

	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A087/22</b>
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<b>AGENDA ITEM NUMBER: 6.9</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Carmine and Maria Malito
<b>AGENT:</b>	N/A
<b>PROPERTY:</b>	44 Granger Street, Maple
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from Zoning By-laws is being requested to permit the construction of a proposed cabana.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A087/22**

**FILE MANAGER:** Lenore Providence, Administrative Coordinator - Committee of Adjustment

<b>AGENDA ITEM NUMBER: 6.9</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Carmine and Maria Malito
<b>AGENT:</b>	None
<b>PROPERTY:</b>	44 Granger Street, Maple
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from Zoning By-laws is being requested to permit the construction of a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R3(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.276 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 2.4m is required for the proposed residential accessory structure (Cabana) [4.1.2.1.b]	To permit a minimum rear yard setback of 0.67m for the proposed residential accessory building (Cabana).
2	A side yard setback of 2.4m is required for the proposed residential accessory structure (Cabana) [4.1.2.1.b]	To permit a minimum side yard setback of 0.67m for the proposed residential accessory building (Cabana).
3	A maximum lot coverage of 40% is permitted. [Schedule T-16]	To permit a maximum lot coverage of 41.48% (Dwelling 32.65%, Cabana 5.12%, Eaves (House) 3.02% and Eaves (Cabana) 0.69%)
4	A maximum building height of 3.0m is permitted. [4.1.4.1]	To permit a maximum height of 3.62m for the proposed residential accessory building.

**The subject lands are zoned R3 – Residential Zone and subject to the provisions of Exception 9(475) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
5	A minimum rear yard setback of 7.5m is required for the proposed residential accessory structure (Cabana). [Schedule T-16]	To permit a minimum rear yard setback of 0.67m for the proposed residential accessory building (Cabana).
6	A side yard setback of 1.2m is required for the proposed residential accessory structure (Cabana). [Schedule T-16]	To permit a minimum side yard setback of 0.67m for the proposed residential accessory building (Cabana).

HEARING INFORMATION	
Date & Time of Hearing:	Thursday, May 26, 2022, at 6:00 p.m.
Watch the hearing live at: <a href="https://vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a>	
PUBLIC PARTICIPATION	
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>	
If you would like to submit written comments, please quote file number above and submit by mail or email to:	
Email: <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>	
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1	
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 12, 2022	
Date Applicant Confirmed Posting of Sign:	May 12, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Current backyard space is limited therefore maximizing existing space to incorporate a Cabana and swimming pool. In doing so, 3 variances have been identified: 1. - The rear yard setback of 0.67 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 2.4 metres [Zoning By-law 1-2021 Section 4.1.2] The rear yard setback of 0.67 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 7.5 metres. [Zoning Bylaw 1-88, as amended, Section 4.1.1]. 2. - The interior side yard setback of 0.67 metres to the proposed accessory structure encroaches into the minimum required interior side yard setback of 2.4 metres [Zoning By-law 1-2021 Section 4.1.2] The interior side yard setback of 0.67 metres to the proposed accessory structure encroaches into the minimum required interior yard setback of 1.2 metres. [Zoning By-law 1-88, as amended, Section 4.1.1]. 3. The height of 3.62 metres of the proposed accessory structure has exceeded the maximum permitted height of 3.0 metres. [Section 4.1.4.1, Zoning By-law 1-2021]	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>		

COMMITTEE OF ADJUSTMENT COMMENTS	
*A revised submission may be required to address staff / agency comments received as part of the application review process.	
*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
Stop work orders and orders to comply: There are no outstanding Orders on file  Building Permit No. 22-100930 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)  The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
<b>Development Planning Recommended Conditions of Approval:</b>	<ol style="list-style-type: none"><li>1. That the Arborist Report be revised to identify the location of inventoried trees as per the Tree Inventory and Action Table 1 on page 4 of the report, in a map that depicts the proposed development, the required tree protection zones and the proposed hoardings.</li><li>2. That a written consent letter from neighbouring property owners be submitted if the minimum tree protection zone for the neighboring trees cannot be met.</li></ol>

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
As the proposed Cabana in the subject property is 28 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)  The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.  The Development Engineering (DE) Department does not object to variance application A087/22 subject to the following condition(s):	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Parks:	

