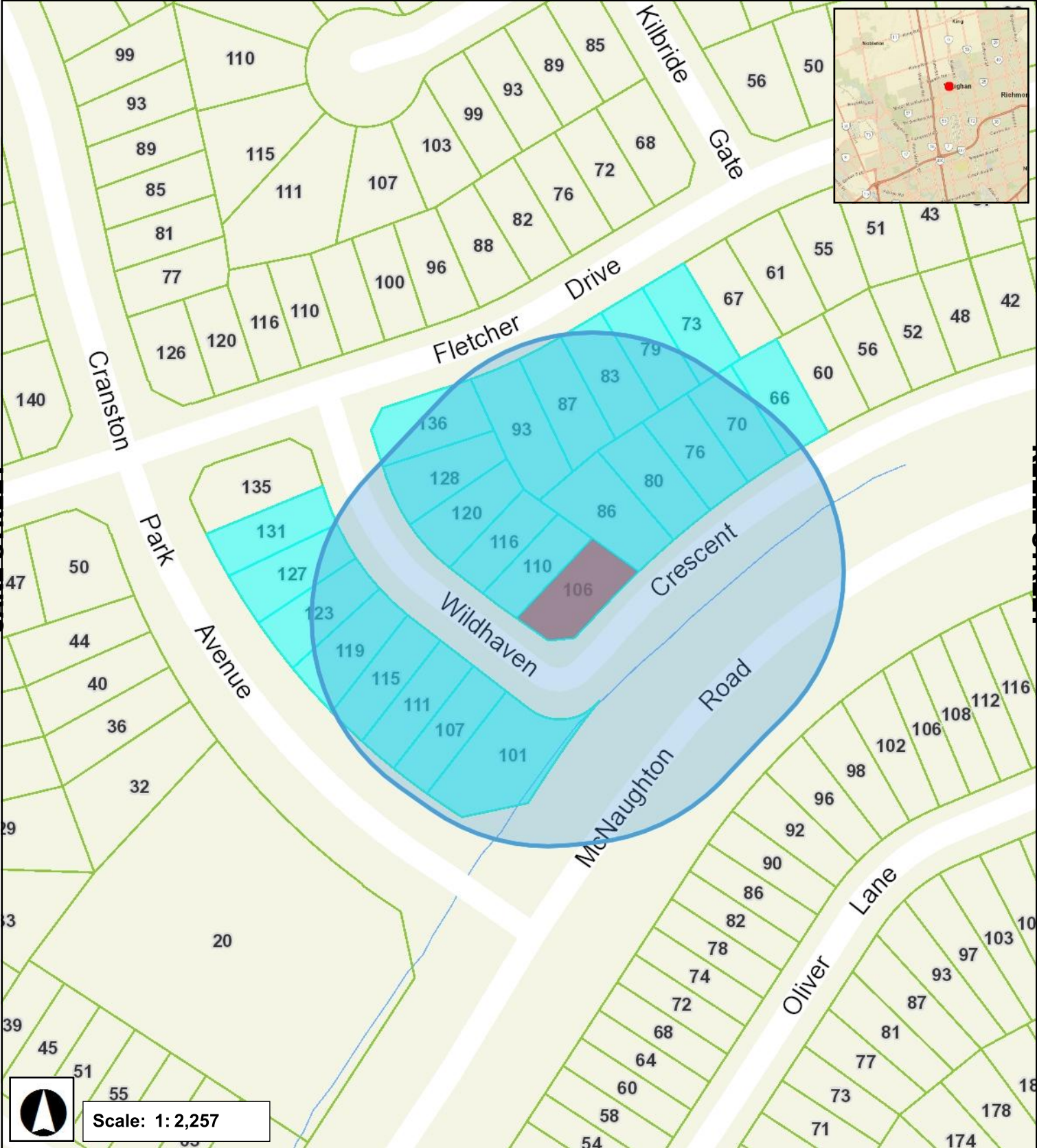
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A106/22

