

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A030/22
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AGENDA ITEM NUMBER: 6.5	Thursday, May 26, 2022
APPLICANT:	Rajeshkumar & Jignasa Patel
AGENT:	J-R Home Designer Inc.
PROPERTY:	30 Mary Natasha Ct Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and installation of a pool and related equipment to be located in the rear yard.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A030/22

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 6.5	CITY WARD #: 1
APPLICANT:	Rajeshkumar & Jignasa Patel
AGENT:	J-R Home Designer Inc.
PROPERTY:	30 Mary Natasha Ct Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and installation of a pool and related equipment to be located in the rear yard.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned R1A First Density Residential Zone and subject to the provisions of Exception 14.1009 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard of 2.4 metres is required to the accessory building (cabana). S.4.1.2	To permit a minimum rear yard of 0.94 metres to the accessory building (cabana).
2	A minimum interior side yard of 2.4 metres is required to the accessory building (cabana). S.4.1.2	To permit a minimum interior side yard of 0.76m metres to the accessory building (cabana).
3	A maximum building height of 3.0 metres is permitted for the accessory building (cabana). S.4.1.4	To permit a maximum building height of 3.81 metres for the accessory building (cabana).
4	Where the rear yard is over 135m2, that portion over 135m2, 60% shall be composed of soft landscaping. 4.19.1	To permit a minimum rear yard soft landscaping of 39% for that portion of the rear yard over 135m2.
5	The maximum permitted lot coverage is 40% of the lot area. Sect. 7.2.2 Table7-3	To permit a maximum lot coverage of 40.59 % (36.90% dwelling; 3.69% cabana)

The subject lands are zoned R1 Residential Zone One and subject to the provisions of Exception 9(1378) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	A minimum rear yard of 7.5 metres is required to the accessory building (cabana). Schedule A.	To permit a minimum rear yard setback of 0.94 metres to the accessory building (cabana).
7	A maximum lot coverage of 35% is permitted. Schedule A	To permit a maximum lot coverage of 35.58% (32.69% dwelling; 2.89% cabana)
8	Where the rear yard is over 135m2, that portion over 135m2, 60% shall be composed of soft landscaping. S.4.1.2	To permit a minimum rear yard soft landscaping of 39% for that portion of the rear yard over 135m2.

Zoning By-law 1-88		Variance requested
9	The minimum required interior side yard is 0.60m for the ground mounted pool equipment. Section 3.14 h) 1)	To permit a minimum interior side yard of 0.32m for ground mounted pool equipment.
10	The maximum height to the nearest part of the roof to finished ground level is 3.0m. Sect. 4.1.1 b)	To permit a maximum height of 3.50m to the nearest part of the roof from finished ground level

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday, May 26, 2022 at 6:00 p.m.
<p style="text-align: center;">PUBLIC PARTICIPATION</p> <p>You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil</p> <p>If you wish to speak to the Committee of Adjustment on an application please complete and submit a Request to Speak Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.</p> <p>Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca</p> <p>For more information, please visit the City of Vaughan website.</p>	

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	May 11, 2022
Date Applicant Confirmed Posting of Sign:	May 10, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	It is difficult to comly with zoning by law regarding the scope of proposal
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None

COMMITTEE OF ADJUSTMENT COMMENTS	
Committee of Adjustment Recommended Conditions of Approval:	None
BUILDING STANDARDS (ZONING) COMMENTS	
There are no outstanding Orders on file	
Building Permit(s) Issued: Building Permit No. 16-001929 for Single Detached Dwelling - New, Issue Date: Nov 28, 2016	
Building Permit No. 21-129757 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)	
The cabana will not be used as a Secondary Suite and that the cabana is for personal use only.	
Building Standards Recommended Conditions of Approval:	None
DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None
DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the proposed cabana in the subject property is 23.41 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	
The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)	
The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.	
The typical required setback for the pool equipment pad is 0.6m from the property line but the proposed set back is 0.32.m. The applicant has proposed to install weeping tiles to the north side of the property line near the pool equipment pad to facilitate drainage	
The Development Engineering (DE) Department does not object to variance application A030/22 subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	<ol style="list-style-type: none">1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the deceased soft landscaping from 60% to 39% in order to mitigate potential impacts on the municipal storm water system. The owner/applicant also need to install weeping tiles to the north side of the property line, near the pool equipment pad to facilitate drainage.

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
	3. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder about the proposed work to the subject property and provide a copy of the acknowledgement letter/email from the developer/builder to the City's Development Engineering Department.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
No comments no concerns	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comments no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
		<p>permit link provided above to learn how to apply for lot grading and/or servicing approval.</p> <ol style="list-style-type: none"> 2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the deceased soft landscaping from 60% to 39% in order to mitigate potential impacts on the municipal storm water system. The owner/applicant also need to install weeping tiles to the north side of the property line, near the pool equipment pad to facilitate drainage. 3. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder about the proposed work to the subject property and provide a copy of the acknowledgement letter/email from the developer/builder to the City's Development Engineering Department.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>

