

# 24 Mary Natasha Court



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Presented by John Ramirez

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01

Rear Yard  
Setback of  
1.48m

02

Side Yard  
Setback of  
0.76m

03

Lot Coverage of  
40.93% and  
36.31%

04

Building Height  
of 3.81m and  
3.50m

05

Pool Equipment  
Encroachment  
of 6.93m

Request Approval for 10 Minor Variances  
[5 under both By-laws]

# Breakdown of Variances [01-2021]

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	REAR YARD SETBACK	SIDE YARD SETBACK	LOT COVERAGE	BUILDING HEIGHT	POOL EQUIPMENT
<b>REQUESTED</b>	1.48m	0.76m	40.93%	3.81m	6.93m
<b>BY-LAW 01-2021</b>	2.40m	2.40m	40.00%	3.00m	1.50m
<b>DIFFERENCE</b>	-0.92m	-1.64m	+00.93%	+0.81m	+5.43m

# Breakdown of Variances [1-88]

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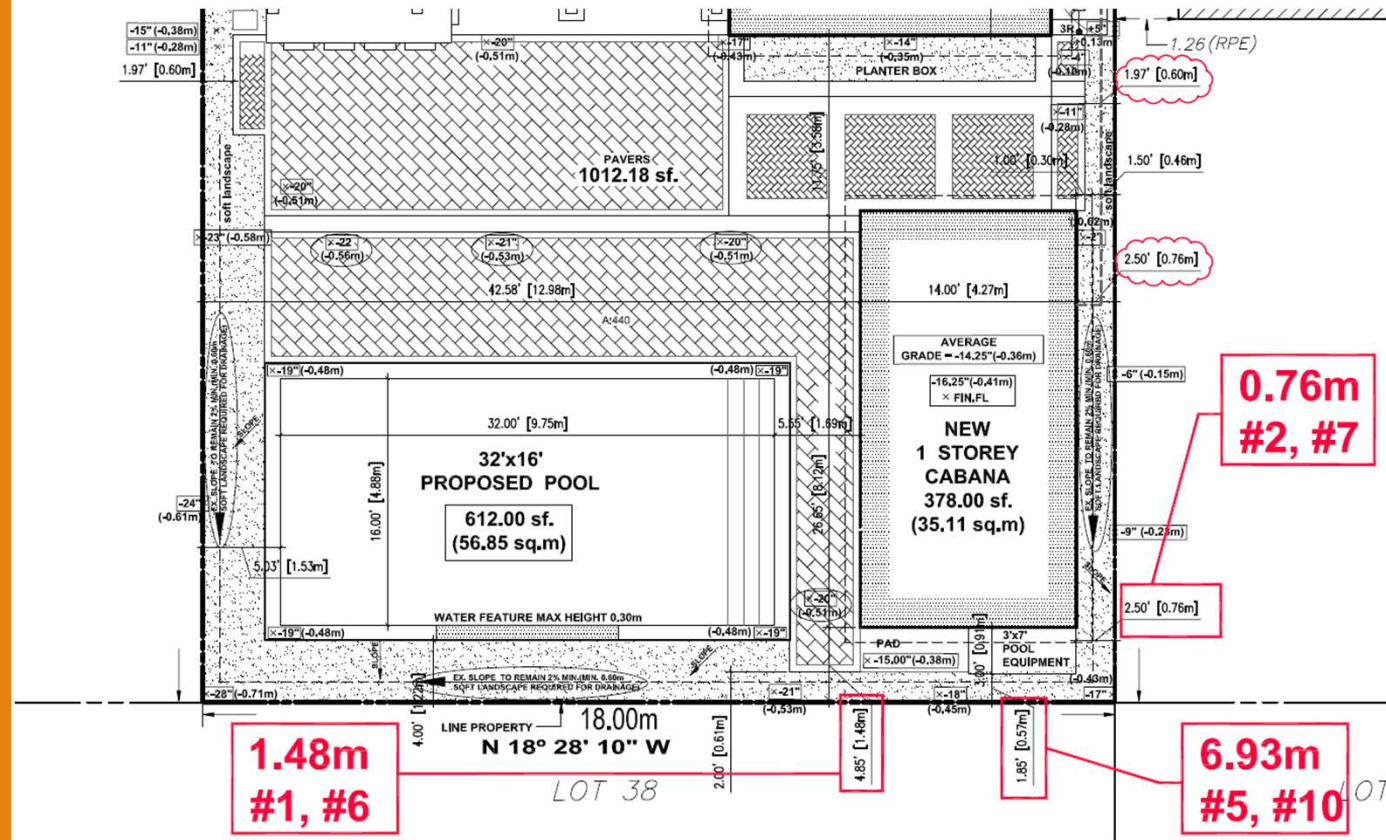
	REAR YARD SETBACK	SIDE YARD SETBACK	LOT COVERAGE	BUILDING HEIGHT	POOL EQUIPMENT
<b>REQUESTED</b>	1.48m	0.76m	36.31%	3.50m	6.93m
<b>BY-LAW 1-88</b>	7.50m	1.20m	35.00%	3.00m	1.50m
<b>DIFFERENCE</b>	-6.02m	-0.44m	+01.31%	+0.50m	+5.43m