106 WILDHAVEN CRESCENT, MAPLE

TESTON ROAD



MAJOR MACKENZIE DRIVE

May 9, 2022 3:10 PM

RECEIVED

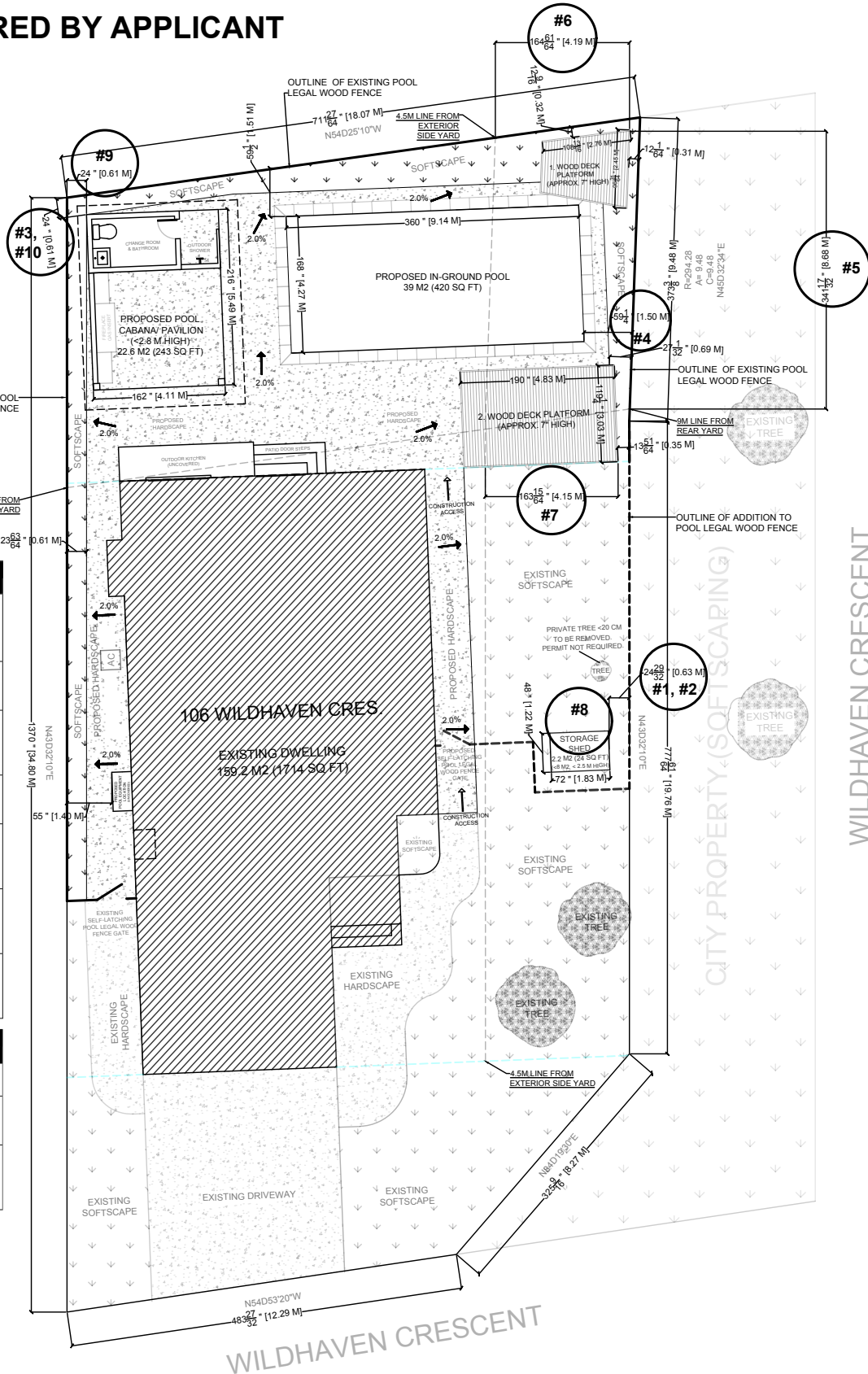
By RECEIVED at 12:23 pm, May 03, 2022

A106/22

PLANS PREPARED BY APPLICANT

#	Zoning By-law 001-2021 Variance requested
1	To permit an accessory building to be closer to an exterior side line than the principle building on the lot. (Shed)
2	To permit an exterior side yard setback of 0.63 metres to accessory building (Shed).
3	To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (Cabana).
4	To permit a swimming pool to be located closer to an exterior side lot line than the dwelling.
5	To permit a maximum rear yard encroachment of 8.68 metres to an uncovered platform.
6	To permit a maximum exterior yard encroachment of 4.19 metres to an uncovered platform. (Platform # 1)
7	To permit a maximum exterior yard encroachment of 4.15 metres to an uncovered platform. (Platform # 2)

#	Zoning By-law 1-88 Variance requested
8	To permit a garden or storage shed in the exterior side yard.
9	To permit a minimum rear yard setback of 0.61 metres to an accessory building (Cabana).
10	To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (Cabana).