IMPORTANT INFORMATION – PLEASE READ

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

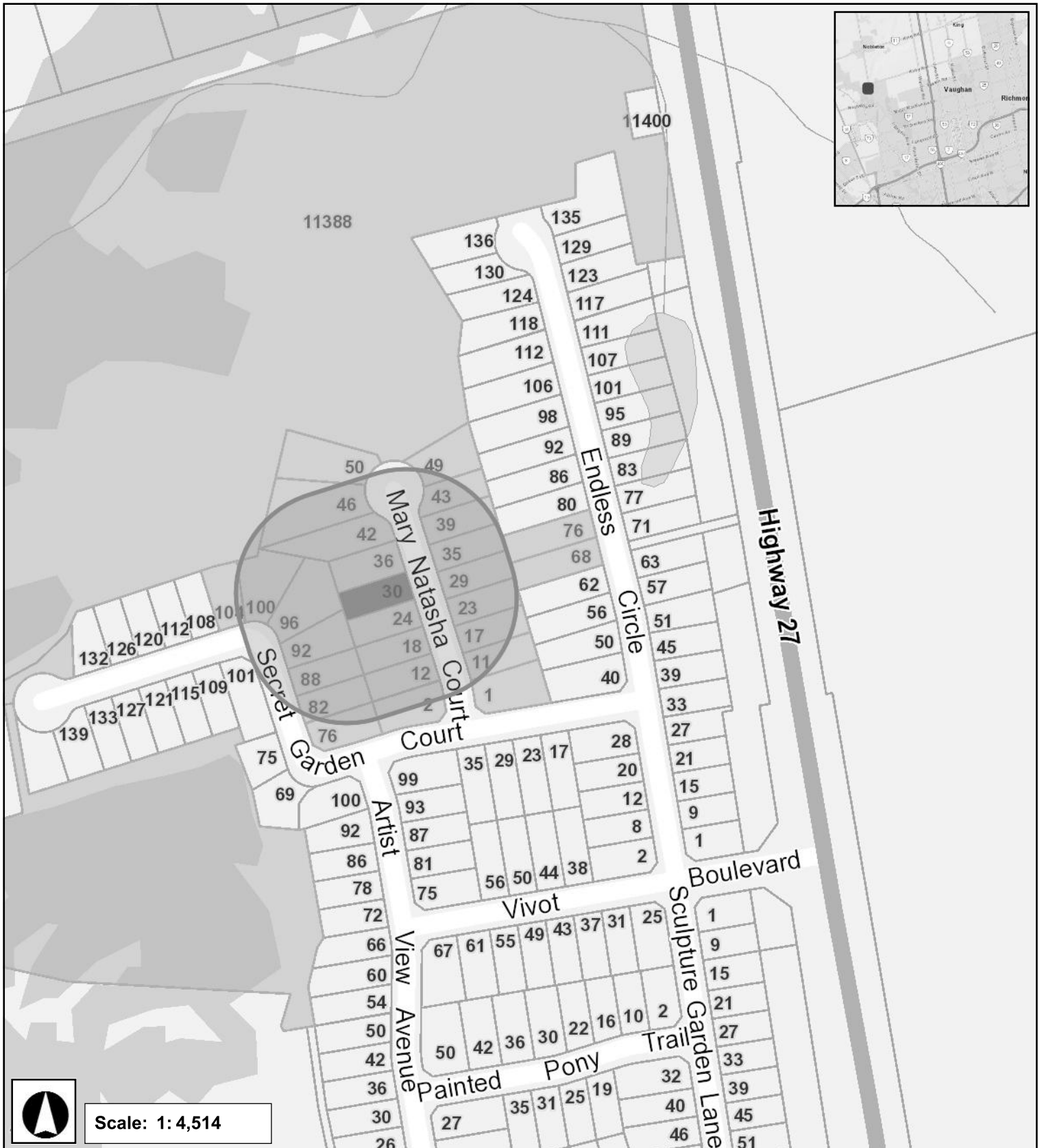


VAUGHAN

LOCATION MAP - A030/22

30 MARY NATASHA COURT, KLEINBURG

Kirby Road

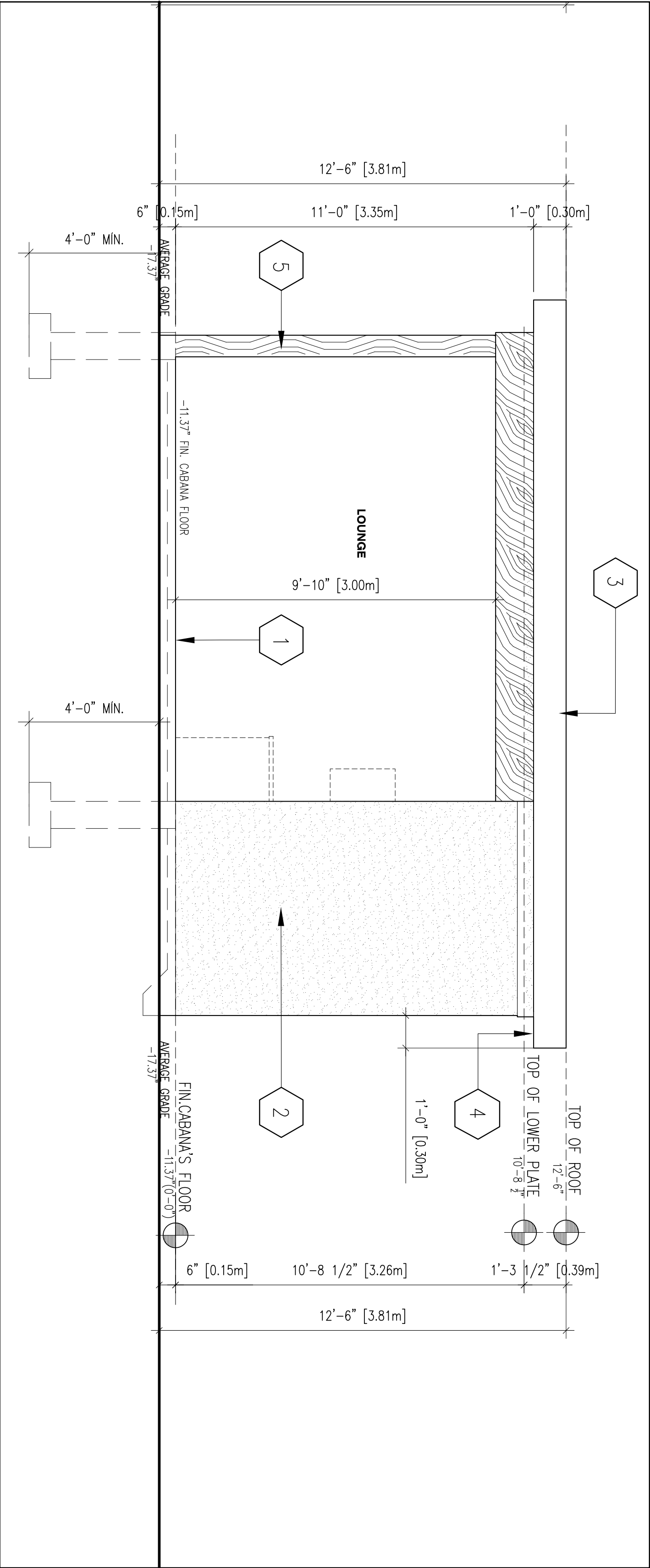


Nashville Road

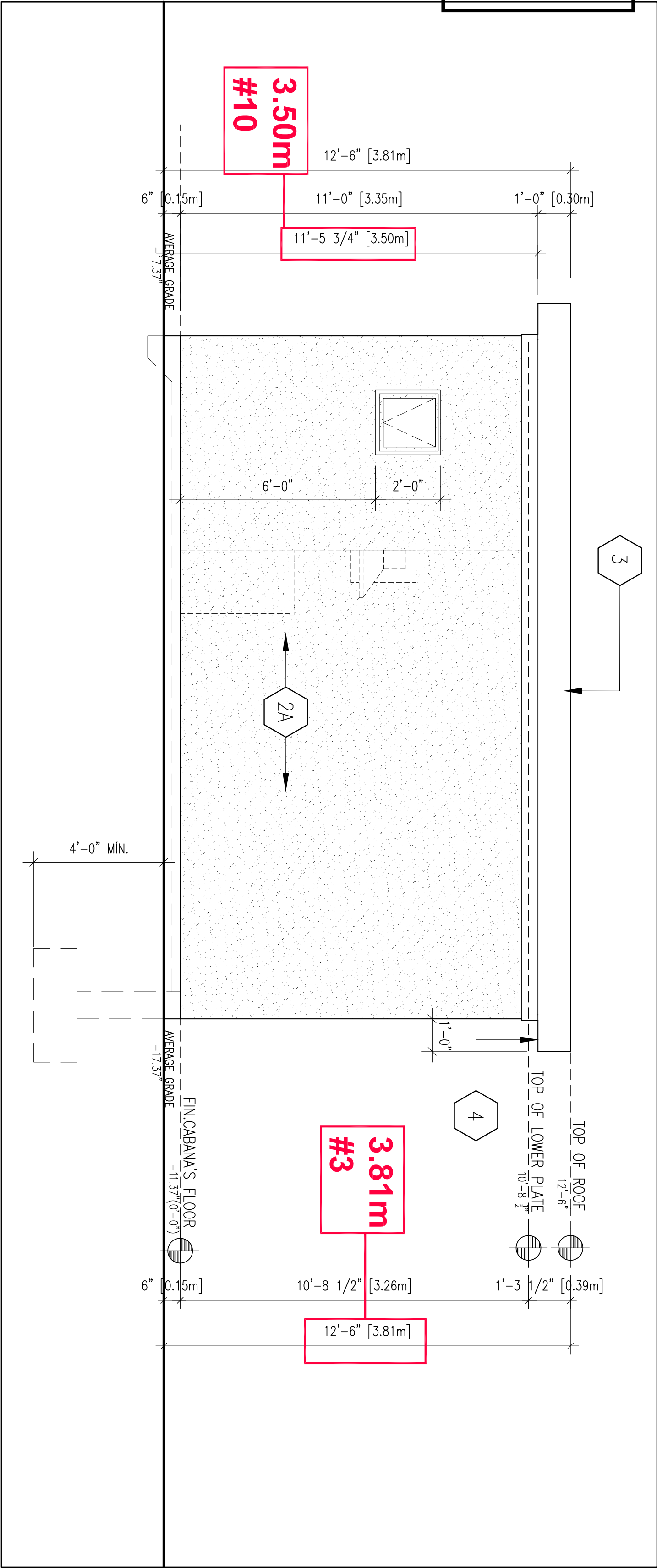
May 9, 2022 12:21 PM

RECEIVED
By RECEIVED at 11:25 am, May 06, 2022

2 NORTHWEST ELEVATION SCALE: 3/8" = 1'-0"



1 SOUTHEAST ELEVATION SCALE: 3/8" = 1'-0"



10311-10312

Drawings must be sealed

Drawings to be read in conjunction with general notes and O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for construction of existing conditions. It shall be the responsibility of the designer to provide all existing conditions. It shall be the responsibility of the temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

8.					
7.					
6.					
5.					
4.					
3.					
2.					
1.	ISSUED FOR PERMIT	2021.10.27	JR		

No.	Description	By
1.	REVISIONS	YVY/AM/DO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION

JOHN RAMIREZ	DESIGNER	32122
JR HOME DESIGNER INC.	110513	BCIN

COMPANY TOILE

JR Home Designer Inc.

