

	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A084/22</b>
---	--

<b>AGENDA ITEM NUMBER: 6.7</b>	<b>CITY WARD #: 2</b>
<b>APPLICANT:</b>	Anthony Spagnolo and Michelle Moretti
<b>AGENT:</b>	None
<b>PROPERTY:</b>	494 Vaughan Mills Rd, Woodbridge
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Requesting variances to permit the construction of a proposed cabana.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<div><div><b>PUBLIC &amp; APPLICANT CORRESPONDENCE</b></div><div><div>*Please see <b>Schedule C</b> of this report for a copy of the public &amp; applicant correspondence listed below.</div><div>The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b></div><div>Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.</div><div>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</div></div></div>				
<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received</b> (mm/dd/yyyy)	<b>Summary</b>
None				

<div><div><b>PREVIOUS COA DECISIONS ON THE SUBJECT LAND</b></div><div><div>*Please see <b>Schedule D</b> for a copy of the Decisions listed below</div></div></div>		
<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

<div><div><b>ADJOURNMENT HISTORY</b></div><div><div>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</div></div></div>	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A084/22**

**FILE MANAGER:** Adriana MacPherson, Administrative Coordinator - Committee of Adjustment

<b>AGENDA ITEM NUMBER: 6.7</b>	<b>CITY WARD #: 2</b>
<b>APPLICANT:</b>	Anthony Spagnolo and Michelle Moretti
<b>AGENT:</b>	None
<b>PROPERTY:</b>	494 Vaughan Mills Rd, Woodbridge
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Requesting variances to permit the construction of a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.406 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 2.4m is required for the proposed residential accessory building. [4.1.2.1.b]	To permit a minimum rear yard setback of 1.2m for the proposed residential accessory building.
2	A minimum Side yard setback of 1.8m is required for the proposed residential accessory building. [14.406]	To permit a minimum side yard setback of 1.5m for the proposed residential accessory structure.
3	A maximum building height of 3.0 m is permitted for the proposed residential accessory building. [4.1.4, 1]	To permit a maximum building height of 3.53 m for a residential accessory structure. See below for additional details.

**The subject lands are zoned R1 –Residential and subject to the provisions of Exception 9(665) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
4	A minimum rear yard setback of 7.5m is required for the proposed residential accessory building. [Schedule A]	To permit a minimum rear yard setback of 1.2m for the proposed residential accessory building.
5	A minimum Side yard setback of 1.8m is required for the proposed residential accessory building. [9.665]	To permit a minimum side yard setback of 1.5m for the proposed residential accessory structure.

**HEARING INFORMATION**

**DATE & TIME OF HEARING:** Thursday, May 26, 2022 at 6:00 p.m.

**PUBLIC PARTICIPATION**

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Request to Speak Form](#) to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) by **noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an

Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

[For more information, please visit the City of Vaughan website.](#)

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
<b>Date Public Notice Mailed:</b>	May 11, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	May 16, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	<p>Minimum required rear yard set back of 7.5m cannot be achieved because it will impede onto the pool area. A minimum 1.20m rear yard is being requested to maximize the back yard space.</p> <p>Requesting a height variance for the proposed cabana from the permitted 3.0 meters to 3.53 meters (at mid-point) to accommodate design. Total height of proposed structure is 4.5 meters</p>
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
Stop work orders and orders to comply: There are no outstanding Orders on file	
Building Permit(s) Issued: A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2	
The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
As the proposed Cabana in the subject property is 53 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition.	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Parks: No response Forestry: 1) Resident has confirmed on site inspection that the municipally owned right-of-way tree will be protected during the pool/cabana construction utilizing hoarding detail MLA 107B (light Duty) with a minimum distance of 1.8 Meters in all directions. 2) The Forestry division is satisfied with the applicant's current plans and no further action is required at this time. Horticulture: No response	
PFH Recommended Conditions of Approval:	Parks: None Forestry: None Horticulture: None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
None	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
None	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
None	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
<b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.  An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.  A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.  Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.  Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
<b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.  That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.  That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment  That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
<b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



