

**CITY OF VAUGHAN
HERITAGE VAUGHAN COMMITTEE
AGENDA**

This is an Electronic Meeting. Vaughan City Hall will not be open to the public. Public comments can be submitted by email to clerks@vaughan.ca

Wednesday, January 19, 2022

7:00 p.m.

Electronic Meeting

Vaughan City Hall

	Pages
1. CONFIRMATION OF AGENDA	
2. DISCLOSURE OF INTEREST	
3. COMMUNICATIONS	
4. DETERMINATION OF ITEMS REQUIRING SEPARATE DISCUSSION	
1. DEMOLITION OF EXISTING STRUCTURE AND PROPOSED NEW CONSTRUCTION AT 10 MILL STREET, THORNHILL HERITAGE CONSERVATION DISTRICT Report of the Deputy City Manager, Planning and Growth Management with respect to the above.	3
5. ADOPTION OF ITEMS NOT REQUIRING SEPARATE DISCUSSION	
6. CONSIDERATION OF ITEMS REQUIRING SEPARATE DISCUSSION	
7. STAFF COMMUNICATION	
8. NEW BUSINESS	
9. ADJOURNMENT	

Heritage Vaughan Committee Report

DATE: Wednesday, January 19, 2022

WARD(S): 5

TITLE: DEMOLITION OF EXISTING STRUCTURE AND PROPOSED
NEW CONSTRUCTION AT 10 MILL STREET, THORNHILL
HERITAGE CONSERVATION DISTRICT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed demolition of an existing building and new construction located at 10 Mill Street, a property located in the Thornhill Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*, as shown on Attachment 1.

Report Highlights

- The Owner is proposing the demolition of the existing structure and proposed new construction at 10 Mill Street.
- The existing main dwelling is not identified as a contributing property in the Thornhill Heritage Conservation District Plan (“THCD Plan”).
- The proposal is consistent with the relevant policies of the THCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the THCD Plan.

Recommendations

THAT Heritage Vaughan recommend Council approve the demolition of the existing structure and proposed new construction at 10 Mill Street under Section 42 of the *Ontario Heritage Act*, subject to the following conditions:

- a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
- c) That the applicant submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division for review and heritage permit release prior to submission for a Building Permit

Background

The subject property is municipally known as 10 Mill Street and is designated under Part V of the Ontario Heritage Act, as part of the Thornhill Heritage Conservation District (THCD).

The existing structure is located on the north side of Mill Street west where it meets Old Yonge Street (see Attachment 1). It is an unusual house built circa 1970 and appears as a small, one storey building featuring a cedar shingled neo-Mansard roof with only one side window on the left of the front door. The rest of the modern house consists of 6 split-level floors built into the hill slope. There is also a small shed at street level.

The building is currently vacant.

The lot itself is unusual for the area of Thornhill but all 3 north side properties along Mill Street share a similar topography. The subject property has a trapezoid shape with a lot frontage of 65.61m, 39.62m deep on the west lot line, 59.39m rear lot line, and a 40.62m east lot line at an angle of about 81° to the front. The western side setback of the house is 9.91m, and the front yard setback is 5.45m. The lot slopes downward to the north and east, with a small wedge east of the house providing a parking pad near the street. The elevation of the land at the front of the house is about 0.5m below street level, the back of the house is about 3.5 m below street level and the rear lot line is about 8.5m below street level (see Attachment 2).

Part of the original foundation is to be retained, onto which the applicant proposes to build another structure partially built into the hillside.

Previous Reports/Authority

Not applicable.

Analysis and Options

The project proposes a 3 ½ storey house, 2 ½ storeys of which will be visible from the street, with a height of 9.5m. It is to be built in the Georgian style, with an attached two door garage (see Attachment 3).

All new development must conform to the policies and guidelines within the Thornhill Heritage Conservation District Plan. The following is an analysis of the proposed development according to the THCD Plan.

9.1.1 Heritage Styles Residential Buildings

- *Vernacular “Loyalist” Cottage 1800-1850*
- *Neo-Classical 1800-1830*
- *Ontario Gothic Vernacular 1830-1890*
- *Victorian Vernacular*
- *Queen Anne Revival 1885-1900*
- *Vernacular Homestead 1890-1930*
- *Four-square 1900-1920*
- *Edwardian Classic 1900-1920*

10 Mill Street is in the 2007 THCD Inventory but is not identified as a contributing heritage property of the THCD. The applicant has submitted a Cultural Heritage Impact Assessment as shown in Attachment 4 and attachment 10 in support of the application that outlines the property’s history, likely date of construction, photos of the existing interior, plan and elevation drawings that provide documentation of the existing structure.

9.5.2.2 Architectural Styles

New buildings in the residential areas should reflect the historic built form of their historic neighbours.

Guidelines:

- *Design houses to reflect one of the local heritage Architectural Styles.*
- *Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate.*
- *Use authentic detail, consistent with the Architectural Style.*
- *Research the chosen Architectural Style.*
- *Use appropriate materials.*

The design of the new building reflects a local Georgian heritage style which has long been a popular choice in the THCD area. The height of the proposed structure is confirmed to meet the 9.5m height limit.

9.5.2.3 Scale and Massing

New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacement houses on existing built lots. Note: It is recommended in Section 7.3 that the zoning by-law be amended to recognize the smaller scale of historic village development as contrasted with modern suburban development.

Guidelines:

- *New buildings should be designed to preserve the scale and pattern of the historic District.*
- *New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block.*
- *As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape.*
- *Follow the policies in Section 4.2 of the THCD Plan concerning height and depth of buildings and garages.*

The height of the proposed new construction is in scale with the existing heritage resources across the street at 46 Old Yonge Street and 15 Mill Street. The proposed building is wider than typical due to the unique configuration of the lot shape and length. Site topography prevents placement of the garage to the rear of the property and attaching it to the existing construction is the only available solution. It is noted that the attached garage wing is lower than the house which creates a varied massing of the proposed new house and diminishes the effect of the building's height on the streetscape.

9.8.1 Heritage Buildings: Appropriate Materials

Exterior Finish: *Smooth red clay face brick, with smooth buff clay face brick as accent. Wood clapboard, 4" to the weather. Smooth, painted, wood board and batten siding.*

Exterior Detail: *Cut stone or reconstituted stone for trim in brick buildings. Wood shingles, stucco, or terra-cotta wall tiles in gable ends. Painted wood porches, railings, decorative trim, shutters, fascias and soffits. Painted wood gingerbread bargeboards and trim, where appropriate to the design.*

Roofs: *Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the style. Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style.*

Doors: Wood doors and frames, panel construction, may be glazed. Transom windows and paired sidelights. Wood french doors for porch entrances. Single-bay wood panelled garage doors.

Windows: Wood frames; double hung; lights as appropriate to the architectural style. Real glazing bars, or high-quality simulated glazing bars. Vertical proportion, ranging from 3:5 to 3:7.

The proposed materials for the new construction are detailed in the combined Cultural Heritage Impact Assessment (CHIA) and HCD Conformance report that the applicant has also submitted. The proposed materials and finishes are shown in Attachment 5.

The Landscape Plan, as shown on Attachment 8, incorporates aspects of the THCD Plan guidelines 9.5.2 and 9.7 to provide a sympathetic landscape treatment, particularly along the streetscape of Mill Street. This will mitigate the loss of the existing trees and natural shrubbery landscape that currently exists.

The combined effect of the Landscape Plan and the architectural design is shown in the rendered streetscape perspectives of Attachment 9.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed demolition and new construction conforms to the policies and guidelines within the Thornhill Heritage Conservation District Plan. Accordingly, staff can support Council approval of the proposed the works at 10 Mill Street under the *Ontario Heritage Act*.

For more information, please contact: Katrina Guy, Cultural Heritage Coordinator, ext. 8115.

Attachments

- Attachment 1 – 10Mill_Location Map
- Attachment 2 – 10Mill_Current Survey Plan
- Attachment 3 – 10Mill_Proposed Elevations
- Attachment 4 – 10Mill_Cultural Heritage Impact Assessment
- Attachment 5 – 10Mill_Proposed Site Plan
- Attachment 6 – 10Mill_Materials
- Attachment 7 – 10Mill_Arborist Report
- Attachment 8 – 10Mill_Landscape Plan
- Attachment 9 – 10Mill_Rendered Perspectives
- Attachment 10 – 10Mill_CHIA with existing building

Prepared by

Katrina Guy, Heritage Coordinator, ext. 8115

Nick Borcescu, Senior Heritage Planner, ext. 8191

Shahrzad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653

Nancy Tuckett, Director of Development Planning, ext. 8529

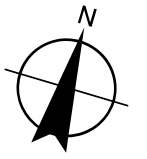
CONTEXT MAP

Subject Lands

CITY OF MARKHAM

CENTRE STREET

YONGE STREET



Location Map

LOCATION:
10 Mill Street
Part of Lot 31, Concession 1



Attachment

RELATED FILE:
DA.20.004
DATE:
January 19, 2022

1

SURVEYOR'S REAL PROPERTY REPORT-PART 1
PLAN OF
LOTS 9, 10 AND 11
RANGE A
REGISTERED PLAN 328
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:300

© COPYRIGHT
ertl surveyors 2015
Ontario Land Surveyors

Part 2: Report

NO REGISTERED EASEMENTS OR RIGHTS OF WAY.
SURVEY PREPARED FOR PATRICIA SALIN

Bearing note

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTHERLY LIMIT OF MILL STREET, HAVING A BEARING OF
N80°17'00"W AS SHOWN ON A PLAN BY SPEIGHT, VAN
NOSTRAND, WARD & ANDERSON AS DATED SEPT. 13, 1955.

Metric

DISTANCES ARE IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

Benchmark

B.M. No. 092901540,
ELEVATION = 175.86m.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1944674

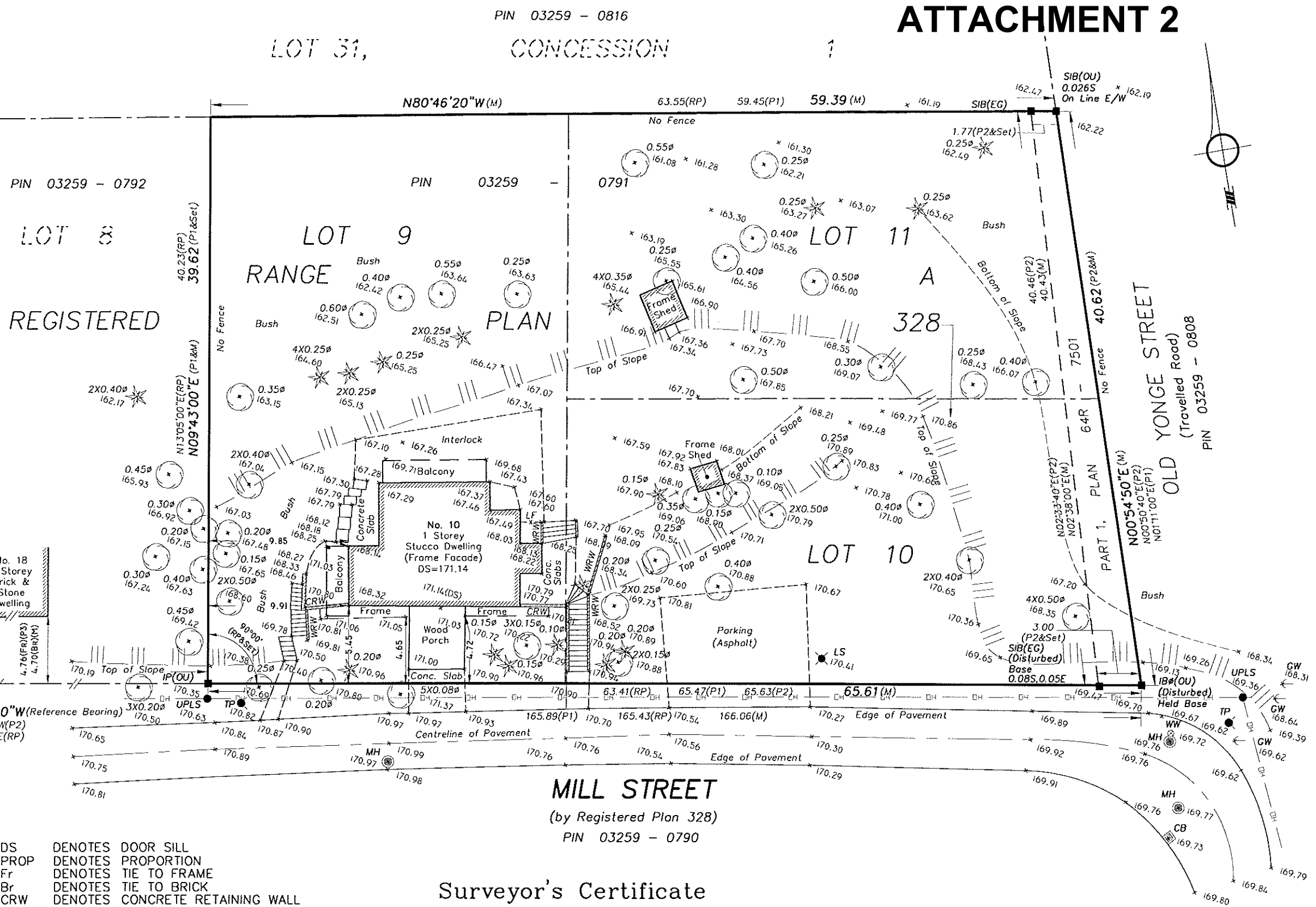


THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

Legend

- | | | |
|---------|---------|---|
| ■ | DENOTES | SURVEY MONUMENT FOUND |
| □ | DENOTES | SURVEY MONUMENT SET |
| SIB | DENOTES | STANDARD IRON BAR |
| IB | DENOTES | IRON BAR |
| IP | DENOTES | IRON PIPE |
| RP | DENOTES | REGISTERED PLAN 328 |
| P1 | DENOTES | PLAN BY SVN, WARD AND ANDERSON,
O.L.S., DATED SEPTEMBER 13, 1955 |
| P2 | DENOTES | PLAN 64R-7501 |
| P3 | DENOTES | PLAN BY OTTO ERTL, O.L.S.
DATED 1996 |
| 830 | DENOTES | E. W. PETZOLD O.L.S. |
| EG | DENOTES | EDWARDS & GUNN LTD., O.L.S. |
| OU | DENOTES | ORIGIN UNKNOWN |
| N,S,E,W | DENOTES | NORTH, SOUTH, EAST, WEST |
| M | DENOTES | MEASURED |
| LF | DENOTES | LATTICE FENCE |

- | | | |
|------|---------|----------------------------------|
| DS | DENOTES | DOOR SILL |
| PROP | DENOTES | PROPORTION |
| Fr | DENOTES | TIE TO FRAME |
| Br | DENOTES | TIE TO BRICK |
| CRW | DENOTES | CONCRETE RETAINING WALL |
| WRW | DENOTES | WOOD RETAINING WALL |
| -OH- | DENOTES | OVERHEAD UTILITY WIRES |
| MH | DENOTES | MAINTENANCE HOLE |
| GW | DENOTES | GUY WIRE |
| LS | DENOTES | LIGHT STANDARD |
| CB | DENOTES | CATCH BASIN |
| TP | DENOTES | TRAFFIC SIGN POLE |
| UPLS | DENOTES | UTILITY POLE LIGHT STANDARD |
| WW | DENOTES | WATER WELL |
| ★ | DENOTES | CONIFEROUS TREE W/TRUNK DIAMETER |
| ○ | DENOTES | DECIDUOUS TREE W/TRUNK DIAMETER |



