

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A029/22
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AGENDA ITEM NUMBER: 6.4	Thursday, May 26, 2022
APPLICANT:	Guiseppe & Sara Ann Macri
AGENT:	J-R Home Designer Inc.
PROPERTY:	76 Kiloran Ave Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana to be located in the rear yard and the existing shed.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

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PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

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None		

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None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	

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None	

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None	



COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A029/22

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 6.4	CITY WARD #: 2
APPLICANT:	Guiseppe & Sara Ann Macri
AGENT:	J-R Home Designer Inc.
PROPERTY:	76 Kiloran Ave Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana to be located in the rear yard and the existing shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.67 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 20% is permitted. Exception 14.67	To permit a maximum lot coverage of 29.98%. (23.70% dwelling; 0.78% shed; 5.49% cabana)
2	In any Residential Zone, the maximum height of a residential accessory building shall be 3.0 metres. Section 4.1.3	To permit a maximum height of 3.71 metres for a residential accessory building (Cabana).
3	A minimum interior side yard setback of 1.5 metres is required.	To permit a minimum interior side yard setback of 0.6 metres to an accessory building (shed).

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(145) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A maximum lot coverage of 20% is permitted. Exception 9(145)	To permit a maximum lot coverage of 25.01%. (19.82% dwelling; 0.58% porch; 0.78% shed; 4.59% cabana)

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday, May 26, 2022 at 6:00 p.m.
<p>PUBLIC PARTICIPATION</p> <p>You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil</p> <p>If you wish to speak to the Committee of Adjustment on an application please complete and submit a Request to Speak Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.</p> <p>Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca</p>	

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained.	
That the general intent and purpose of the official plan will be maintained.	
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.	
That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 11, 2022	
Date Applicant Confirmed Posting of Sign:	May 8, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	It is difficult to comply with zoning by law regarding the scope of proposal	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
Stop work orders and orders to comply: There are no outstanding Orders on file	
Building Permit(s) Issued: Building Permit No. 21-127073 for Single Detached Dwelling - Alteration, Issue Date: Jan 21, 2022 Building Permit No. 21-129763 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)	
The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
In regard to the difference in lot coverage above, the Zoning By-law 1-88, Section 4.1.1 h) requires “In computing lot coverage, a garden or storage shed shall not be included provided that it is: i) constructed in accordance with the maximum floor area requirements set out in Subsection 4.1.1 (e); and, ii) erected in the rear yard; and, iii) used only as a garden or storage shed.”	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed Cabana in the subject property is 43.47 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)</p> <p>The Development Engineering (DE) Department does not object to variance application A029/22 subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 31.72% in order to mitigate potential impacts on the municipal storm water system.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: No comment no concerns	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comment received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 31.72% in order to mitigate potential impacts on the municipal storm water system.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

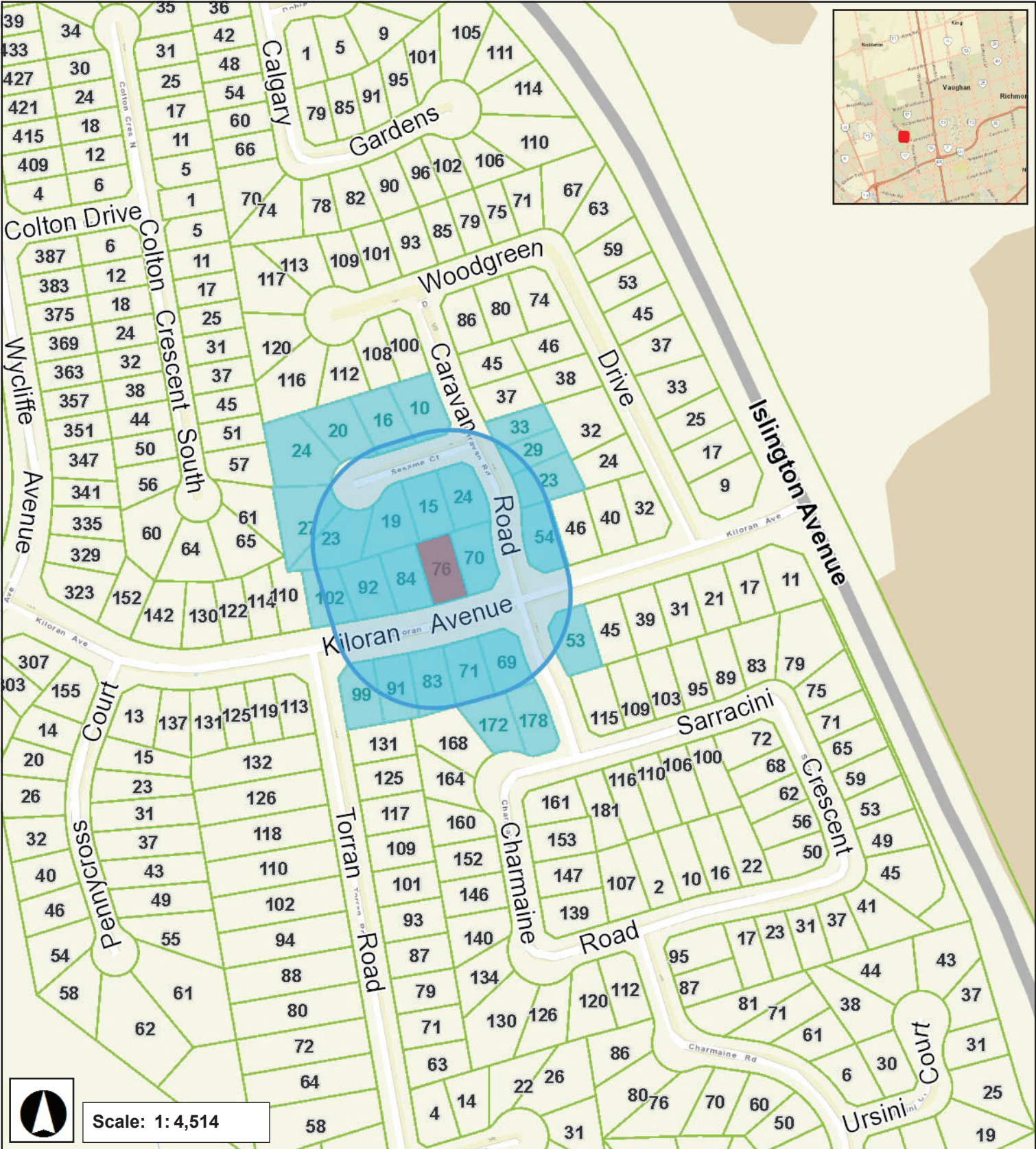
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A029/22

