

76
Kiloran
Avenue



Presented by John Ramirez

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01

Lot coverage of
29.98%.

By-law 01-2021

02

Maximum height
of 3.71m for a
residential
accessory
building (cabana)

03

Side Yard
Setback of 0.6m
to an accessory
building (shed)

04

Lot coverage of
25.01%

By-law 1-88

Request Approval for 4 Minor Variances

Breakdown of Variances

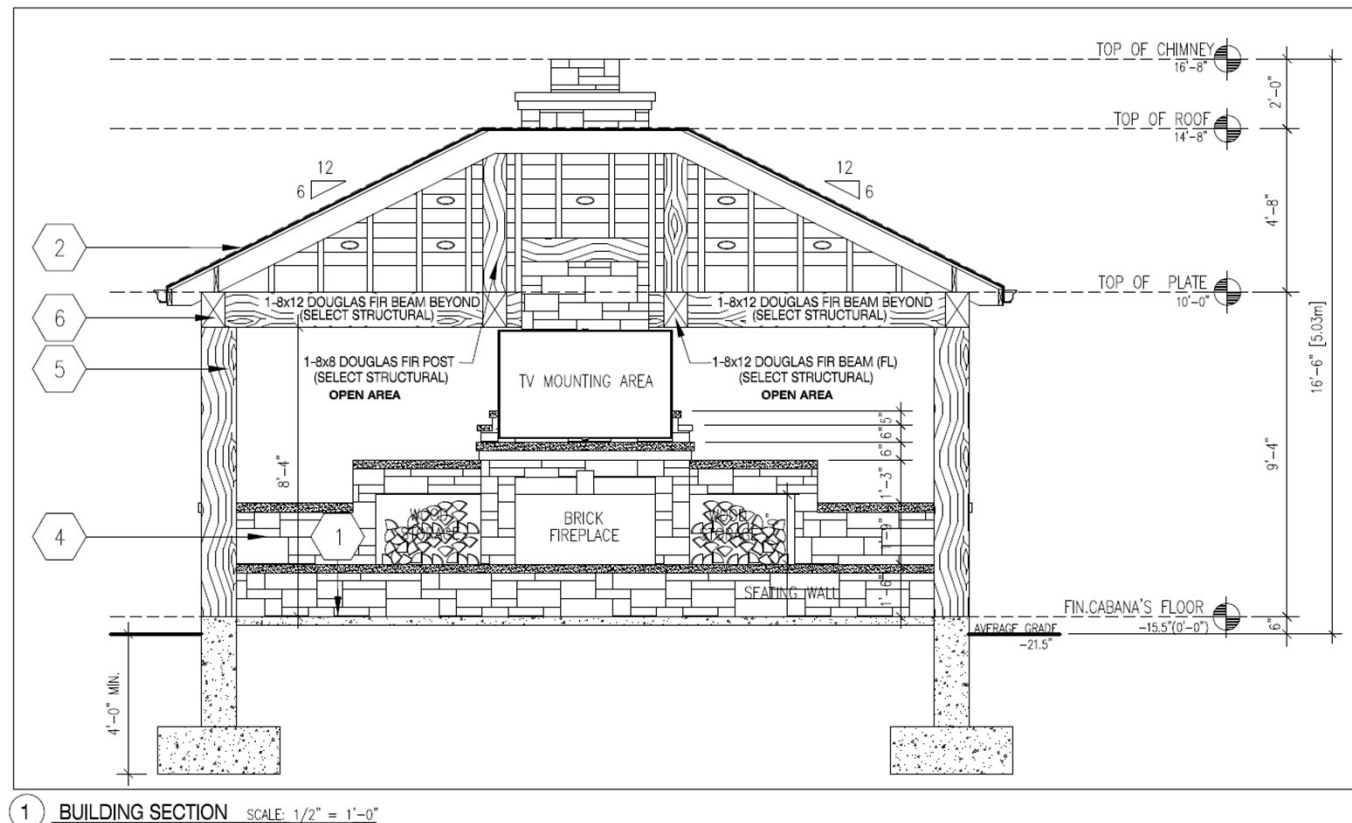
	LOT COVERAGE	LOT COVERAGE	MAXIMUM HEIGHT (CABANA)	SIDE YARD SETBACK (SHED)
REQUESTED	29.98%	25.01%	3.71 metres	0.60m
BY-LAW 01-2021	20%	N/A	3.00 metres	1.50m
BY-LAW 1-88	N/A	20%	N/A	N/A
DIFFERENCE	+9.98%	+5.01%	+0.71 metres	-0.90m

Lot Coverage under By-laws 01-2021 and 1-88

01-2021	1-88
Maximum height of the cabana is measured to the middle of the roof.	Permits a maximum height of 3.0 metres measured to the roof eaves and 4.5 metres to the top of the roof.
Includes roof eaves (overhang).	Does NOT include roof eaves (overhang).
By-law 01-2021 came into effect in 2021.	The cabana was proposed while By-law 1-88 was in effect and was therefore compliant.