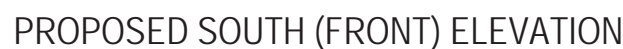
Surveyor's Certificate

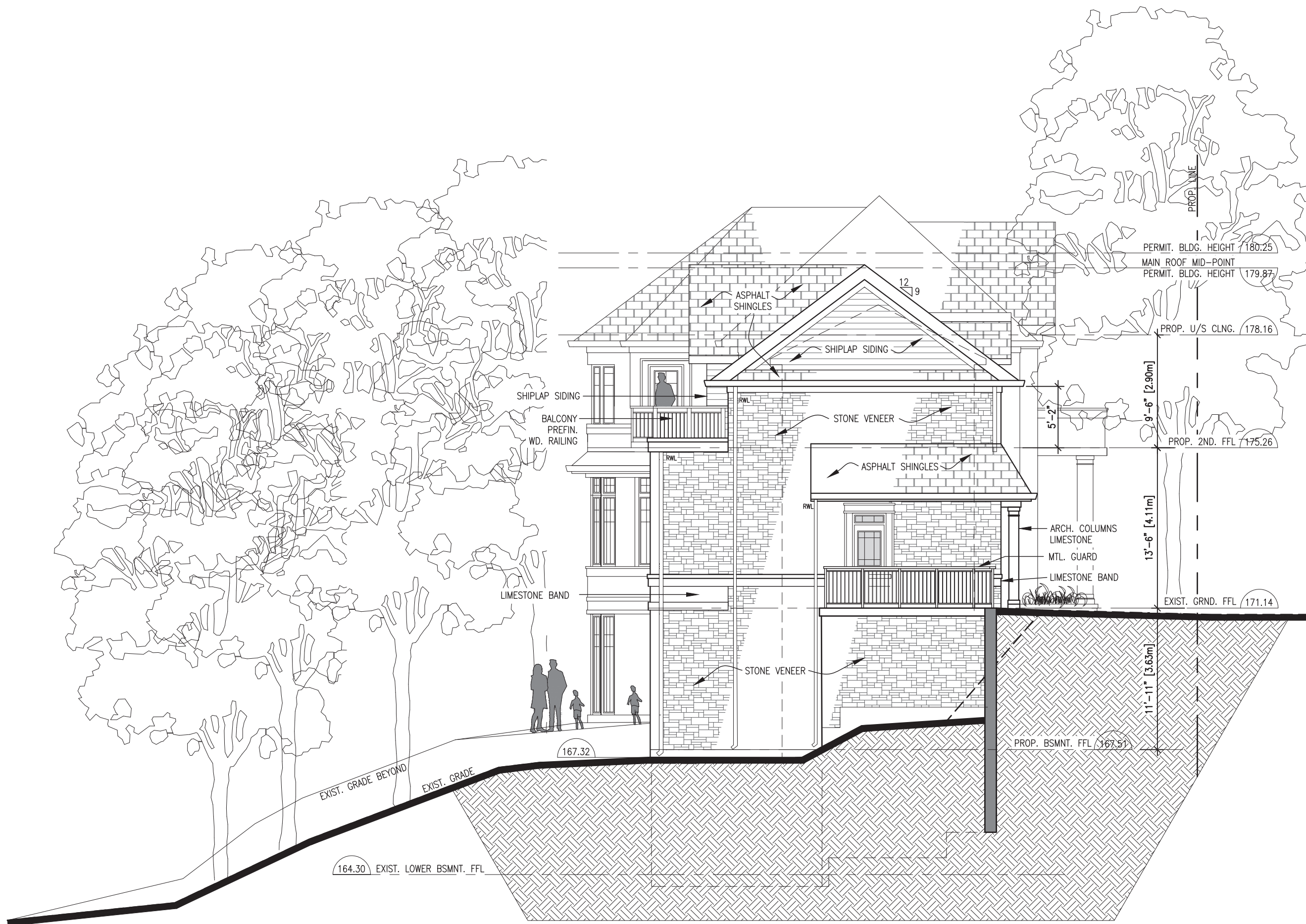
I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 17TH DAY OF JULY, 2015

August 05, 2015
Date

Yuriy Bogdanov
Ontario Land Surveyor

ertl surveyors
Ontario Land Surveyors
www.es-ols.com
1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@es-ols.com
DRAWING : 15392-Mill10-TB.DWG PROJECT : 15392
CALC. BY DICKY, DRAWN BY DH, CHECKED BY MP





PROPOSED WEST ELEVATION

PROJECT

CLINT

ARCHITECT

LEVEL

DWG. ISSUES

DESCRIPTION

INFO

DWG. TITLE

SHEET NO.

PROPOSED CUSTOM HOME

10 MILL STREET
THORNHILL, ON

JOSEPH N. CAMPITELLI

ARCHITECT INC.

10100 GERRARD AVE. E. SUITE 3, MARKHAM, ON L3R 9V2
TEL: (905) 947-9900 FAX: (905) 947-9900
E-MAIL: info@jnc-architect.com

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

COUNTERSIGNED

Joseph N. Campitelli, Architect

B.Arch., O.A.A., M.R.A.I.C.

DATE



1. JUN.05.2018 ISSUED FOR PAC APPLICATION RD

2. JAN.31.2020 ISSUED FOR SITE DEVELOPMENT APPLICATION RD

3. MAR.09.2021 ISSUED FOR SDA COORDINATION RD

4. MAR.22.2021 ISSUED FOR SDA REVIEW RD

5. APR.23.2021 RE-ISSUED FOR SDA REVIEW RD

6. JUL.09.2021 RE-ISSUED FOR SDA APPROVAL RD

7. NOV.22.2021 RE-ISSUED FOR SDA APPROVAL REV.3 RD

PAC No: 19 - 047

SDA No: DA.20.004

PROJECT ARCHITECT:

J. CAMPITELLI

ASSISTANT DESIGNER:

DRAWN BY:

R.D.

CHECKED BY:

J.N.C.

PROPOSED WEST ELEVATION

SCALE

1/8" = 1'-0"

DATE PRINTED

NOV.22.2021

PROJECT NO.

250.17.D

A.402

Page 14



PROPOSED NORTH ELEVATION

PROPOSED CUSTOM HOME

10 MILL STREET
THORNHILL, ON

JOSEPH N. CAMPITELLI
ARCHITECT INC.

101 GERRARD STREET EAST, 3rd FLOOR
TORONTO, ONTARIO M5E 1B5
TEL: 416-593-7800 FAX: 416-593-7800
E-MAIL: info@jnc-architect.com

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COUNTERSIGNED
Joseph N. Campitelli, Architect
B.Arch., O.A.A., M.R.A.I.C.

DATE



- | DATE | DESCRIPTION | STATUS |
|----------------|---|--------|
| 1. JUN.05.2018 | ISSUED FOR PAC APPLICATION | RD |
| 2. JAN.31.2020 | ISSUED FOR SITE DEVELOPMENT APPLICATION | RD |
| 3. MAR.09.2021 | ISSUED FOR SDA COORDINATION | RD |
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| 7. NOV.22.2021 | RE-ISSUED FOR SDA APPROVAL REV.3 | RD |

PAC No: 19 - 047
SDA No: DA.20.004

PROJECT ARCHITECT:
J. CAMPITELLI
ASSISTANT DESIGNER:

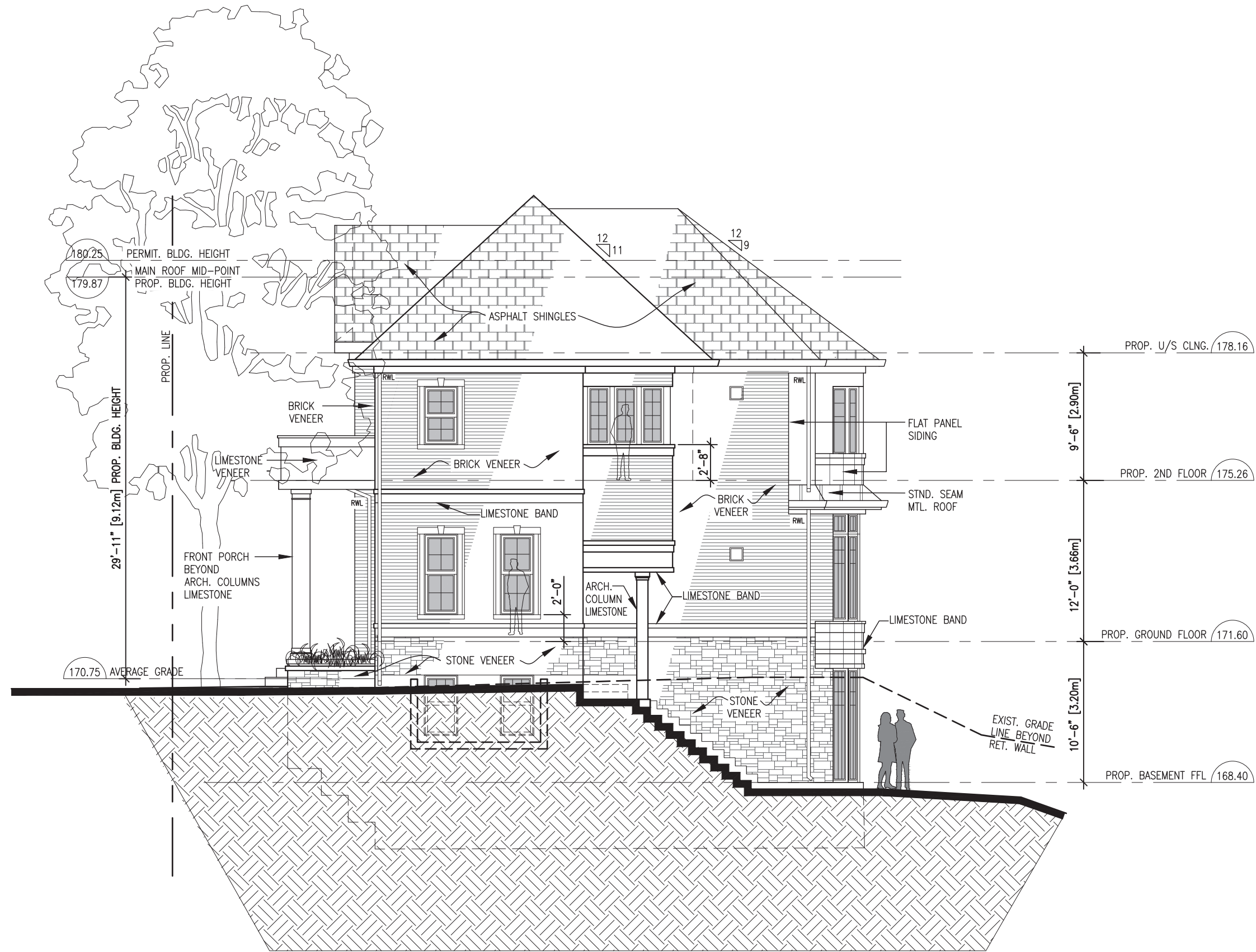
DRAWN BY:
R.D.

CHECKED BY:
JNC

PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"
DATE PRINTED: NOV.22.2021
PROJECT NO: 250.17.D

A.403



PROPOSED EAST ELEVATION

PROPOSED CUSTOM HOME

10 MILL STREET
THORNHILL, ON

JOSEPH N. CAMPITELLI
ARCHITECT INC.

10 St. Catharines, Unit 3, Markham, ON L3C 1A2
Tel: 905.882.9800 Fax: 905.882.9800
e-mail: info@jnc-architect.com

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COUNTERSIGNED
Joseph N. Campitelli, Architect
B.Arch., O.A.A., M.R.A.I.C.

DATE



DWG ISSUES	1. JUN.05.2018 ISSUED FOR PAC APPLICATION	RD
	2. JAN.31.2020 ISSUED FOR SITE DVLPMNT. APPLICATION	RD
	3. MAR.09.2021 ISSUED FOR SDA COORDINATION	RD
	4. MAR.22.2021 ISSUED FOR SDA REVIEW	RD
	5. APR.23.2021 RE-ISSUED FOR SDA REVIEW	RD
	6. JUL.09.2021 RE-ISSUED FOR SDA APPROVAL	RD
	7. NOV.22.2021 RE-ISSUED FOR SDA APPROVAL REV.3	RD

PAC No: 19-047
SDA No: DA.20.004

PROJECT ARCHITECT:
J. CAMPITELLI
ASSISTANT DESIGNER:

DRAWN BY:
R.D.

CHECKED BY:
JNC

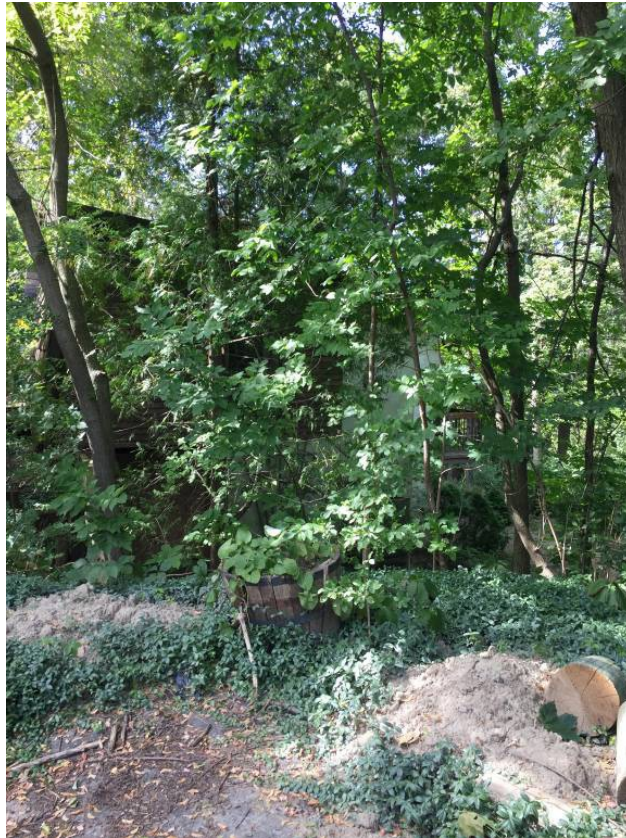
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"
DATE PRINTED: NOV.22.2021
PROJECT NO: 250.17.D

A.404

ATTACHMENT 4

10 Mill Street, Thornhill, ON
In the Thornhill Vaughan Heritage Conservation District
in the City of Vaughan
Heritage Impact and Heritage Plan Conformity Review



East end of existing building barely visible through the trees, from approximate location of new building foyer.