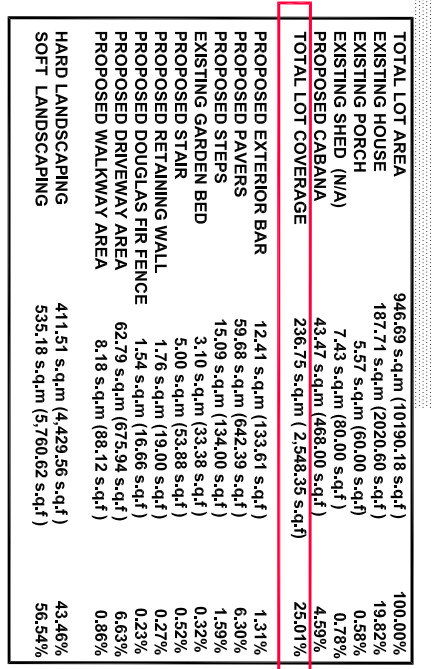
76 KILORAN AVENUE, WOODBRIDGE

Rutherford Road



Langstaff Road

March 17, 2022 12:43 PM



SCALE: 3/32" = 1'-0" (1:128)

SCALE: 3/32" = 1'-0" (1:128)

A029/22

RECEIVED
By RECEIVED at 4:35 pm, May 06, 2022

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

KEY MAP:

- A1 – Title Sheet, Site Plan & Foundation Plan
- A2 – Floor Plan & Roof Plan
- A3 – East & West Elevations
- A4 – North & South Elevations
- A5 – Building Section
- A6 – Building Section
- A7 – Wall Section & Notes
- A8 – General Roof Plan

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL
NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified by the site prior to construction and initiation of its components. Should existing conditions or structures be found to vary from that indicated on the drawings, the contractor must immediately advise the Engineer. The Engineer will then be responsible for any modification to the drawings. The Engineer will not be responsible for any modification to the drawings or for any errors or omissions in the design or for conditions occurring during construction. It shall be the responsibility of the contractor to provide all necessary yielding, straining, shearing, lifting or other temporary supports, to safeguard all existing or adjacent structures affected by the work.

all dimensions are given in imperial units unless otherwise indicated.

Note:

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 20% is permitted. Exception 14.67	To permit a maximum lot coverage of 29.98%.
2	In any Residential Zone, the maximum height of a residential accessory building shall be 3.0 metres. Section 4.1.3	To permit a maximum height of 3.71 metres for a residential accessory building (Cabana).
3	A minimum interior side yard setback of 1.5 metres is required.	To permit a minimum interior side yard setback of 0.6 metres to an accessory building (shed).

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(145) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
4	A maximum lot coverage of 20% is permitted. Exception 9(145)	To permit a maximum lot coverage of 25.01%.

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

JOHN RAMIREZ	
NAME	32125
SIGNATURE	
REGISTRATION INFORMATION	BONN
J&H HOME DESIGNER INC.	110313

J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3A3, T416.737.9415
E: jrhdm@jrhomedesigner.com, www.jrhomedesigner.com
PROJECT ADDRESS

76 KILORAN AVE
VAUGHAN, ONTARIO

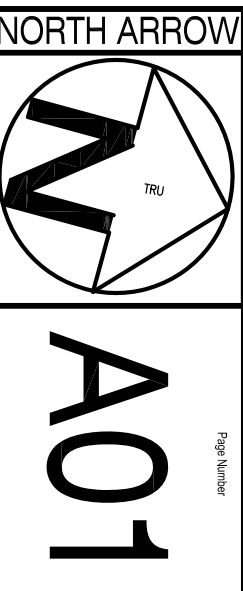
NEW CABANA

TITLE SHEET , SITE PLAN & FUND. PLAN

Scale:

AS NOTED

BERMAN TORRES	JOHN RAMIREZ
	Page Number



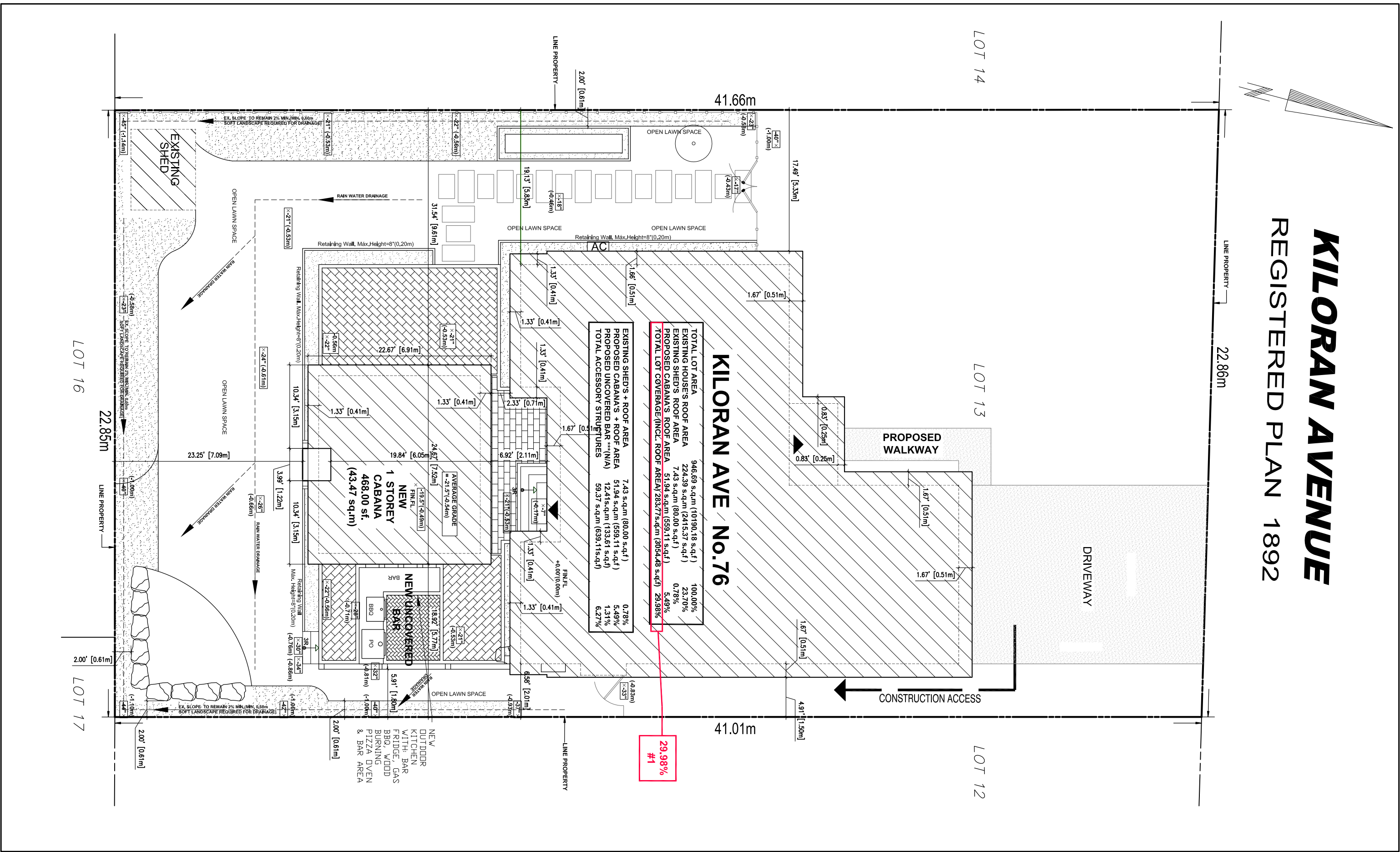
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Zoning By-law 1-88		Variance requested
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RECEIVED
By RECEIVED at 4:36 pm, May 06, 2022



1) GENERAL ROOF PLAN SCALE: 3/32" = 1'-0" (1:128)

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JOHN RAMIREZ	32125
NAME	SIGNATURE
REGISTRATION INFORMATION	BCIN 110313
J-R HOME DESIGNER INC.	BCIN