371 Strawberry Crest, Waterloo, ON N2K 3A5, T416.737.9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com

PROJECT ADDRESS: 30 MARY NATASHA ST
VAUGHAN, ONTARIO

PROJECT TITLE: NEW CABANA

DRAWING SHEET: SOUTHEAST & NORTHWEST ELEVATION

SCALE: AS NOTED

Drawn By: BERNAN TORRES

Checked By: JOHN RAMIREZ

Page Number

NORTH ARROW

A03

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for removal or addition of existing conditions. It shall be the responsibility of the contractor to provide all necessary temporary supports, shoring, bracing, or temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.	ISSUED FOR PERMIT	2021.10.27	JR
PERSONS			
No.	Description	DATE	BY
1.	ISSUED FOR PERMIT	2021.10.27	JR
2.			
3.			
4.			
5.			
6.			
7.			
8.			

JOHN RAMIREZ	DESIGNER	32122
371 Strawberry Crest, Waterloo, ON N2K 3L8, T416.737.9413	REGISTERED INFORMATION	110513
E: john@jrhomedesigner.com, www.jrhomedesigner.com	JR HOME DESIGNER INC.	BCIN
COMPANY NAME		



J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3L8, T416.737.9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com
PROJECT ADDRESS
30 MARY NATASHA ST
VAUGHAN, ONTARIO