Paul Oberst

Heritage Consultant

June 2021

Heritage Consultant-	Paul Oberst Architect pauldurfeeoberst@gmail.com	416-677-7868
Architect-	Joseph N. Campitelli Architect Inc. jcampitelli@jnc-architect.com	905-887-8900
Owner-	Shay Shnet shayshnet@gmail.com	

1. Introduction to the Site and its Surroundings_____	3
2. Site Characteristics of the Subject Property_____	4
3. Introduction to the Proposed Development_____	5
4. Evaluation of Compliance with Relevant Sections of the District Plan_____	10
5. Conclusions_____	13

1. Introduction to the site and its surroundings

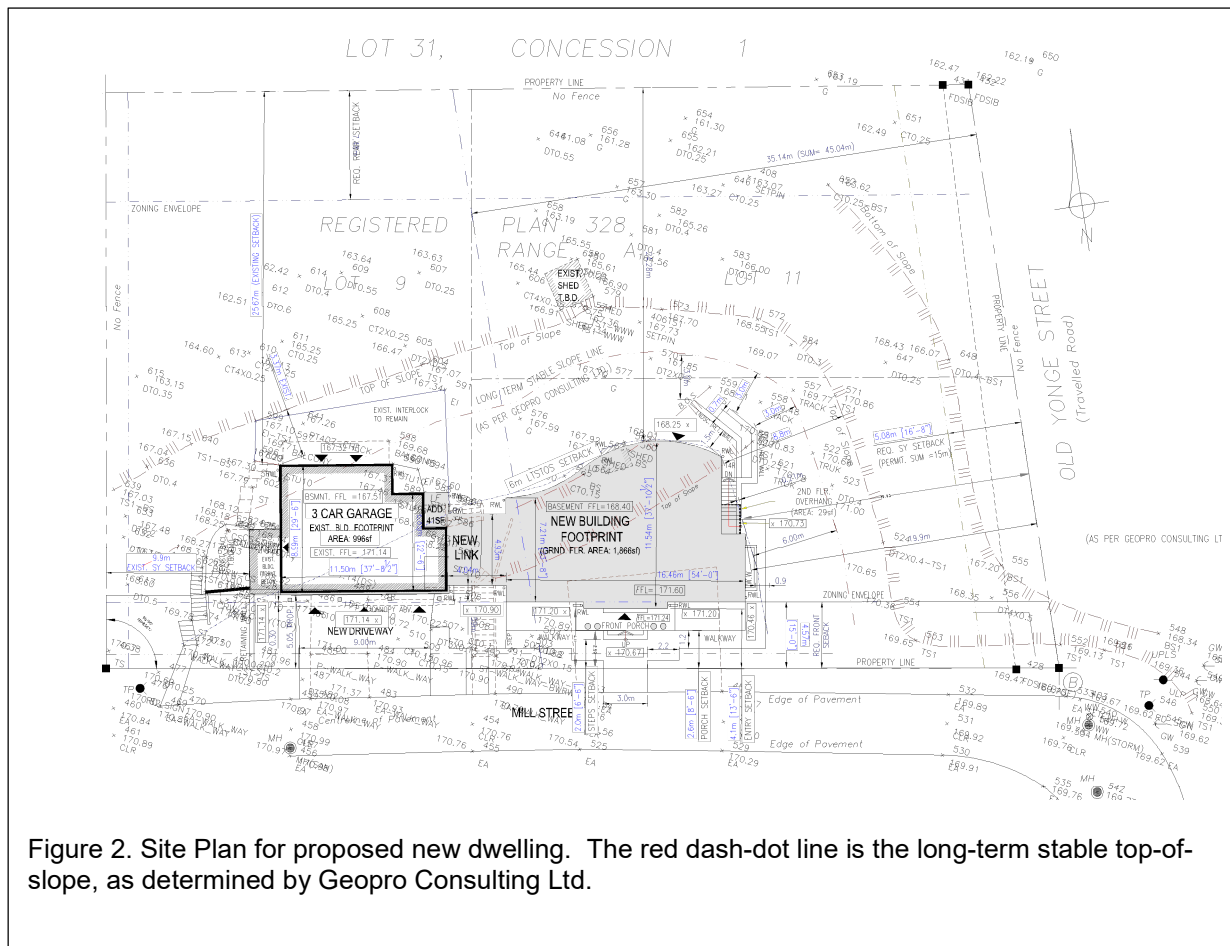
Within the Thornhill Vaughan Heritage Conservation District, Mill Street possesses unique characteristics. It is situated between two large recreational uses: Thornhill Park to the south, and the Thornhill Golf Club in the river valley to the north. It is a dead-end street—it's not on the way to anything else. Of the six properties on the street, only No.15 is inventoried as a heritage property. The subject property is one of only two on the north side of the street, since most of the land north of the street is unbuildable, heavily wooded, and steep. The quality and texture of the streetscape is unlike the lotted village that characterizes the majority of the District. As a result, some of the village-based ideas in the District Plan are not really applicable to the built form found here.



Figure 1. Aerial view of the immediate area from Google Maps. Subject property is circled in red.

2. Site Characteristics of the Subject Property

The property slopes down about 9.0 metres toward the Don River branch that runs through the golf course of the Thornhill Club to the north. The Toronto and Region Conservation Authority (TRCA) regulates permitted construction adjacent to watercourses, and the size and location of the proposed building footprint is strictly constrained as a result. Of the lot area of 26,835 sf, only about 16% is buildable under the TRCA's 6 metre setback from the top of the "long-term stable slope". The buildable area is shown in red on the lower level plan on the next page.

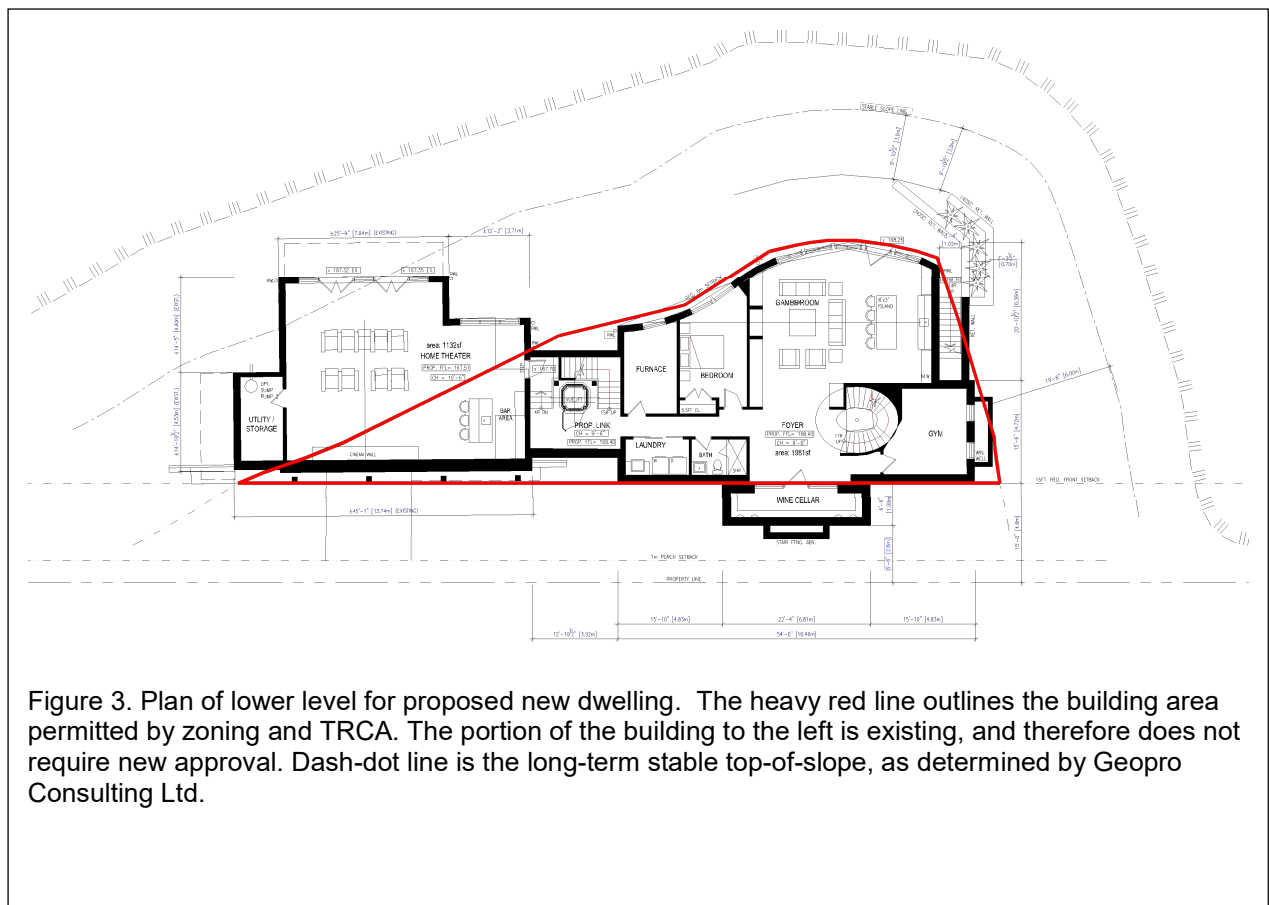


The various setback lines as set by the zoning bylaw and the TRCA are shown with blue dash-dot lines.

3. Introduction to the Proposed Development

The proposed development is a substantial two-storey single-family residence with a linked four-car garage. The building footprint and its location are heavily constrained by the topography of the lot and the resulting restrictions by the Toronto and Region Conservation Authority. The garage is constructed on the foundation of the existing house, and the link and house are to its right (east). The slope of grade from front to back results in a full walk-out condition from the lower level at the rear elevation. Site characteristics are more fully discussed in Section 2, above.

The building design reflects and respects the Neo-Classical style, as identified and described in the Thornhill Vaughan Heritage Conservation District Plan.



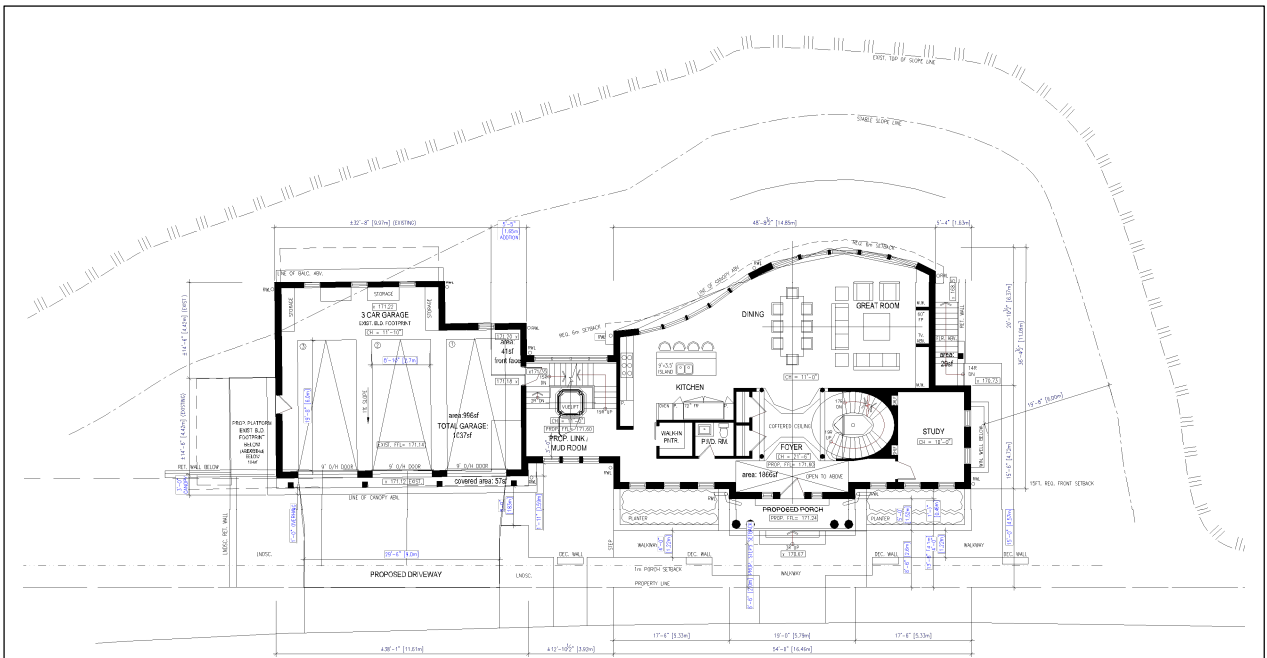


Figure 4. Plan of main level for proposed new dwelling.

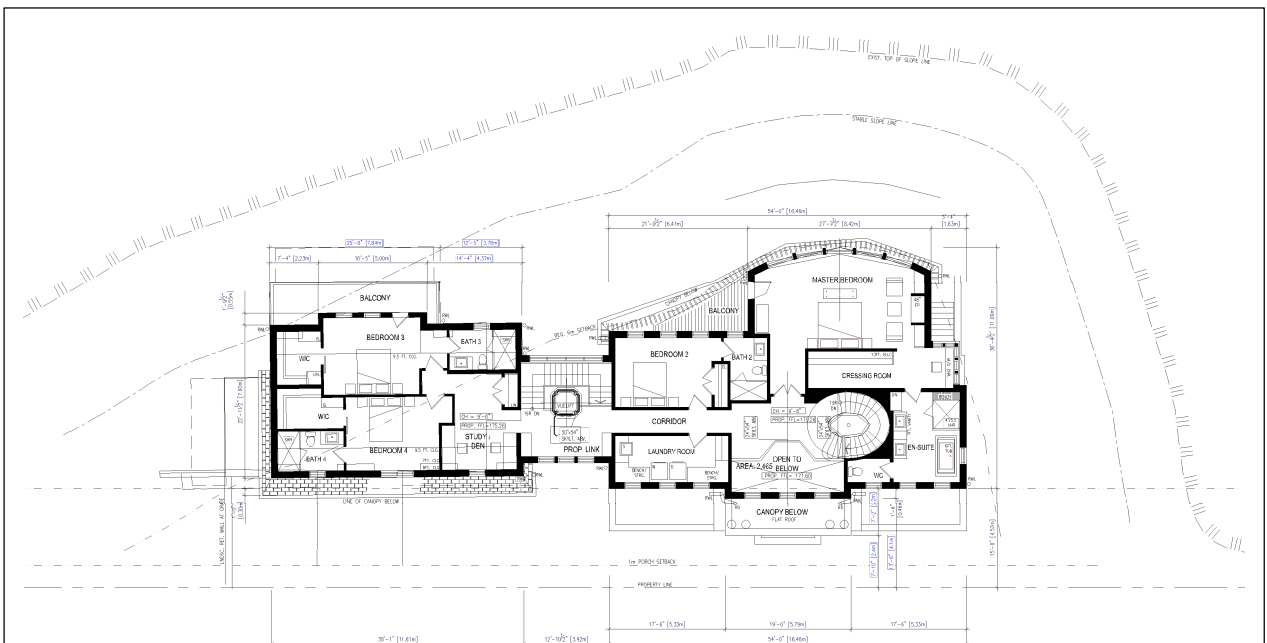


Figure 5. Plan of upper level for proposed new dwelling.

