

**MW HALL
CORPORATION**

**ATTACHMENT 2
- 17 NAPIER -
CHIA**



CULTURAL HERITAGE IMPACT ASSESSMENT

**17 NAPIER STREET
KLEINBERG, ONTARIO, CANADA**

APRIL 6, 2022



CANADA: 21 SCOLLARD ST., #103, TORONTO, ON M5R 1G1 416 920 8105

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CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

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EXECUTIVE SUMMARY

This property contains a relatively nondescript existing 20th century residence. The property is located within the Kleinberg Heritage District at the northern area of City of Vaughan, Ontario. The present structure is a two storey brick faced single family residence with garages within a row of single family residences along Napier Street which back onto a river ravine to the north of the property. Plans of the owner are to construct additions to the front and rear of the existing existing residence. Design of these additions will comply with existing Heritage District Guidelines and better fit and comply with Heritage District Guidelines for this popular community within City of Vaughan. It is our finding that the plans for the additions prepared by Fausto Cortese, Architect comply with Guidelines for construction within the Heritage District.

1.0 INTRODUCTION TO THE PROPERTY

Kleinberg is an unincorporated village within the city of Vaughan, Ontario located along Islington Avenue, a north-south street, and east of the Humber River which also was a major north-south travel route known as 'the Carrying Place' for travel northward from Lake Ontario to Lake Simcoe for many hundreds of years that predated European settlement of this region of the Great Lakes. Much of the present day village of Kleinberg is a designated heritage district under the Ontario Heritage Act. The subject property is part of an early subdivision in Kleinberg fronting along Napier Street and backing onto the Humber River ravine.

The subject lot is basically flat except at the rear where it slopes downward toward the existing river ravine which contains an early roadway, Stegman's Mill Road, which was an early industrial roadway serving the Mill. The slopes along Stegmans Mill Road are extensively treed and natural in character such that the residences along Napier Street cannot be viewed from Stegmans Mill Road. There is an existing swimming pool at the rear of the present house, which is planned to remain. There is an existing deciduous

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mature tree in the front yard of the existing house that essentially blocks the view of the existing residence from Napier Street.

Adjacent lots to the subject property contain single family houses. The lot to the north is a late 20th century brick and stone residence, relatively non-descript. The lot to the south is a corner lot, facing both Napier Street and Stegmans Mill Road. It is a similar wood frame residence with an initial portion likely constructed earlier, with gabled roof and what appears to be aluminum or plastic vinyl siding replicating horizontal wood lapstrake siding. Both adjacent structures are relatively modest in scale.

Present owner contact Information is as follows:

Mary Barone

17 Napier Street

Woodbridge, ON LOJ 1C0

Tel: 416 562 5793

Email: marymonard@collisionrepaiexperts.ca

2.0 BACKGROUND RESEARCH AND ANALYSIS

The subject property was viewed from Google Earth imagery from both Napier Street and Stegmans Mill Road. Review of the Kleinberg Heritage District Guidelines was made relative to planned redevelopment to this property.

While Napier Street presently has a range of style period residences, the Regency Cottage period 1810-1840 is not exactly represented, but the scale of the porch and the statement that the 2-storey construction for residence conforms seems appropriate for this modest house per the example presented in the guidelines. The existing house on the site does have a pitched roof with dormers. The planned renovation/addition, in our assessment, seems to be appropriate for Napier Street within the Heritage District.

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3.0 HISTORICAL ANALYSIS

Much of Kleinburg village was developed in the 19th century, and began with frame structures with pitched roofs of varying degrees of incline on the pitches which was typical of this era given the climate in Ontario. Structures were Georgian and early Victorian, but not the more elaborately decorated Victorian style. Built forms tended to be rectangular boxes with pitched roofs and frequently with front porches to protect from the weather. Kleinberg has, for many years, been a favourite destination for visitors and remains so today. In recent times the area around the village has become a favoured location for residential development given its services and architectural character which appeal to people seeking a residence in the area. Napier Street in particular has been considered a favoured location in recent years, and today there is substantial pressure to redevelop some of the some of the 20th century residences. I believe that part of the draw to this is the fact that the heritage district has been established. Plans for redevelopment of 17 Napier is a result of this movement. The scale of the planned residence, combined with roof dormers, front porch window formats and proposed exterior finishes reflect this high demand for heritage connection to this historic village character.

4.0 STATEMENT OF SIGNIFICANCE

The subject residential building within the Designated Heritage District and the proposed renovations and additions comply with the Heritage District Guidelines.

5.0 ASSESSMENT OF EXISTING CONDITION

The existing residential building on the property at 17 Napier Street is presently in sound condition.

CULTURAL HERITAGE IMPACT ASSESSMENT

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6.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT OR SITE ALTERATION

The planned renovation and additions to the existing single family residence include additions to the front and rear of the house and the interior. The existing double garage will be refurbished but will remain basically as is. The front and rear of the house have planned additions which will change the architectural character of the house to better conform the Heritage District Guidelines as well as allow for expansion of the floor plates.

Evaluation Criteria of existing and planned revision to 17 Napier Street per Ontario Regulation 9/06

Criteria	Description Criteria	Assessment
1. Design or Physical Value	i. Is a rare, unique, representative or early example of a style, type, expression, material or construction method	This existing residence is not unique in style but is typical of 20 th century structures in the village.
	ii. Displays a high degree of craftsmanship or artistic value	The existing building does not represent an unusually high degree of craftsmanship or artistic value.
	iii. Displays a high degree of technical or scientific achievement	Does not display a high degree of technical or scientific achievement.

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2. Historical or Associative Value	i. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	The house does not have direct associations with any thing or event of significance to the community.
	ii. Yields or has the potential to yield information that contributes to the understanding of a community or culture	The building does not yield information that would contribute to the understanding of a community or culture.
	iii. Demonstrates or reflects the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community	The original building is of no particular significance to the community.
3. Contextual Value	i. Is important in defining, maintaining or supporting the character of an area	The house as it stands is not important to the character of the area.
	ii. Is physically, functionally, visually or historically linked to its surroundings	Not uniquely linked to its surroundings.
	iii. Is a landmark	Not a landmark, just a typical mid-century residence.

7.0 IMPACT OF DEVELOPMENT OR SITE ALTERATION

Implementation of the present owner development plans would make this residence conform better to the Heritage District Guidelines.