Variances # 1 & 4 Lot Coverage

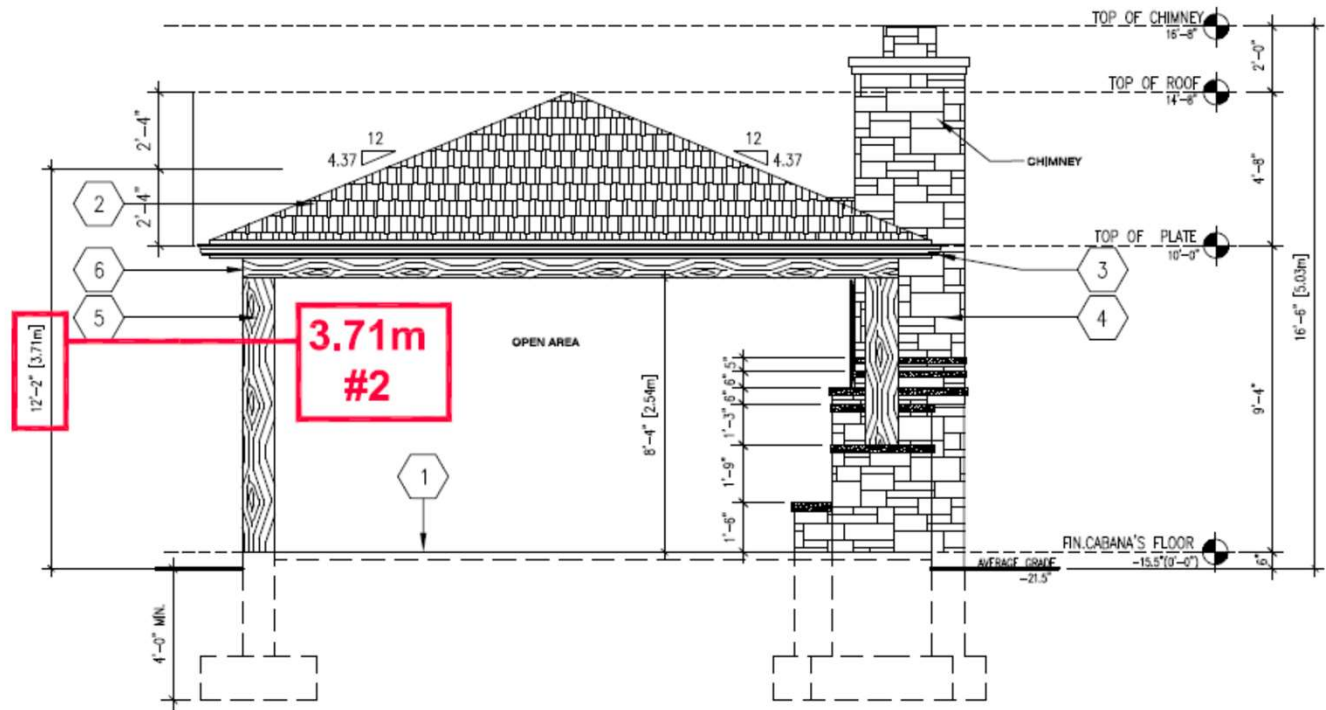
- Existing house is over the required lot coverage for both by-laws PRIOR to the cabana.
- If we subtract the cabana roof area (5.49%), we'd still be over.
- New by-laws do not accommodate new homes.
- Under By-law 1-88, the existing dwelling would be over the permitted lot coverage of 20% if the roof eaves are considered.



Variance #2

Maximum Height (cabana)

- Over by 0.71m which is minor.
- Measured from the average grade to the MIDDLE of roof.
- Condition of property affects variance.
- Abundance of trees on the property will conceal cabana.
- Cabana located at centre of rear yard (far from property line).