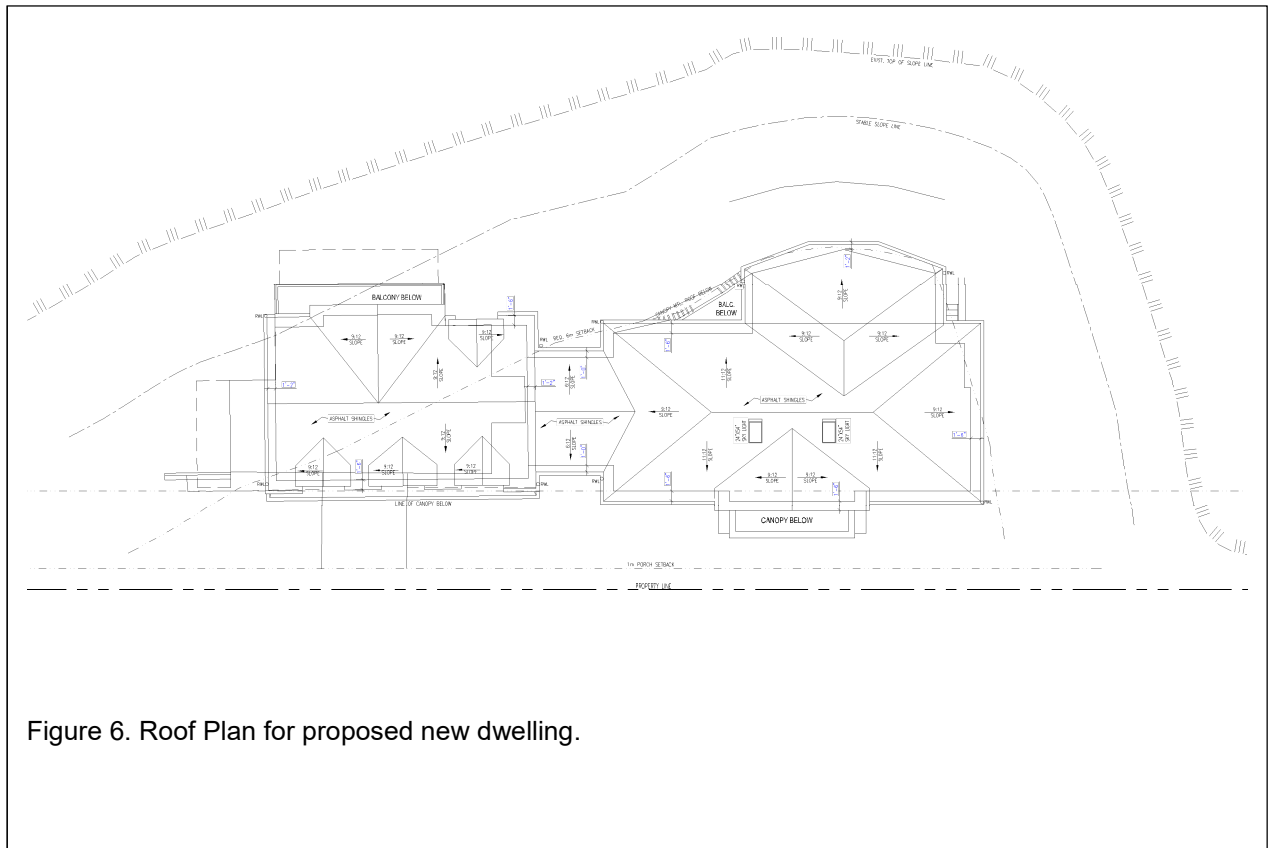


Figure 6. Roof Plan for proposed new dwelling.

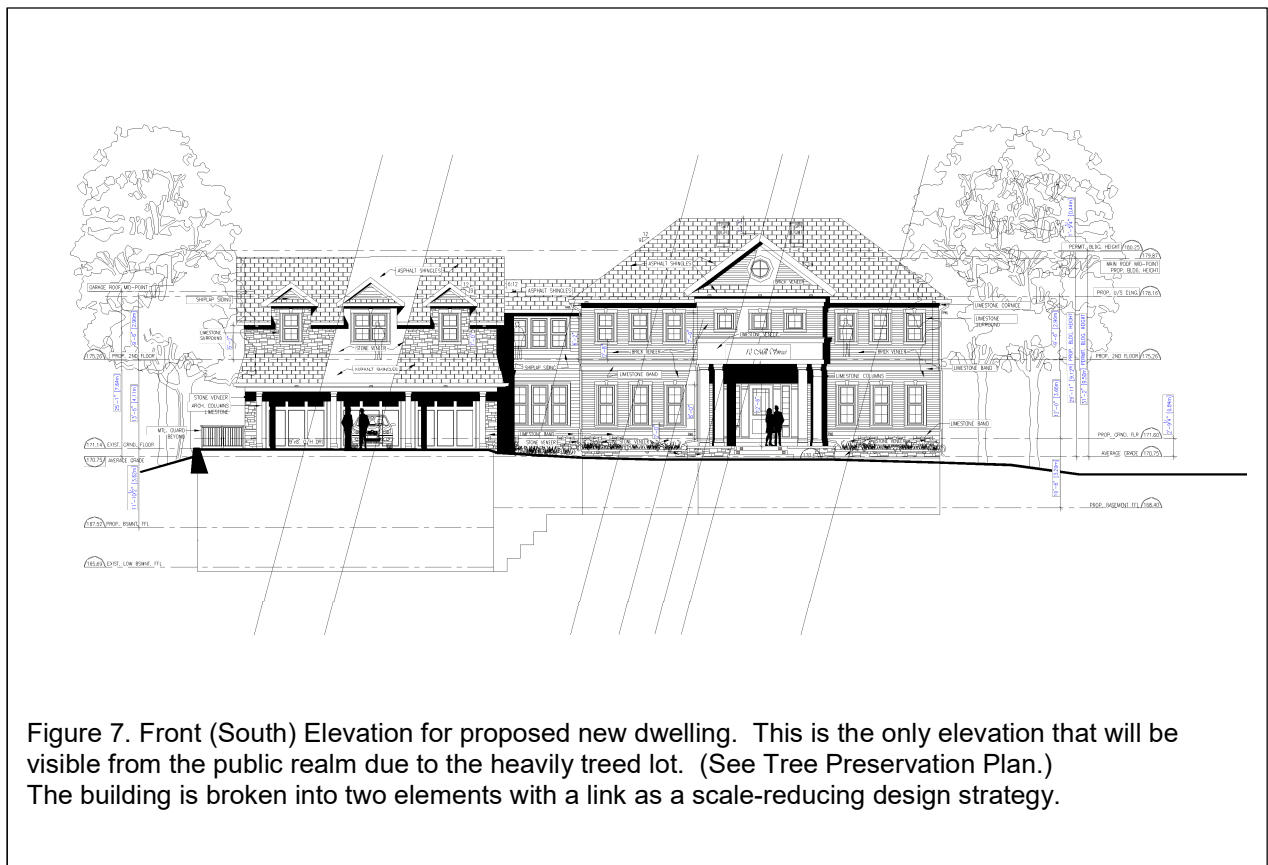


Figure 7. Front (South) Elevation for proposed new dwelling. This is the only elevation that will be visible from the public realm due to the heavily treed lot. (See Tree Preservation Plan.) The building is broken into two elements with a link as a scale-reducing design strategy.



Figure 8. The David Soules House at 8038 Yonge Street is a Neo-Classical dwelling from 1830. It is in the District, and is designated under Part IV of the Ontario Heritage Act.

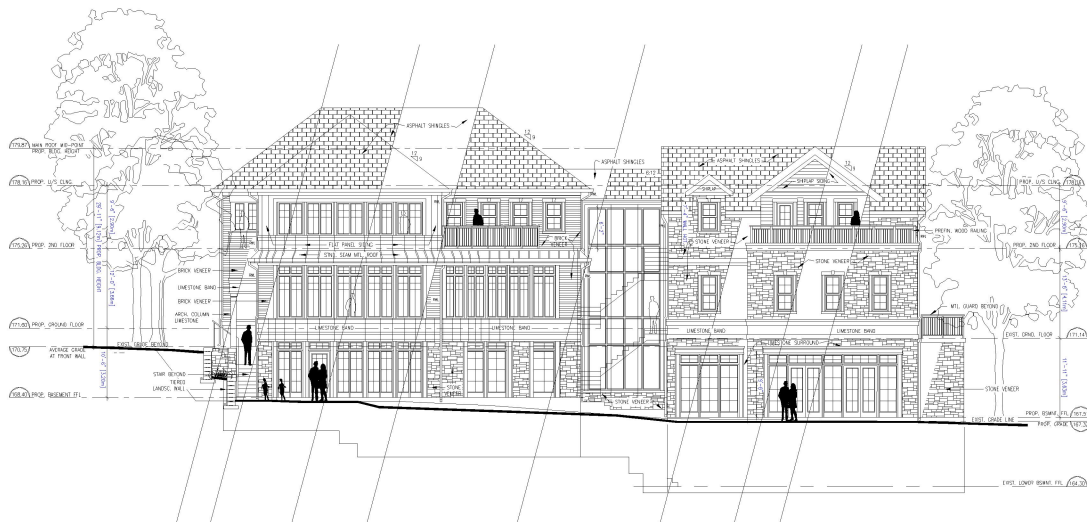


Figure 9. Rear (North) Elevation for proposed new dwelling. This elevation will not be at all visible from the public realm.

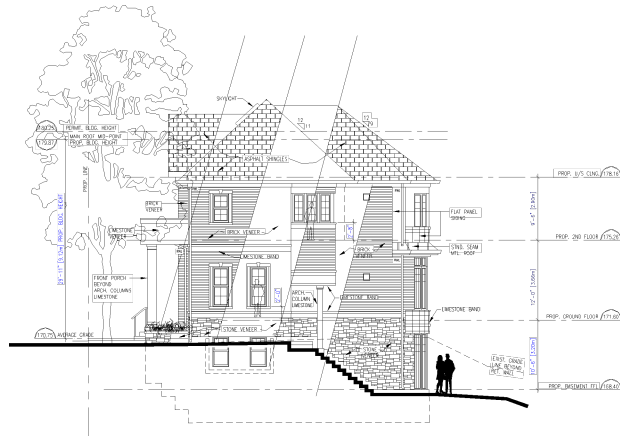


Figure 10. East Elevation for proposed new dwelling. This elevation will be minimally visible from the public realm.

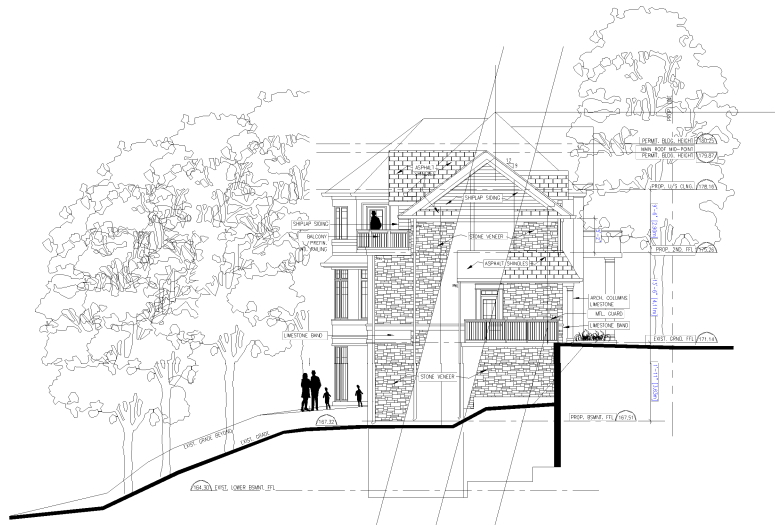


Figure 11. West Elevation for proposed new dwelling. This elevation will be minimally visible from the public realm.

4. Evaluation of Compliance with Relevant Sections of the District Plan

Objectives, Policies, and Guidelines from the Thornhill Vaughan Heritage Conservation District Plan, as relevant to the proposal, are excerpted below. My notes on compliance appear *in italics*, after each excerpt. To avoid confusion in numbering, excerpts are numbered with HCD as a prefix.

HCD 2.7 Statement of Objectives in Designating the District

HCD 2.7.1 Overall Objective

To ensure the retention and conservation of the District's cultural heritage resources and heritage character, and to guide change so that it contributes to and does not detract from, the District's architectural, historical, and contextual character

In my professional opinion the proposal meets this objective.

HCD 2.7.5 Objectives for New Development

- a) To ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development.
- b) To guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.

In my professional opinion the design of the proposal is suitable for its location in the District.

HDC 4.0 District Policies—Buildings and Sites

HCD 4.4 Policies for New Residential Buildings

New residential buildings on local streets (i.e., single detached dwellings) will have respect for and be compatible with the heritage character of the District. Designs for new residential buildings will be based on the patterns and proportions of 19th-century and early 20th-century building stock that are currently existing or once existed in the village. Architectural elements, features, and decorations should be sympathetic to those found on heritage buildings.

HCD 4.4.1 Design Approach

- a) The design of new residential buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District.

In my professional opinion the design of the proposal is a skillful rendition of the Neo-Classical Style, noted in the Heritage District Plan as a local heritage precedent. An example is found about 500 metres away from the subject site at 8038 Yonge Street (see Figure 8).

- b) New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.

The immediate physical context and the streetscape characteristics are varied. The design shares forms, materials, and proportions with traditional buildings in the District. The site constraints limit the available depth of the building, so it is wide by necessity.

- c) New residential building construction will respect natural landforms, drainage, and existing mature vegetation.

Landforms and drainage are substantially conserved, per requirements of TRCA. Conservation of trees on the site has been specified by P&A Urban Forestry Consulting Ltd. They have plotted 56 existing trees, of which 17 are to be removed as undersized or in poor condition. Of the remaining 39 trees, 7 will be removed for construction of the project and 16 replacement trees will be provided in accordance with City of Vaughan requirements. Tree Protection Zones (TPZ) are specified to protect all retained trees near construction areas.

