

	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A026/22</b>
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<b>AGENDA ITEM NUMBER: 6.3</b>	Thursday, May 26, 2022
<b>APPLICANT:</b>	Arif & Amela Rashid
<b>AGENT:</b>	J-R Home Designer Inc.
<b>PROPERTY:</b>	24 Mary Natasha Ct Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and location of pool equipment in the rear yard.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
05/05/2022	To permit time to for applicant to confirm variances



COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A026/22

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER:	CITY WARD #: 1
APPLICANT:	Arif & Amela Rashid
AGENT:	J-R Home Designer Inc.
PROPERTY:	24 Mary Natasha Ct Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and location of pool equipment in the rear yard.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned R1A– First Density Residential Zone and subject to the provisions of Exception 14.1009 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback for the residential accessory structure is 2.4m Section 4.1.2 1b.	The permit a rear yard setback of 1.48m to the residential accessory structure.
2	The minimum required interior side yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1b.	To permit a minimum interior side yard setback for the residential accessory structure of 0.76m.
3	The maximum permitted lot coverage is 40%. Section 7.2.2 Table 7-3	To permit a lot coverage of 40.93%. (35.62% dwelling; 5.31% cabana)
4	The maximum building height for the residential accessory structure is 3.0m. Section 4.1.4 1	To permit a maximum building height of 3.81m for the residential accessory structure.
5	The maximum permitted encroachment into the required rear yard setback of 7.5m is 1.5m. for the pool equipment. Section 4.13 table 4-1	To permit a maximum encroachment of 6.93m into the required rear yard setback of 7.5m for pool equipment.

The subject lands are zoned R1– Rural Residential and subject to the provisions of Exception 9(1378) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard setback for the accessory structure is 7.5m. Schedule A	To permit a rear yard setback for the accessory structure of 1.48m.
7	The minimum required interior side yard setback for the accessory structure is 1.2m Exception 1378	To permit a minimum interior side yard setback for the accessory structure of 0.76m.
8	The maximum permitted lot coverage is 35%. Schedule A	To permit a maximum lot coverage of 36.31%. (31.98% dwelling; 4.33% cabana)
9	The maximum height to the nearest part of the roof to finished ground level is 3.0m. Section 4.1.1 b)	To permit a maximum height of 3.50m to the nearest part of the roof from finished ground level.

Zoning By-law 1-88		Variance requested
10	The maximum permitted encroachment into the required rear yard setback of 7.5m is 1.5m. for the pool equipment. Section 3.14 h ii)	To permit a maximum encroachment of 6.93m into the required rear yard setback of 7.5m for pool equipment.

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday, May 26, 2022 at 6:00 p.m.
<p align="center"><b>PUBLIC PARTICIPATION</b></p> <p>You can watch a live stream of the hearing at <a href="https://vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a></p> <p>If you wish to speak to the Committee of Adjustment on an application please complete and submit a <a href="#">Request to Speak Form</a> to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> <b>by noon</b> on the last business day prior to the hearing.</p> <p>Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by <b>noon</b> on the last business day <b>prior</b> to the day of the scheduled hearing. Written submissions can be emailed to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p><a href="#">For more information, please visit the City of Vaughan website.</a></p>	

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained.  That the general intent and purpose of the official plan will be maintained.  That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 11, 2022	
Date Applicant Confirmed Posting of Sign:	May 11, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	It is difficult to comply with zoning by law regarding the scope of proposal	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	Agent requested adjournment to permit time for Zoning staff to review revised submission.	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
Stop work orders and orders to comply: There are no outstanding Orders on file	
Building Permit(s) Issued: Building Permit No. 16-001931 for Single Detached Dwelling - New, Issue Date: Nov 02, 2016 Building Permit No. 21-127377 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)	
The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
<b>Development Planning Recommended Conditions of Approval:</b>	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
<p>As the proposed cabana in the subject property is 35.11 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City’s Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The Development Engineering (DE) Department does not object to variance application A026/22 subject to the following condition(s):</p>	
<b>Development Engineering Recommended Conditions of Approval:</b>	<ol style="list-style-type: none"> <li>1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.</li> <li>2. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.</li> </ol>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment.	
<b>PFH Recommended Conditions of Approval:</b>	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comment received to date.	

BUILDING INSPECTION (SEPTIC) COMMENTS	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval. 2. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

IMPORTANT INFORMATION – PLEASE READ
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ	
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>	