- The 1.48m setback is minorly over by **0.92m** under By-law 001-2021.
- Setback does NOT comply with By-law 1-88, but this by-law will no longer be enforced.
- Maintaining acceptable space for drainage.



# Variances # 2 & 7 Side Yard Setback

- The 0.76m setback is sufficient space between the cabana and pool for drainage.
- These setbacks are common when cabanas are located at the back of the rear yard.

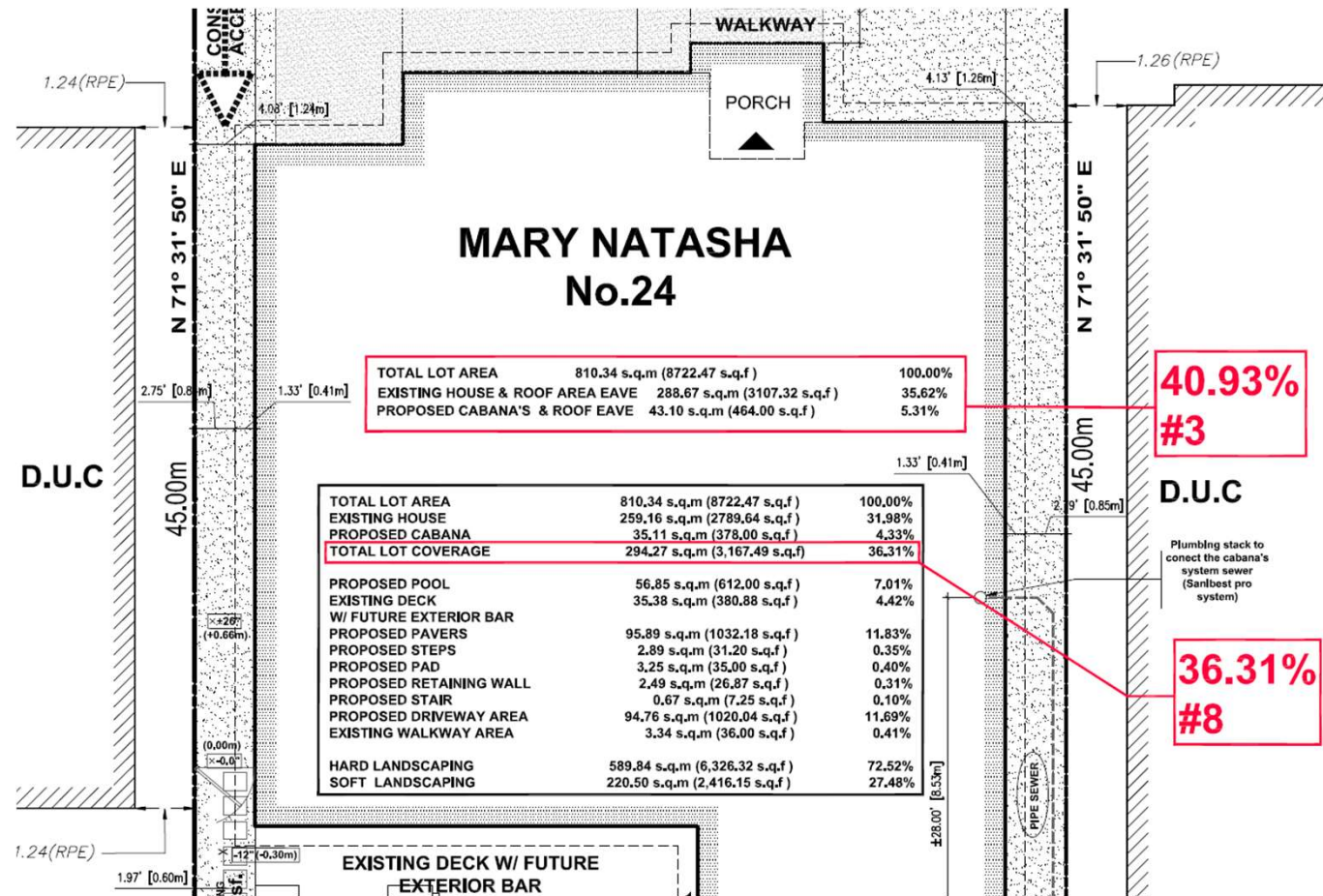




# Variances #3 & 8

## Lot Coverage

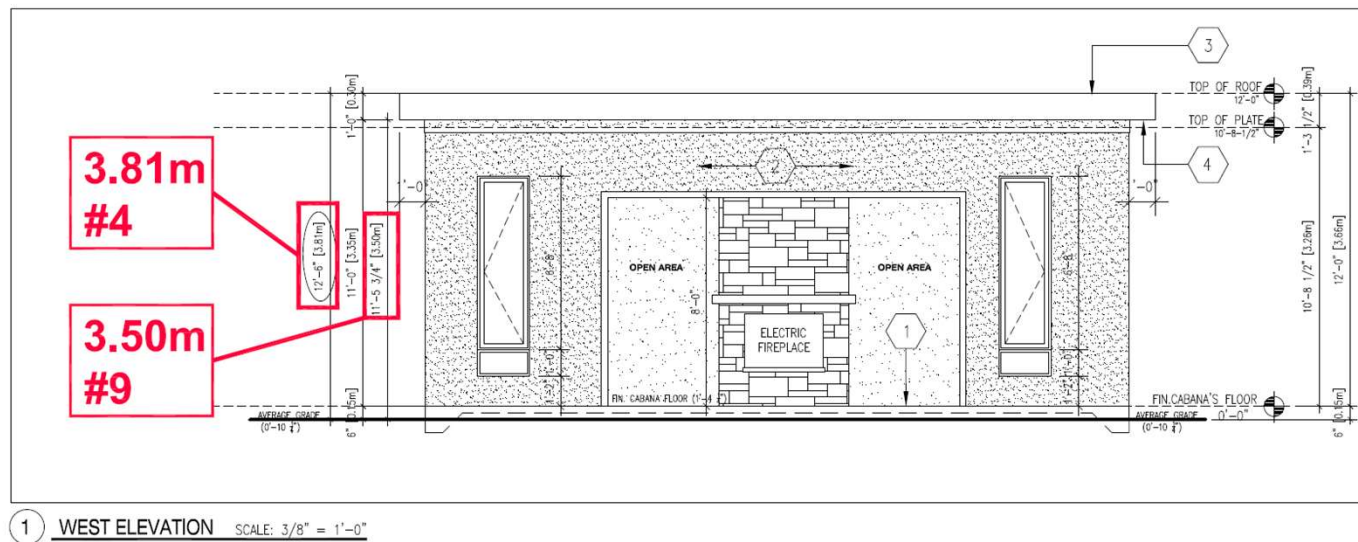
- By-law 001-2021 includes the roof overhang.
- Under 001-2021, over by 0.93% which is minor.
- Most lot coverage comes from the existing building.
- By-law 1-88 does NOT include the roof overhang.
- Under 1-88, over by 1.31% which is minor.