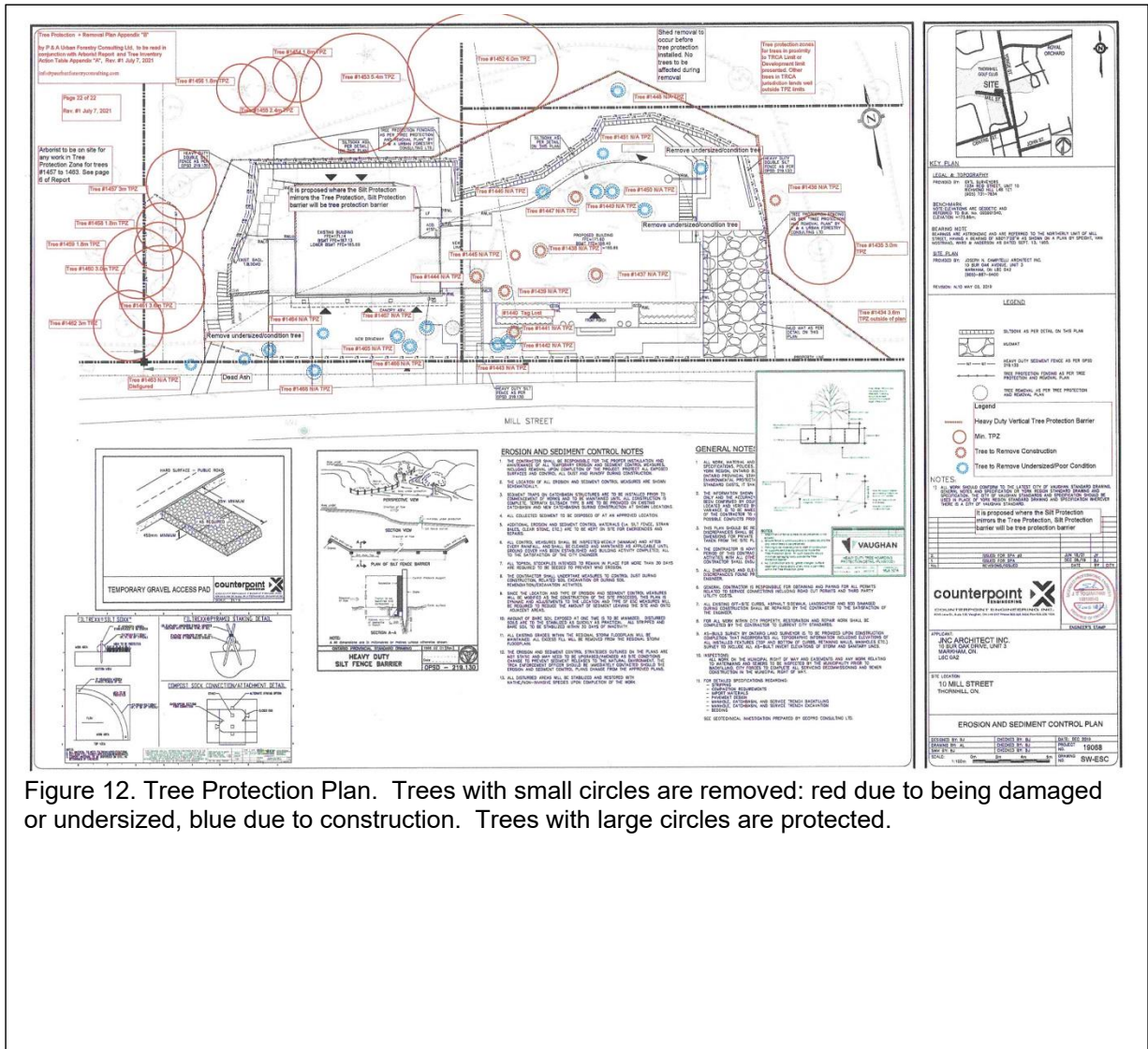


Figure 12. Tree Protection Plan. Trees with small circles are removed: red due to being damaged or undersized, blue due to construction. Trees with large circles are protected.

- d) Larger new residential buildings will have varied massing, to reflect the small and varied scale of the historical village.

The building is divided into two masses with an intervening link element, which reduces its apparent visual scale.

- e) Historically appropriate heights for new residential buildings are considered to be 1 ½ or 2 storeys. New residential buildings should be not less than 80% or more than 120% of the average height of the adjacent residential buildings. Notwithstanding the height limit above, two storey houses are permitted next to one storey houses if the ground floor is no more than 1 metre above original grade. In all instances the height of new buildings shall conform to the City's Zoning By-law.

Adjacency is not a useful visual concept here, given the size of the lots in this distinct streetscape within the District and their heavily wooded nature. The proposed dwelling is 2 storeys high, the ground floor is within 1 metre of existing grade. The height dimensions conform to the Zoning By-Law.

- f) New residential building construction in the District will conform to the guidelines found in Section 9.5.2.

HCD 9.0 Guidelines for Buildings and Surroundings

HCD 9.5.2.2 Architectural Style Guidelines

New buildings in the residential areas should reflect the historic built form of their historic neighbours.

Guidelines:

- Design houses to reflect one of the local heritage Architectural Styles. See Section 9.1.
- Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate.
- Use authentic detail, consistent with the Architectural Style. See Section 9.2.1.
- Use appropriate materials. See Section 9.8.

In my professional opinion, the design of the proposed development reflects the Neo-Classical heritage style as described and depicted in Section 9.1.1, and is consistent in proportions, materials and details with that style. An example is found about 500 metres away from the subject site at 8038 Yonge Street (see Figure 8).



Figure 13. Rendering of front elevation of proposed dwelling.

HCD 9.5.2.3 Scale and Massing

New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacement houses on existing built lots.

Guidelines:

- New buildings should be designed to preserve the scale and pattern of the historic District.
- New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block.
- As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape.
- Follow the policies in Section 4.4 of this Plan concerning height and depth of buildings and garages.
- For garages, see Section 9.3.8.

The proposed dwelling shares forms, materials, and proportions with traditional buildings in the District. The building height conforms to the guideline above. Site constraints limit the available depth of the building, so both the house and the garage must be set on the frontage. Nonetheless, its design and scale are consistent with the District character, in my professional opinion.

5. Conclusions

The proposed development at 10 Mill Street, in the Thornhill Vaughan Heritage Conservation District, respects and conforms to the relevant provision in the District Plan, including objectives, policies, and design guidelines.

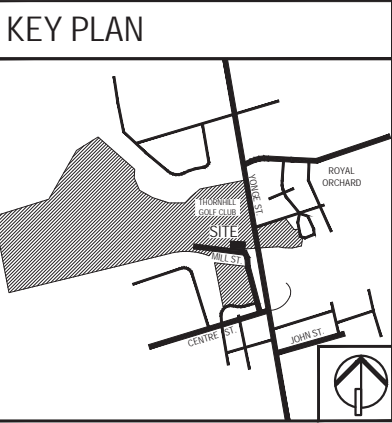
The proposed development substantially conserves the landforms and vegetation of the site. The building reflects the local precedent Neo-Classical style as described and depicted in the Thornhill Vaughan Heritage Conservation District Plan. Although the total frontage is approximately 30 metres, due to constraints of the site, it is broken into three elements—mass/link/mass of 11.5m, 3.5m, and 16m respectively—to reduce the apparent visual impact. The density of the surrounding woodlands also mitigates the impact of building on the public realm.

In my professional opinion, the proposal will enhance, rather than detract from, the heritage character of the Thornhill Vaughan Heritage Conservation District.

ATTACHMENT 5

SITE PLAN

DWELLING STATISTICS			
	BY-LAW 1-88 AS AMENDED	EXISTING	PROPOSED
1. ZONING	R1V / 9(48) – OLD VILLAGE RESIDENTIAL (SINGLE FAMILY DETACHED DWELLING)	DETACHED, SINGLE FAMILY	ADDITION TO EXISTING RESIDENCE
2. LOT FRONTAGE	30m (MIN.)	65.61m	N/C
3. SITE AREA	845sm (MIN.)	2493sm (26,835sf)	N/C
4. SETBACKS	MIN. FRONT YARD = 4.57m (15ft) MIN. INTERIOR SIDE YARD = 1.5 m MIN. EXTERIOR SIDE YARD = 9.0 m MAX. SUM OF SIDE YARDS = 15.0m (FROM MAIN BLDG.) MIN. REAR YARD = 7.5 m	FRONT YARD = 5.45m WEST SIDE YARD = 9.90m EAST SIDE YARD = ±40.0m SUM OF SIDE YARDS = ±49.90m REAR YARD = ±25.4m	FRONT YARD = 4.10m (PORCH SETBACK = 2.60m) WEST SIDE YARD = 9.90m (EXIST.) EAST SIDE YARD = 19.90m SUM OF SIDE YARDS = ±29.80m REAR YARD = ±24.28m
5. BUILDING HEIGHT	9.5 m* (SLOPED ROOF) *FROM FINISHED GRADE AT FRONT BUILDING WALL	± 2.60m	9.12 m* *FROM FINISHED GRADE AT FRONT BUILDING WALL
6. LOT COVERAGE	MAX. 20% (BLDG. MORE THAN 1 STOREY & 7m HEIGHT)	± 4.45% (110sm / 1,188sf)	11.6% (288.5m / 3,105sf)
7. PERMITTED PROJECTIONS	COVERED PORCH – NOT PERMITTED BAY WINDOWS = 0.5m FRONT YARD		
8. GFA	N/A (NOT APPLICABLE)		PROP. GROUND FLOOR = 1,866sf PROP. 2ND FLOOR = 2,465sf TOTAL GFA AREA= 4,331sf (EXCL. GARAGE + BSMNT.) PROPOSED 3 CAR GARAGE = 1,037sf EXIST. BSMNT. /HOME THEATRE = 1,132sf PROP. BASEMENT FLOOR = 1,981sf
9. LANDSCAPE	FRONT LANDSCAPE: MIN. 50% FRONT SOFT LANDSCAPE: MIN. 60%	N/A	FRONT YARD AREA: 3,244sf FRONT LANDSCAPE: 85% (2,742sf) FRONT SOFT LANDSCAPE: 78% (2,158sf) (DRIVEWAY AREA: 502sf)



LEGEND

- PROPOSED BUILDING/STRUCTURE
- EXISTING STRUCTURE
- TO BE REMOVED (T.B.R.)
- PROPERTY LINE
- ZONING ENVELOPE
- EXISTING GRADE ELEVATION
- POINT OF ENTRY
- EXISTING TREES
- FINISHED FLOOR ELEVATION
- PROP. GRADE ELEVATION

F.F.E. = 191.97
x 191.97

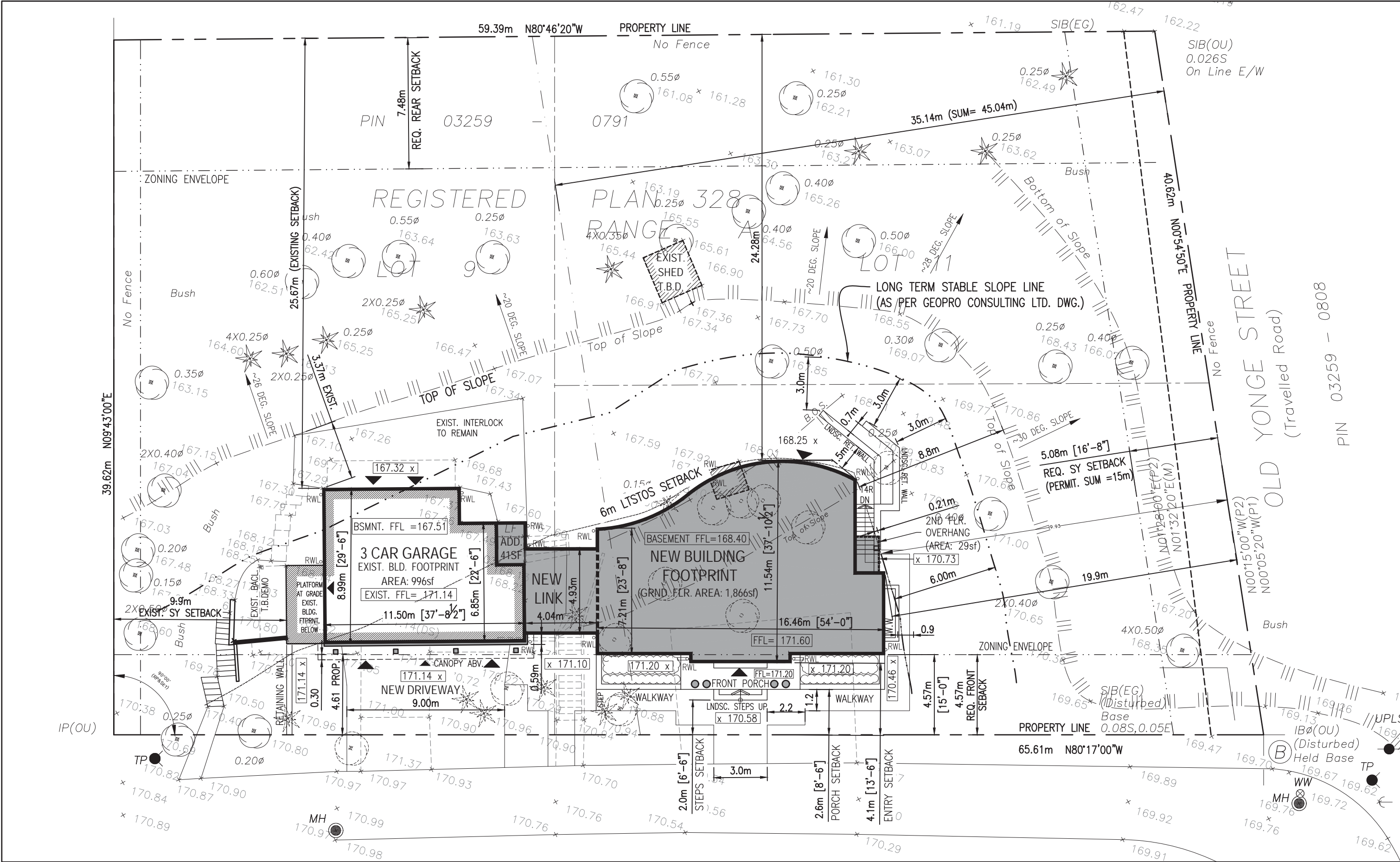
SURVEY INFORMATION

INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM THE FOLLOWING:

PLAN OF SURVEY
PART OF LOTS 9, 10 & 11
RANGE A
REGISTERED PLAN 328
CITY OF VAUGHAN,
REGIONAL MUNICIPALITY OF YORK

DATED: APRIL, 2016

ERTL SURVEYORS,
ONTARIO LAND SURVEYORS
1234 REID STREET, UNIT 10,
RICHMOND HILL L4B 1C1



PROPOSED CUSTOM HOME

10 MILL STREET
THORNHILL, ON

PROJECT ARCHITECT:
J. CAMPITELLI
ASSISTANT DESIGNER:
R.D.

DRAWN BY:
JNC

CHECKED BY:
JNC

SITE PLAN & STATISTICS

SCALE: 1:200
DATE PRINTED: NOV. 22, 2021
PROJECT NO: 250.17.D

A.100

JOSEPH N CAMPITELLI
ARCHITECT INC.