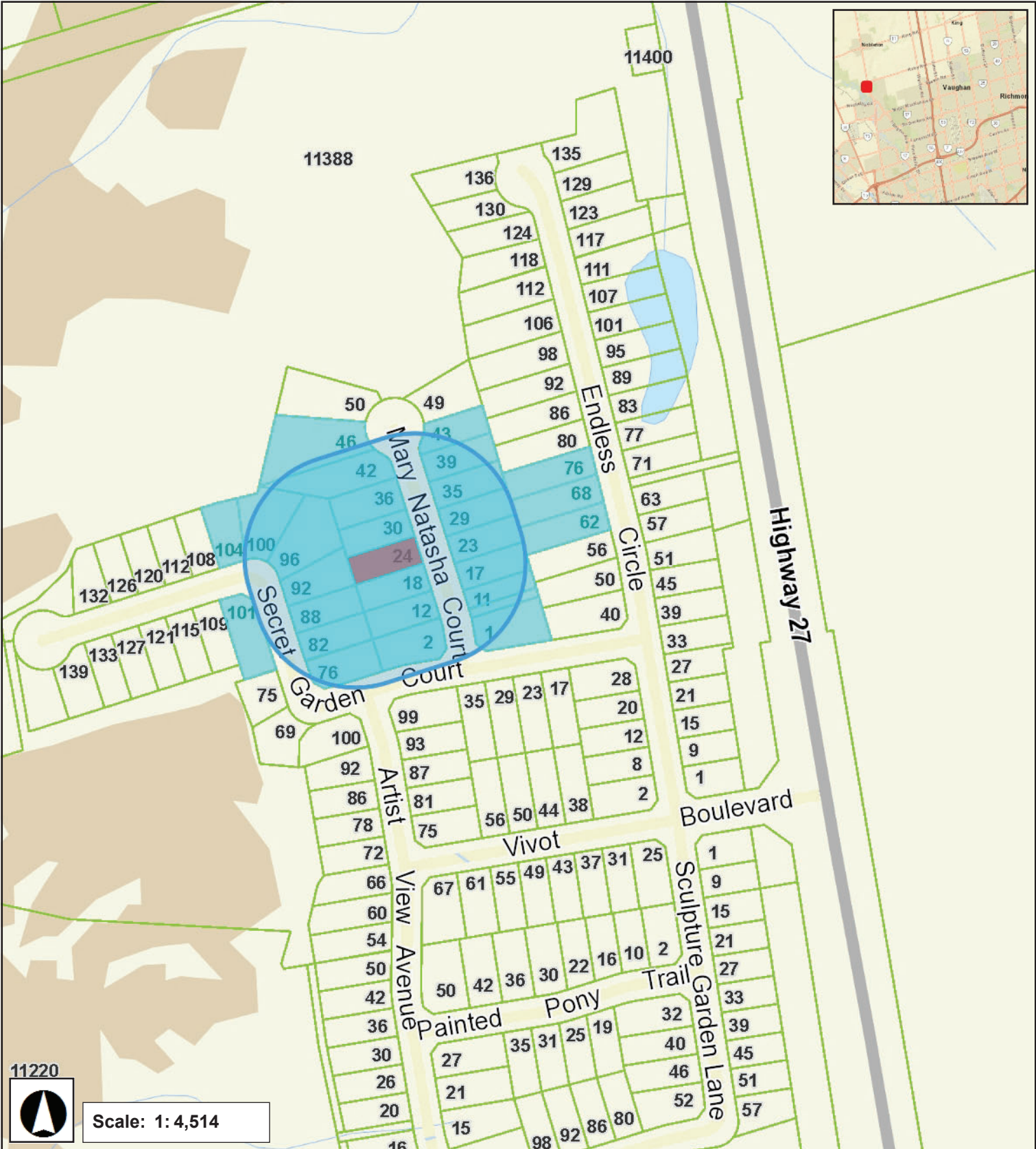
**SCHEDULE A: DRAWINGS & PLANS**



# LOCATION MAP - A026/22

24 MARY NATASHA COURT, KLEINBURG

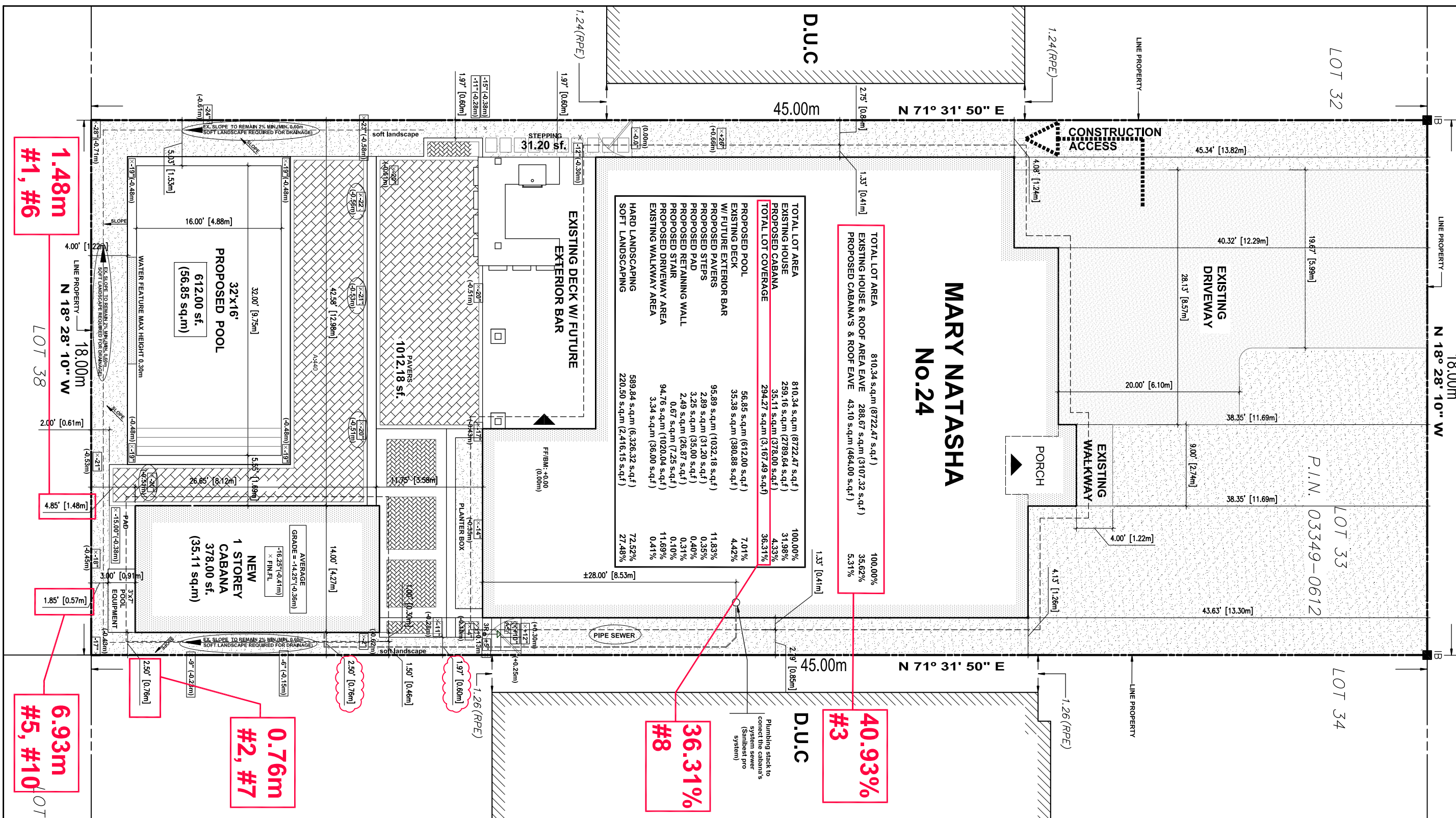
**Kirby Road**



**Nashville Road**

March 17, 2022 11:23 AM

18.00m  
18° 28' 10" W



SCALE: 3/32" = 1'-0" (1:128)

SCALE: 3/32" = 1'-0" (1:128)

Revised on December 12, 2016

DEVELOPER MUST OBTAIN AN ENVIRONMENTAL IMPACT STATEMENT FOR GRADING WORKS. THE FOLLOWING NOTES APPLY TO THE CONSTRUCTION GOVERNED BY THE REFERENCE PERMIT AND SHALL FORM PART OF THE DRAWINGS ATTACHED HERETO:

- [illegible]

REFER TO SURVEYOR'S REAL PROPERTY REPORT  
PART 1

PLAN OF LOT 31,32,33 AND 34 PLAN 65M-437  
CITY OF VAUGHAN, REGIONAL MUNICIPALITY  
OF YORK.

BY **rp-e RADY-PENTEK & EDWARD SURVEYING LTD**  
DATE: APRIL 3 2017.

# Drawing Title List

- A1 – Title Sheet, Site Plan & Roof Plan  
 A2 – Floor Plan & Roof Plan  
 A3 – East & West Elevations  
 A4 – North & South Elevations  
 A5 – Building Sections  
 A6 – Wall Section & Notes

**By RECEIVED at 10:40 am, May 06, 2022**

**A026/22**

AREA TO BE PROTECTED

VARIES  
1000mm MIN.

AREA UNDER CONSTRUCTION

FILTER CLOTH (TERAFLEX 27 OR EQUIVALENT)  
TED TO SILT FENCE

NOTES:

1. MATERIAL REMOVED FROM TRENCH  
TO BE PLACED ON TOP OF FILTER CLOTH

**mm**  
DIMENSIONS IN MILLIMETRES  
EXCEPT AS NOTED

FROZEN CONDITION

NOT TO SCALE	DESIGNED: ENG. DEPT.	STD. DWG.
REVISION:	DRAWN: APRIL 2008	N-8

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback for the residential accessory structure is 2.4m  Sect. 4.1.2.1b.	The permit a rear yard setback of 1.46m to the residential accessory structure.
2	The minimum required interior side yard setback for the residential accessory structure is 2.4m.  Sect. 4.1.2.1b.	To permit a minimum interior setback of 1.46m for the residential accessory structure of 0.76m.
3	The maximum permitted lot coverage is 40%.  Sect. 7.2.2 Table 7-3.	To permit a lot coverage of 40.93%.
4	The maximum building height for the residential accessory structure is 3.0m.  Sect. 4.1.4.1	To permit a maximum building height of 3.61m for the residential accessory structure
5	The maximum permitted encroachment into the required rear yard setback of 7.5m is 1.5m. for the pool equipment.  Sect. 4.1.3.1a.4.1	To permit a maximum encroachment of 6.52m into the required rear yard setback of 7.5m for pool equipment

The subject lands are zoned R1 – Rural Residential and subject to the provisions of Exception 9(13/78) under Zoning By-law 1-88, as amended.