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8.0 ALTERNATIVES AND MITIGATION STRATEGIES

There are no alternatives to the planned development and no mitigation strategies planned.

9.0 CONSERVATION STRATEGY

At this time there are no plans for renovation/conservation of the existing building.

This Cultural Heritage Impact Assessment is respectfully submitted by:

MW HALL CORPORATION



per: Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP
President

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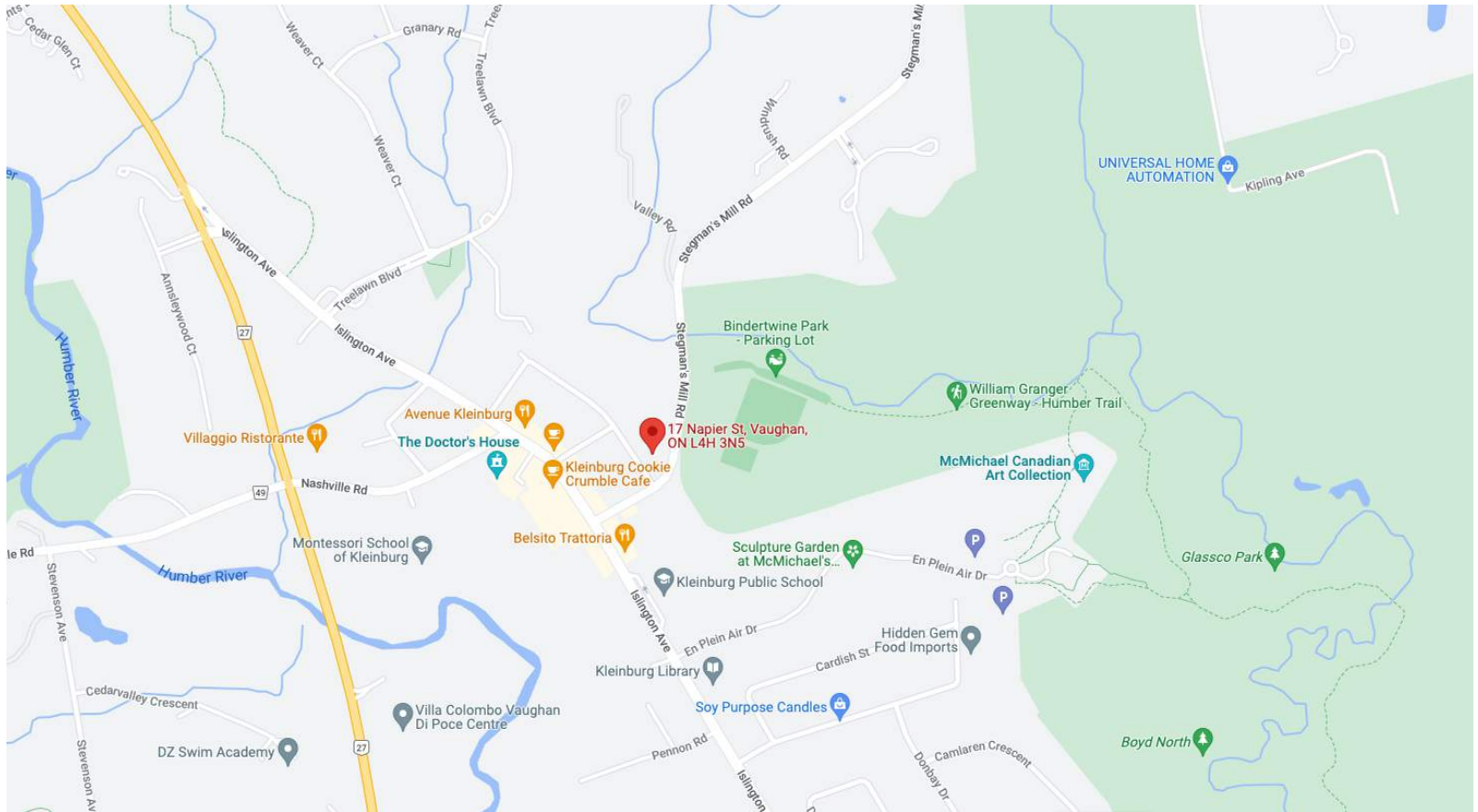
APPENDICES

- A1. Vicinity Map: 17 Napier Street, Kleinberg
- A2. Aerial Photograph: 17 Napier Street, Kleinberg
- A3. Existing View from Napier: 17 Napier Street, Kleinberg
- A4. Planned East Elevation
- A5. Site Plan of the property at 17 Napier Street, Kleinberg
- A6. Curriculum Vitae, Mark Hall