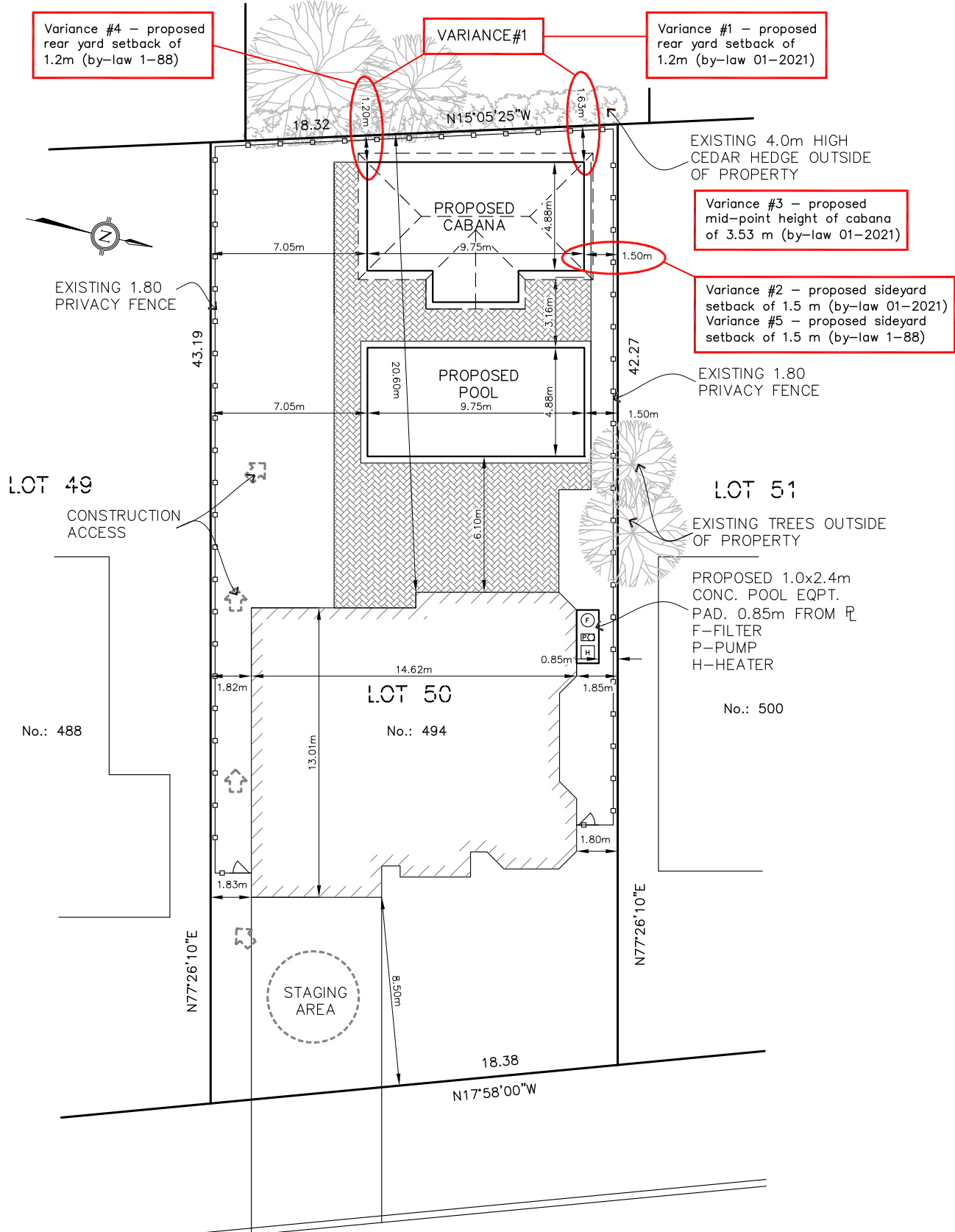




PLANS PREPARED BY APPLICANT  
May 12, 2022

NO.	DESCRIPTION	DATE
1	ADDED LOT COVERAGE FOR HOUSE	MAY 2/22.
2		
3		
4		

LOT 50, REGISTERED PLAN 65M-2987  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK



SITE DATA:

LOT AREA: 781.9m<sup>2</sup>  
REAR YARD AREA: 389.8m<sup>2</sup>  
REAR YARD SOFTSCAPING REQUIRED: (389.8-135)x60%= 152.9m<sup>2</sup>  
REAR YARD SOFTSCAPING AREA PROVIDED: 168.0m<sup>2</sup>

PROPOSED CABANA 53m<sup>2</sup> (6.8%)COVERAGE  
EXISTING DEWELLING 108m<sup>2</sup> (13.8%)COVERAGE  
TOTAL 161m<sup>2</sup> (20.6%)COVERAGE

VAUGHAN MILLS ROAD

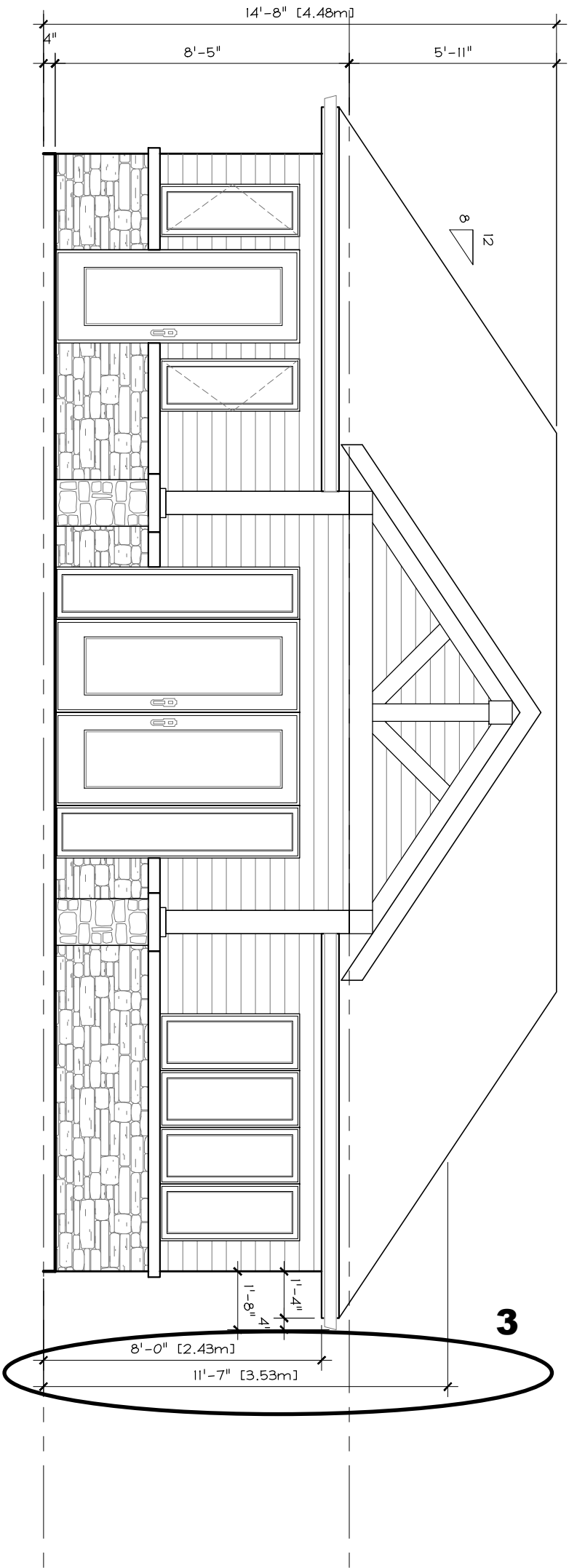


DM DESIGN AND ENGINEERING INC.  
140 RUSHWORTH CRESCENT, KLEINBURG, ONTARIO,  
L0J 1C0, T(647)524-5593, INFO.DMDE@GMAIL.COM