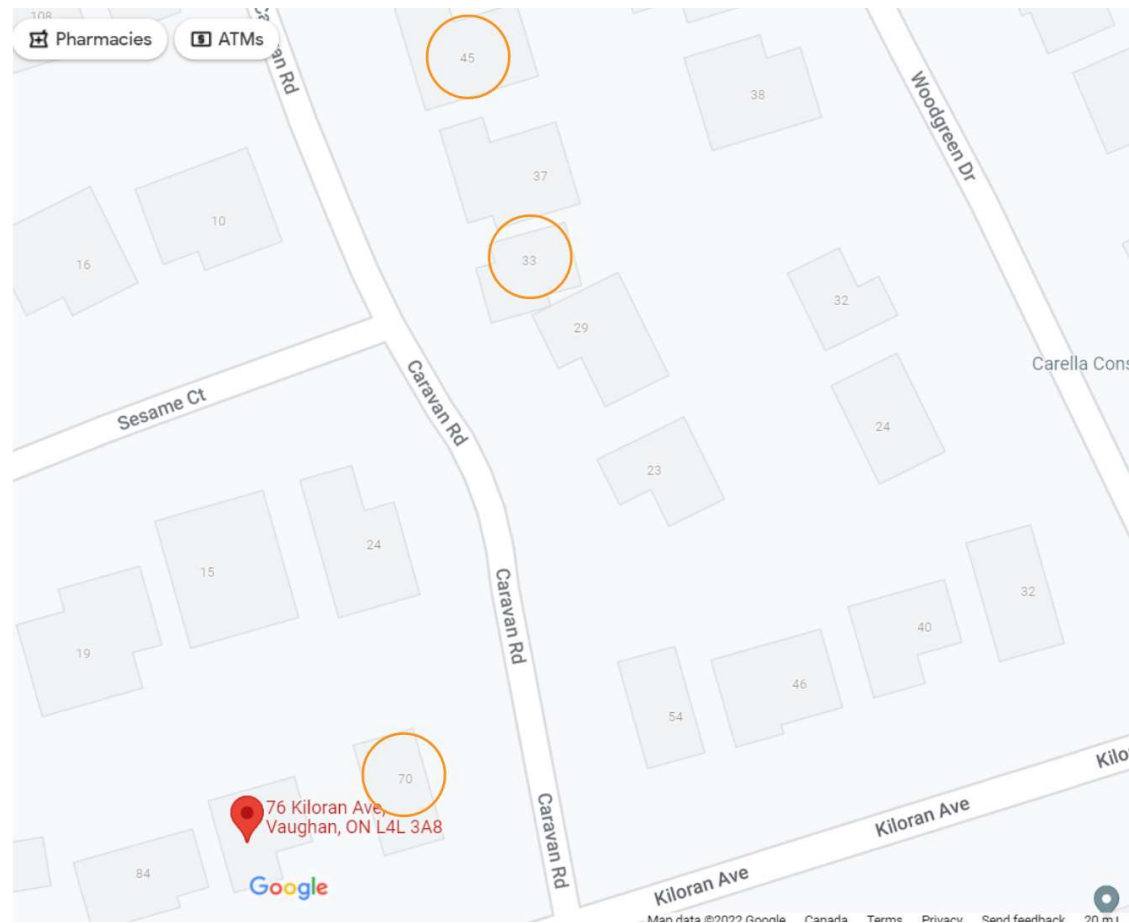






Neighbour Support

Neighbour	Location
33 Caravan Rd.	Northeast of the subject property.
45 Caravan Rd.	Northeast of the subject property.
70 Kiloran Ave.	Adjacent to the subject property (right).



City Planner Comments

1. No objection to **Variances 1 and 4** for the increase in lot coverage. The increase in total lot coverage will not pose a significant visual impact on the adjacent properties.
2. No objection to **Variances 2** for the proposed height of the cabana as it will be screened from the abutting rear yards by the existing fences and vegetation and will not pose a significant visual impact to the adjacent properties. The proposed cabana will also comply with all setback requirements of the Zoning By-law.
3. No objection to **Variances 3** as the reduction to the interior side yard setback for the existing shed does not have adverse impacts on the neighbouring properties and it maintains an appropriate area for drainage.
4. In support of the application, the Owners have submitted an **Arborist Report and Tree Protection Plan** prepared by Davey Resource Group, dated February 5, 2022. The report inventoried 30 trees, none of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Variances Requested:

1. Satisfy the four tests in s. 45 of the Planning Act.
2. Cause NO adverse impact on abutting properties and neighbourhood in general.
3. Complement current trends in residential developments.