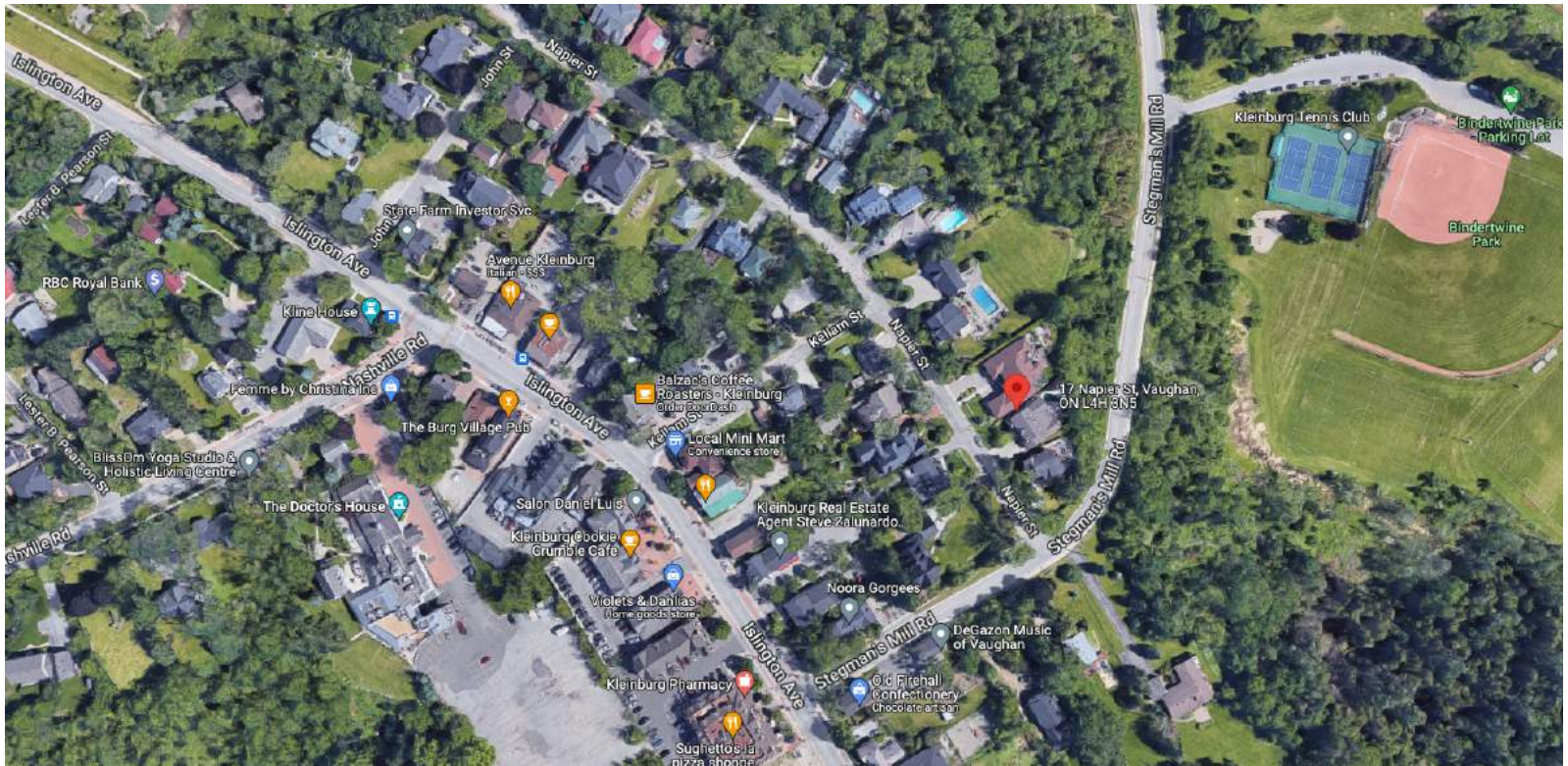
REFERENCES

- 1. Ontario Heritage Act
- 2. Kleinberg Heritage District Guidelines

APPENDIX A1
17 NAPIER STREET, KLEINBERG, ONTARIO
VICINITY MAP



APPENDIX A 2
17 NAPIER STREET, KLEINBERG, ONTARIO
AERIAL MAP



A P P E N D I X A 3

17 NAPIER STREET, KLEINBERG, ONTARIO

EXISTING VIEW FROM NAPIER

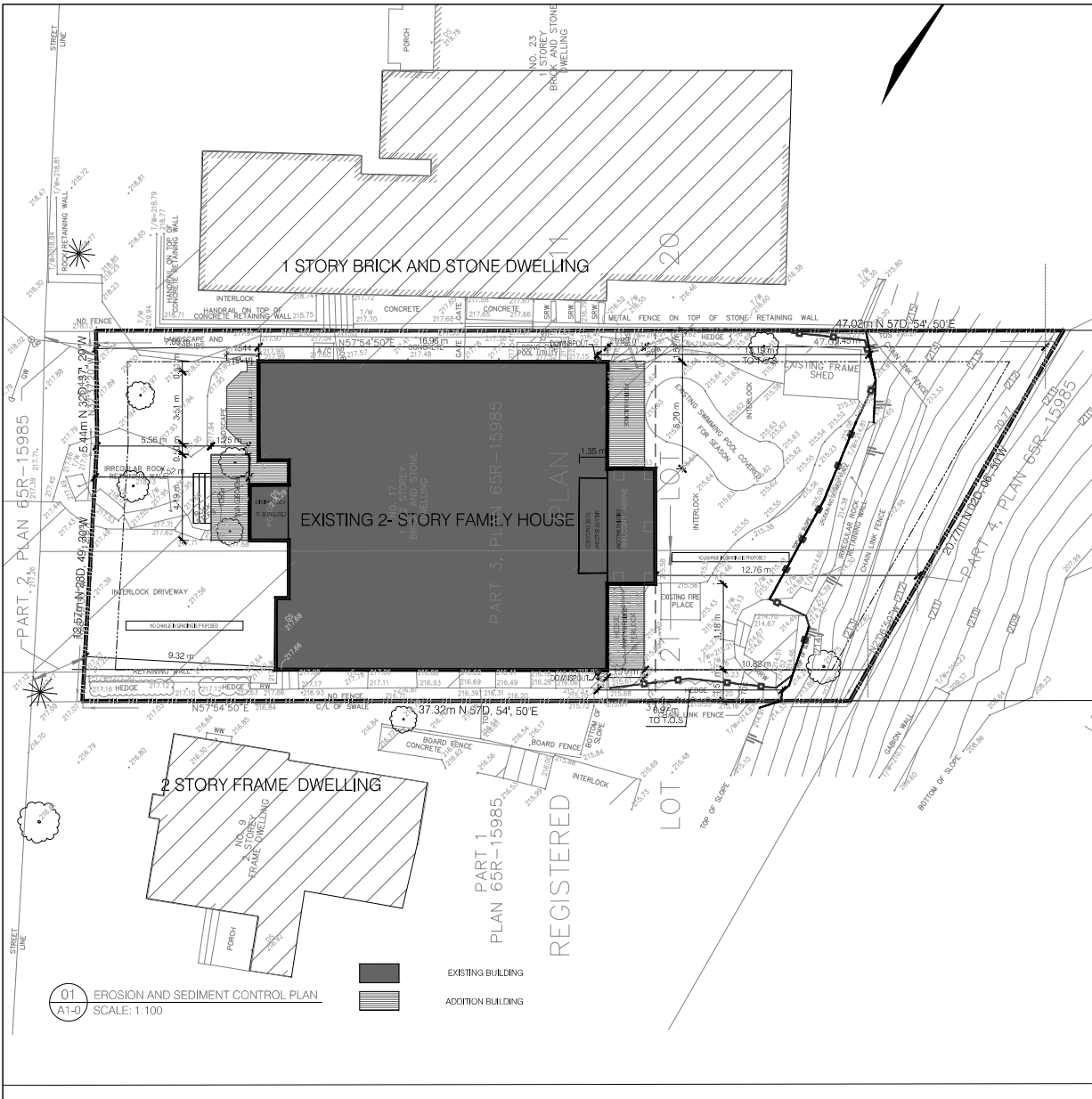


A P P E N D I X A 4

17 NAPIER STREET, KLEINBERG, ONTARIO

PLANNED EAST ELEVATION





SKETCH SHOWING TOPOGRAPHIC INFORMATION OF PARTS OF LOT 20 AND LOT 21 REGISTERED PLAN 11 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SCALE = 1:150 m