PROJECT TITLE
NEW CABANA

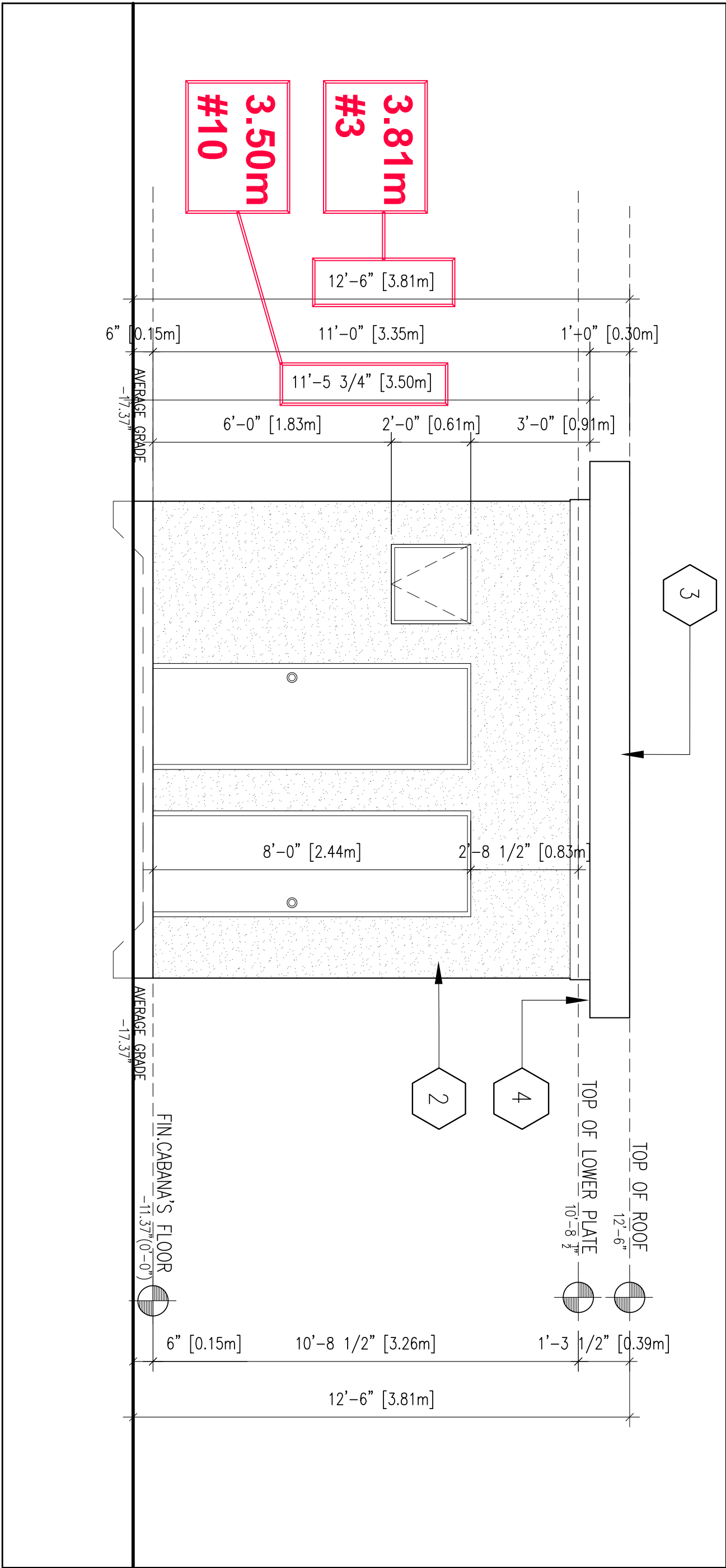
DRAWING SHEET
NORTHEAST & SOUTHWEST ELEVATION

SCALE
AS NOTED

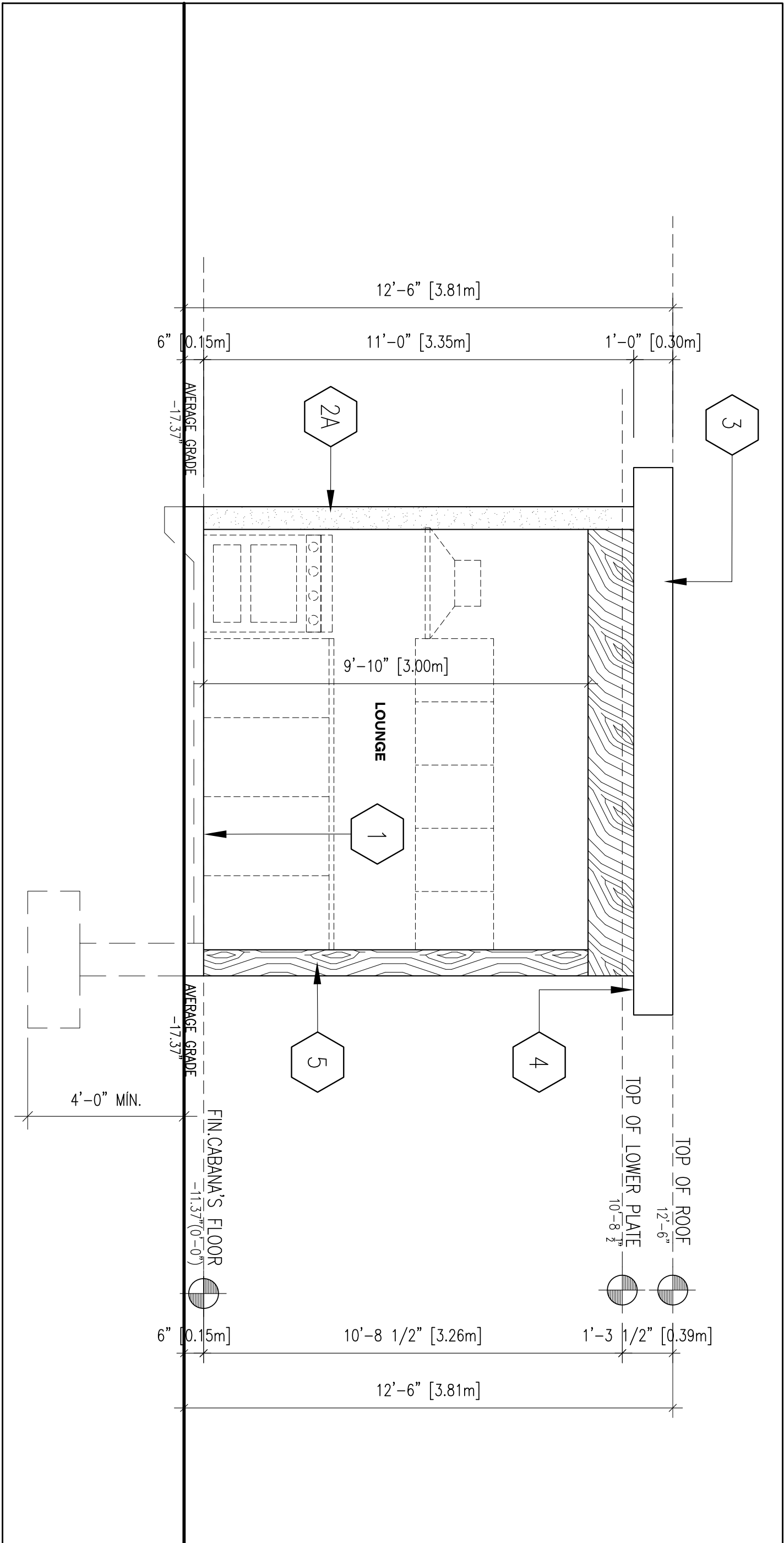
Drawn By: BERMAN TORRES
Checked By: JOHN RAMIREZ
Page Number

NORTH ARROW

A04



3 SOUTHWEST ELEVATION SCALE: 3/8" = 1'-0"



4 NORTHEAST ELEVATION SCALE: 3/8" = 1'-0"

CONSTRUCTION NOTES

- 1

CABANA'S FLOOR SLAB:
3" (75) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

3

GRAVEL ON 3 PLY FELT ROOFING, 2" PL WOOD SHEATHING ON 2X2 PURLINS @ 400 O.C. PERPENDICULAR TO ROOF JOIST
- 2

LIMITING DISTANCE GREATER THAN 3'-11" (1.20m)
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" MINIMUM EXTERIOR RIGID INSULATION BOARD ON APPROVED DRAINAGE MAT ON 1/2" DENSGLASS GOLD GYPSUM BOARD ON 2x6 SPRUCE STUDS @ 16" O.C., APPROVED 6 MIL VAPOUR BARRIER, 1/2" GYPSUM WALLBOARD INTERIOR FINISH.

4

PRE-FINISHED ALUMINUM FASCIA BOARD & VENTED SOFFIT FINISH AS PER ELEVATIONS
- 2A

LIMITING DISTANCE LESS THAN 3'-11" (1.20m) (45 MIN.FRR)
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" MINIMUM EXTERIOR RIGID INSULATION BOARD ON APPROVED DRAINAGE MAT ON 1/2" DENSGLASS GOLD GYPSUM BOARD ON 2x6 SPRUCE STUDS @ 16" O.C., 1/2" TYPE X GYPSUM WALLBOARD INTERIOR FINISH.

5

DOUGLAS 8"x8" FIR POST TIED W/ NON-CORROSIVE METAL BRACKET AT TOP OF 10"x10" 25 MPA CONC. PIER 1/2" NON-CORROSIVE ANCHOR EMBEDDED 4" MIN INTO CONCRETE PIER. WOOD POST TIE TO METAL BRACKET WITH 4 3/8" MACHINE BOLTS. CONCRETE PIERS TO BE MIN 4' BELOW GRADE(TYP)

GENERAL NOTES

1. MINIMUM CONCRETE STRENGTH SHALL BE 15MPa AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32MPa W/ 5%-8% AIR ENTRAINMENT.