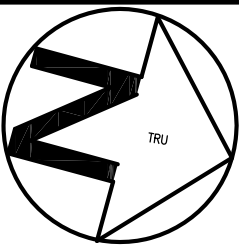
PROJECT ADDRESS
76 KILORAN AVE
VAUGHAN, ONTARIO

NEW CABANA

GENERAL ROOF PLAN

AS NOTED

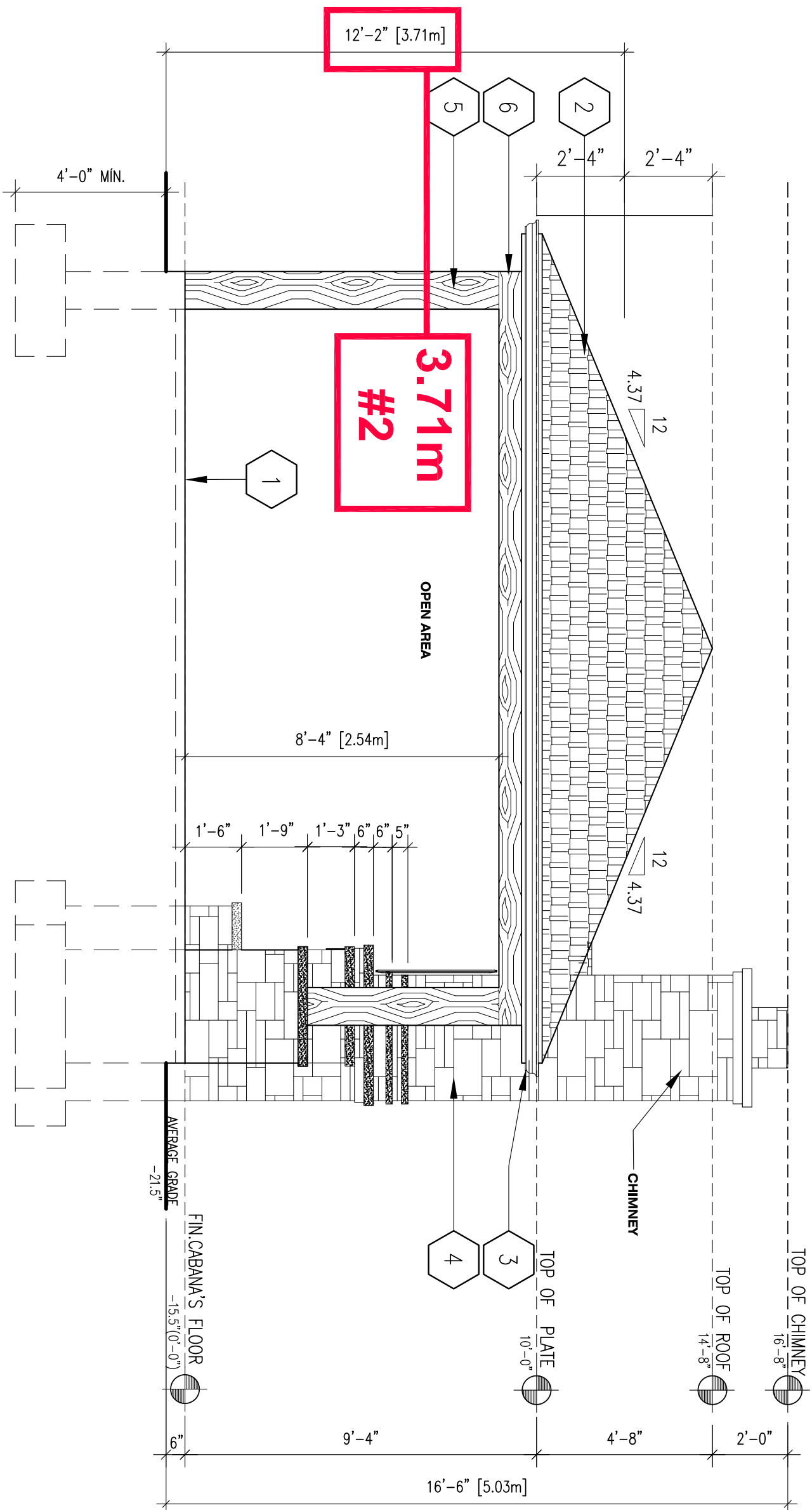
Drawn By:	Checked By:
BERMAN TORRES	JOHN RAMIREZ
	Page Number