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Applicant has obtained a private tree permit and installed hoarding. Horticulture:	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

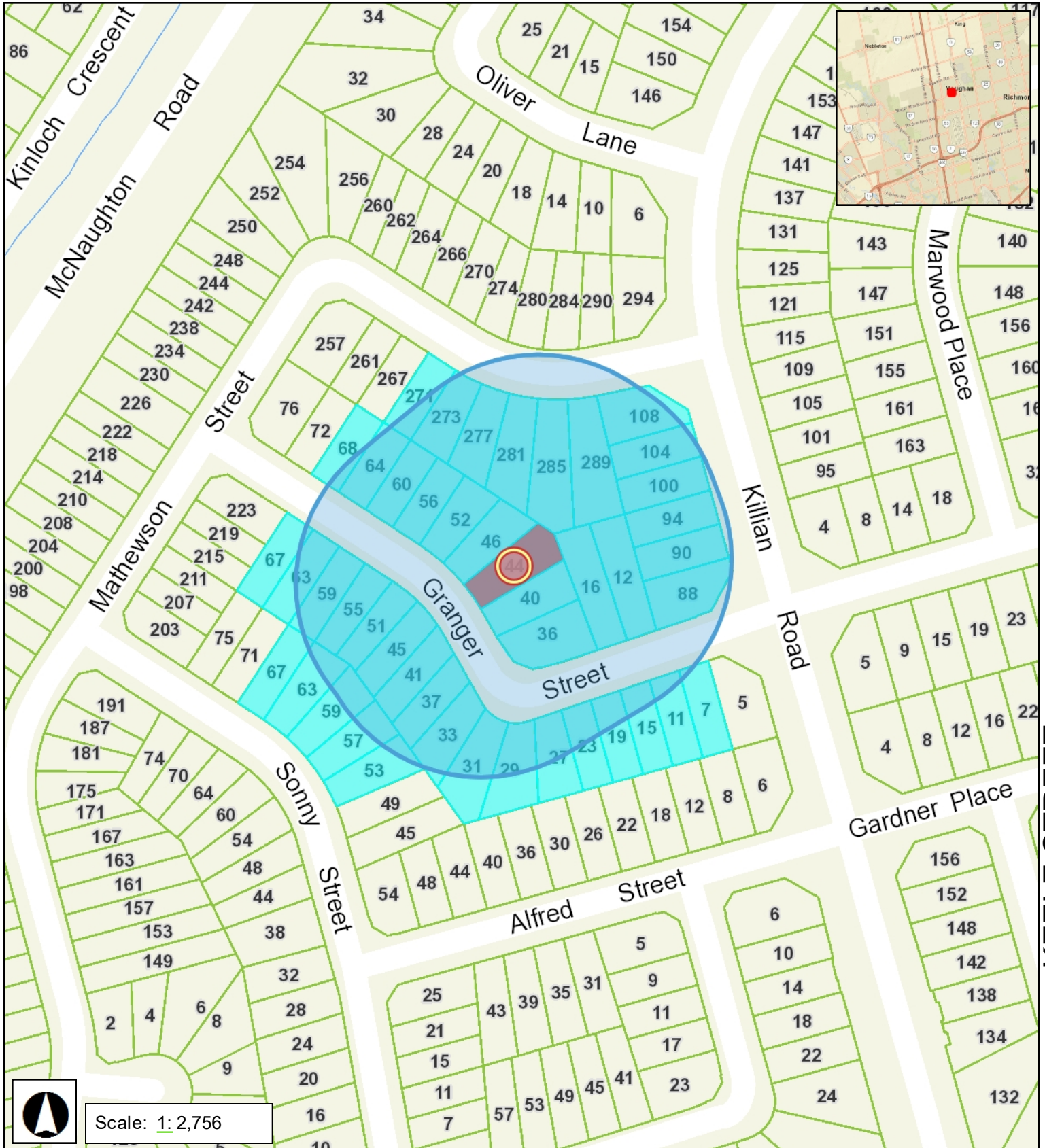
SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Development Planning <a href="mailto:michelle.perrone@vaughan.ca">michelle.perrone@vaughan.ca</a>	1. That the Arborist Report be revised to identify the location of inventoried trees as per the Tree Inventory and Action Table 1 on page 4 of the report, in a map that depicts the proposed development, the required tree protection zones and the proposed hoardings. 2. That a written consent letter from neighbouring property owners be submitted if the minimum tree protection zone for the neighboring trees cannot be met.