106 WILDHAVEN CRES.

SCALE:
1/16" = 1'-0"

SCALE FACTOR:
1 : 196

ALL DIMENSIONS ARE SET OR
MEASURED PER PLAN 65M-3066

THE CITY OF VAUGHAN DOES NOT
WARRANT THE ACCURACY OR
CONTENT OF THE SURVEY.

COPYRIGHT ACT APPLIES

NOTE: ALL TIES ARE TO THE
CONCRETE FOUNDATION

SURVEYOR'S REAL PROPERTY REPORT

PART 1:

PLAN OF
LOT 32

REGISTERED PLAN 65M-3066

CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 300



1997 © HUNT SURVEYS INC.

PART 2: THIS REPORT WAS PREPARED FOR
RIVERFIELD HOMES.

TITLE SEARCH INDICATES THE FOLLOWING:
NO REGISTERED EASEMENTS OR RIGHTS-OF-WAY

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO
FEET BY DIVIDING BY 0.3048

LEGEND

DENOTES	SURVEY MONUMENT FOUND
□ SIB	SURVEY MONUMENT PLANTED
IB	STANDARD IRON BAR
"	IRON BAR
"	HUNT SURVEYS INC.
P (1534)	REGISTERED PLAN 65M-3066

BEARINGS: BEARINGS ARE ASTRONOMIC AND ARE
REFERRED TO NORTH LIMIT OF WILDHAVEN CRESCENT, AS
SHOWN ON PLAN 65M-3066 HAVING A
BEARING OF N43°32'10"E.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- This survey and plan are correct and in accordance
with the Surveys Act, the Surveyors Act and the
regulations made under them.
- The survey was completed on August 12, 1997.

DATE: September 12, 1997

Douglas E. Hunt
ONTARIO LAND SURVEYOR

HUNT SURVEYS INC.
ONTARIO LAND SURVEYORS

45A WEST WILMOT ST., SUITE 207, RICHMOND HILL, ON.
L4B 2P2. Tel: (905) 764-8759 Fax: (905) 764-6812

SURVEY BY: C.K.

CHECKED BY: D.H.

DWG No. LOT32

CAD : LV.