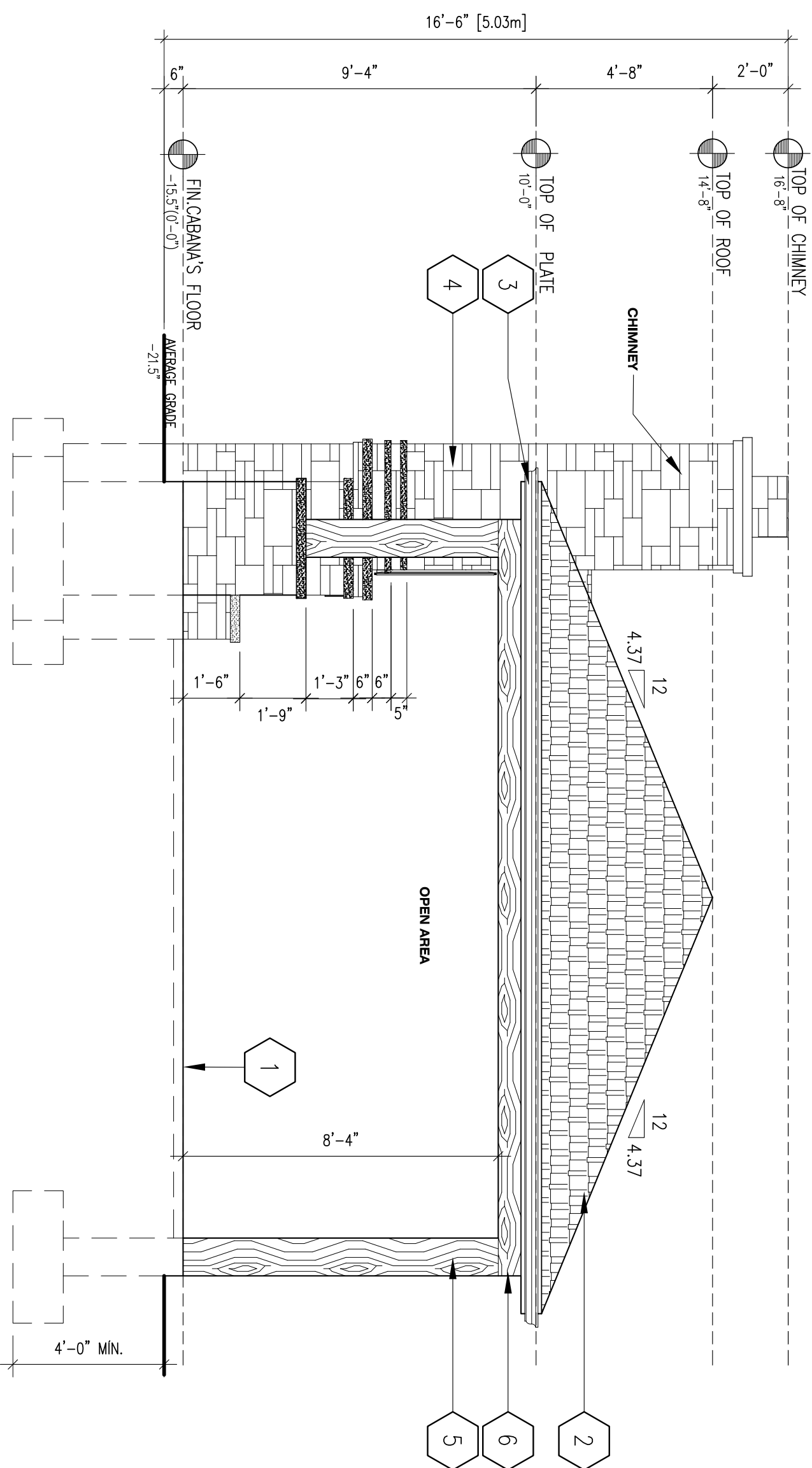
A01a

All drawings and information shown on these drawings must be checked and verified as true prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings or provision has been made in the design for a condition occurring during construction, it shall be the responsibility of the contractor to provide all necessary bracing, shoring, steel piling or other temporary supports, to safeguard all existing or adjacent structures affected by this work.

Note:



1) WEST ELEVATION SCALE: 5/16" = 1'-0"



2) EAST ELEVATION SCALE: 5/16" = 1'-0"

RECEIVED
By RECEIVED at 4:37 pm, May 06, 2022

No. Description		By
REGIONS		
1.	ISSUED FOR PERMIT	2021.10.25
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JOHN HAMMREZ	32123
NAME	SIGNATURE
REGISTRATION INFORMATION	
J-R HOME DESIGNER INC.	BCIN 110313
COMPANY NAME	

J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3J3, T4-16.737.9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com


76 KILOPAN AVE
VAUGHAN, ONTARIO

PROJECT ADDRESS

NEW CABANA

DRAWING SHEET: EAST AND WEST ELEVATIONS

AS INOIED

BERMAN TORRES	JOHN RAMIL
	Page Number



A03

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings to provide has been made in the design for conditions occurring during construction. It shall be the responsibility of the contractor to verify all existing or adjacent structures affected by the work.

All dimensions are given in Imperial unless otherwise indicated.

Note:

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1.	ISSUED FOR PERMIT	2021.10.25	JR
REVISIONS			
No.	Description	DATE	BY
1.	ISSUED FOR PERMIT	2021.10.25	JR

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND ALL THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER OR ARCHITECT IN ONTARIO.

JOHN RAMIREZ	SIGNATURE	30/1/25
JOHN RAMIREZ	DATE	11/03/23
JOHN RAMIREZ	REGISTRATION INFORMATION	BCIN
JOHN RAMIREZ	DESIGNER	BCIN



J+H Home Designer Inc.
371 Strawberry Creek Blvd. Unit 103, 75416 727 0413
E: jhram@jhome designer.com, www.jhome designer.com
ADDRESS: 76 KILORAN AVE
VAUGHAN, ONTARIO