	Zoning By-law 4-88	Variance requested
6	The minimum required rear yard setback for the accessory structure is 7.5m.	To permit a rear yard setback for the accessory structure of 1.48m
7	Schedule A  The minimum required interior side yard setback for the accessory structure is 1.2m.  Exception 1378	To permit a minimum interior side yard setback for the accessory structure of 0.76m.
8	The maximum permitted lot coverage is 35%.	To permit a maximum lot coverage of 36.31%.
	Schedule A	
9	The maximum height to the nearest part of the roof to finished ground level is 3.0m.	To permit a maximum height of 3.50m to the nearest part of the roof from finished ground level.
	Sect. 4.1.1 b)	
10	The maximum permitted encroachment into the required rear yard setback of 7.5m is 1.5m, for the pool equipment.  Sect. 3.14 h ii)	To permit a maximum encroachment of 6.59m into the required rear yard setback of 7.5m for pool equipment.

**Note:**

[illegible]

all dimensions are given in imperial units unless otherwise indicated

DRAWINGS MUST NOT BE SCALED  
TO BE READ IN CONJUNCTION WITH GENERAL

verified on site prior to construction and fabrication of its cor

specifically noted otherwise on the drawings no provision has been made in

temporary supports, to safeguard all existing or adjacent structures affected

this work.

this work.

JOHN RAMIREZ	32128
NAME	BORN
REGISTRATION INFORMATION	
	110313
J-R HOME DESIGNER INC.	BORN

J-H HOME DESIGNER INC. BOLLING

## Bibliography

**J-R Home Designer Inc.**  
371 Strawberry Crest, Waterloo, ON N2K 3K3, T-416.737.9411  
E: john@jrhomedesigner.com, www.jrhomedesigner.com

**PROJECT ADDRESS**

**24 MARY NATASHA**  
VAUGHAN, ONTARIO

VAUGHAN, ONTARIO

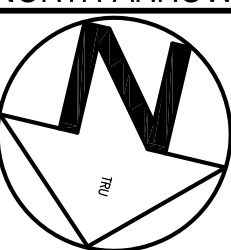
**NEW CABANA**

# TITLE SHEET, SITE PLAN & ROOF PLAN

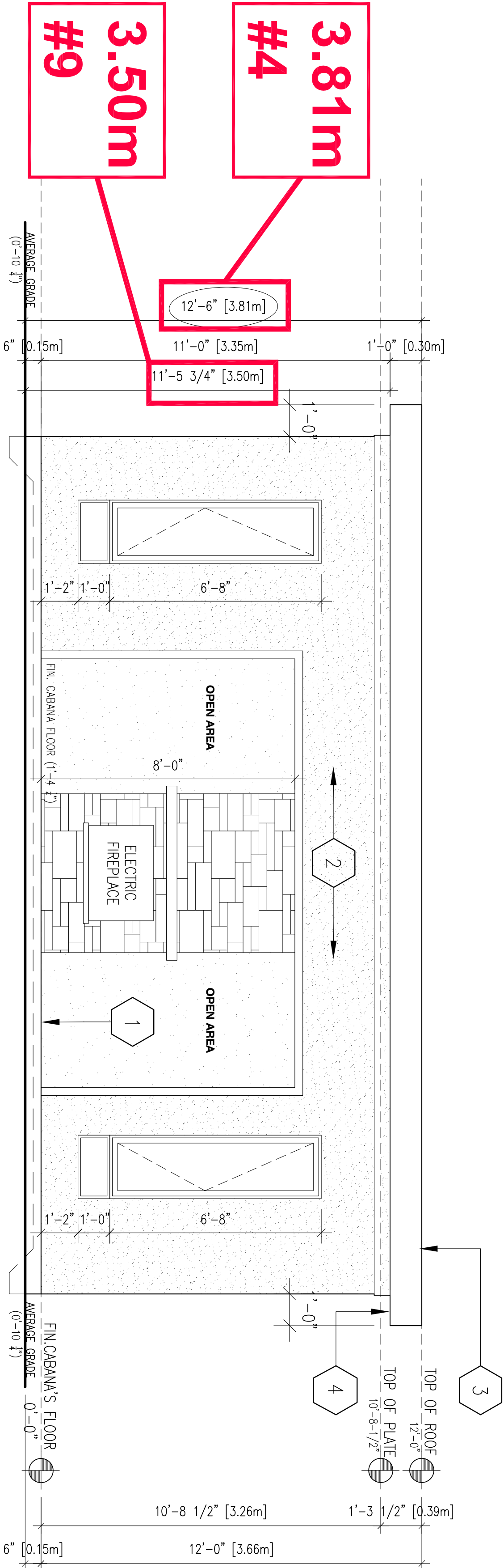
AS NOTED

Drawn By:	Checked By:
BERMAN TORRES	JOHN RAIW
Page Number	

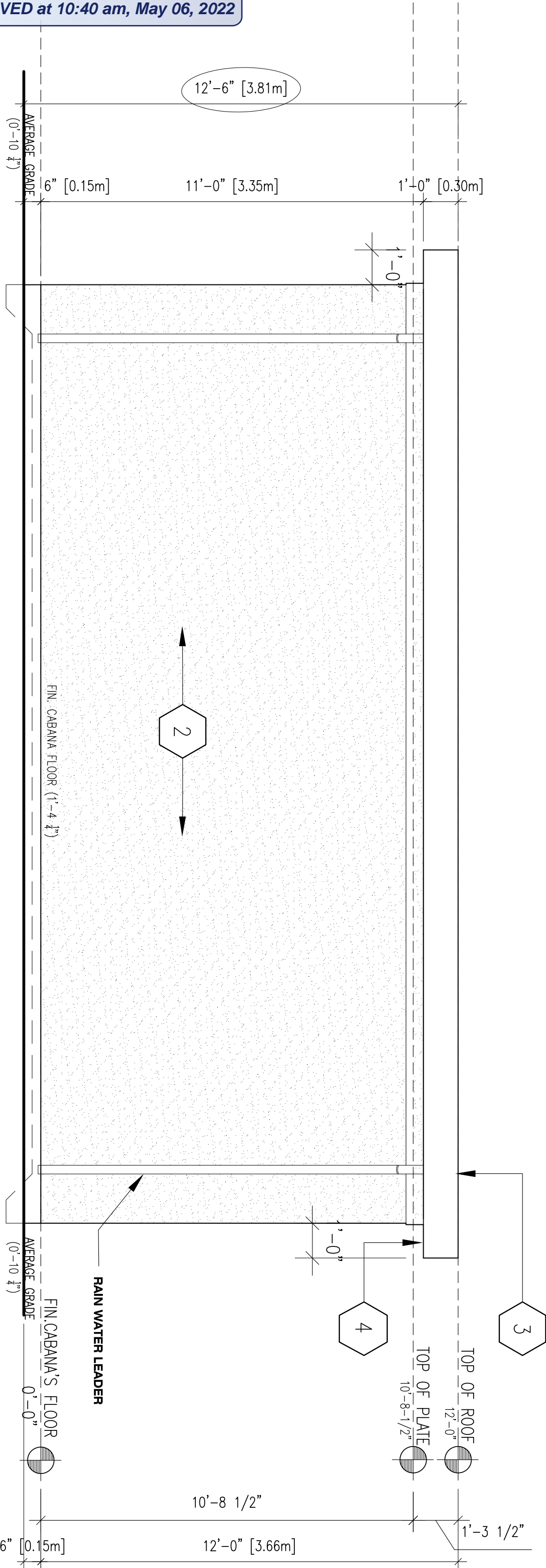
Page Number



# AOT



1 WEST ELEVATION SCALE: 3/8" = 1'-0"



2 EAST ELEVATION SCALE: 3/8" = 1'-0"

Drawings must not be scaled  
Drawings to be read in conjunction with general notes and O.S.C.  
All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for construction of existing conditions. It shall be the responsibility of the designer to provide all existing conditions. It shall be the responsibility of the temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.	ISSUED FOR PERMIT	2021.10.21	JR
REVISIONS			
No.	Description	By	YY/MM/DD
PERSONS			
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION			