Exterior Finishes

Project: Proposed Custom Residence
10 Mill Street,
Thornhill, ON

Project No: 250.17.D
Date: November 2021

Description: Exterior Finishes Selection

Page: 1 of 5

Inspirational Images



Brick Veneer
Double Hung Windows
Symmetrical Elevation

Project No: 250.17.D
Date: November 2021
Page: 2 of 5

Stone Base Veneer

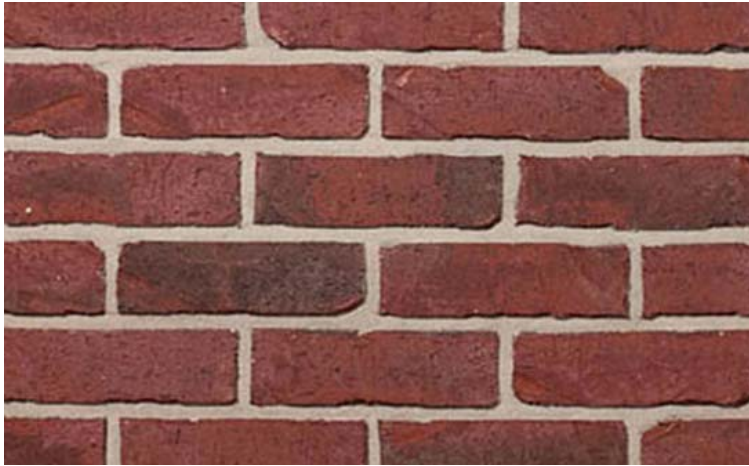


Colour:
Vivace Cortona

Manufacturer:
Brampton Brick

Project No: 250.17.D
Date: November 2021
Page: 3 of 5

Brick Veneer



Colour:
Crawford, Crossroads Series

Manufacturer:
Brampton Brick

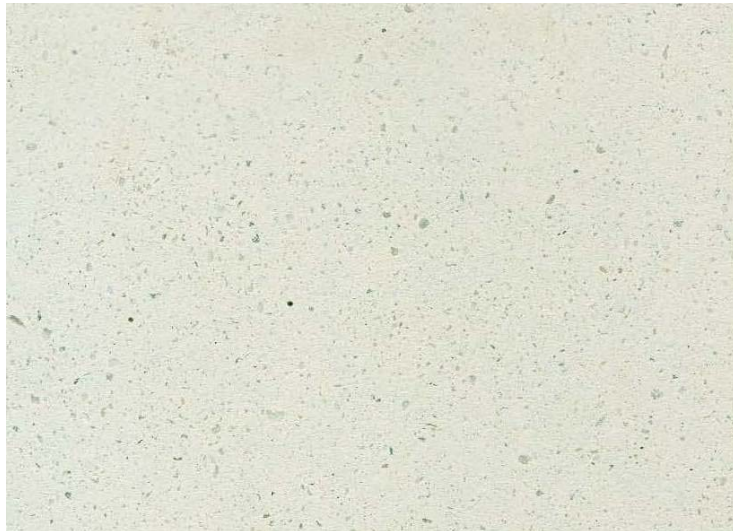


Example elevation for
Crawford colour brick veneer

Project No: 250.17.D
Date: November 2021
Page: 4 of 5

Precast concrete

Application: Cornice, Bands, Sills, Window Surrounds, Front Porch



Colour:
Limestone, Sandblust Precast

Manufacturer:
Tri-Krete Precast

Exterior Siding



Shiplap Siding

Colour:
Purl Gray or similar gray colour

Manufacturer:
James Hardie

Project No: 250.17.D
Date: November 2021
Page: 5 of 5

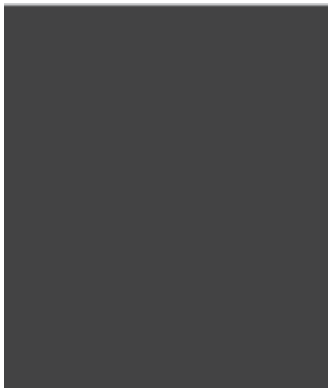
Roof Finishes



Asphalt Shingles Roof

Colour:
Cambridge Dual Black

Manufacturer:
Iko Roofing



Standing Seam Metal Roof

Colour:
55174 Deep Grey

Manufacturer:
Vicwest

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Email: peter@paurbanforestryconsulting.com Web: paurbanforestryconsulting.com

Report #0842

ARBORIST REPORT TREE PROTECTION AND REMOVAL PLAN

Prepared For:

Ms. Radelina Doytchinov

JOSEPH N. CAMPITELLI ARCHITECT INC.

10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2

p. 905-887-8900 f. 905-887-9400

e. radelinad@jnc-architect.com

w. www.jnc-architect.com

L4B 3Y4

RE: 10 Mill Street, Vaughan

Prepared By: Peter Wynnyczuk

December 7, 2019

ATTACHMENT 7

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Report #0842

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10 Mill Street Tree Inventory/Action Table Appendix “A” (Separate Plan)	21-23
10 Mill Street Tree Protection and Removal Plan Appendix “B” (Separate Plan)	24

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Introduction

The Owner proposes to construct a new garage over the existing house that is to be demolished and a new house connected to the garage on the east side. The site currently has an existing house.

P & A Urban Forestry Consulting Ltd. were retained to address the Planning requirements of the City of Vaughan related to the Tree Preservation requirements of the City. **This Report is based on the information provided as of December 6, 2019 in the form of;**

- 1) Surveyors Real Property Report, Ertl Surveyors, O.L.S., Project 15392, dated Aug. 5, 2015.**
- 2) Site Plan and Statistics by Joseph Campitelli Architects, Rev, 12, December 6, 2019, Drawing A 100.**

If other relevant information becomes available or there are revisions, it may be necessary to review and update the Arborist Report.

Tree Information Collection Process and Review

A site visit was conducted on October 5, 2019. Trees were assessed by ground visual means to assess the trees in relation to the development process as well as their proximity to construction impacts. The Tree Protection Zones are proposed based on the information and site limitations available. Details and proposed actions are provided in the Tree Inventory and Action Appendix "A". Separate Excel Spreadsheet, which is to be read in conjunction with Tree Protection and Removal Plan Appendix "B" separate Plan.

The above noted information is depicted on the Tree Protection and Removal, dated December 7, 2019. Additional pictures were taken of the trees for future reference if needed but do not form part of this Report.

Recommendations

Vaughan Street Tree Bylaw

There appears to be a dead Ash and a severely topped due to hydro pruning Manitoba Maple #1468. Both trees are not sustainable in the road allowance and are the responsibility of the City to determine action as they are in conflict with the proposal. It is suggested the city be contacted to review these trees in light of the condition and location in proximity to the ongoing hydro clearing impacts on tree health and structure.

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Private Tree Protection Bylaw

There are several trees in this development application that would be affected by the City of Vaughan Private Property Tree Bylaw (185-2007). In order to meet the spirit of the Bylaw and the Planning requirements of the City there will be Tree Protection Zones as applicable and tree removals as needed with a replacement planting proposed. These lands are also under TRCA jurisdiction and may have conditions set out by this Authority.

Offsite Trees

There are no off-site trees that are to be affected by this construction and tree protection within the property will be installed.

Canopy Cover Impacts

The existing canopy cover for this site is estimated at 85%. The estimated impact on canopy reduction due to construction impacts is approximately 15%. Additional more appropriate plantings will help offset some of the canopy reduction.

Proposed Tree Planting and Compensation

City of Vaughan Replacement Formula

The City of Vaughan Replacement ratios based on DBH are as follows:

Greater than 51cm 4 to 1, 41 to 50cm 3 to 1, 31 to 40cm 2 to 1, 20 to 30cm 1 to 1

Tree #1439, 1441, 20 to 30cm 1 to 1 replacement $2 \times 1 = 2$

Tree #1438, 1444, 31 to 40cm, 2 to 1 = $2 \times 2 = 4$

Tree #1437, 1447, 41 to 50cm = 3 to 1 = $2 \times 3 = 6$

Tree #1436, >51cm = $1 \times 4 = 4$ trees

Preliminary total of trees to replace, pending response from TRCA/City of Vaughan, City permission, further review and any additional revised plans is 16 trees

Replacement trees to be provided on a Landscape Plan provided by others.

If the owner and City agree, as there are still several trees on this site, cash in lieu, @\$550.00/tree or the most current value placed by the City can be discussed.

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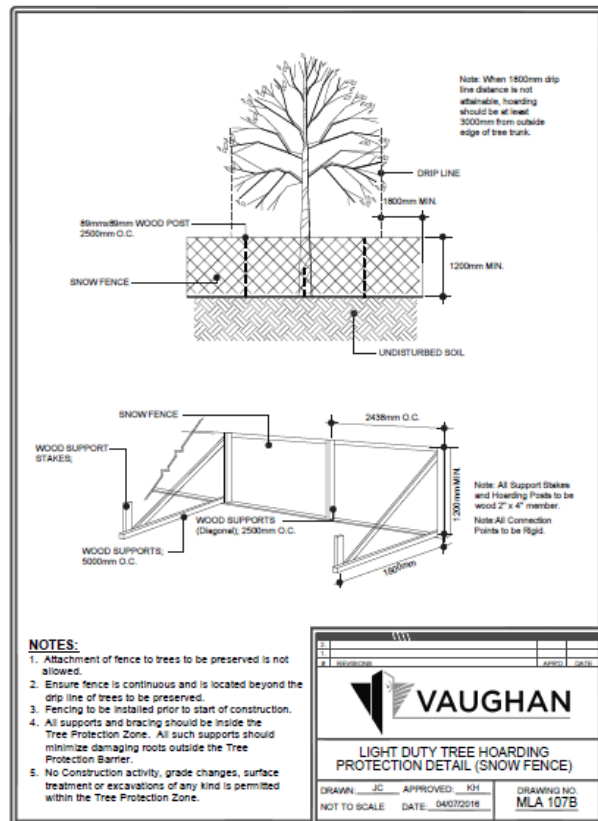
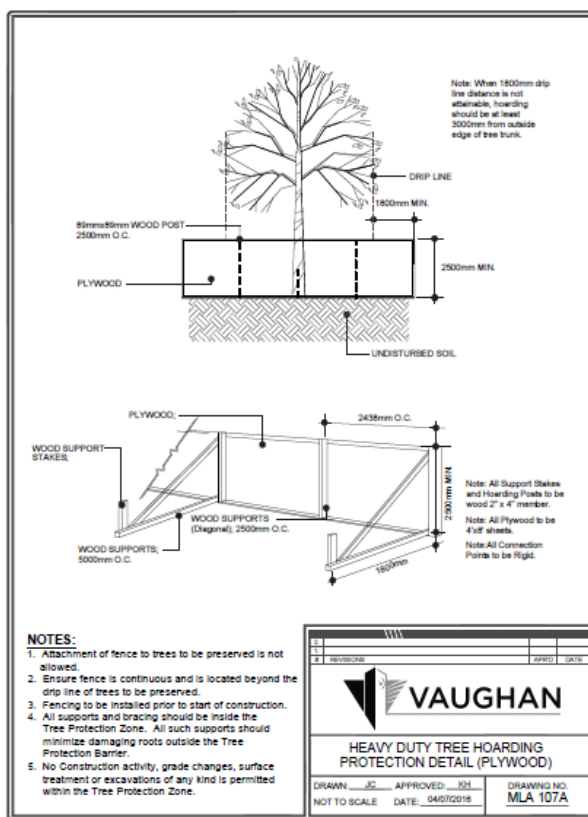
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Tree Protection

All tree protection to conform to the relevant jurisdiction. On private lands the City of Vaughan detail applies. Heavy and Light duty tree protection as referenced on Tree Protection and Removal Plan Appendix "B", December 7, 2019 and as part of this report.

Tree Protection Fencing Vaughan for Private Property trees



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Tree Protection minimum distance Table

17

Table 2: Minimum Tree Protection Zone Determination

Diameter at Breast Height ¹ in centimeters	Minimum Protection Distances Required ² (Public and Private Trees)	Minimum Protection Distances Required Trees in Naturalized Areas
<10	1.2	The drip line ³ or 1.2 m
10-29	1.8	The drip line or 3.6 m
30-40 ⁴	2.4	The drip line or 4.8 m
41-50	3.0	The drip line or 6.0 m
51-60	3.6	The drip line or 7.2 m
61-70	4.2	The drip line or 8.4 m
71-80	4.8	The drip line or 9.6 m
81-90	5.4	The drip line or 10.6 m
91-100	6.0	The drip line or 12.0 m
>100	6 cm protection for each 1 cm diameter	12 cm protection for each 1 cm diameter or the drip line

1. Diameter at breast measurement of tree trunk taken at 1.4 meters (m) above the ground.

2. Minimum Tree Protection Zone distances are to be measured from the outside edge of the tree base.

3. The drip line is defined as the area beneath the outer most branch tips of a tree

4. Converted from ISA (International Society of Arboriculture) Arborist Certification Study Guide, general guidelines for tree protection barriers of 0.3 meters of diameter from the tree stem for each centimeter of tree trunk diameter.

Pre, During, and Post Construction Arboriculture Supervision

It is recommended there be meetings and inspections scheduled to help address the Arborist Report recommendations as noted below;

Preconstruction

- 1) Pre-construction meeting with the Owner and General Contractor to mark out the TPZ areas and set the parameters for the various contractors who will be on site. Any tree removals are not to affect any trees to be protected.
- 2) Valley Shed to be carefully removed not to affect remaining trees.
- 3) Installation of TPZ prior to any major demolition or site activity.
- 4) Verification by the Arborist of TPZ installation with notification to the Town by email.

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During Construction

- 1) Monthly onsite inspection to verify integrity of TPZ and identification of any issues related to the trees during the construction to final grading. Document findings and advise client of any action needed as required to retain trees noted.
- 2) Site inspection as required by the City or the Client to address tree issues and make recommendations for follow-up by the Client, as issues arise.
- 3) Inspection prior to final grading of site to verify tree conditions and authorize removal of TPZ structures. Report any issues if needed for Client follow-up.

Post construction

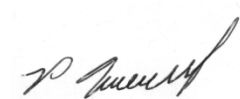
- 1) Inspection of retained trees to note any additional work such as pruning, aeration, deep root fertilizing or other recommended work.
- 2) Plantings to take place after sod establishment if planted in disturbed areas or when seasonably appropriate in other areas. Plantings by a qualified/certified landscape firm.
- 3) Verify plantings the season after sod establishment.

The information and recommendations noted in this report are based on the information provided at the time the report was written. Any updates or changes in design require the review of the report in relation to the changes presented. There may be revisions to this report to address the site changes, as it relates to the tree protection noted.

It is the responsibility for the owner to abide by the conditions, as set out by the Municipality, related to tree protection for the duration of the construction up to the time of occupancy permit issuance.

Prepared for:

Al Miley and Associates



Peter Wynnyczuk

Hazard Risk Assessor CTRA # 727, ISA, Utility Arborist #400113535 under MTCU

Butternut Health Assessor #591

ISA Certified Arborist ON-2067A

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Picture 1. From South West showing trees #1434 on right and #1435 on left, both to be retained and tree protection to be installed.



Picture 2. From South Tree #1436 , to be removed with 4 to 1 replacement.

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Picture 3. From South East showing tree #1437 centred to be removed construction. 3 to 1 replacement. |



Picture 4. From South East, on Right #1437, in front of car #1438, leaning to west and #1439 over roof of car, with #1441 Juniper on right. Tag 1440 lost, no tree. All to be removed with replacements for #1438 to #1441 to total 4 replacements.

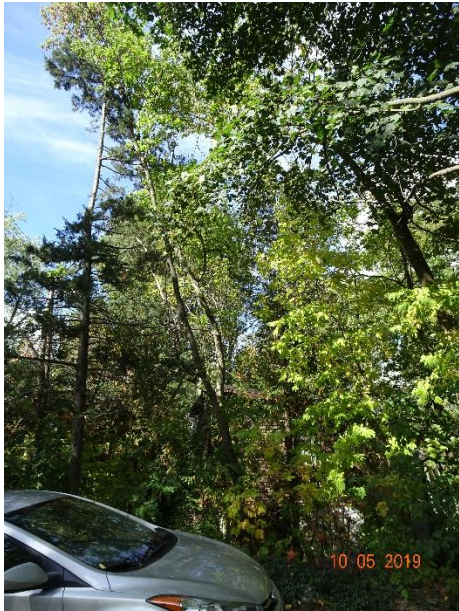
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Picture 5. From East showing tree #1439 centre and #1441 on left, with #1442 and 1443 on far left. All to be removed. #1442 and #1443 are undersized for the Bylaw and no replacement proposed.



Picture 6. Looking North West #1441 on right 1442 left of real estate sign and #1443 over sign all to be removed. 1 tree proposed for replacement for #1441. Note severe topping due to hydro clearing.