PROJECT TITLE:
NEW CABANA

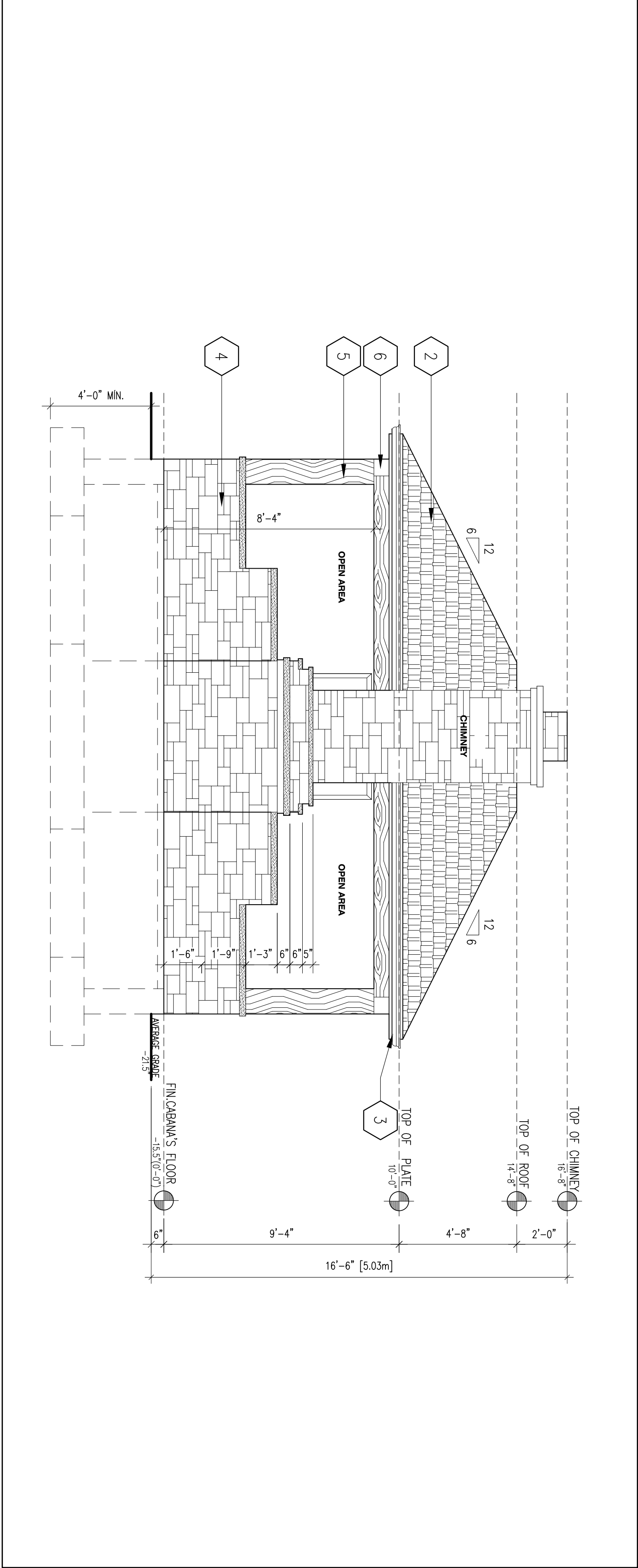
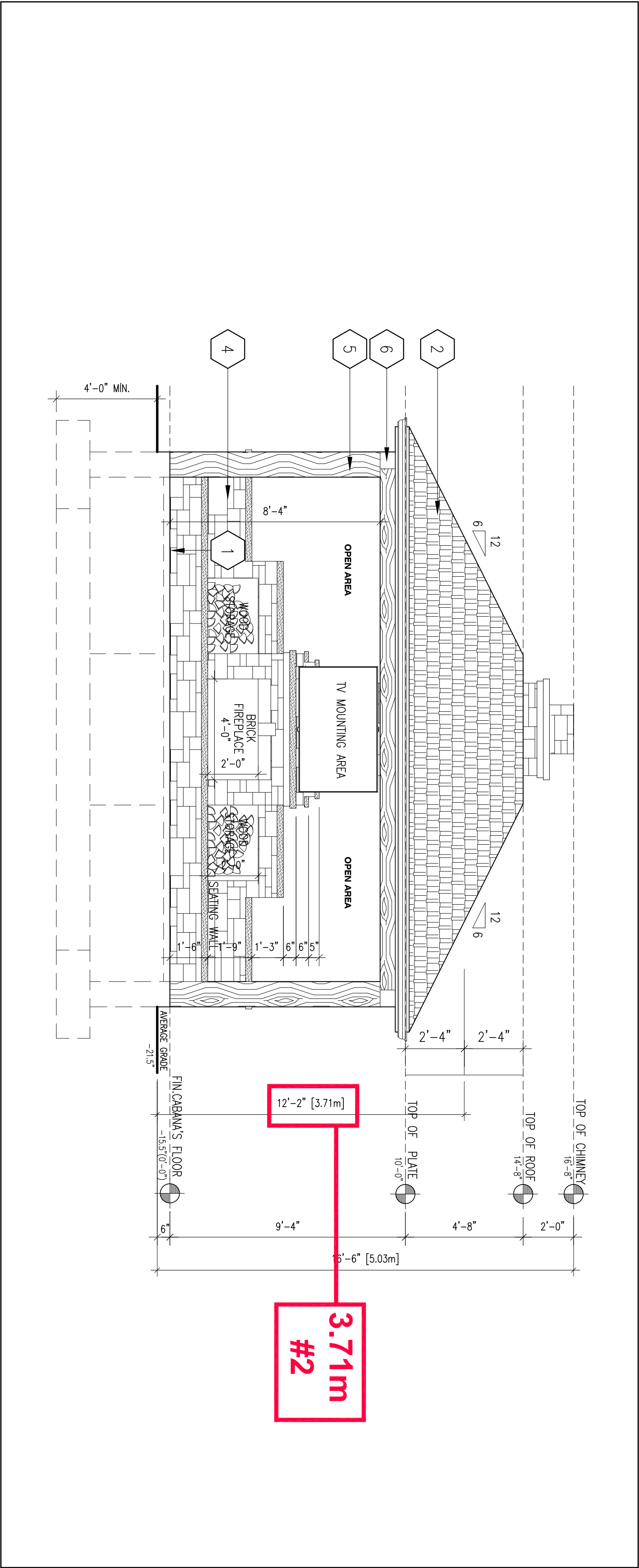
DRAWING SHEET:
NORTH & SOUTH ELEVATIONS

Scale:
AS NOTED

Drawn By: BERMAN TORRES
Checked By: JOHN RAMIREZ
Page Number

PROJECT

A04



DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for removal of existing conditions. It shall be the responsibility of the contractor to provide all necessary temporary supports, shoring, bracing, or temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

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1.	ISSUED FOR PERMIT	2021.10.25	JR	
No. Description				
Revised By				
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a qualified professional.				