JOHN RAMIREZ	DESIGNER	32122
371 Strawberry Crest, Waterloo, ON N2K 3L9, T41 6737.9413	REGISTRATION INFORMATION	110513
E: john@homedesigner.com, www.homedesigner.com	J-R HOME DESIGNER INC.	BCIN
CONTACT INFO:		

J-R Home Designer Inc.		
371 Strawberry Crest, Waterloo, ON N2K 3L9, T41 6737.9413		
E: john@homedesigner.com, www.homedesigner.com		
PROJECT ADDRESS		
24 MARY NATASHA ST		
VAUGHAN, ONTARIO		
PROJECT TITLE		
NEW CABANA		

DRAWING SHEET	
EAST AND WEST ELEVATIONS	
AS NOTED	
Drawn By:	JOHN RAMIREZ
Checked By:	JOHN RAMIREZ
Page Number	

NORTH ARROW	
PROJECT	
A03	

DRAWINGS MUST NOT BE SCALED

DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for removal of existing conditions. It shall be the responsibility of the contractor to provide all existing conditions, including but not limited to temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

8.				
7.				
6.				
5.				
4.				
3.				
2.				
1.	ISSUED FOR PERMIT	2021.10.21	JR	
REVISIONS				
No.	Description	By	YY/MM/DD	
PERSONS				
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION				

JOHN RAMIREZ	32722
371 Strawberry Crest, Waterloo, ON N2K 3L9, T416.737.9413	
E: john@jrhomedesigner.com, www.jrhomedesigner.com	
PROJECT ADDRESS	24 MARY NATASHA ST
VAUGHAN, ONTARIO	
COMPANY NAME	JR HOME DESIGNER INC.
BRN	110513



JR Home Designer Inc.

371 Strawberry Crest, Waterloo, ON N2K 3L9, T416.737.9413  
E: john@jrhomedesigner.com, www.jrhomedesigner.com  
PROJECT ADDRESS 24 MARY NATASHA ST  
VAUGHAN, ONTARIO

PROJECT TITLE  
NEW CABANA

DRAWING SHEET  
FLOOR & ROOF PLANS

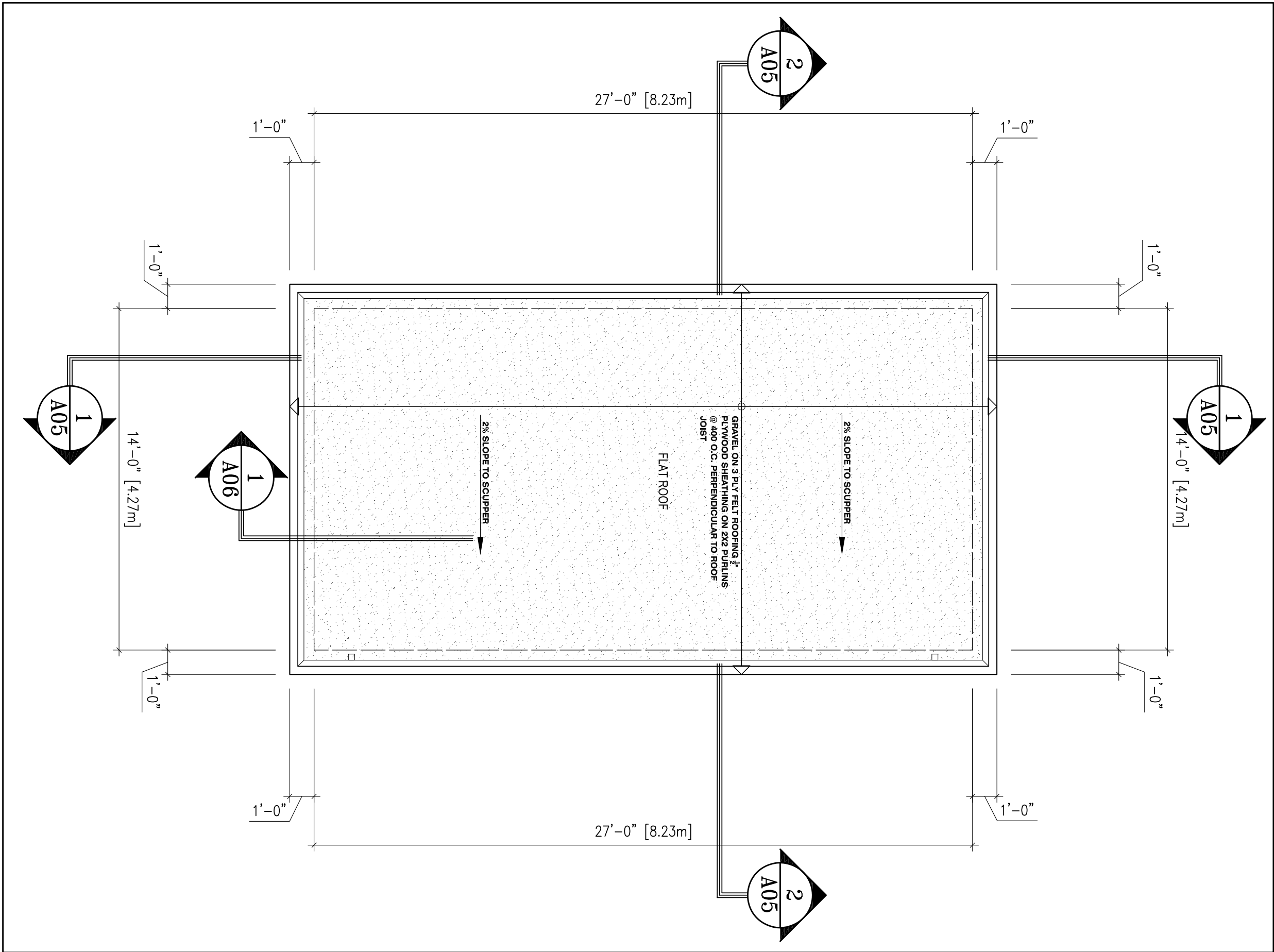
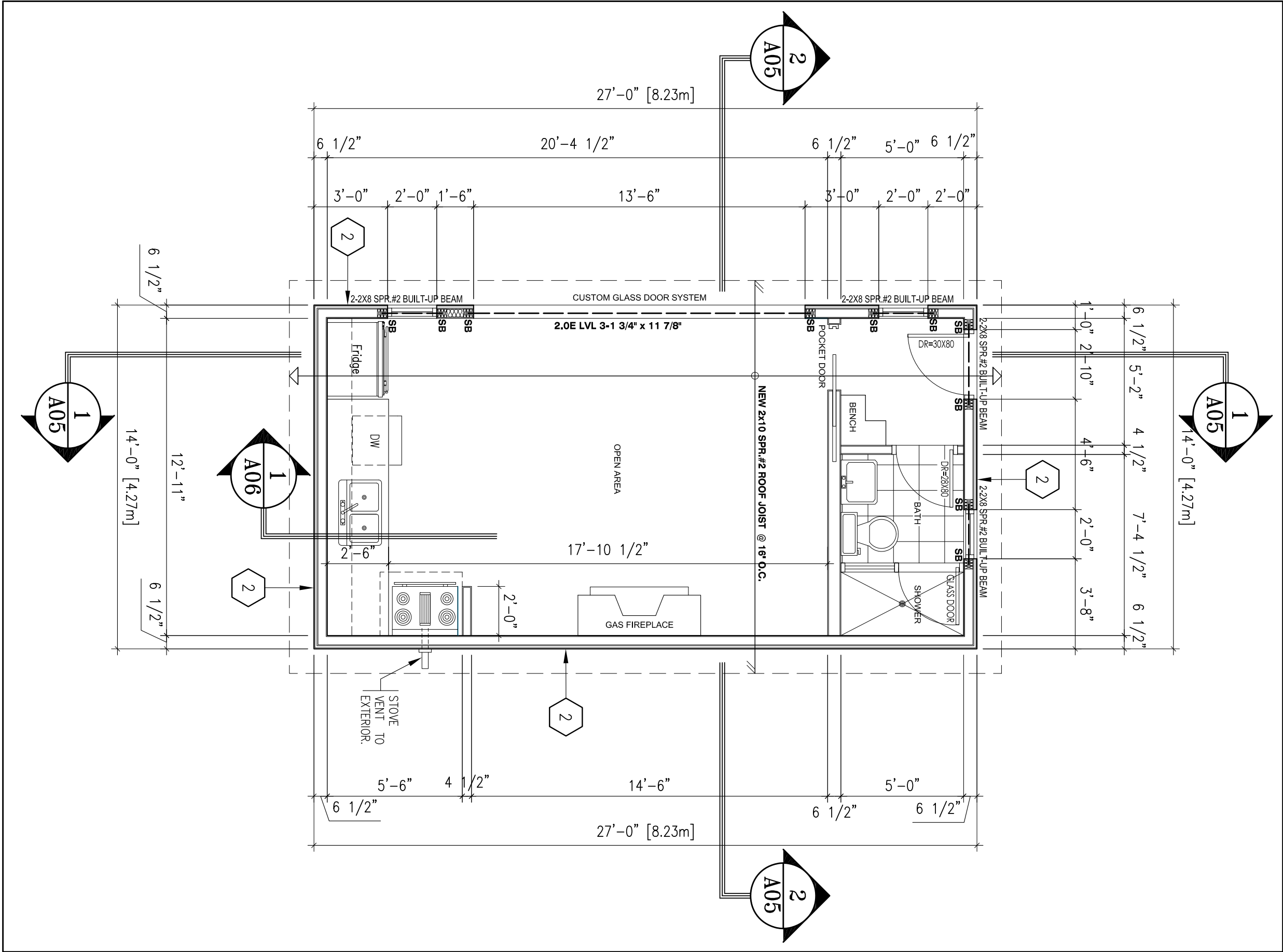
SCALE  
AS NOTED