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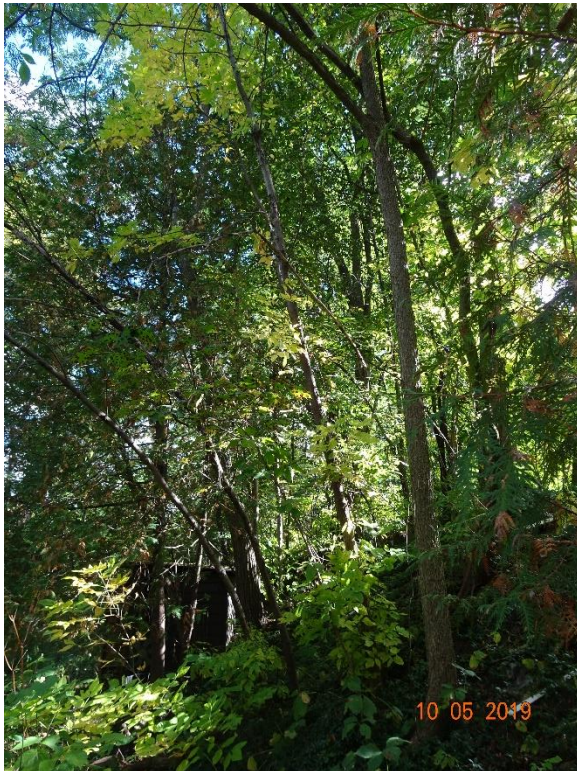
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Picture 7. Looking North at #1444 at base o steps to be removed construction, 1 replacement tree proposed for replacement.



Picture 8. From West near NEC of house, Undersized for Bylaw Tree #1445 on right and #1446 Cedar on left, no replacements proposed. At corner of shed is trunk of #1447 which has a 3 to 1 replacement.

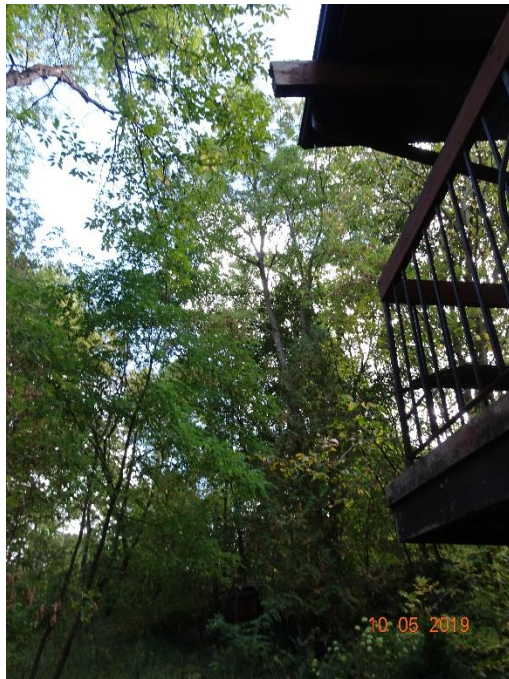
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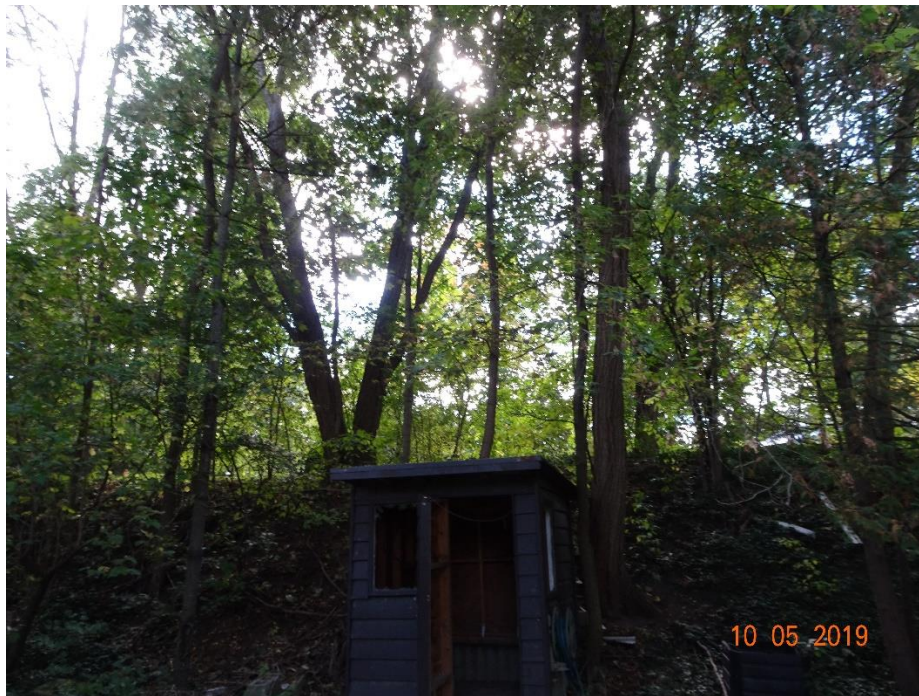
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to 1 replacement

Picture 9. From West #1447 Canopy, to be removed with 3



Picture 10. From North, Cedar #1446 on left, #1447 at shed corner, (3 to 1 replacement), two (2) undersized Norway Maples, #1449 and #1450, #1451 Pine left of shed to be removed no replacements proposed.

12 of 24 10 Mill Street, Vaughan Arborist Report, December 7, 2019.

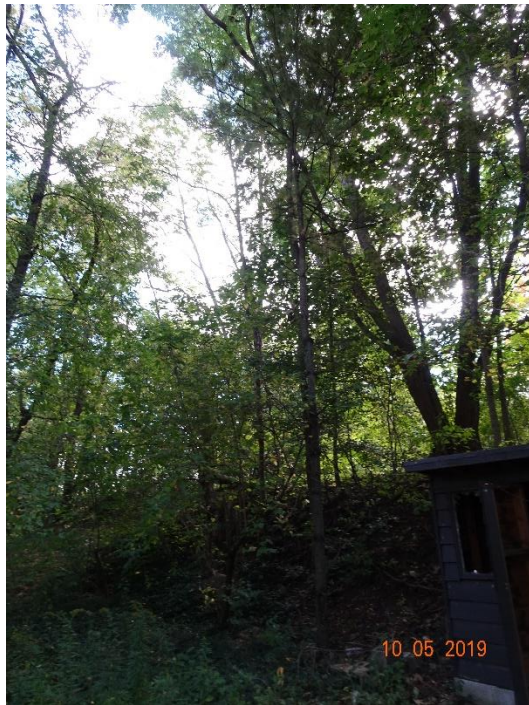
P & A Urban Forestry Consulting Ltd.

Specializing in Tree Assessment

40 Brillinger Street, Richmond Hill, Ontario, L4C 8Y4 Cell 416 399-4490

Email: peter@paurbanforestryconsulting.com Web: paurbanforestryconsulting.com

Report #0842



Picture 11. Undersized Tree #1451 to be removed no replacements proposed.



Picture 12. From West Apple #1448 to be removed based on condition, no replacement proposed.

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Report #0842



Picture 13. From South showing ravine shed to be removed.
Cedar Clump #1452 to be retained. Shed demolition should not affect trees in area.



Picture 14. From East showing Cherry tree #1453, to be retained. Tree protection to be installed. Easterly dead leader should be removed.

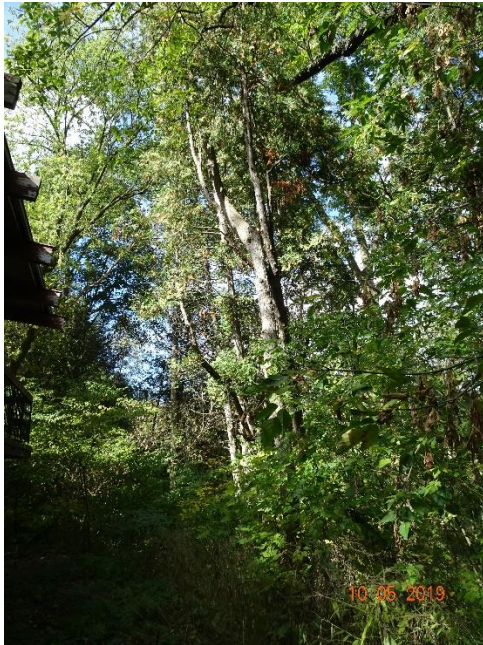
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Report #0842



Picture 15. Cedar tree #1454 leaning in dead Ash to be retained unless it collapses after dead Ash removed. Compensation to be determined if removed.



Picture 16. From West showing trees #1455 and 1456 to be retained. Tree Protection to be installed.

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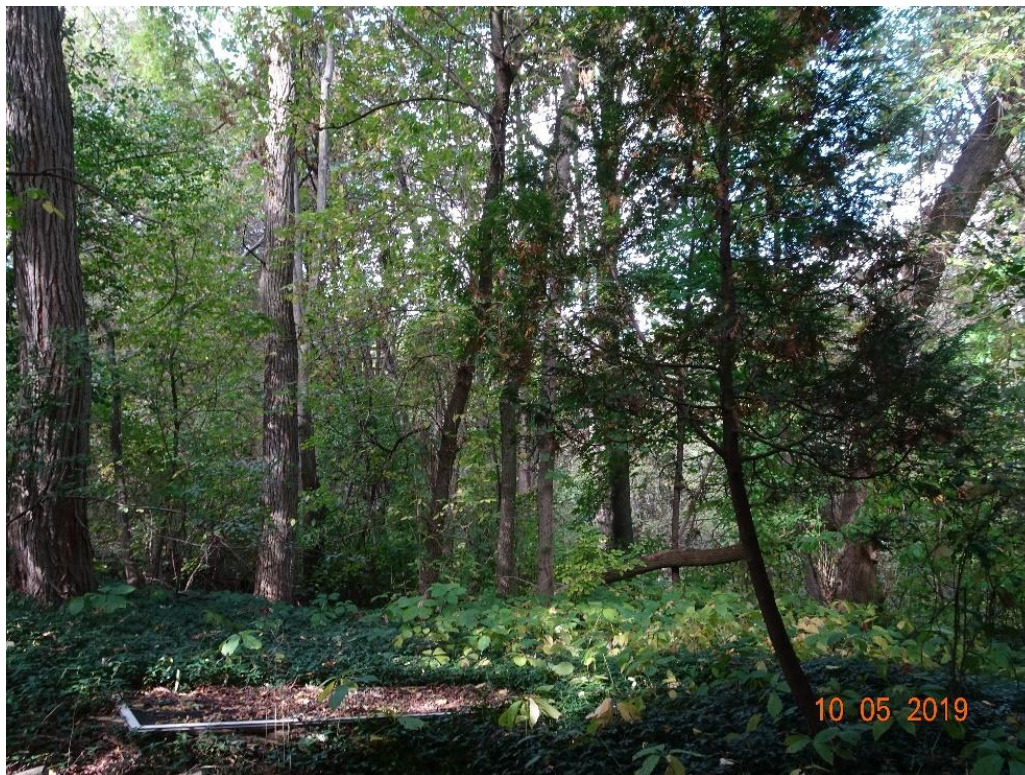
40 Brillinger Street, Richmond Hill, Ontario, L4C 8Y4 Cell 416 399-4490

Email: peter@paurbanforestryconsulting.com Web: paurbanforestryconsulting.com

Report #0842



Picture 17. From west tree #1457 to be retained and protected.



Picture 18. From west showing trunks of trees #1457 on left leaning, #1458 centred, #1459 left of centre and #1460 on far left. All to be retained and protected.

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Report #0842



Picture 19. A + B. A. From South West showing #1460 on far left, #1461 and #1462 more centred, to be retained and protected. B. Trunks of #1461 on right and #1462 on left, to be protected.



Picture 20. From SW tree #1462 to be retained

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Report #0842



Picture 21. From SW showing City

#168 on left and dead Ash on right, city to determine compensation for the dead and disfigured tree.



Picture 22. From

South undersized Cedar #1464 behind Ash tree to be removed, no replacement proposed.

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Report #0842



Picture 23. From South undersized

Cedar #1465, 1466 to be removed, no replacement proposed.

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Email: peter@paurbanforestryconsulting.com Web: paurbanforestryconsulting.com

Report #0842



Picture 24. From South undersized Birch

#1468 to be removed, no replacement proposed.

Page 21 to 23. Tree Inventory Action/Table Appendix "A", December 7, 2019

(Separate Excel Table)

Page 24. Tree Protection, Removal and Planting Plan Appendix "B", December 7, 2019

(Separate Plan)

LANDSCAPE CONSTRUCTION NOTES:

- DO NOT SCALE DRAWINGS
- DETAIL DRAWING DIMENSIONS ARE SHOWN IN MILLIMETRES
- LANDSCAPE WORK TO CONFORM WITH THE NATIONAL MASTER SPECIFICATION – NMS, LANDSCAPE PACKAGE.
- CONFORM TO ALL ONTARIO BUILDING CODE REQUIREMENTS, LATEST EDITION
- LANDSCAPE CONSTRUCTION TO BE COMPLETED BY A CONTRACTOR, (& SUBCONTRACTORS), WITH MINIMUM 5 YEARS CANADIAN EXPERIENCE IN THE SUCCESSFUL EXECUTION OF WORK OF THIS TYPE.
- USE PLANTING MATERIAL TRUE TO NAME, SIZES, OR GRADES AS SPECIFIED, AND CONFORMING TO THE 'CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS AND STANDARDS'.
- CHECK ALL QUANTITIES AND REPORT ANY ERRORS TO THE LANDSCAPE ARCHITECT AND AGREE BEFORE PROCEEDING.
- MATERIALS AND WORKMANSHIP NOT MEETING SPECIFICATIONS WILL BE REJECTED, AT TIME OF INSPECTIONS.
- ALL TREES SHALL BE BALLED AND BURLAP AND ALL SHRUBS SHALL BE POT GROWN, PLANTING MATERIAL SIZES ARE MINIMUM.
- WHEN PLANTING MATERIALS SUPPLIED IN WIRE BASKETS, THE TOP ¼ OF THE BASKET SHALL BE CUT AND REMOVED FROM THE PIT PRIOR TO BACKFILLING.
- SPECIFIED MIX FOR TREE PLANTING, SEE TREE AND SOD PLANTING NOTES WITHIN DETAIL DRAWING :
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL SANDY LOAM. IT SHALL BE FREE OF WEEDS, STONES, SUBSOIL, REFUSE OR OTHER EXTRANEOUS MATERIALS, AND CAPABLE OF SUSTAINING HEALTHY PLANT GROWTH. THE CONTRACTOR SHALL NOT USE TOPSOIL WHILE IN A FROZEN OR MUDDY CONDITION. THE SPECIFIED MIX SHALL BE SUBJECT TO THE APPROVAL OF THE MUNICIPAL AUTHORITY AND CONSULTING LANDSCAPE ARCHITECT.
- FINISH ALL PLANTING AREAS WITH 75mm of MULCH SUPPLIED BY GRO-BARK SPM, (SHREDDED PINE BARK) AS NOTED, OR APPROVED EQUAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL PLANTING AREAS CLEAR OF WEEDS, AT TIME OF PLANTING, MULCHING AND SITE INSPECTIONS.
- ALL SOD SHALL CONFORM TO THE 'CANADIAN NURSERY SOD GROWERS SPECIFICATIONS'. SOD SHALL BE NO.1 CERTIFIED CULTIVATED TURF GRASS, 50% MERION AND 50% KENTUCKY BLUE. SOD SHALL BE INSTALLED UPON ARRIVAL, AND SHALL BE SMOOTHLY LAID WITH TIGHT JOINTS ON MINIMUM 7cm of CLEAN TOPSOIL WITH SUPPLEMENT TOPSOIL OF 3cm GRO-TURF SOIL BY GRO-BARK LTD AND RECOMMENDED MINIMUM 30cm of CLEAN FILL. PEG SOD ON SLOPES OF 3:1 & SWALES. SOD SHALL BE LAID WITH NO OPEN JOINTS OR OVERLAP.
- ALL STONES AND DEBRIS SHALL BE REMOVED.
- SOD SHALL BE ROLLED AND WATERED IMMEDIATELY AFTER INSTALLATION.
- CONTRACTOR RESPONSIBLE TO MAINTAIN GRASS FOR 1 MONTH AFTER INSTALLATION; WATER & CUT/REMOVE CLIPPINGS, (ALLOW 2 CUTS). ALL SOD SHALL BE GUARANTEED FOR 1 YEAR AFTER DATE OF PLACEMENT.
- WARRANTY ON ALL PLANT MATERIAL, (INCLUDING TRANSPLANTED MATERIAL), SHALL BE FOR TWO YEARS FROM DATE OF FINAL ACCEPTANCE OF CONSTRUCTION. REPLACEMENTS ARE TO BE GUARANTEED FOR AN ADDITIONAL ONE YEAR.
- THIS DRAWING TO BE USED ONLY FOR LAYOUT AND CONSTRUCTION/PLANTING OF LANDSCAPE MATERIALS.
- CONTRACTOR TO SCHEDULE MINIMUM 5 DAYS, FOR REQUEST FOR REGULAR SITE INSPECTION, BY LANDSCAPE ARCHITECT.