JOHN RAMIREZ	DATE	3/2/22
REGISTERED PROFESSIONAL	11/03/13	BCIN
J-R HOME DESIGNER INC.		
COMPANY NAME		



J-R Home Designer Inc.
371 Strawberry Crest, Waterloo, ON N2K 3A9, T416.737.9413
E: john@jrhomedesigner.com, www.jrhomedesigner.com
PROJECT ADDRESS 76 KILOSPAN AVE
VAUGHAN, ONTARIO

PROJECT TITLE
NEW CABANA

DRAWING SHEET
BUILDING SECTIONS

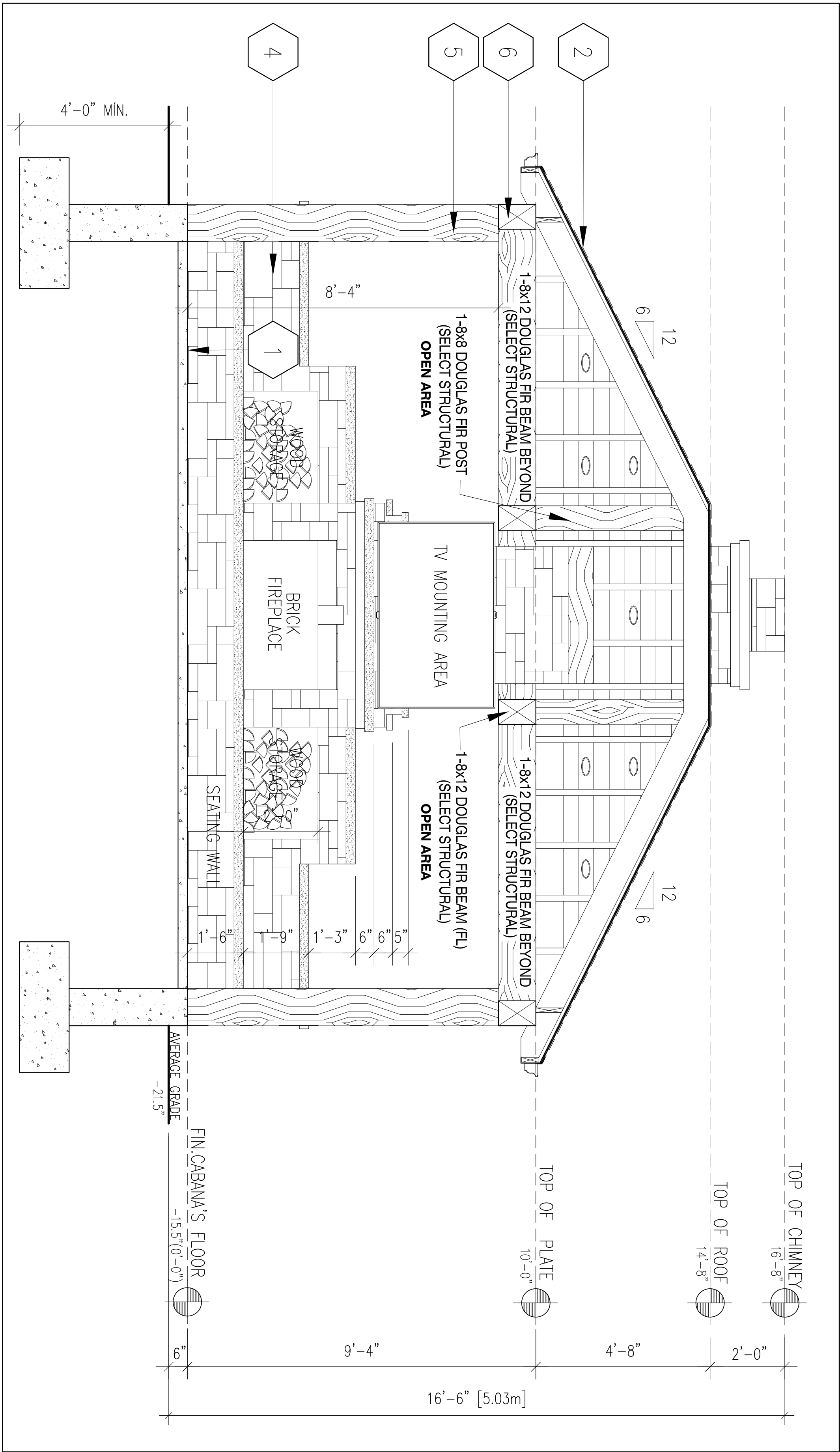
SCALE
AS NOTED

Drawn By: BERMAN TORRES
Checked By: JOHN RAMIREZ
Page Number

NORTH ARROW

PROJECT

A05



1 BUILDING SECTION SCALE: 1/2" = 1'-0"

A

$$Z$$

JOHN RAMIREZ

1









SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 26, 2022

Name of Owner: Giuseppe and Sara Ann Macri

Location: 76 Kiloran Avenue

File No.(s): A029/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 29.98%.
2. To permit a maximum height of 3.71 m for a residential accessory building (Cabana).
3. To permit a minimum interior side yard setback of 0.6 m to an accessory building (shed).