Drawn By: BERIMAN TORRES  
Checked By: JOHN RAMIREZ  
Page Number

NORTH ARROW

PROJECT

A02



DRAWINGS MUST NOT BE SCALED

DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural noted drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for correction of existing conditions. It shall be the responsibility of the contractor to provide all necessary structural steel, masonry, and other temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

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1.	ISSUED FOR PERMIT	2021.10.21	JR
No. Description		YYYY/MM/DD	By
REVISIONS			
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION			

JOHN RAMIREZ	3/2/22
DESIGNER	11/03/21
REGISTRATION INFORMATION	BCIN
J-R HOME DESIGNER INC.	
COMPANY NAME	



J-R Home Designer Inc.  
371 Strawberry Crest, Waterloo, ON N2K 3L9, T41.6.737.9413  
E: john@jrhomedesigner.com, www.jrhomedesigner.com  
PROJECT ADDRESS  
**24 MARY NATASHA ST**  
VAUGHAN, ONTARIO

PROJECT TITLE  
**NEW CABANA**

DRAWING SHEET  
**NORTH & SOUTH ELEVATIONS**

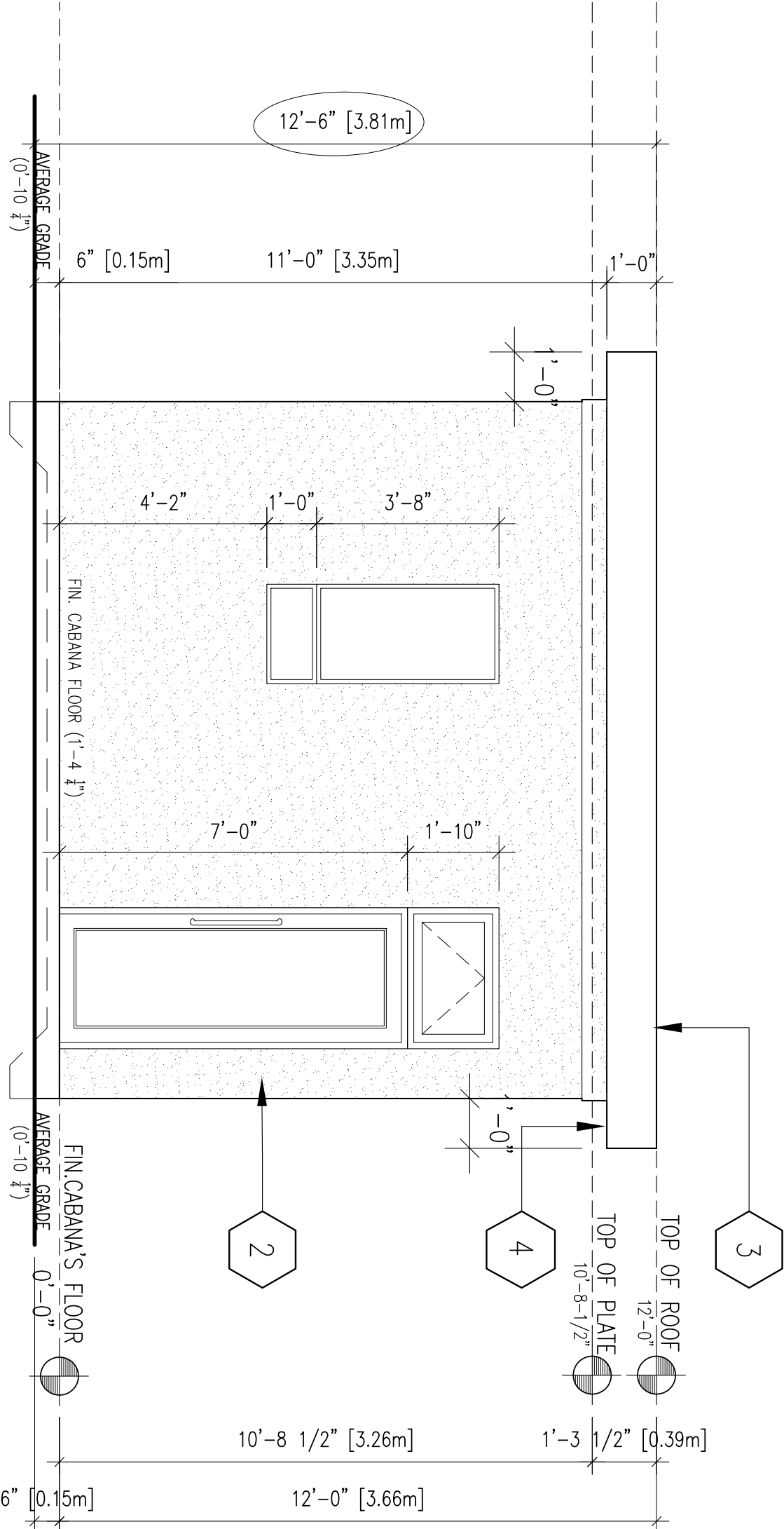
SCALE  
**AS NOTED**

Drawn By: **BERNAN TORRES** Checked By: **JOHN RAMIREZ**  
Page Number

NORTH ARROW

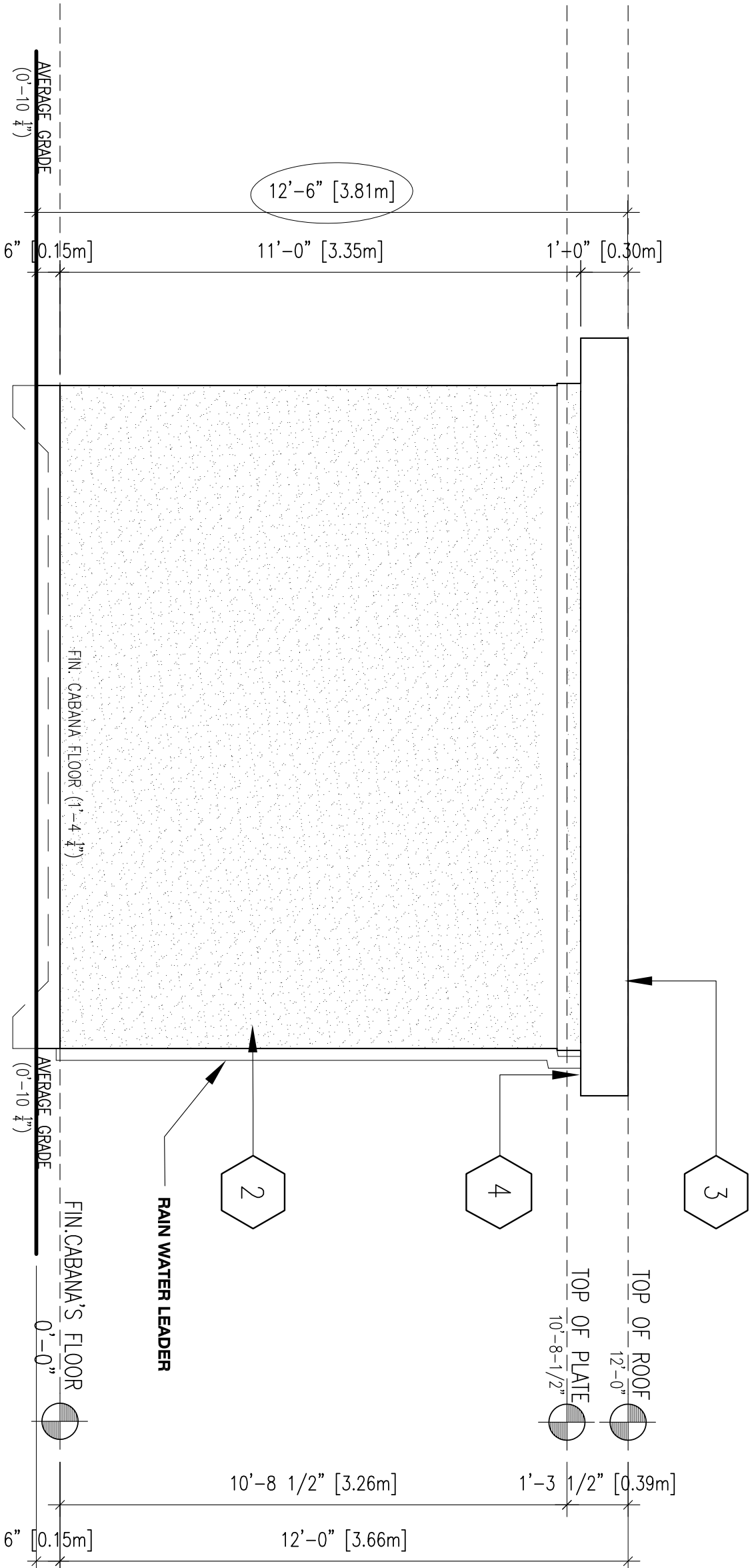
PROJECT

**A04**



### 3 NORTH ELEVATION

SCALE: 3/8" = 1'-0"



### 4 SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

all dimensions are given in imperial units unless otherwise indicated.

Architectural floor plan of a building with the following dimensions and labels:

- Overall Dimensions:**
  - Top: 12'-6" [3.81m]
  - Bottom: 12'-0" [3.66m]
  - Left: 11'-0" [3.35m]
  - Right: 1'-0" [0.30m]