# Variances # 4 & 9 Building Height

- By-law 001-2021 measures to the top of the roof (incl. eaves).
- Under 001-2021, over by 0.81m which is minor.
- By-law 1-88 measures to the bottom of the roof.
- Under 1-88, over by 0.50m which is minor.
- Common height
- Planning department did not express concern

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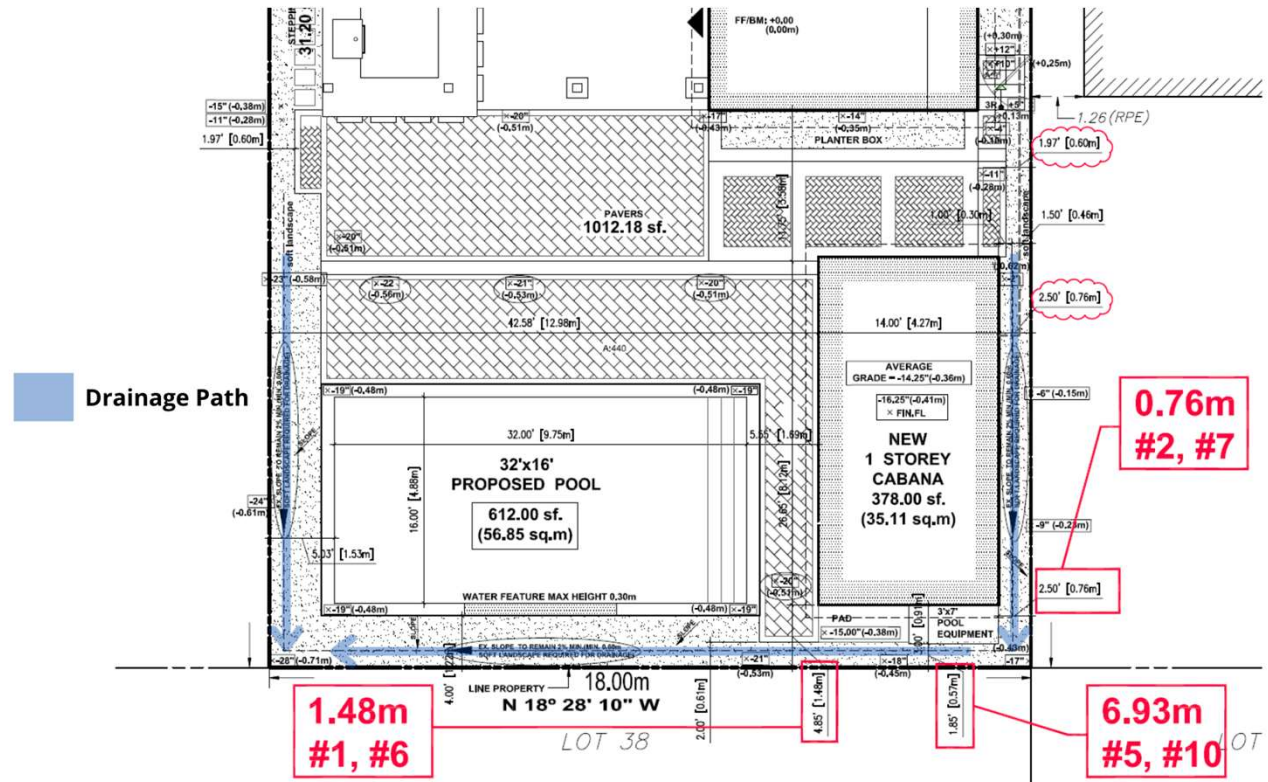




# Variances # 5 & 10

## Pool Equipment [encroachment]

- Pool equipment concrete pad built at 3 feet.
- Maintains room for drainage.
- Off by 1 inch.
- Pool equipment pad integrated with cabana and adjacent to pool.
- The 6.93m setback will keep pool equipment hidden, prevent narrowing the existing rear yard walkway, and reduce noise.
- Location is at the farthest point from neighbouring dwellings.



# City Planner Comments

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1. No objection to **Variances 2 and 7** as the reduction to the interior side yard setback is minor and will not have adverse impacts. The interior side yard setback of 0.76m also maintains an appropriate area for access and drainage.
2. No objection to **Variances 3 and 8** for the increase in lot coverage. The increase in total lot coverage will not pose a significant visual impact on the adjacent properties and is minor in nature relative to both Zoning By-law requirements.
3. No objection to **Variances 4 and 9** as the proposed height for the cabana is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact on the adjacent properties.
4. No objection to **Variances 9 and 10** as the proposed pool equipment is adjacent to the cabana and will not pose a significant visual impact on the adjacent properties. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained.

# Variances Requested:

1. Satisfy the four tests in s. 45 of the Planning Act.
2. Cause NO adverse impact on abutting properties and neighbourhood in general.
3. Complement current trends in residential developments.