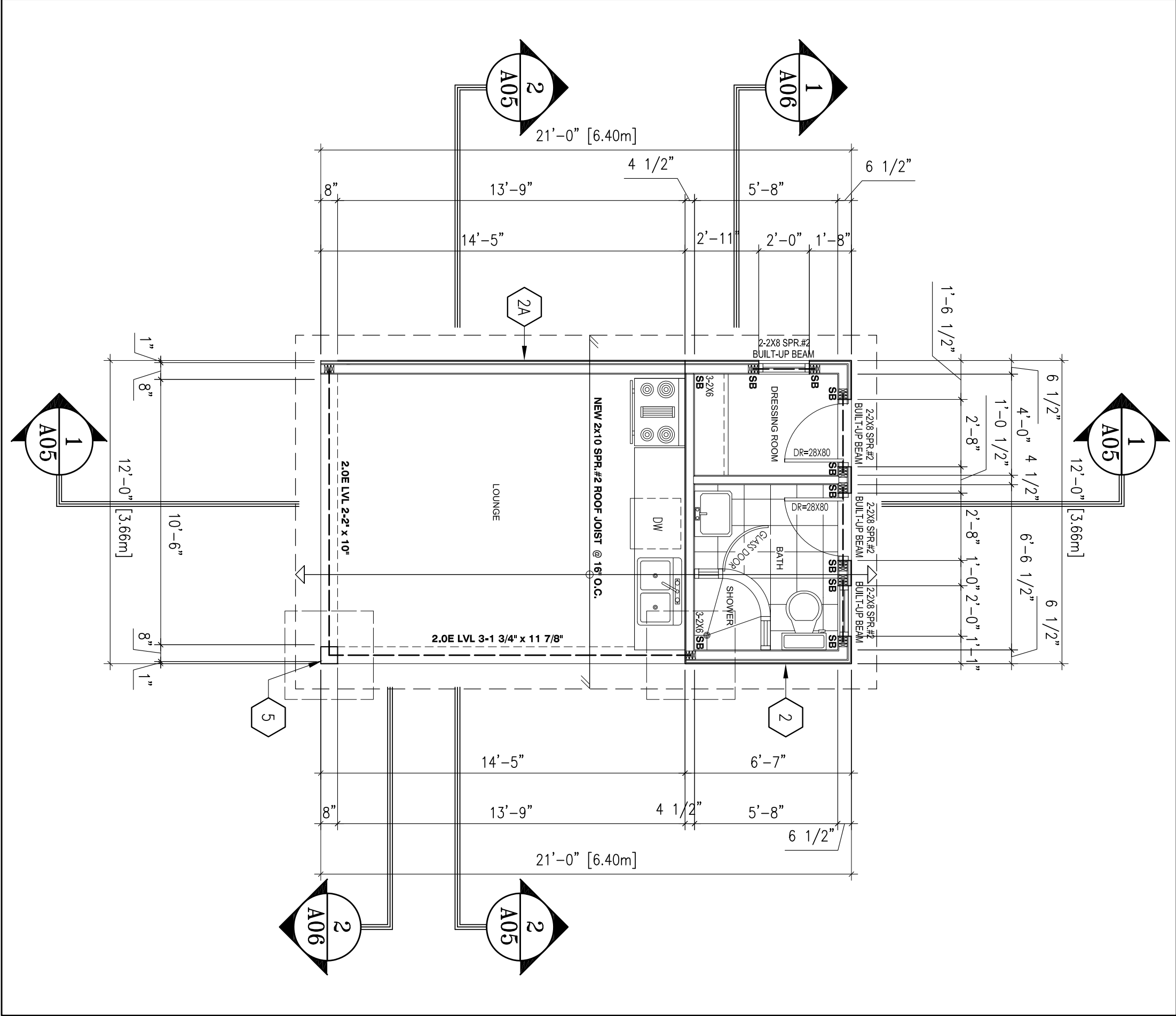
2. FOOTINGS
POURED CONC. FOOTING
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACT GRANULAR FILL

3. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT

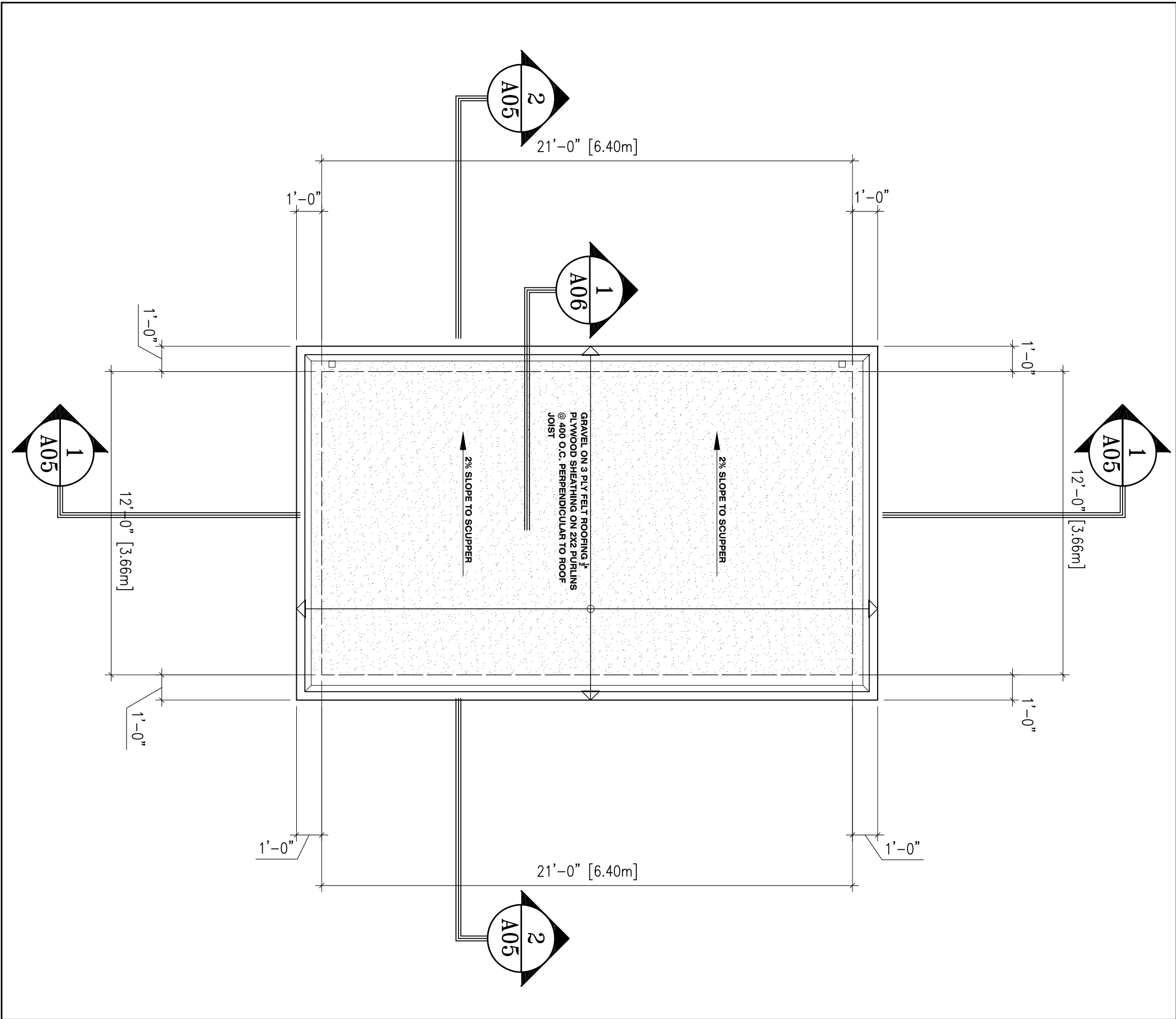
4. EXTERIOR STAIRS
7 7/8" RISER MAXIMUM 4 7/8" MINIMUM
8 1/2" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM

5. PRE-ENGINEERED GUARDS
42" HIGH GUARD RAILING WHERE DISTANCE HEIGHT IS GREATER THAN 5'-11".
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

CONSTRUCTION NOTES



1 MAIN FLOOR PLAN SCALE: 1/4" = 1'-0"



2 ROOF PLAN SCALE: 1/4" = 1'-0"

DRAWINGS MUST NOT BE SCALED
NOTES AND O.B.C.
All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for correction of existing conditions. It shall be the responsibility of the designer to provide all existing conditions. It shall be the responsibility of temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

8.			
7.			
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3.			
2.			
1.	ISSUED FOR PERMIT	2021.10.27	JR
No. Description By			
PERSONS			
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OATH AND BUILDING CODES TO BE A QUALIFICATION INFORMATION			

JOHN FAHREZ
367
327.22
REGISTRATION INFORMATION
110513
J-R HOME DESIGNER INC.
BCIN



J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3A5, T41 6 737.9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com
PROJECT ADDRESS
30 MARY NATASHA ST
VAUGHAN, ONTARIO