PROJECT # 96-2200

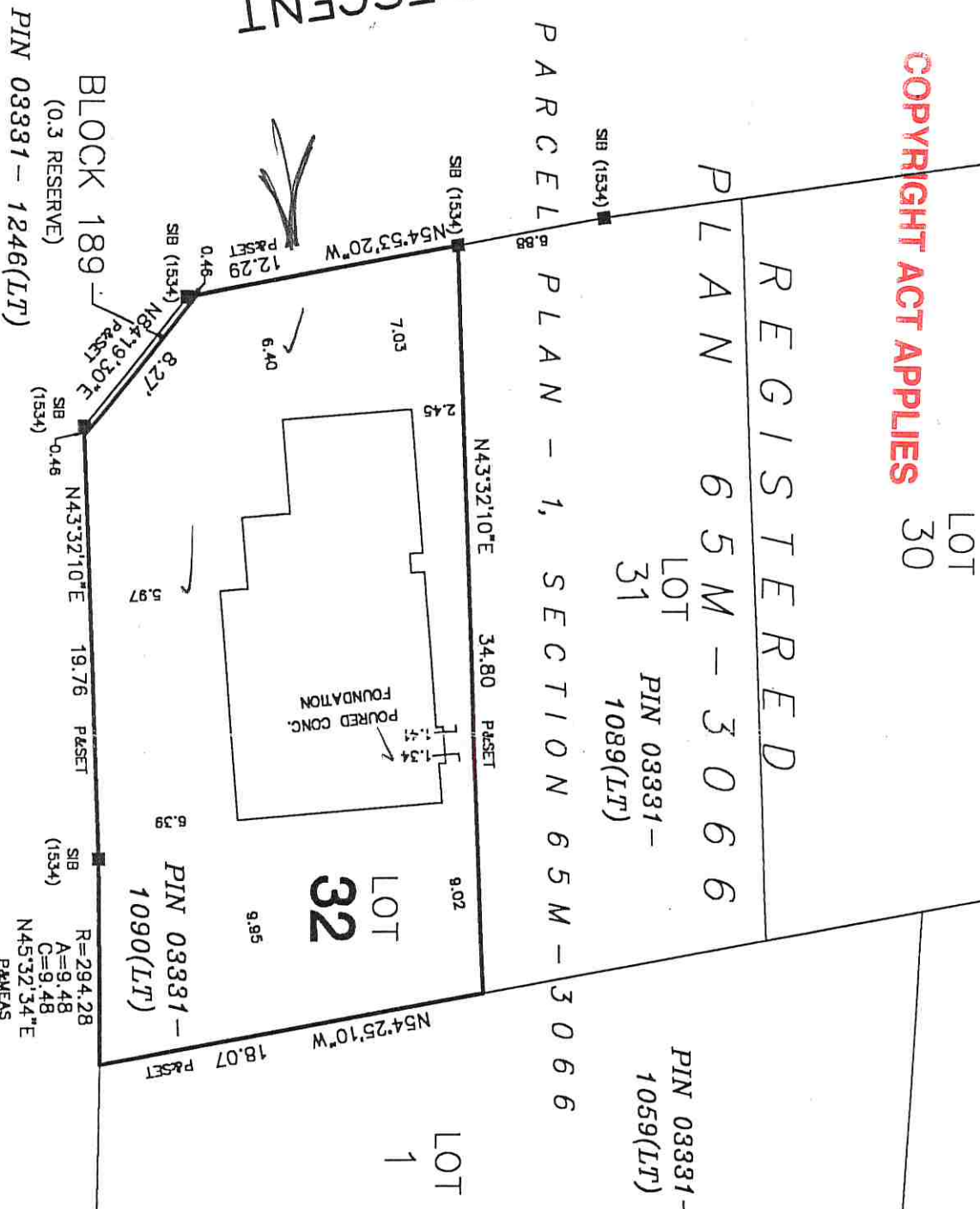
COMPUTER FILE FN32



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1135907

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

WILDHAVEN CRESCENT
(BY REGISTERED PLAN 65M-3066)



WILDHAVEN CRESCENT

(BY REGISTERED PLAN 65M-3066)

PIN 03331-1276(LT)

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 13, 2022

Name of Owner: Elizabeth Pironkov & Emil Pironkov

Location: 106 Wildhaven Crescent

File No.(s): A106/22

Proposed Variance(s) (By-law 001-2021):

1. To permit an accessory building to be closer to an exterior side lot line than the principle building on the lot. (Shed)
2. To permit an exterior side yard setback of 0.63 metres to accessory building (Shed).
3. To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (Cabana).
4. To permit a swimming pool to be located closer to an exterior side lot line than the dwelling.
5. To permit a maximum rear yard encroachment of 8.68 metres to an uncovered platform.
6. To permit a maximum exterior yard encroachment of 4.19 metres to an uncovered platform. (Platform # 1)
7. To permit a maximum exterior yard encroachment of 4.15 metres to an uncovered platform. (Platform # 2)

By-Law Requirement(s) (By-law 001-2021):

1. An accessory building or residential accessory structure shall not be located closer to an exterior side lot line than the principal building on the lot.
2. The minimum exterior side yard setback required is 4.5 metres.
3. The minimum interior side yard setback required is 1.2 metres.
4. In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling.
5. The maximum rear yard encroachment permitted to an uncovered platform with a floor height of 1.2 metres or less is 2.4 metres.
6. The maximum exterior side yard encroachment permitted to an uncovered platform with a floor height of 1.2 metres or less is 2.4 metres.
7. The maximum exterior side yard encroachment permitted to an uncovered platform with a floor height of 1.2 metres or less is 2.4 metres.

Proposed Variance(s) (By-law 1-88):

8. To permit a garden or storage shed in the exterior side yard.
9. To permit a minimum rear yard setback of 0.61 metres to an accessory building (Cabana).
10. To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (Cabana).

By-Law Requirement(s) (By-law 1-88):

8. A garden or storage shed shall be located in the rear yard.
9. The minimum rear yard setback required is 9.0 metres.
10. The minimum interior side yard setback required is 1.2 metres.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to construct an inground pool, gazebo and deck with the above noted variances.

The Development Planning Department has no objection to Variance 1, 4 and 8, as the location of the shed and pool will not have any visual impacts to the surrounding neighbours as the height of the shed and deck/platforms are fully located behind the

existing fence, is appropriate given the lot configuration, and is consistent with approvals in other Residential Zones throughout the City.

The Development Planning Department has no objection to Variance 2, 3, 9 and 10, as the reduction to the rear, exterior and interior side yard setbacks will not pose a significant visual impact to nor impact the function of the abutting uses. The exterior and interior side yard setback of 0.63 and 0.61 m also maintains an appropriate area for access and drainage and will not impact the abutting properties.