PROPOSED POOL AND CABANA  
494 VAUGHAN MILLS ROAD

494 Vaughan Mills RdWoodbridge, ON L4H 1G7

DRAWN BY: AP	CHECKED BY:	SHEET: SP-1
DATE: FEB.22/22	SCALE: 1:200	FILE: 21-121



FRONT ELEVATION  
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	DATE
1	ADDED EYES DIMENSION	MAY 2/22
2		
3		
4		

ALL DRAWINGS ARE THE PROPERTY OF THE DM DESIGN AND ENGINEERING AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

CONTRACTOR TO CHECK AND VERIFY ALL EXISTING DIMENSIONS D JOIST SIZES AND SPAN DIRECTIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.

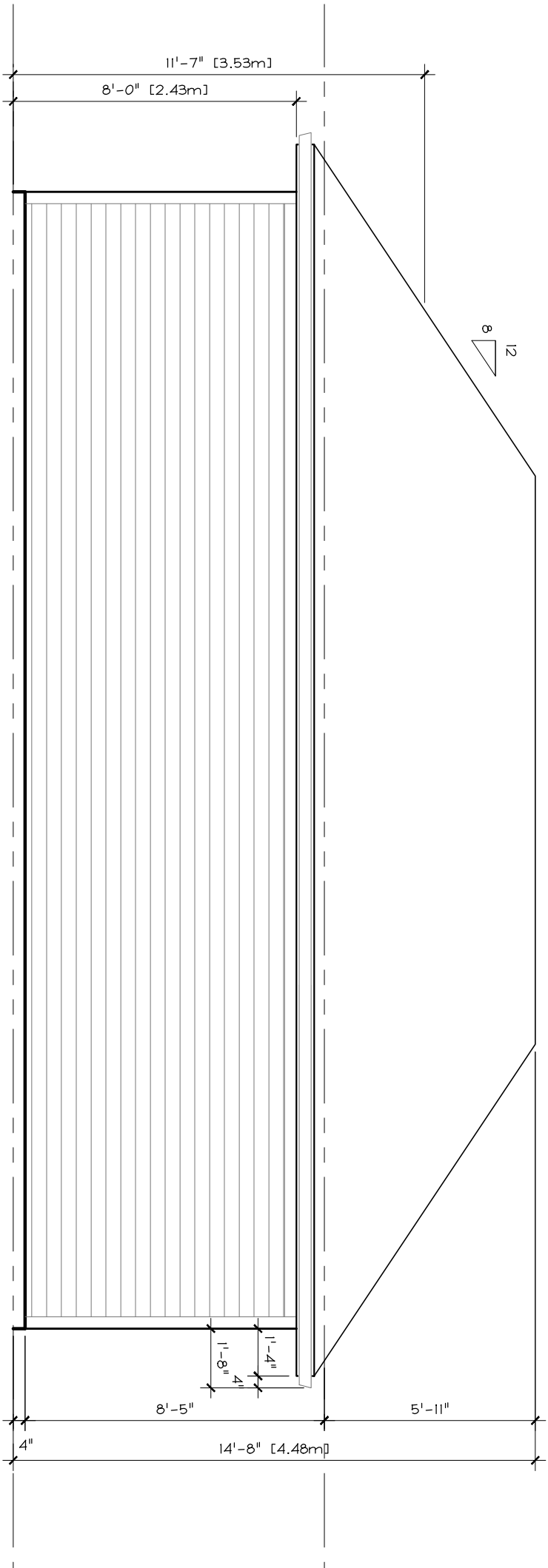
DO NOT SCALE DRAWINGS.