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- NOTE:**
- DS DENOTES DOOR SILL
 - GS GARAGE SILL
 - T/W TOP OF WALL
 - IRRW IRREGULAR ROCK RETAINING WALL
 - SKW STONE RETAINING WALL
 - MH MANHOLE
 - CB CATCH BASIN
 - TOS TOP OF SLOPE
 - BOS BOTTOM OF SLOPE
 - GW GUY WIRE
 - UP UTILITY POLE
 - OH- OVERHEAD CABLES
 - 100.00 EXISTING ELEVATION
 - OH- DECIDUOUS TREE
 - CONFEROUS TREE

GEODETIC:
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 54-5 ELEVATION = 219.114 METRES.

NOTE:
This is NOT a Plan of Survey and shall not be used except for the purpose indicated in the title block.

This Sketch is protected by Copyright ©

THIS SKETCH IS NOT TO BE USED FOR MORTGAGE OR TRANSACTION PURPOSES.

BOUNDARY INFORMATION SHOWN HEREON IS DERIVED FROM OFFICE RECORDS AND IS SUBJECT TO A LEGAL SEARCH AND FINAL SURVEY.



KEY PLAN



SITE DEVELOPMENT			
	BY-LAW 1-88	PROPOSED NEW BY-LAW	PROVIDED
ZONING	R1	R1B (EN)	
TOTAL LOT AREA	700 m ²	600 m ²	756.44 m ²
LOT COVERAGE	30.00%	40.00%	38.61%(292.11 m ²)
LOT FRONTAGE	18 m	18 m	18.1 m
REAR YARD	7.50 m	12.0 m	10.82 m
FRONT YARD	7.50 m	5.52 m (THE LEAST OF REAR YARD LESS 3.00 m, 20% FRONT YARD OR 1.50 m, NOT LESS THAN 4.5 m)	5.56 m
INTERIOR SIDE YARD	1.50 m	1.50 m	1.51 m, 1.52 m
MAX HEIGHT	9.50 m	9.5 m (THE LEAST OF 3.00 m HEIGHT + 3.0 m, 5.5 + 3.0 m = 8.5 m, OR 11 m, NOT LESS THAN 6 m)	PROPOSED HEIGHT 7.92 m
REAR YARD AREA			263.78m ²
FRONT YARD AREA			104.12 m ²
LANDSCAPE AREA - LOT		10% (10% 756.44 = 75.64 m ²)	320.00 m ²
LANDSCAPE FRONT YARD		40% (40% 104.12 = 41.64 m ²)	65.40m ²

1	ISSUED FOR	00/00/0000
No.	DESCRIPTION	DATE
	REVISIONS	
	ISSUED FOR CONSTRUCTION	
	ISSUED FOR BID	
	ISSUED FOR BUILDING PERMIT	
	ISSUED FOR SITE PLAN APPROVAL	
	SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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DO NOT SCALE DRAWINGS

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DESIGN DRAWINGS PROPOSED
17 NAPIER ST

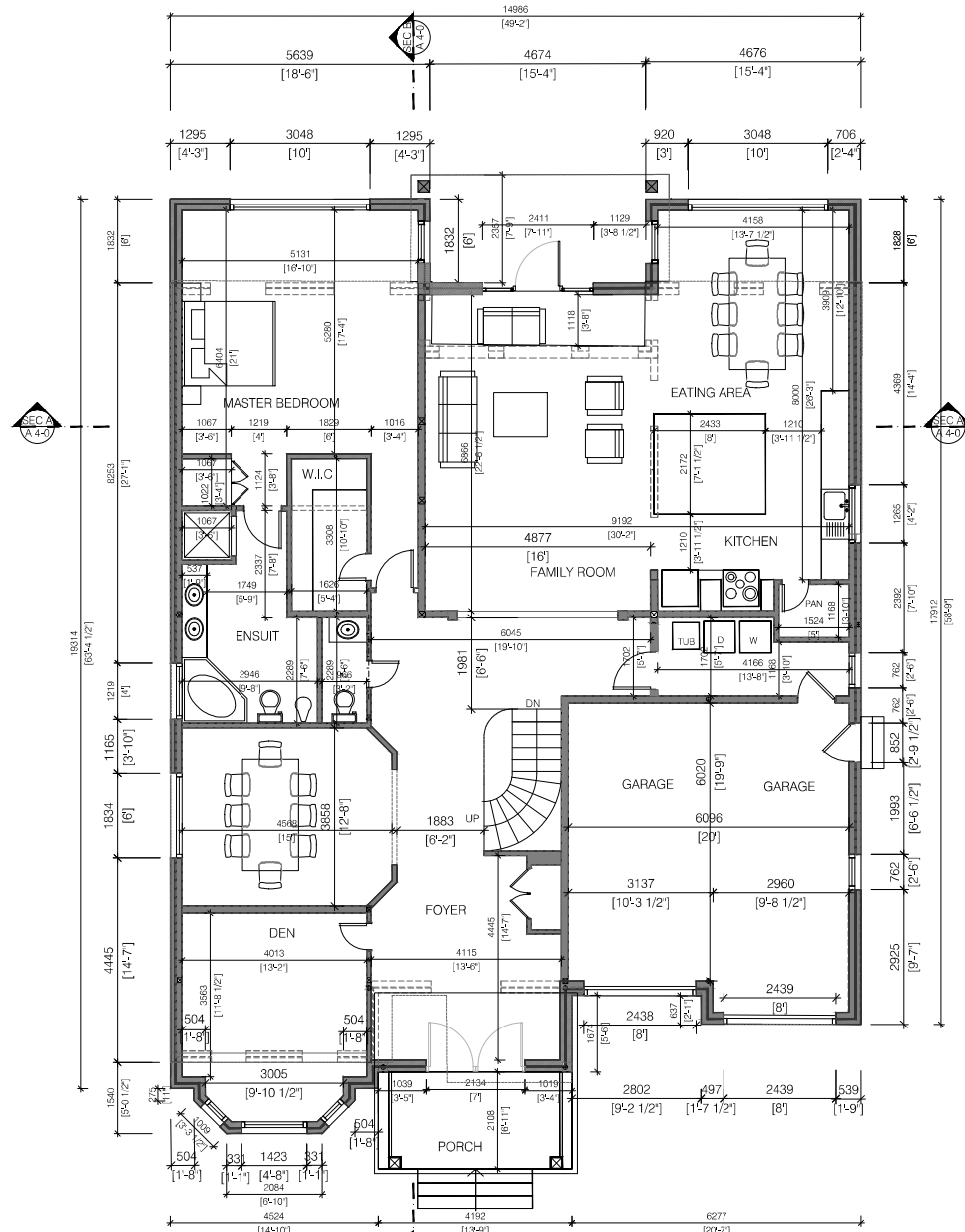
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SCALE:	AS NOTED
DRAWN BY:	AS NOTED
REVIEWED BY:	F.C.
PROJECT NO:	2021-16
DRAWING NO:	A-10