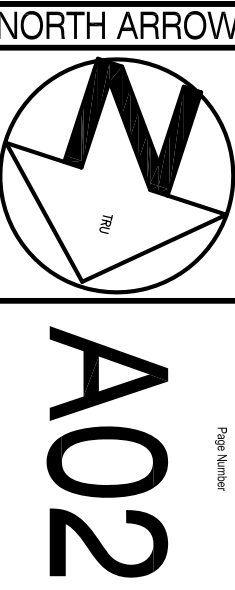
PROJECT TITLE

NEW CABANA

FLOOR & ROOF PLANS & CONST. NOTES

AS NOTED


Drawn By: BERTRAM TORRES
Checked By: JOHN FAHREZ
Page Number



Note:

No.	Description	By
1.	ISSUED FOR PERMIT	JR
2.		
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER, QUALIFICATION INFORMATION		
NAME	JOHN HAMBEZ	327.25
SHADE/TIME	BROWN	EDN
REGISTRATION INFORMATION	11031.3	EDN
COMPANY NAME	LAT-HOME DESIGNER INC.	

PROJECT ADDRESS

J-R Home Designer Inc.
371 Strawberry Creek, Waterloo, ON N2K 3S3, T41 62, 373 9413
E: jrm@jrhomedesigner.com, www.jrhomedesigner.com