**DM DESIGN AND ENGINEERING INC.**  
140 RUSHWORTH CRESCENT, KLEINBURG, ONTARIO, L0J 1C0  
T (905) 893-2367, C (647) 524-5593  
INFO.DMDE@GMAIL.COM

PROPOSED REAR CABANA  
**SPAGNOLO RESIDENCE**  
494 Vaughan Mills Rd/woodbridge, ON L4H 1G7

DRAWN BY:	CHECKED BY:	SHEET:
AP		A2
DATE:	SCALE:	FILE:
FEB. 22/22	AS SHOWN	21-121



REAR ELEVATION  
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	DATE
1	ADDED EYES DIMENSION	MAY 2/22
2		
3		
4		

ALL DRAWINGS ARE THE PROPERTY OF THE DM DESIGN AND ENGINEERING AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

CONTRACTOR TO CHECK AND VERIFY ALL EXISTING DIMENSIONS D JOIST SIZES AND SPAN DIRECTIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.

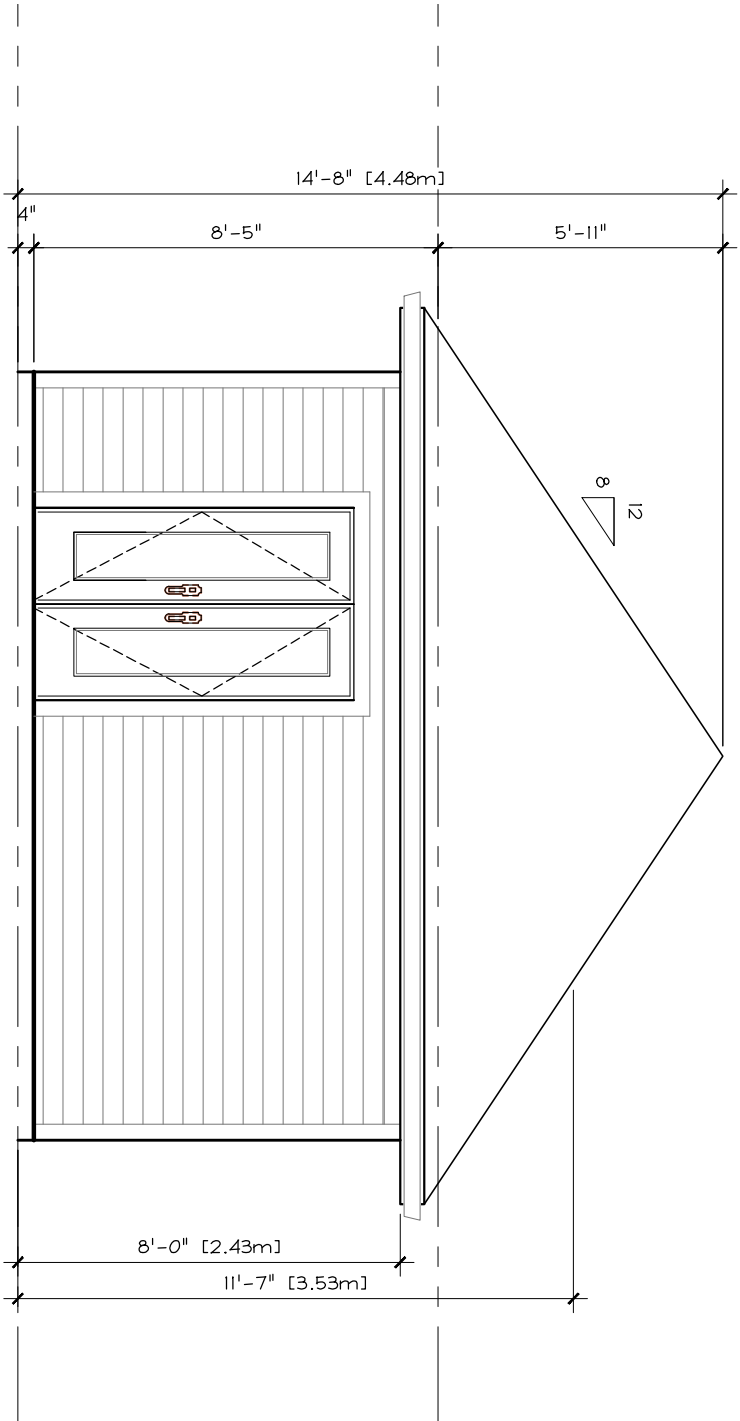
DO NOT SCALE DRAWINGS.