- Internal Dimensions and Labels:**
  - Top: 12'-6" [3.81m]
  - Left: 11'-0" [3.35m]
  - Right: 1'-0" [0.30m]
  - Bottom: 10'-8" [3.25m]
  - Bottom: 10'-8 1/2" [3.26m]
  - Bottom: 1'-3 1/2" [0.39m]
- Room Labels:**
  - HALL
  - OPEN AREA
  - ELECTRIC FIREPLACE
  - KITCHEN
- Other Labels:**
  - AVERAGE GRADE (0'-10 3/4")
  - FIN. CABANA'S FLOOR
  - TOP OF ROOF 12'-0"
  - TOP OF PLATE 10'-8-1/2"
- Callouts:**
  - 1 (Arrow pointing to the left wall)
  - 2 (Arrow pointing to the bottom wall)
  - 3 (Arrow pointing to the right wall)
  - 4 (Arrow pointing to the bottom wall)

Architectural floor plan of the main cabin area. The plan shows a rectangular layout with various dimensions and labels. Key features include:

- Dimensions:**
  - Overall width: 12'-0" [3.66m]
  - Overall depth: 10'-8" [3.25m]
  - Top section width: 11'-0" [3.35m]
  - Top section depth: 12'-6" [3.81m]
  - Bottom section width: 10'-8 1/2" [3.26m]
  - Bottom section depth: 1'-3 1/2" [0.39m]
  - Left side depth: 6" [0.15m]
  - Right side depth: 1'-0" [0.30m]
- Labels and Callouts:**
  - 1:** Points to the main cabin area.
  - 2:** Points to the bottom section.
  - 3:** Points to the top section.
  - 4:** Points to the bottom section.
  - TOP OF ROOF:** 12'-0"
  - TOP OF PLATE:** 10'-8-1/2"
  - FIN. CABIN'S FLOOR:** 0'-0"
  - AVERAGE GRADE:** (0'-10 1/4")
  - OPEN AREA:** 10'-8" [3.25m]
- Other Features:**
  - A rectangular area in the top section, possibly a window or door.
  - A small rectangular area in the bottom section, possibly a door or window.
  - A small rectangular area in the bottom section, possibly a door or window.