IMPORTANT INFORMATION – PLEASE READ
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>

**SCHEDULE A: DRAWINGS & PLANS**



**Revised**

April 28, 2022

**A087/22**

**Variance #2 & 6**

Interior Side Yard  
Zoning By-Laws:  
1-2021  
1-88

**Variance #1 & 5**

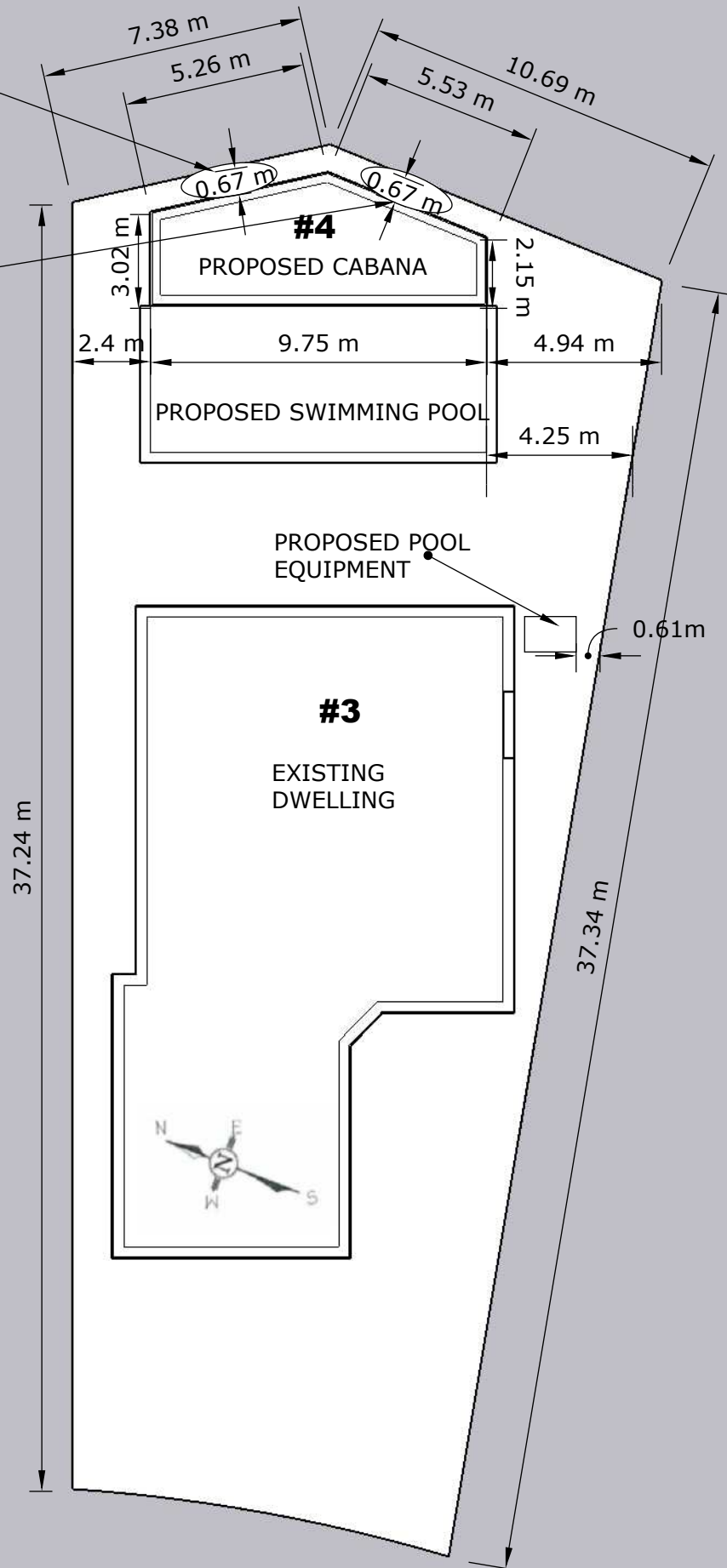
Rear Yard Zoning  
By-Laws:  
1-2021  
1-88