A5- Site Plan, 17 Napier St., Kleinberg

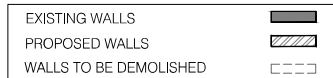
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KEY PLAN



01 GROUND FLOOR PLAN
SCALE: 1:75



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No.	DESCRIPTION	DATE
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	ISSUED FOR BID	
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DESIGN DRAWINGS PROPOSED
17 NAPIER ST

DRAWING:	FLOOR PLAN
PROJECT:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	AS NOTED
REVIEWED BY:	F.C.
PROJECT NO:	2021-16
DRAWING NO:	A2-0

FILE NAME: 17 NAPIER ARCHITECTURAL DRAWINGS/02/03/2020



KEY PLAN



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REVISIONS		

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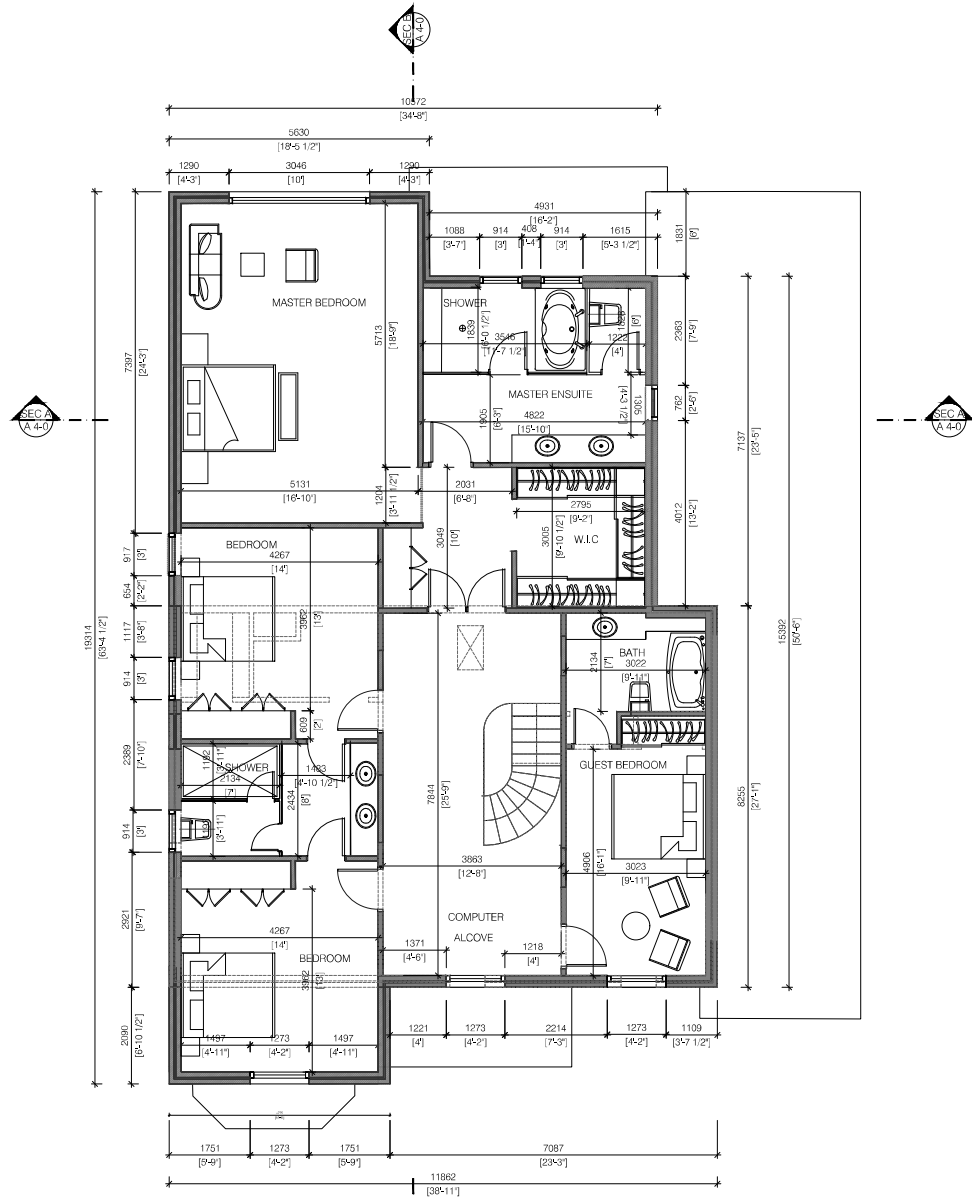


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DESIGN DRAWINGS
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17 NAPIER ST

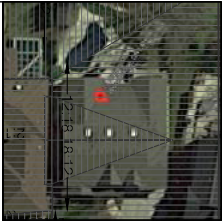
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DRAWN BY: G.S.H.	REVIEWED BY: F.C.