The Development Planning Department has no objection to Variance 5, 6, and 7 for the proposed uncovered platforms as the rear and side yard encroachments maintain an appropriate area for access and drainage, will not have adverse impacts to the neighbouring properties as the modest height of the platforms will present no perceptible projection of mass encroachment into the yard as they will be screened by the existing fence, and are compatible with the abutting outdoor amenity uses similar to at-grade patios.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
Chris Cosentino, Senior Planner
David Harding, Senior Planner

Date: May 4th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A106-22**

Related Files:

Applicant Elizabeth Pironkov Emile Pironkov

Location 106 Wildhaven Crescent

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

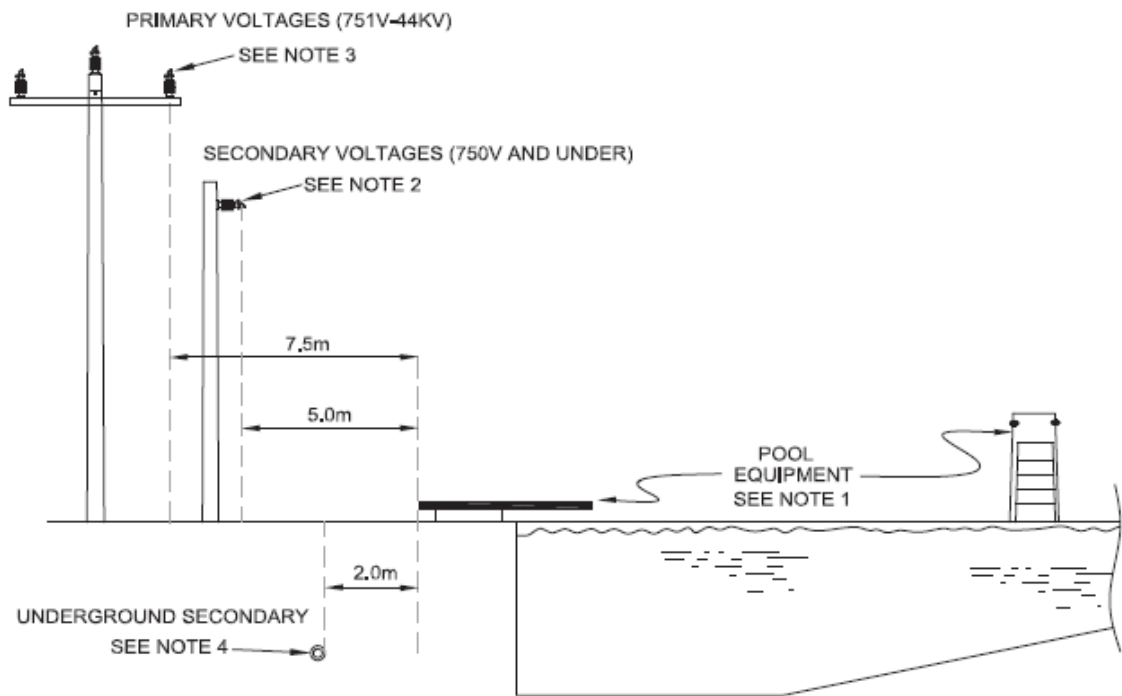
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alecrautilities.com

Mitchell Penner

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alecrautilities.com



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES	
FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

**MINIMUM CLEARANCES FOR
CONDUCTORS ADJACENT
TO SWIMMING POOLS**

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

Pravina Attwala

Subject: FW: [External] RE: A106/22 (106 WILDHAVEN CRESCENT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Gordon, Carrie <carrie.gordon@bell.ca>
Sent: May-03-22 1:35 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A106/22 (106 WILDHAVEN CRESCENT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Pravina,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

Pravina Attwala

Subject: FW: [External] RE: A106/22 (106 WILDHAVEN CRESCENT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: York Plan <yorkplan@trca.ca>

Sent: May-03-22 1:54 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A106/22 (106 WILDHAVEN CRESCENT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good afternoon,

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

Regards,

Hamedeh Razavi MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:4166616600) ext. 5256

E: Hamedeh.Razavi@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at Hamedeh.Razavi@trca.ca We thank you for your cooperation as we respond to the current situation.

p

Pravina Attwala

Subject: FW: [External] RE: A106/22 (106 WILDHAVEN CRESCENT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-05-22 1:28 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A106/22 (106 WILDHAVEN CRESCENT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				