**Variance #3**

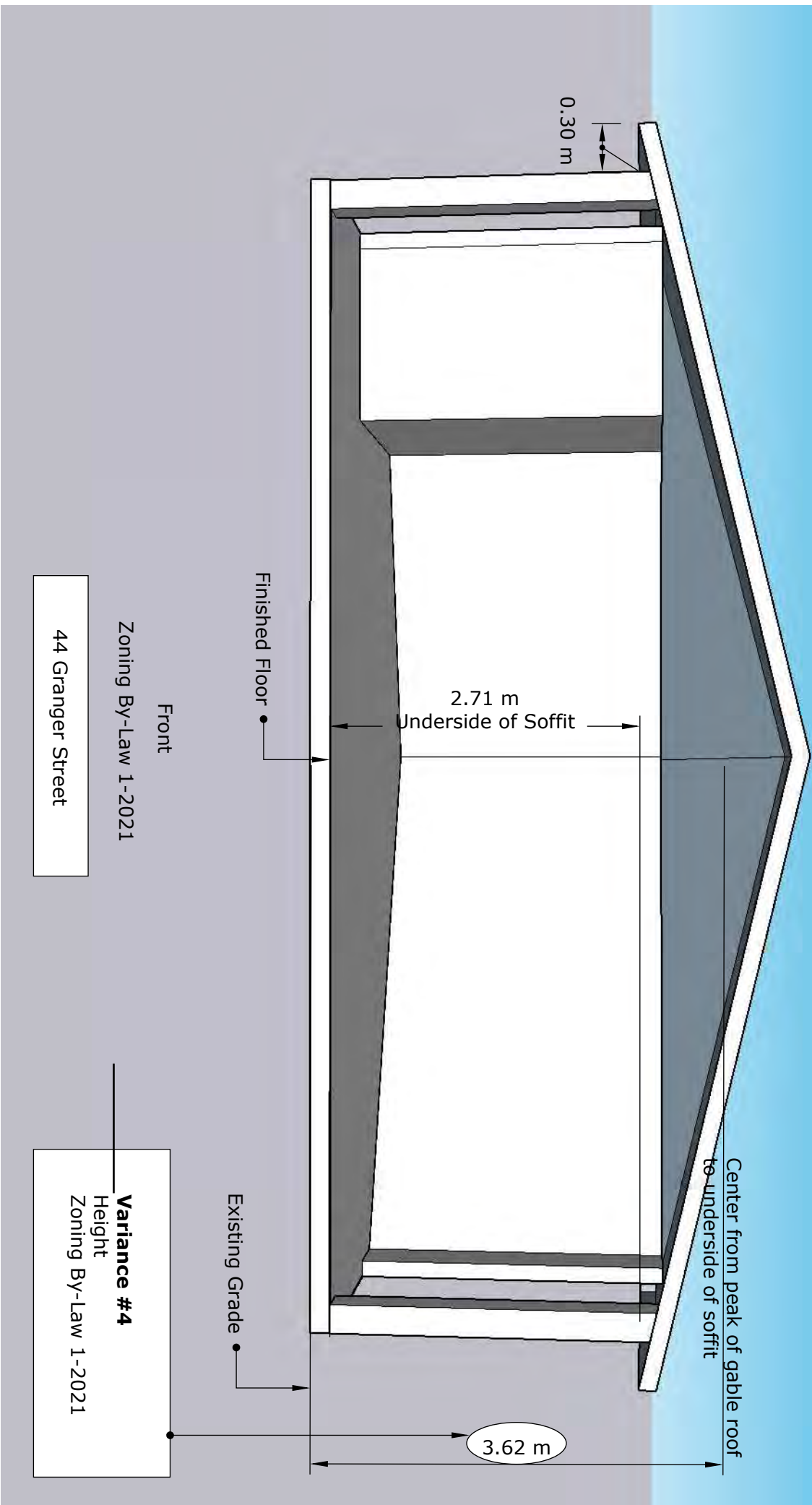
Lot coverage  
Zoning By-Law:  
1-2021

**Variance #4**

Cabana Height  
Zoning By-Law:  
1-2021



44 Granger Street



SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No comment no concern
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No comment no concern
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** May 16, 2022

**Name of Owner:** Carmine Malito & Maria Malito

**Location:** 44 Granger Street

**File No.(s):** A087/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a minimum rear yard setback of 0.67m for the proposed residential accessory building (Cabana).
2. To permit a minimum side yard setback of 0.67m for the proposed residential accessory building (Cabana).
3. To permit a maximum lot coverage of 41.48%.
4. To permit a maximum height of 3.62m for the proposed residential accessory building.