J-R
Home
Designer

30 MARY NATASHA ST
VAUGHAN, ONTARIO

PROJECT TITLE:
NEW CABANA

DRAWING SHEET:
BUILDING SECTIONS

AS NOTED

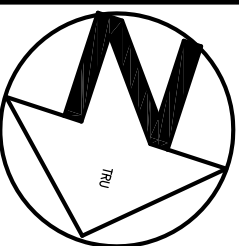

Drawn By: BERMAN TORRES	Checked By: JOHN RAMIREZ
	Page Number

Page Number: 11

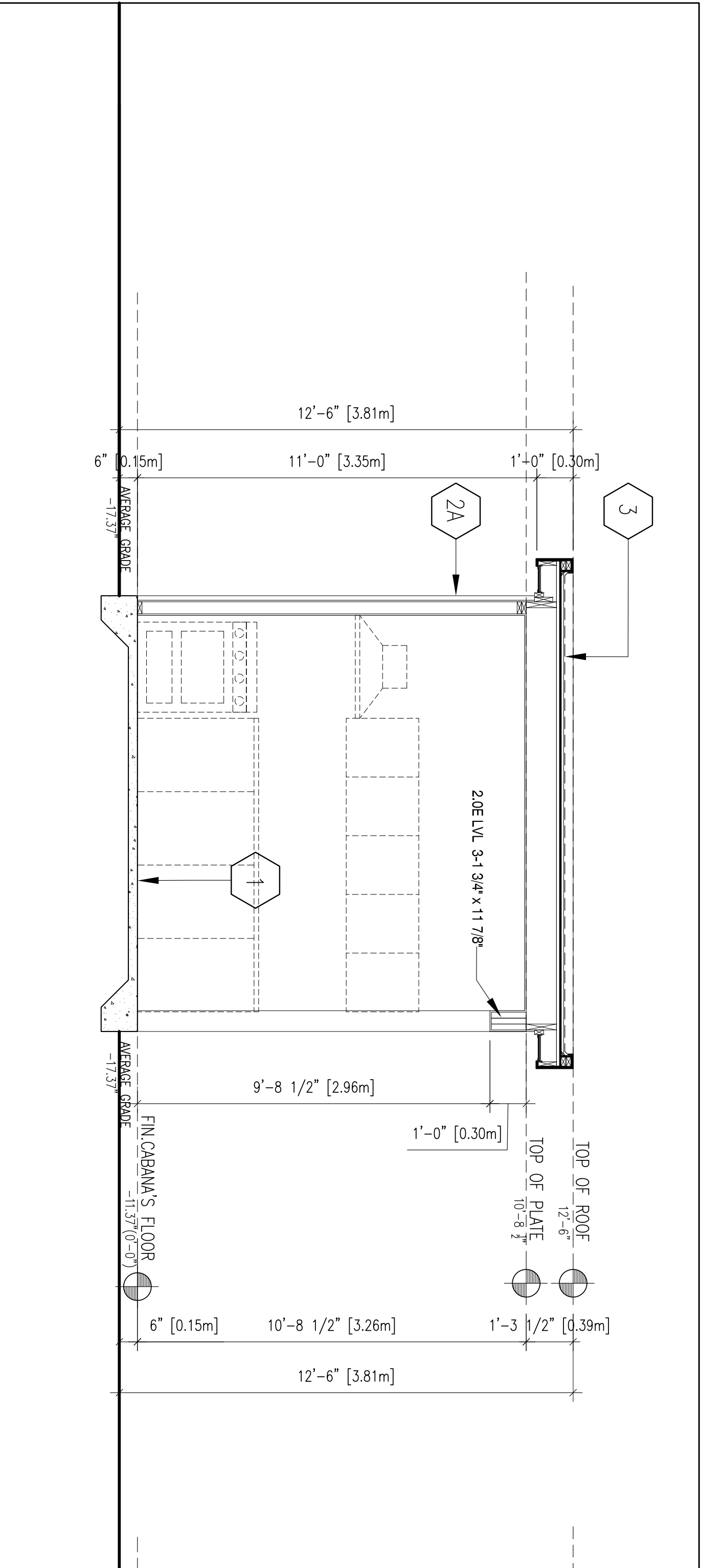
A05

Page Number

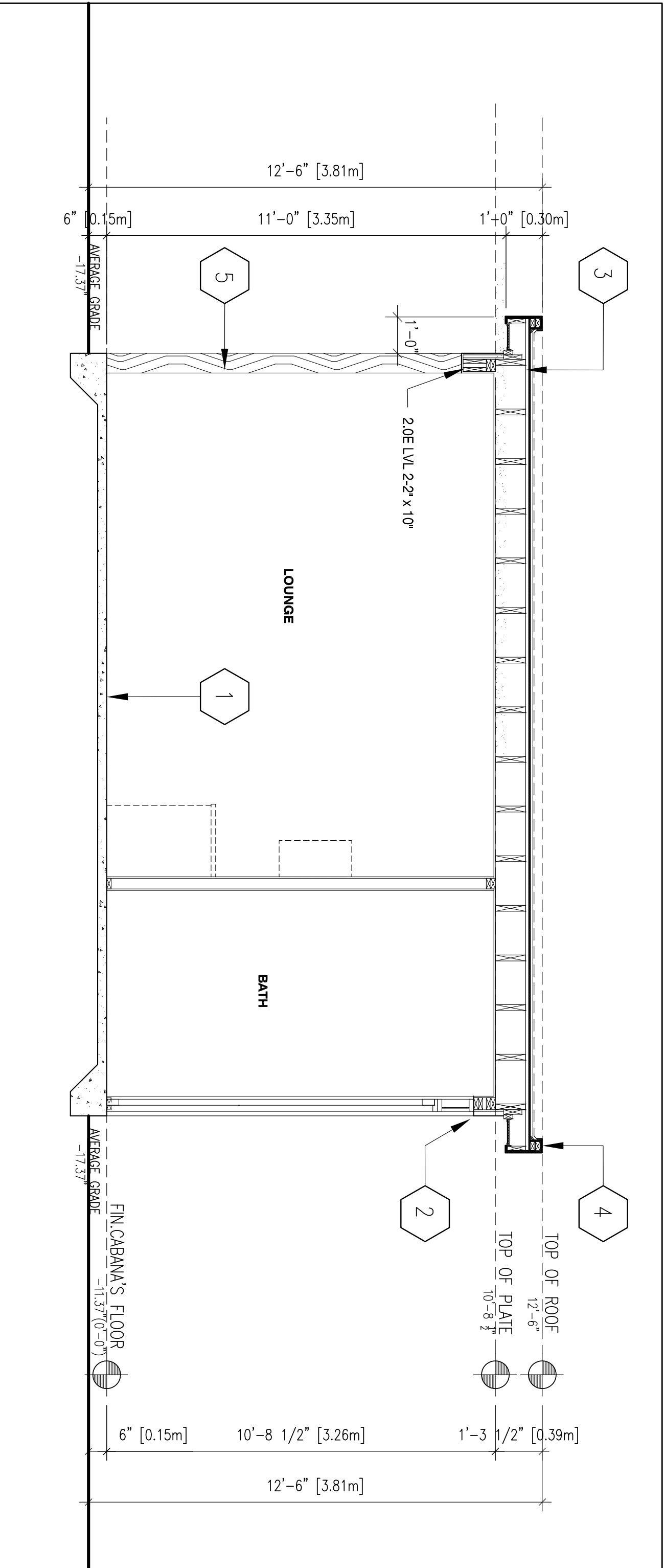
NORTH ARROW



2 BUILDING SECTION SCALE: 3/8" = 1'-0"



1 **BUILDING SECTION** SCALE: 3/8" = 1'-0"



Note:

No.	Description	YYYYMMDD	By
1.	ISSUED FOR PERMIT	2021.10.27	JR
2.			
3.			
4.			
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6.			
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8.			

THE UNDERSIGNED HAS REVIEWED, AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JOHN PAMIREZ	32125
NAME	BCIN
REGISTRATION INFORMATION	110313
J-R HOME DESIGNER INC.	BCIN

11

J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3J3, T:416.737.9413

E: john@jrhomedesigner.com, www.jrhomedesigner.com

3

30 MARTIN LASHA ST
VAUGHAN, ONTARIO

1

NEW CABANA

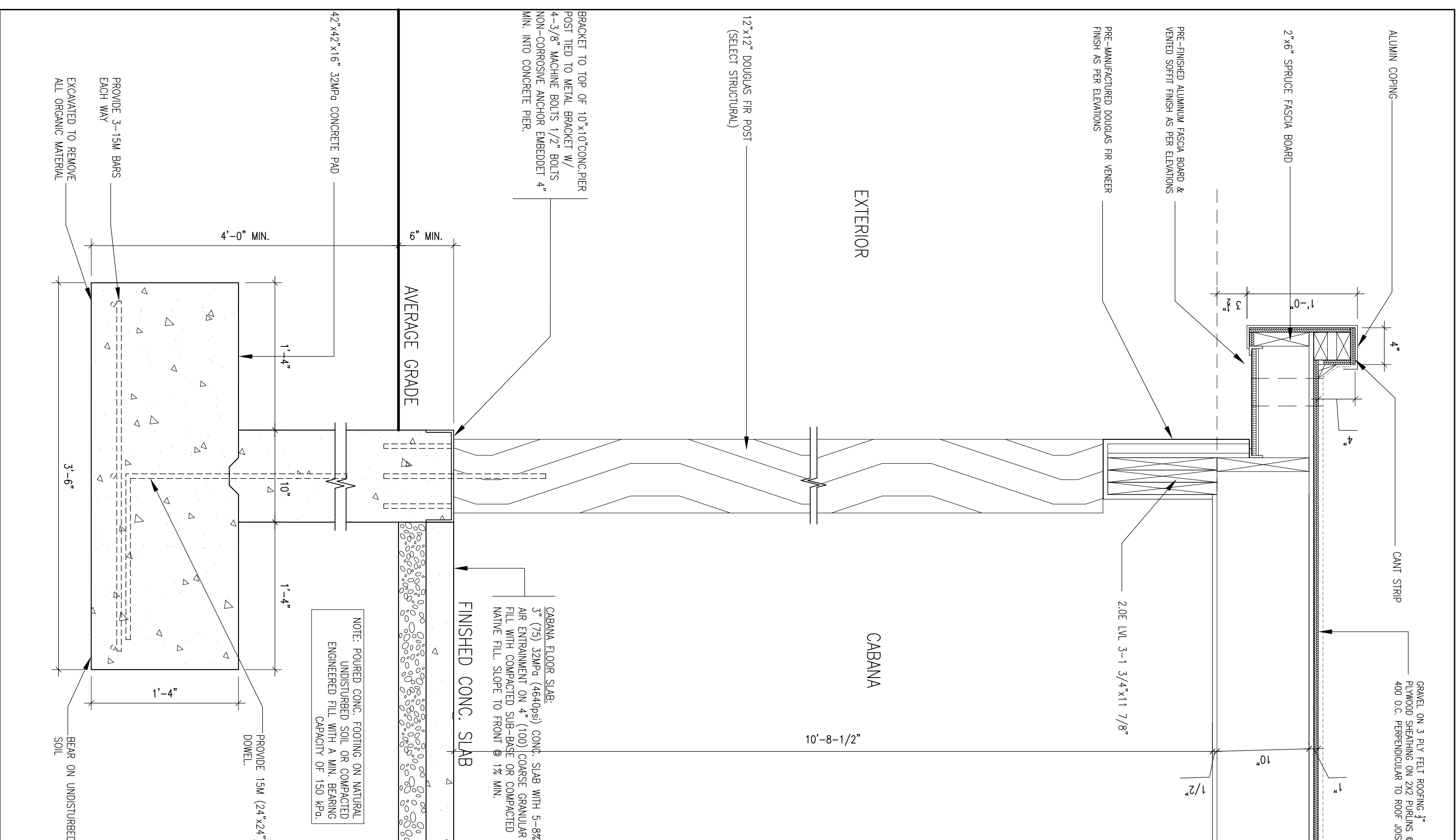
DRAWING SHEET:

WALL SECTIONS

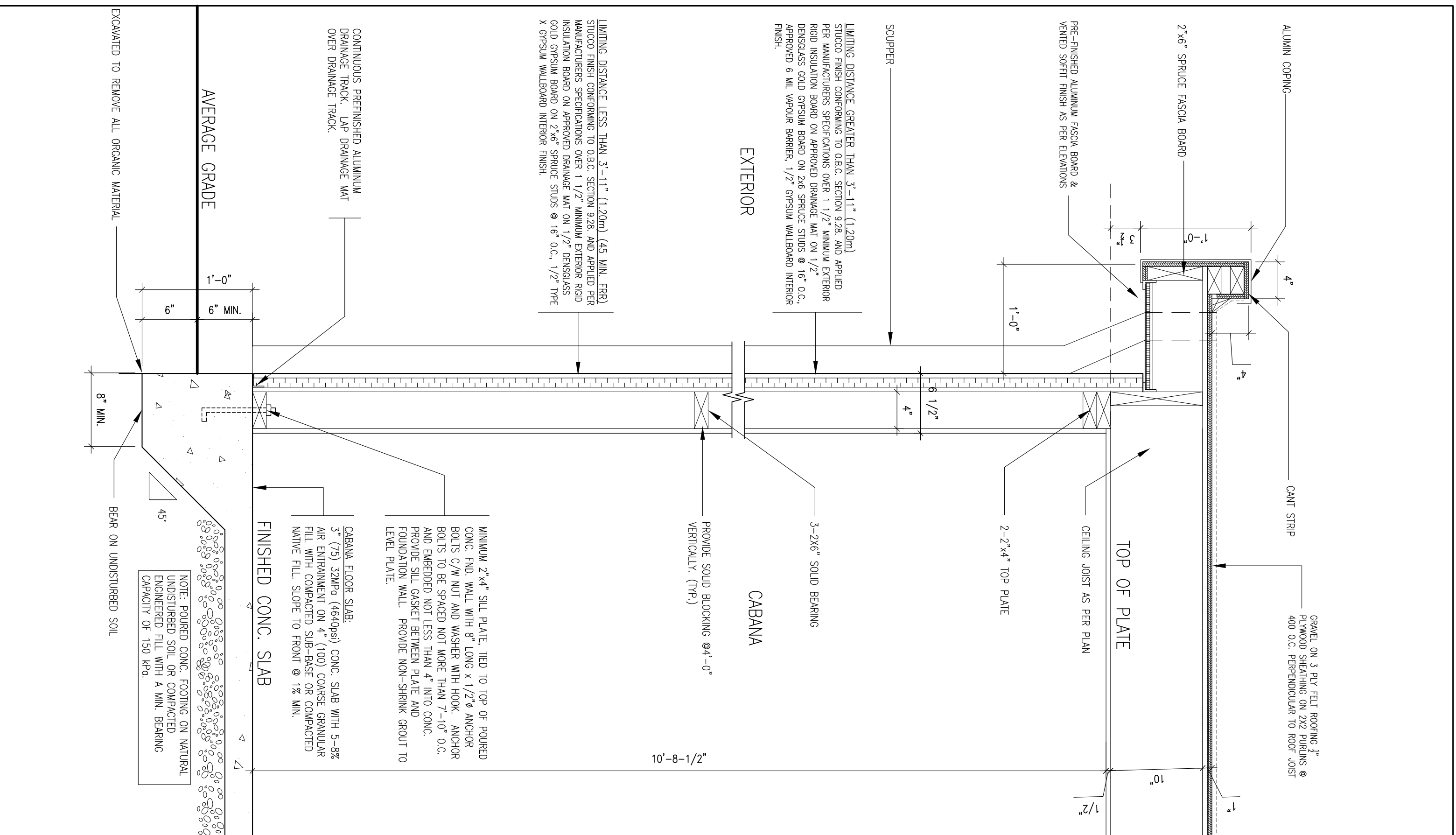
AS NOTED

BERMAN TORRES	JOHN RAMIREZ
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NORTH ARROW

Page Number
406

SCALE: 1-1/4" = 1'-0"



SCALE: 1-1/4" = 1'-0"

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 26, 2022

Name of Owner: Rajeshkumar and Jignasa Patel

Location: 30 Mary Natasha Court

File No.(s): A030/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard of 0.94 m to the accessory building (cabana).
2. To permit a minimum interior side yard of 0.76 m to the accessory building (cabana).
3. To permit a maximum building height of 3.81 m for the accessory building (cabana).
4. To permit a minimum rear yard soft landscaping of 39% for that portion of the rear yard over 135 m².
5. To permit a maximum lot coverage of 40.59%.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard of 2.4 m is required to the accessory building (cabana).
2. A minimum interior side yard of 2.4 m is required to the accessory building (cabana).
3. A maximum building height of 3.0 m is permitted for the accessory building (cabana).
4. Where the rear yard is over 135 m², that portion over 135 m², 60% shall be composed of soft landscaping.
5. The maximum permitted lot coverage is 40% of the lot area.

Proposed Variance(s) (By-law 1-88):

6. To permit a minimum rear yard setback of 0.94 m to the accessory building (cabana).
7. To permit a maximum lot coverage of 35.58%.
8. To permit a minimum rear yard soft landscaping of 39% for that portion of the rear yard over 135 m².
9. To permit a minimum interior side yard of 0.32 m for ground mounted pool equipment.
10. To permit a maximum height of 3.50 m to the nearest part of the roof from finished ground level

By-Law Requirement(s) (By-law 1-88):

6. A minimum rear yard of 7.5 m is required to the accessory building (cabana).
7. A maximum lot coverage of 35% is permitted.
8. Where the rear yard is over 135 m², that portion over 135 m², 60% shall be composed of soft landscaping.
9. The minimum required interior side yard is 0.60 m for the ground mounted pool equipment.
10. The maximum height to the nearest part of the roof to finished ground level is 3.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting to permit the construction of a cabana and pool equipment with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 6 as the reduction to the rear yard setback is consistent with previous approvals in the neighbourhood and will not impact the abutting properties. The rear yard setback of 0.94 m also maintains an appropriate area for access and drainage.

The Development Planning Department has no objection to Variance 2 as the reduction to the interior side yard setback is minor in nature and will not have adverse impacts to the neighbouring property. The interior side yard setback of 0.76 m also maintains an appropriate area for access and drainage.

The Development Planning Department has no objection to Variances 3 and 10 as the proposed height for the cabana is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties.

The Development Planning Department has no objection to Variances 4 and 8 for the proposed reduction in rear yard soft landscaping as the subject property maintains an appropriate balance of soft landscaping to maintain drainage on the property.

The existing dwelling has a lot coverage of 32.69%, while the proposed cabana and eaves will have a lot coverage of 2.89% and 5.01% respectively. The increase in total lot coverage will not pose a significant visual impact to the adjacent properties and is minor in nature relative to both Zoning By-law requirements. As such, the Development Planning Department has no objection to Variances 5 and 7 for the increase in lot coverage.

The Development Planning Department has no objection to Variance 9 as access to the rear yard will be maintained through the southern side yard. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained through the introduction of weeping tiles.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I

Chris Cosentino, Senior Planner

Date: March 31st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A030-22**

Related Files:

Applicant Rajeshkumar Patel/Jignasa Pate

Location 30 Mary Natasha Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Gordon, Carrie](#)
To: [Christine Vigneault](#)
Subject: [External] RE: A030/22 (30 Mary Natasha Court) - City of Vaughan Request for Comments:
Date: Wednesday, March 30, 2022 1:32:25 PM
Attachments: [image003.png](#)

Hello Christine,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

From: [York Plan](#)
To: [Christine Vigneault](#)
Cc: [Hamedeh Razavi](#)
Subject: [External] RE: A030/22 (30 Mary Natasha Court) - City of Vaughan Request for Comments:
Date: Thursday, March 31, 2022 3:09:37 PM
Attachments: [image002.png](#)
[image003.png](#)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

Mark Howard, BES, MLA, MCIP, RPP
Senior Planner – Vaughan Review Area
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:(416)661-6600) ext 5269
E: mark.howard@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Pravina Attwala

Subject: FW: [External] RE: A030/22 (30 Mary Natasha Court) - City of Vaughan Request for Comments:

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-01-22 3:49 PM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A030/22 (30 Mary Natasha Court) - City of Vaughan Request for Comments:

Good afternoon Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				