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1.	ISSUED FOR PERMIT	2021.10.21	JR
No. Description	YYYYMMDD	By	
PERMITS			

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

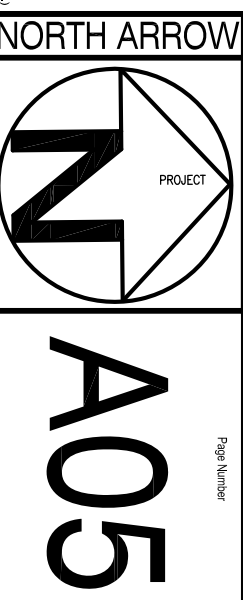
JOHN RAMIREZ	32125
NAME	BCIN
REGISTRATION INFORMATION	110313
J-R HOME DESIGNER INC.	BCIN

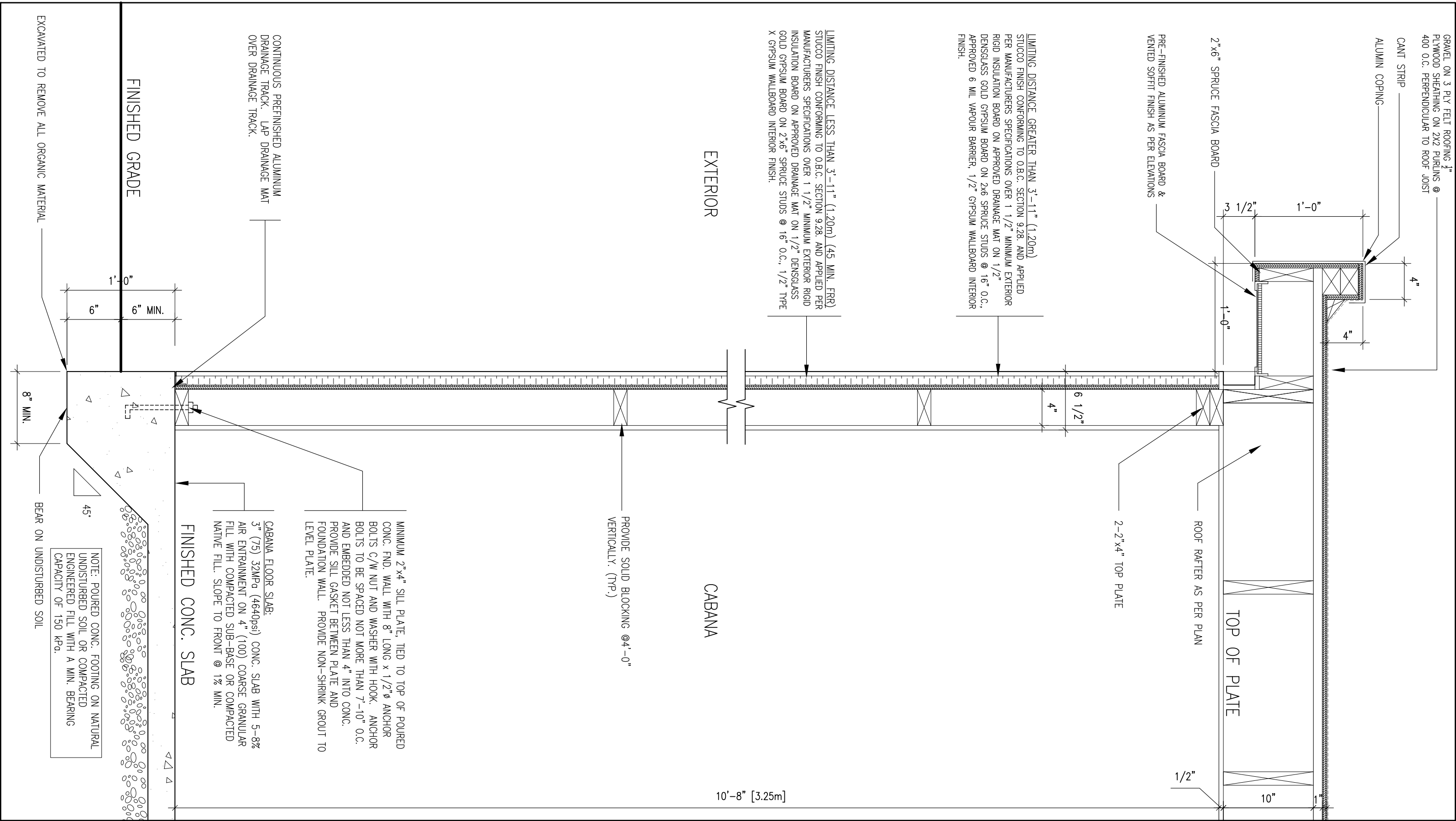


J-R Home Designer Inc.  
371 Strawberry Crest Waterloo, ON N2K 3J3, T4-16.737.9413  
E: [john@jrhomedesigner.com](mailto:john@jrhomedesigner.com), [www.jrhomedesigner.com](http://www.jrhomedesigner.com)  
PROFESSIONAL ADDRESS:  
**24 MARY NATASHA**  
VAUGHAN, ONTARIO

DRAWING SHEET:  
**BUILDING SECTIONS**

BERMAN TORRES JOHN RAMIREZ





## CONSTRUCTION NOTES

### CABANA'S FLOOR SLAB:

- 1 3" (75) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

### LIMITING DISTANCE GREATER THAN 3'-11" (1.20m)

- 2 STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" MINIMUM EXTERIOR RIGID INSULATION BOARD ON APPROVED DRAINAGE MAT ON 1/2" DENSGLASS GOLD GYPSUM BOARD ON 2x6 SPRUCE STUDS @ 16" O.C., APPROVED 6 MIL VAPOUR BARRIER, 1/2" GYPSUM WALLBOARD INTERIOR FINISH.

### LIMITING DISTANCE LESS THAN 3'-11" (1.20m) (45 MIN. FRR)

- 2A STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" MINIMUM EXTERIOR RIGID INSULATION BOARD ON APPROVED DRAINAGE MAT ON 1/2" DENSGLASS GOLD GYPSUM BOARD ON 2x6 SPRUCE STUDS @ 16" O.C., 1/2" TYPE X GYPSUM WALLBOARD INTERIOR FINISH.

- 3 GRAVEL ON 3 PLY FELT ROOFING  $\frac{3}{8}$ " PLYWOOD SHEATHING ON 2X2 PURLINS @ 48" O.C. PERPENDICULAR TO ROOF JOIST

- 4 PRE-FINISHED ALUMINUM FASCIA BOARD & VENTED SOFFIT FINISH AS PER ELEVATIONS

## GENERAL NOTES

1. MINIMUM CONCRETE STRENGTH SHALL BE 15MPa AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32MPa W/ 5%-8% AIR ENTRAINMENT.

### 2. FOOTINGS

- POURED CONC. FOOTING  
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACT GRANULAR FILL

### 3. CONCRETE

- MINIMUM COMPRESSIVE STRENGTH  
OF 32MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT

### 4. EXTERIOR STAIRS

- 7 7/8" RISER MAXIMUM 4 7/8" MINIMUM  
8 1/2" RUN MINIMUM 14" MAXIMUM  
9 1/4" TREAD MINIMUM 14" MAXIMUM

### 5. PRE-ENGINEERED GUARDS

- 42" HIGH GUARD RAILING WHERE DISTANCE HEIGHT IS GREATER THAN 5'-11".  
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

### 6. SEWER SYSTEM

- TO THE SEWER SYSTEM FROM THE CABANA UNTIL THE PLUMBING STACK IN THE HOUSE BASEMENT WILL USE THE SANIBEST PRO SYSTEM WITH A PUMPING SYSTEM, AND PVC PIPES @ 4" MIN. 1" UNDER GRADE. IN A 10" WIDTH DITCH, THE CONNECTION TO THE PLUMBING STACK WILL BE IN THE INTERIOR OF THE BASEMENT AND WILL BE NECESSARY THROUGH THE BASEMENT WALL. THESE WORKS WILL NOT CAUSE PROBLEM WITH THE FOOTINGS OR THE NEIGHBORS HOUSE. (REFER TO INSTALLER SPECIFICATIONS)

## CONSTRUCTION NOTES

DRAWINGS MUST NOT BE SCALED

DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for correction of existing conditions. It shall be the responsibility of the designer to provide all existing conditions. It shall be the responsibility of the temporary supports, to safeguard all existing or adjacent structures affected by this work.

All dimensions are given in Imperial units unless otherwise indicated.