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 20% is permitted.
2. In any Residential Zone, the maximum height of a residential accessory building shall be 3.0 m.
3. A minimum interior side yard setback of 1.5 m is required.

Proposed Variance(s) (By-law 1-88):

4. To permit a maximum lot coverage of 25.01%.

By-Law Requirement(s) (By-law 1-88):

4. A maximum lot coverage of 20% is permitted.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting to permit the existing shed and the construction of a cabana with the above noted variances.

The existing dwelling, covered porch, and shed have lot coverages of 19.83%, 0.59%, and 0.78% respectively while the proposed cabana and all building eaves will have a lot coverage of 4.59% and 4.19% respectively. The increase in total lot coverage will not pose a significant visual impact to the adjacent properties. As such, the Development Planning Department has no objection to Variances 1 and 4 for the increase in lot coverage.

The Development Planning Department has no objection to Variance 2 for the proposed height of the cabana as it will be screened from the abutting rear yards by the existing fences and vegetation and will not pose a significant visual impact to the adjacent properties. The proposed cabana will also comply with all setback requirements of the Zoning By-law.

The Development Planning Department has no objection to Variance 3 as the reduction to the interior side yard setback for the existing shed does not have adverse impacts to the neighbouring properties and it maintains an appropriate area for drainage.

In support of the application, the Owners have submitted an Arborist Report and Tree Protection Plan prepared by Davey Resource Group, dated February 5, 2022. The report inventoried 30 trees, none of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Date: March 31st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A029-22**

Related Files:

Applicant Giuseppe/Sara Ann Macri

Location 76 Kiloran Avenue

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Gordon, Carrie](#)
To: [Christine Vigneault](#)
Subject: [External] RE: A029/22 (76 Kiloran Avenue) - City of Vaughan Request for Comments:
Date: Thursday, March 31, 2022 9:36:12 AM
Attachments: [image003.png](#)

Hello Christine

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: Wednesday, March 30, 2022 3:50 PM
To: ROWCC <rowcentre@bell.ca>; Gordon, Carrie <carrie.gordon@bell.ca>;
developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca;
engineeringadmin@powerstream.ca; cameron.blaney@ontario.ca; colin.mulrenin@ontario.ca
Cc: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: [EXT]RE: A029/22 (76 Kiloran Avenue) - City of Vaughan Request for Comments:

Please disregard previous attachment for A029/22, the plans were incorrect.

The attached circulation is accurate.

Thank you,

Christine Vigneault, AMP, ACST
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment
905-832-2281, ext. 8332 | christine.vigneault@vaughan.ca

City of Vaughan | Office of the City Clerk
2141 Major Mackenzie Dr., Vaughan ON L6A 1T1
vaughan.ca

From: [Mulrenin, Colin \(MTO\)](#)
To: [Christine Vigneault](#)
Cc: [Blaney, Cameron \(MTO\)](#)
Subject: [External] RE: A029/22 (76 Kilaran Avenue) - City of Vaughan Request for Comments:
Date: Monday, April 4, 2022 2:16:11 PM
Attachments: [image001.png](#)

Good afternoon,

As the property is located outside MTO permit control, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations
159 Sir William Hearst Avenue | Ministry of Transportation
7th Floor, Building D | Downsview, Ontario | M3M 0B7
Phone: 437-533-9427
Colin.Mulrenin@ontario.ca

From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: March 30, 2022 3:50 PM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca; engineeringadmin@powerstream.ca; Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>; Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>
Cc: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: RE: A029/22 (76 Kilaran Avenue) - City of Vaughan Request for Comments:

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Please disregard previous attachment for A029/22, the plans were incorrect.

The attached circulation is accurate.

Thank you,

Christine Vigneault, AMP, ACST
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment
905-832-2281, ext. 8332 | christine.vigneault@vaughan.ca

City of Vaughan | Office of the City Clerk
2141 Major Mackenzie Dr., Vaughan ON L6A 1T1
vaughan.ca



From: [York Plan](#)
To: [Christine Vigneault](#)
Cc: [Hamedeh Razavi](#)
Subject: [External] RE: A029/22 (76 Kilaran Avenue) - City of Vaughan Request for Comments:
Date: Thursday, March 31, 2022 3:08:46 PM
Attachments: [image002.png](#)
[image003.png](#)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

Mark Howard, BES, MLA, MCIP, RPP
Senior Planner – Vaughan Review Area
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:(416)661-6600) ext 5269
E: mark.howard@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: March 30, 2022 3:50 PM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; York Plan <yorkplan@trca.ca>; Hamedeh Razavi <Hamedeh.Razavi@trca.ca>; engineeringadmin@powerstream.ca; cameron.blaney@ontario.ca; colin.mulrenin@ontario.ca
Cc: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: RE: A029/22 (76 Kilaran Avenue) - City of Vaughan Request for Comments:

Please disregard previous attachment for A029/22, the plans were incorrect.

The attached circulation is accurate.

Thank you,

Pravina Attwala

Subject: FW: [External] RE: A029/22 (76 Kilaran Avenue) - City of Vaughan Request for Comments:

From: Development Services <developmentservices@york.ca>
Sent: April-20-22 9:44 AM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Cc: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>; Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A029/22 (76 Kilaran Avenue) - City of Vaughan Request for Comments:

Good morning Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you,

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71512 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				