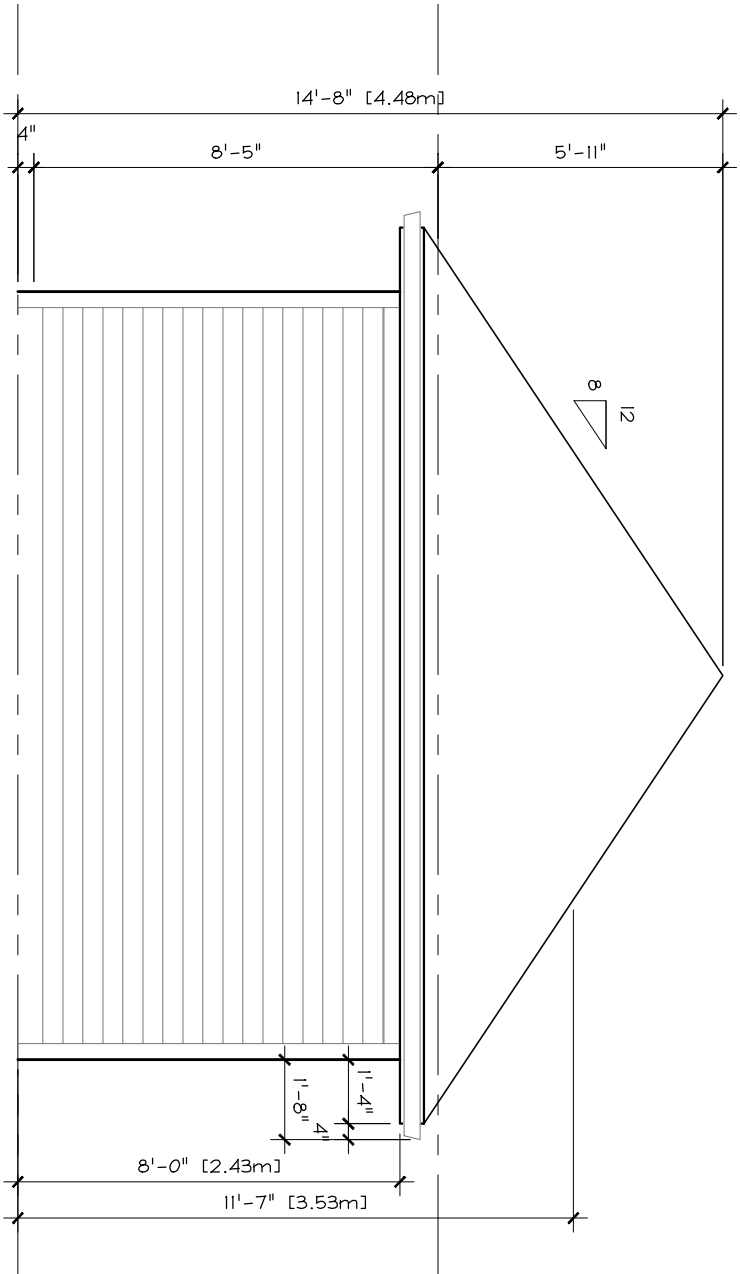
**DM DESIGN AND ENGINEERING INC.**  
140 RUSHWORTH CRESCENT, KLEINBURG, ONTARIO, L0J 1C0  
T (905) 893-2367, C (647) 524-5593  
INFO.DMDE@GMAIL.COM

PROPOSED REAR CABANA  
**SPAGNOLO RESIDENCE**  
494 Vaughan Mills Rd/woodbridge, ON L4H 1G7

DRAWN BY:	CHECKED BY:	SHEET:
AP		A2
DATE:	SCALE:	FILE:
FEB. 22/22	AS SHOWN	21-121



WEST ELEVATION  
SCALE 1/4"=1'-0"



EAST ELEVATION  
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	DATE
1	ADDED EYES DIMENSION	MAY 2/22
2		
3		
4		

ALL DRAWINGS ARE THE PROPERTY OF THE DM DESIGN AND ENGINEERING AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

CONTRACTOR TO CHECK AND VERIFY ALL EXISTING DIMENSIONS D JOIST SIZES AND SPAN DIRECTIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.