### Note:

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1.	ISSUED FOR PERMIT	2021.10.15	JR
REVISIONS			
No.	Description	DATE	BY
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A QUALIFICATION INFORMATION			

JOHN RAMIREZ	DESIGNER	32122
371 Strawberry Crest, Waterloo, ON N2K 3A5, T41 6 737.9413	REGISTERED PROFESSIONAL	110513
E: john@homedesigner.com, www.homedesigner.com	J-R HOME DESIGNER INC.	BCIN
CONTRACT NO. 0000000000		

J-R Home Designer Inc.		
371 Strawberry Crest, Waterloo, ON N2K 3A5, T41 6 737.9413		
E: john@homedesigner.com, www.homedesigner.com		
24 MARY NATASHA		
VAUGHAN, ONTARIO		

### NEW CABANA

### WALL SECTION & CONST. NOTES

#### DRAWING SHEET

#### AS NOTED

Drawn By:	BERNARD TORRES	Checked By:	JOHN RAMIREZ
Page Number			

NORTH ARROW

PROJECT

A06

## 1 WALL SECTION SCALE: 1-1/4" = 1'-0"

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** May 26, 2022

**Name of Owner:** Arif and Amela Rashid

**Location:** 24 Mary Natasha Court

**File No.(s):** A026/22

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit a rear yard setback of 1.48 m to the residential accessory structure.
2. To permit a minimum interior side yard setback for the residential accessory structure of 0.76 m.
3. To permit a lot coverage of 40.93%.
4. To permit a maximum building height of 3.81 m for the residential accessory structure.
5. To permit a maximum encroachment of 6.93 m into the required rear yard setback of 7.5 m for pool equipment.

**By-Law Requirement(s) (By-law 001-2021):**

1. The minimum required rear yard setback for the residential accessory structure is 2.4 m.
2. The minimum required interior side yard setback for the residential accessory structure is 2.4 m.
3. The maximum permitted lot coverage is 40%.
4. The maximum building height for the residential accessory structure is 3.0 m.
5. The maximum permitted encroachment into the required rear yard setback of 7.5 m is 1.5 m for the pool equipment.

**Proposed Variance(s) (By-law 1-88):**

6. To permit a rear yard setback for the accessory structure of 1.48 m.
7. To permit a minimum interior side yard setback for the accessory structure of 0.76 m.
8. To permit a maximum lot coverage of 36.31%.
9. To permit a maximum height of 3.50 m to the nearest part of the roof from finished ground level.
10. To permit a maximum encroachment of 6.93 m into the required rear yard setback of 7.5 m for pool equipment.

**By-Law Requirement(s) (By-law 1-88):**

6. The minimum required rear yard setback for the accessory structure is 7.5 m.
7. The minimum required interior side yard setback for the accessory structure is 1.2 m.
8. The maximum permitted lot coverage is 35%.
9. The maximum height to the nearest part of the roof to finished ground level is 3.0 m.
10. The maximum permitted encroachment into the required rear yard setback of 7.5 m is 1.5 m. for the pool equipment.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting to permit the construction of a cabana and pool equipment with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 6 as the reduction to the rear yard setback is consistent with previous approvals in the neighbourhood and will not impact the abutting properties. The rear yard setback of 1.48 m also maintains an appropriate area for access and drainage.

The Development Planning Department has no objection to Variances 2 and 7 as the reduction to the interior side yard setback is minor in nature and will not have adverse impacts to the neighbouring property. The interior side yard setback of 0.76 m also maintains an appropriate area for access and drainage.

The existing dwelling has a lot coverage of 31.98%, while the proposed cabana and eaves will have a lot coverage of 4.33% and 4.6% respectively. The increase in total lot coverage will not pose a significant visual impact to the adjacent properties and is minor in nature relative to both Zoning By-law requirements. As such, the Development Planning Department has no objection to Variances 3 and 8 for the increase in lot coverage.

The Development Planning Department has no objection to Variances 4 and 9 as the proposed height for the cabana is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties.

The Development Planning Department has no objection to Variances 9 and 10 as the proposed pool equipment is adjacent to the cabana and will not pose a significant visual impact to the adjacent properties. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I

Chris Cosentino, Senior Planner

**Date:** March 31<sup>st</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A026-22**

**Related Files:**

**Applicant** Arif/Amela Rashid

**Location** 24 Mary Natasha Court

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)

**From:** [Gordon, Carrie](#)  
**To:** [Christine Vigneault](#)  
**Subject:** [External] RE: A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:  
**Date:** Wednesday, March 30, 2022 1:20:26 PM  
**Attachments:** [image003.png](#)

---

Hello Christine,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

*Carrie Gordon*



Associate, External Liaison  
Right of Way Control Centre  
140 Bayfield St, Fl 2  
Barrie ON, L4M 3B1  
T: 705-722-2244/844-857-7942  
F :705-726-4600

---

**From:** Christine Vigneault <Christine.Vigneault@vaughan.ca>  
**Sent:** Wednesday, March 30, 2022 1:08 PM  
**To:** ROWCC <rowcentre@bell.ca>; Gordon, Carrie <carrie.gordon@bell.ca>;  
developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca;  
engineeringadmin@powerstream.ca; cameron.blaney@ontario.ca; colin.mulrenin@ontario.ca  
**Cc:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Subject:** [EXT]A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:

Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **April 25, 2022**.

Should you have any questions or require additional information please contact [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

Best Regards,

**Christine Vigneault, AMP, ACST**  
**Manager, Development Services & Secretary Treasurer to the Committee of Adjustment**

**From:** [Mulrenin, Colin \(MTO\)](#)  
**To:** [Christine Vigneault](#)  
**Subject:** [External] RE: A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:  
**Date:** Monday, April 4, 2022 1:51:42 PM  
**Attachments:** [image001.png](#)

---

Good afternoon,

As the property is outside of MTO permit control, MTO has no comments.

**Colin Mulrenin (he/him) | Corridor Management Officer | York**

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7

Phone: 437-533-9427

[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)

---

**From:** Christine Vigneault <Christine.Vigneault@vaughan.ca>

**Sent:** March 30, 2022 1:08 PM

**To:** rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca; engineeringadmin@powerstream.ca; Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>; Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

**Cc:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Subject:** A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:

**CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.**

Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **April 25, 2022**.

Should you have any questions or require additional information please contact [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

Best Regards,

**Christine Vigneault, AMP, ACST**

**Manager, Development Services & Secretary Treasurer to the Committee of Adjustment**

905-832-2281, ext. 8332 | [christine.vigneault@vaughan.ca](mailto:christine.vigneault@vaughan.ca)

**From:** [York Plan](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Hamedeh Razavi](#)  
**Subject:** [External] RE: A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:  
**Date:** Thursday, March 31, 2022 3:09:52 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)

---

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

**Mark Howard, BES, MLA, MCIP, RPP**  
Senior Planner – Vaughan Review Area  
Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:(416)661-6600) ext 5269  
E: [mark.howard@trca.ca](mailto:mark.howard@trca.ca)  
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



---

**From:** Christine Vigneault <Christine.Vigneault@vaughan.ca>  
**Sent:** March 30, 2022 1:08 PM  
**To:** rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; York Plan <yorkplan@trca.ca>; Hamedeh Razavi <Hamedeh.Razavi@trca.ca>; engineeringadmin@powerstream.ca; cameron.blaney@ontario.ca; colin.mulrenin@ontario.ca  
**Cc:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Subject:** A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:

Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please confirm in writing.

**Pravina Attwala**

---

**Subject:** FW: [External] RE: A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** April-01-22 2:57 PM

**To:** Christine Vigneault <Christine.Vigneault@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A026/22 (24 Mary Natasha Court) - City of Vaughan Request for Comments:

Good afternoon Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				