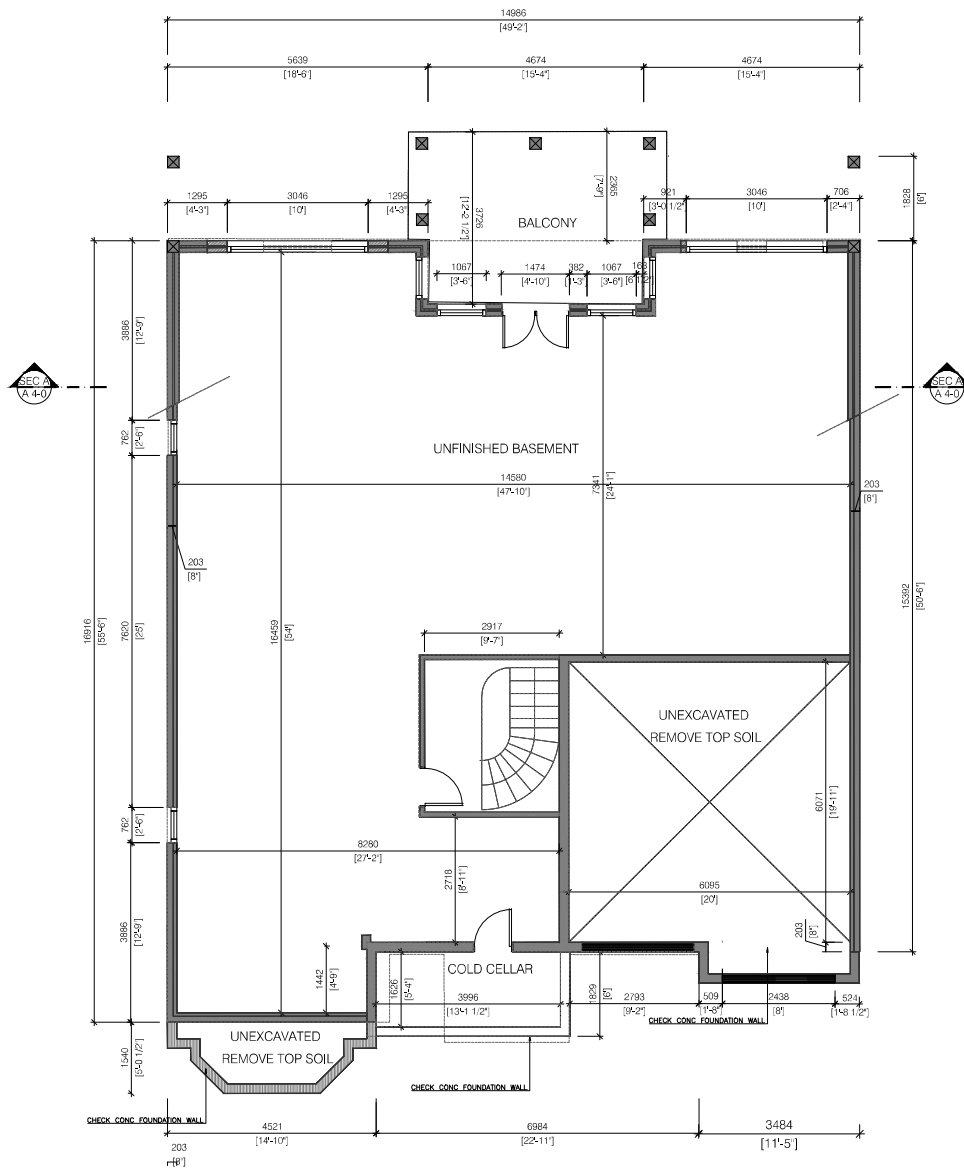
02 SECOND FLOOR PLAN
A2-1 SCALE: 1:75

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	

FILE NAME: 17 NAPIER ST ARCHITECTURAL DRAWING 20210820.DWG



KEY PLAN



01 BASEMENT PLAN
A2-2 SCALE: 1:75

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	

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REVISIONS		

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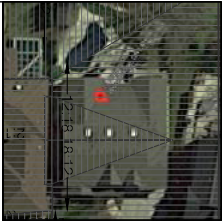
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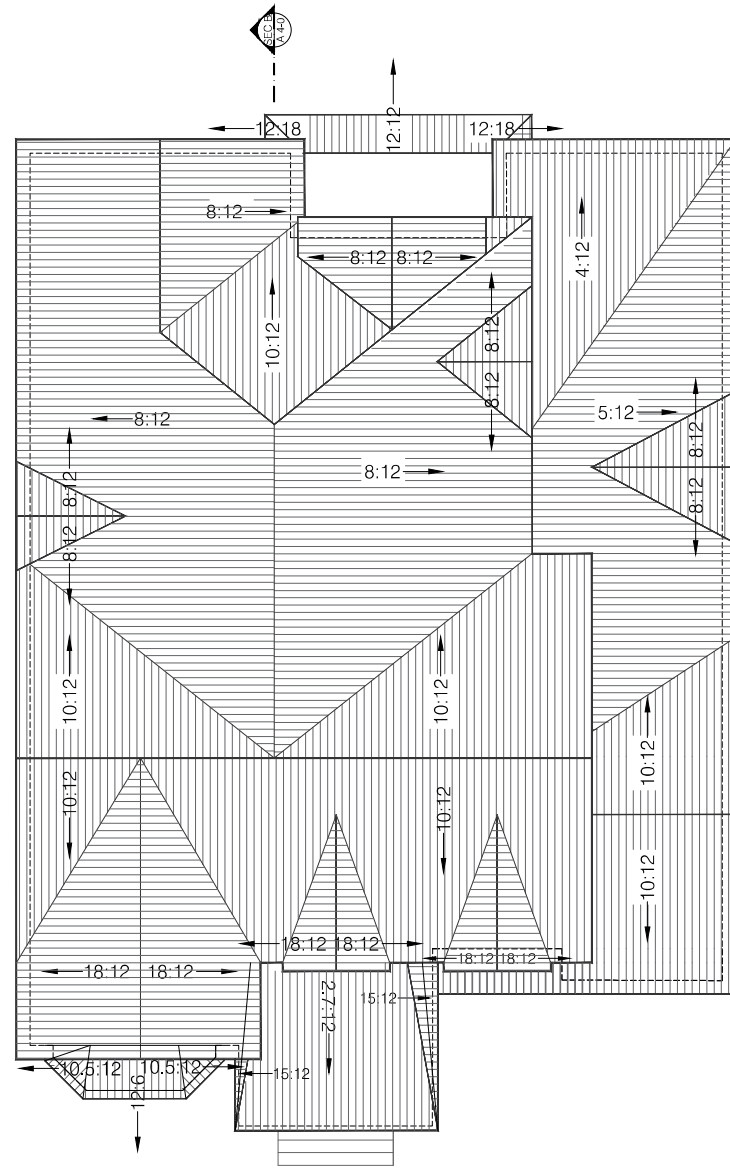
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17 NAPIER ST

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SCALE: AS NOTED	DRAWN BY: A2-2
REVIEWED BY: F.C.	