DO NOT SCALE DRAWINGS.



**DM DESIGN AND ENGINEERING INC.**  
140 RUSHWORTH CRESCENT, KLEINBURG, ONTARIO, L0J 1C0  
T (905) 893-2367, C (647) 524-5593  
INFO.DMDE@GMAIL.COM

PROPOSED REAR CABANA  
**SPAGNOLO RESIDENCE**  
494 Vaughan Mills Rd/woodbridge, ON L4H 1G7

DRAWN BY:	CHECKED BY:	SHEET:
AP		A3
DATE: FEB. 22/22	SCALE: AS SHOWN	FILE: 21-121

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

## Adriana MacPherson

---

**Subject:** FW: [External] RE: A084/22 - REQUEST FOR COMMENTS (494 Vaughan Mills Road, VAUGHAN)

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** May-09-22 11:51 AM

**To:** Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A084/22 - REQUEST FOR COMMENTS (494 Vaughan Mills Road, VAUGHAN)

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)  
closure or copying of this message and attachment(s) by anyone other than the recipient is strictly prohibited.

## Adriana MacPherson

---

**Subject:** FW: [External] RE: A084/22 - REQUEST FOR COMMENTS (494 Vaughan Mills Road, VAUGHAN)

---

**From:** York Plan <yorkplan@trca.ca>

**Sent:** May-04-22 5:25 PM

**To:** Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

**Cc:** Mark Howard <Mark.Howard@trca.ca>

**Subject:** [External] RE: A084/22 - REQUEST FOR COMMENTS (494 Vaughan Mills Road, VAUGHAN)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Should further clarification be required, please contact the undersigned at your convenience.

**Hamedeh Razavi** MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:4166616600) ext. 5256

E: [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



*TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca) We thank you for your cooperation as we respond to the current situation.*

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** May 26, 2022

**Name of Owner:** Anthony Spagnolo and Michelle Moretti

**Location:** 494 Vaughan Mills Road

**File No.(s):** A084/22

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit a minimum rear yard setback of 1.2 m for the proposed residential accessory building.
2. To permit a minimum side yard setback of 1.5 m for the proposed residential accessory structure.
3. To permit a maximum building height of 3.53 m for a residential accessory structure.

**By-Law Requirement(s) (By-law 001-2021):**

1. A minimum rear yard setback of 2.4 m is required for the proposed residential accessory building.
2. A minimum Side yard setback of 1.8 m is required for the proposed residential accessory building.
3. A maximum building height of 3.0 m is permitted for the proposed residential accessory building.

**Proposed Variance(s) (By-law 1-88):**

4. To permit a minimum rear yard setback of 1.2 m for the proposed residential accessory building.
5. To permit a minimum side yard setback of 1.5 m for the proposed residential accessory structure.

**By-Law Requirement(s) (By-law 1-88):**

4. A minimum rear yard setback of 7.5 m is required for the proposed residential accessory building.
5. A minimum Side yard setback of 1.8 m is required for the proposed residential accessory building.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting to permit the construction of a cabana with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2, 4, and 5 as the reduction to the rear and interior side yard setbacks for the proposed cabana will not have adverse impacts to the neighbouring properties and maintains an appropriate area for drainage. The proposed setbacks are also consistent with previous approvals in the neighbourhood.

The Development Planning Department has no objection to Variance 3 for the proposed height of the cabana as it will be screened from the abutting rear and side yards by the existing fences and vegetation and will not pose a significant visual impact to the adjacent properties.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I

Chris Cosentino, Senior Planner



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

<b>SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND</b>
---

None