**By-Law Requirement(s) (By-law 001-2021):**

1. A minimum rear yard setback of 2.4m is required for the proposed residential accessory structure (Cabana).
2. A side yard setback of 2.4m is required for the proposed residential accessory structure (Cabana).
3. A maximum lot coverage of 40% is permitted.
4. A maximum building height of 3.0m is permitted.

**Proposed Variance(s) (By-law 1-88):**

5. To permit a minimum rear yard setback of 0.67m for the proposed residential accessory building (Cabana).
6. To permit a minimum side yard setback of 0.67m for the proposed residential accessory building (Cabana).

**By-Law Requirement(s) (By-law 1-88):**

5. A minimum rear yard setback of 7.5m is required for the proposed residential accessory structure (Cabana).
6. A side yard setback of 1.2m is required for the proposed residential accessory structure (Cabana).

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

**Comments:**

The Owner is requesting permission to construct a cabana with the above noted variances.

The Development Planning Department has no objection to Variance 1, 2, 5 and 6, as the reduction to the rear and side yard setbacks will not pose a significant visual impact to nor impact the function of the abutting uses. The rear and side yard setback of 0.67 m also maintains an appropriate area for access and drainage and will not impact the abutting properties.

The existing dwelling and eaves have a lot coverage of 32.65%, while the proposed cabana will have a lot coverage of 5.12%. There are no proposed changes to the existing single-family dwelling, however, the maximum lot coverage is increasing as it includes the cabana and the area underneath the eaves as defined in By-law 001-2021. The cabana coverage is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties or streetscape. The increase in total lot coverage is minor in nature relative to the requirement under Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the

Development Planning Department has no objection to Variances 3 for the increase in lot coverage.

The Development Planning Department has no objection to Variance 4, as the increased height of 0.62 m for the cabana is minor in nature, will not have any visual impacts to the surrounding neighbours as the height of the cabana is fully located behind the existing fence, and is consistent with approvals in other Residential Zones throughout the City.

The Owners have submitted an Arborist Report by P&A Urban Forestry Consulting Ltd., dated January 20, 2022. The report inventoried 8 trees, of which 1 is proposed to be removed and is identified for replanting on the subject lands.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following conditions:

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the Arborist Report be revised to identify the location of inventoried trees as per the Tree Inventory and Action Table 1 on page 4 of the report, in a map that depicts the proposed development, the required tree protection zones and the proposed hoardings.
2. That a written consent letter from neighbouring property owners be submitted if the minimum tree protection zone for the neighboring trees cannot be met.

**Comments Prepared by:**

Michelle Perrone, Planner 1  
Chris Cosentino, Senior Planner  
David Harding, Senior Planner

**Date:** May 2<sup>nd</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A087-22**

**Related Files:**

**Applicant** Carmine Malito Maria Malito

**Location** 44 Granger Street

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

## Lenore Providence

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**Subject:** FW: [External] RE: A087/22, REQUEST FOR COMMENTS - Vaughan - 44 Granger Street, Maple

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** May-03-22 11:31 AM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A087/22, REQUEST FOR COMMENTS - Vaughan - 44 Granger Street, Maple

Good morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

## Lenore Providence

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**Subject:** FW: [External] RE: A087/22, REQUEST FOR COMMENTS - Vaughan - 44 Granger Street, Maple

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**From:** York Plan <yorkplan@trca.ca>

**Sent:** May-02-22 9:20 AM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

**Subject:** [External] RE: A087/22, REQUEST FOR COMMENTS - Vaughan - 44 Granger Street, Maple

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

**Mark Howard, BES, MLA, MCIP, RPP**

Senior Manager – Toronto, Durham & York East Review Areas

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				