FILE NAME: 17 NAPIER ST ARCHITECTURAL DRAWING 20210116.DWG



KEY PLAN



01 ROOF PLAN
A2-3 SCALE: 1:75



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DESIGN DRAWINGS
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 OR
 17 NAPIER ST

DRAWING: ROOF PLAN	
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DATE: 28/11/2021	PROJECT NO: 2021-16
SCALE: AS NOTED	DRAWING NO: A2-3
DRAWN BY: S.S.H.	REVIEWED BY: F.C.

FILE NAME: 17 NAPIER ST AND RUTHERFORD, DRAWING: ROOF PLAN (A2-3)



KEY PLAN



01 FRONT ELEVATION
A3-0 SCALE: 1:75

1	ISSUED FOR	00/00/0000
No.	DESCRIPTION	DATE
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ISSUED FOR SITE PLAN APPROVAL		
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DESIGN DRAWINGS
17 NAPIER ST

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PROJECTED: N/A	
DATE: 23/11/2021	PROJECT No: 2021-16
SCALE: AS NOTED	DRAWING No: A3-0
DRAWN BY: S.S.H.	REVIEWED BY: F.C.

FILE NAME: 17 NAPIER ST ARCHITECTURAL DRAWING 20210820.DWG PLOT SCALE: 1/4"



KEY PLAN



01 REAR ELEVATION
A3-1 SCALE: 1:75

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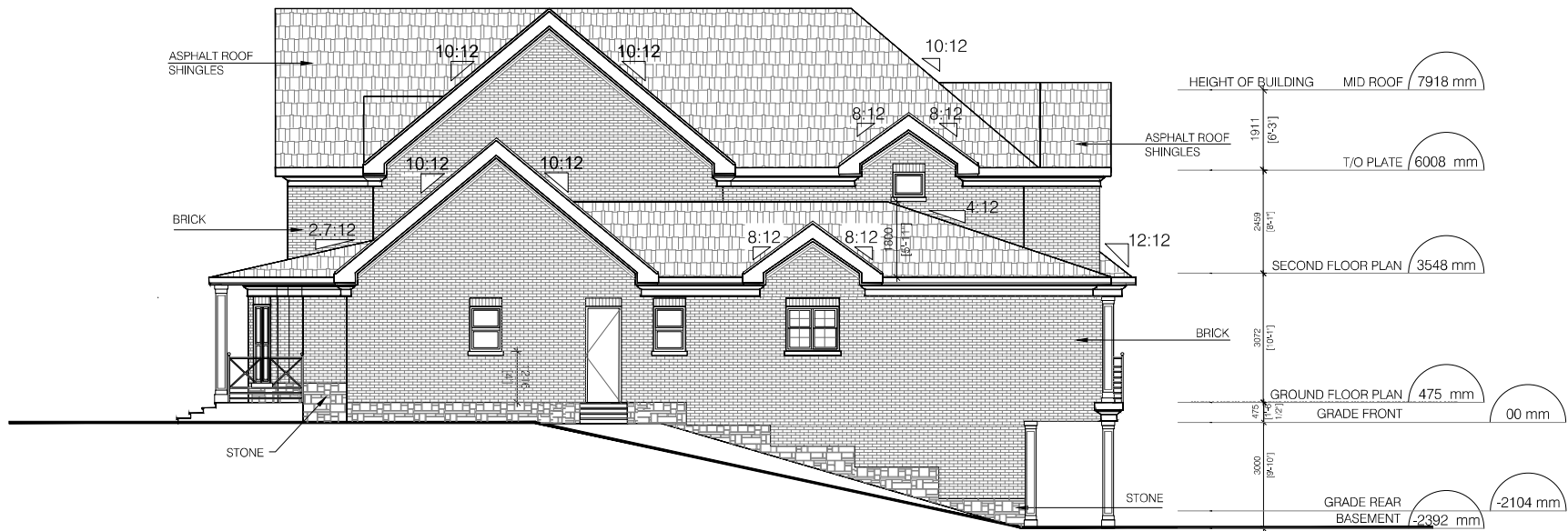
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17 NAPIER ST

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DRAWN BY:	AS NOTED
REVIEWED BY:	F.C.
PROJECT NO.:	2021-16
DRAWING NO.:	A3-1

FILE NAME: \\17 NAPIER ST AND REAR ELEVATION.DWG DATE: 23/11/2021 10:40 AM



KEY PLAN



ASPHALT ROOF SHINGLES

BRICK

STONE

HEIGHT OF BUILDING MID ROOF 7918 mm

ASPHALT ROOF SHINGLES T/O PLATE 6008 mm

SECOND FLOOR PLAN 3548 mm

BRICK GROUND FLOOR PLAN 475 mm GRADE FRONT 00 mm

STONE GRADE REAR -2104 mm BASEMENT -2392 mm

01 EAST ELEVATION
A3-2 SCALE: 1:75

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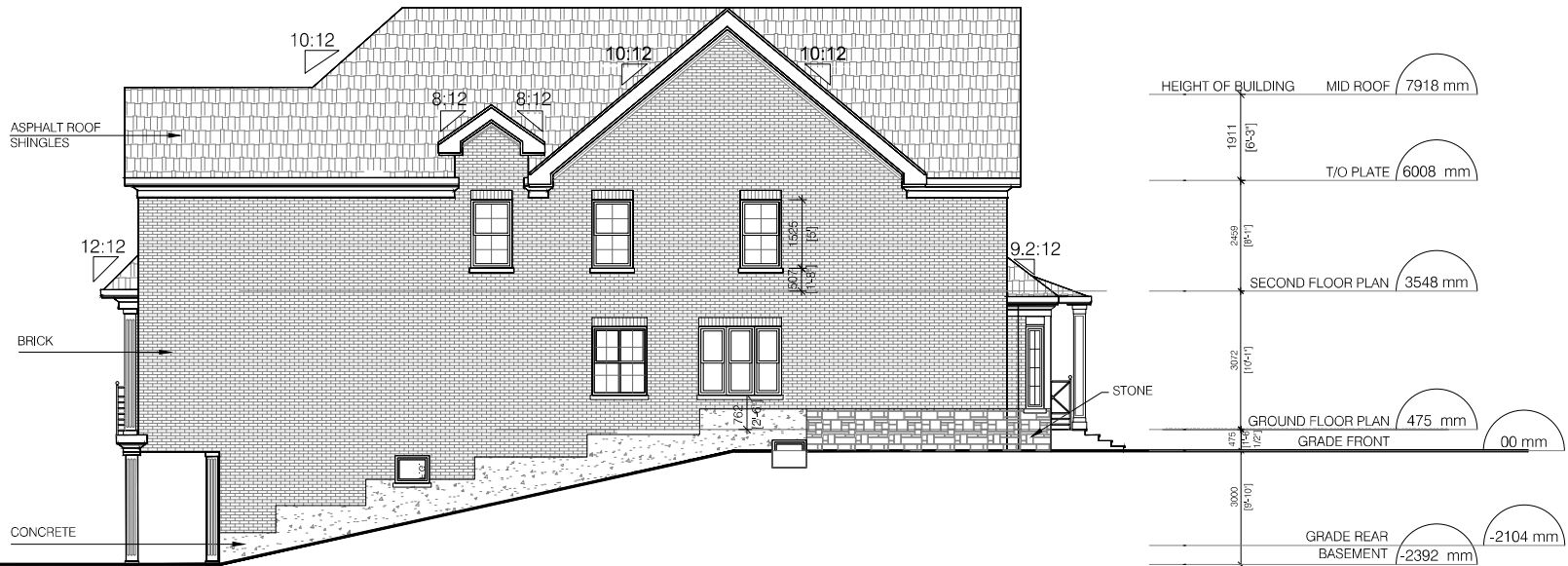
DESIGN DRAWINGS
ON
17 NAPIER

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DRAWN BY: S.S.H.	REVIEWED BY: F.C.

FILE NAME: 17 NAPIER 1 AND 2 REVISED.DWG DATE: 28/11/2021 11:42 AM



KEY PLAN



01 WEST ELEVATION
A3-3 SCALE: 1:75

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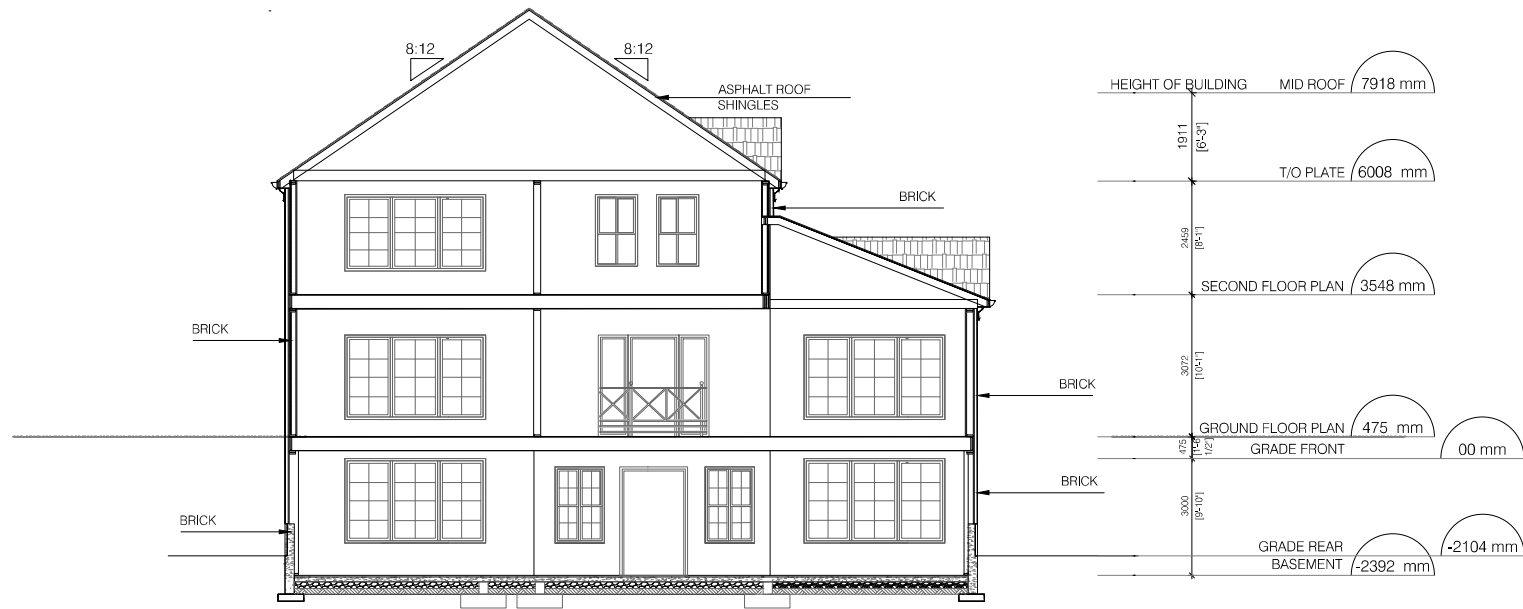


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DATE: 28/11/2021	PROJECT NO: 2021-16
SCALE: AS NOTED	DRAWING NO: A3-3
DRAWN BY: [Signature]	REVIEWED BY: F.C.

FILE NAME: 17 NAPIER ST AND REVISIONS.DWG DATE: 28/11/2021 10:40:00 AM



01 SECTION A
A4-0 SCALE: 1:75



KEY PLAN



1	ISSUED FOR	00/00/0000
No.	DESCRIPTION	DATE
	REVISIONS	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.



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DESIGN DRAWINGS
ON
17 NAPIER ST

DRAWING: SECTION	
PROJECT: N/A	PROJECT NO.
DATE: 23/11/2021	PROJECT NO: 2021-16
SCALE: AS NOTED	DRAWING No: A 4-0
DRAWN BY: S.S.H.	REVIEWED BY: F.C.

FILE NAME: 17 NAPIER ST AND REAR DRIVE 2021-16-0000-A4-0

Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President
MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President
DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.