CONSTRUCTION NOTES:

- ENGINEERING DWGS. AND ARCHITECTURAL DWGS. TO GOVERN FOR LAYOUT OF SERVICE ENGINEERING, ELECTRICAL INCLUDING OUTDOOR LIGHTING, DWELLING STRUCTURE, RETAINING WALLS GREATER THAN 600mm HIGH, C.I.P. STEPS AT NE CORNER OF NEW DWELLING, HANDRAIL, GUARDRAIL & ASPHALT PAVING, LANDSCAPE MATERIALS.
- READ ALL CONSTRUCTION DRAWINGS IN CONJUNCTION, LANDSCAPE DRAWINGS TO BE USED ONLY FOR LAYOUT AND INSTALLATION OF HARD AND SOFT LANDSCAPE MATERIALS.
- ALL GRADING, & TREE STAKE OUT TO BE COMPLETED AND APPROVED, BEFORE FINAL LANDSCAPING CONSTRUCTION BEGINS

STANDARD NOTES:

- THE CONTRACTOR MUST NOTIFY THE PLANNING AND BUILDING DEPARTMENT OF THE APPROPRIATE MUNICIPALITY PRIOR TO COMMENCEMENT OF ANY PLANTING ON PUBLIC PROPERTY.
- THE LOCATION OF ALL TREES ON STREET FRONTAGES MUST BE APPROVED BY THE PLANNING AND BUILDING DEPARTMENT PRIOR TO THEIR INSTALLATION.
- ALL LANDSCAPE WORKS WILL BE GUARANTEED FOR ONE YEAR FOLLOWING INSPECTION. PLANT MATERIAL WHICH IS NOT IN A HEALTHY GROWING CONDITION ONE YEAR AFTER INSPECTION SHALL BE REPLACED TO THE SATISFACTION OF THE CITY WITH AN ADDITIONAL ONE YEAR MAINTENANCE GUARANTEE PERIOD. SUPPLY AND PLANT ALL REPLACEMENTS IN STRICT ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- SOD THAT IS DAMAGED OR MISSING ON THE PUBLIC BOULEVARD IS TO BE REPAIRED AT THE OWNER'S EXPENSE.
- AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-SODDED.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TREE PITS AND SHRUB BEDS.
- ALL TREE STAKES TO BE REMOVED AT THE CONCLUSION OF THE WARRANTY PERIOD.

PROPOSED SITE PLAN PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL.	SPACING	COND.	REMARKS
DECIDUOUS TREES									
BP	4	Betula papyrifera	Paper Birch	300cm	200cm	60mm	as shown	WB	CLUMP FORM
PC	2	Pyrus calleryana 'Chanticleer'	Chanticleer Ornamental Pear	350cm	200cm	60mm	as shown	WB	FULL FORM
DECIDUOUS SHRUBS									
Hmb	10	Hydrangea macrophylla 'Bailmer'	Bailmer Endless Summer Hydrangea	60cm	80cm	—	90cm	CG3	FULL FORM
CONIFEROUS SHRUBS									
Bgg	34	Buxus 'Green Gem'	Green Gem Boxwood	40cm	40cm	—	90cm	CG3	FULL FORM
Bgm	4	Buxus x 'Green Velvet' Standard	Green Velvet Boxwood Standard	120cm	50cm	—	as shown	CG10	STANDARD
Jsc	19	Juniperus sabina 'Calgary Carpet'	Calgary Carpet Juniper	25cm	50cm	—	100cm	G0–CG3	FULL FORM
PERENNIALS									
bmj	20	Brunnera macrophylla 'Jack Frost'	Siberian Bugloss	30cm	—	—	as shown	CG1	FULL FORM

PROPOSED TRCA RESTORATION BUFFER PLANT LIST AND NOTES

KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL.	SPACING	COND.	REMARKS
DECIDUOUS TREES									
AR	13	Acer rubrum	Red Maple	250cm	—	—	500cm	CG10	FULL FORM
OV	13	Ostrya virginiana	Ironwood	250cm	—	—	500cm	CG10	FULL FORM
DECIDUOUS SHRUBS									
Ca	35	Cornus alternifolia	Alternate Leaf Dogwood	80cm	—	—	100cm	CG5	FULL FORM
DI	40	Dierilla ioniceria	Bush Honeysuckle	50cm	—	—	100cm	CG3	FULL FORM
Rou	200	Ribes aureum	Golden Currant	50cm	—	—	100cm	CG3	FULL FORM
Ra	259	Rhus aromatica	Fragrant Sumac	50cm	—	—	100cm	CG3	FULL FORM
Sa	100	Symphoricarpos albus	Snowberry	50cm	—	—	100cm	CG3	FULL FORM

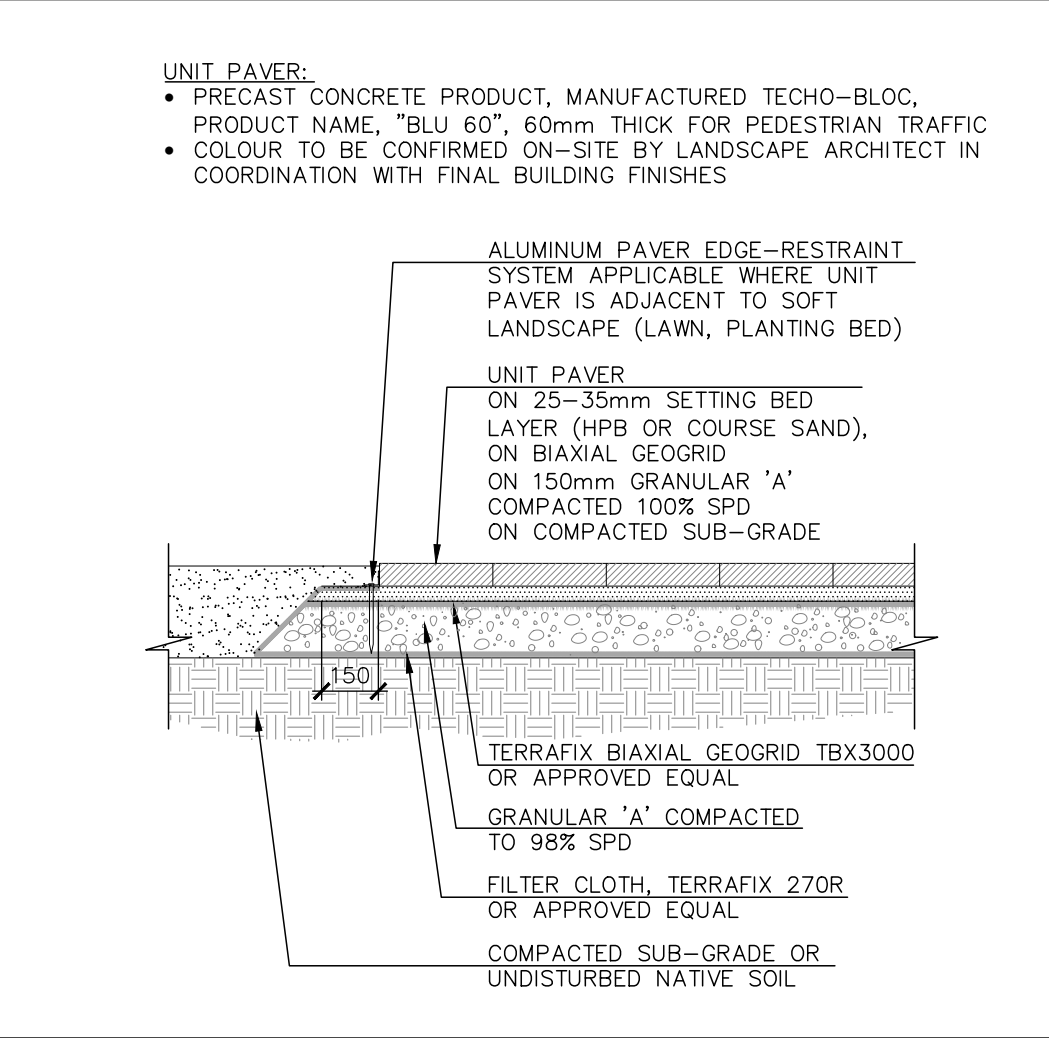
NOTES ON TRCA RESTORATION BUFFER PLANTING AREA: CALCULATIONS TO MEET AN OVERALL COVERAGE OF 80% BASED ON THE AREA BETWEEN THE TOP OF SLOPE AND 6m LISTOS SETBACK, LESS THE AREA OF THE EXISTING BUILDING FOOTPRINT, TO COMPLY WITH TRCA REQUIREMENTS:

- 622 s.m. TOTAL RESTORATION BUFFER PLANTING AREA
- 497.6 s.m. RESTORATION BUFFER PLANTING AT 80% REQUIRED OVERALL COVERAGE
- 26 NATIVE/ NON-INVASIVE TREES REQUIRED @ 5m O.C.
- 634 NATIVE/ NON-INVASIVE SHRUBS REQUIRED @ 1m O.C.
- THE ACTUAL QUANTITY OF PROPOSED NATIVE TREES & SHRUBS MAY REDUCE PENDING ON CONFIRMATION AT TIME OF PLANTING ON EXISTING NATIVE TREES & SHRUBS THAT CONTRIBUTES AND SATISFIES TRCA'S REQUIRED BUFFER PLANTING DENSITY.

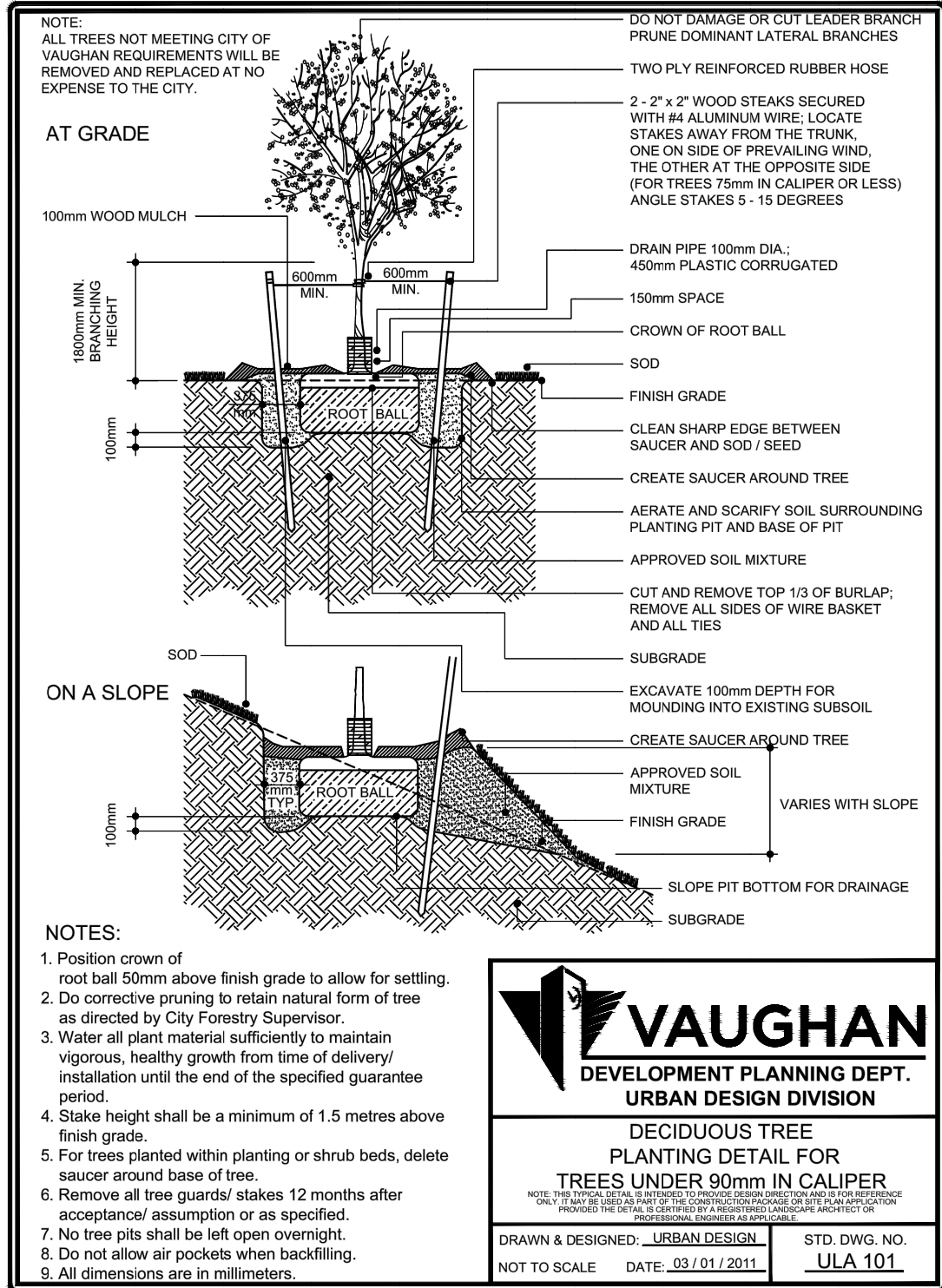
LANDSCAPE LIGHTING SCHEDULE:

	MANUFACTURER: KICHLER, www.kichler.com MODEL: 9042, SAUSBURY 24.25" 1 LIGHT WALL LIGHT COLOUR: BLACK (BK) SUPPLIER: LINZEL DISTRIBUTING, TEL: 905.562.8600, www.linznel.ca
LEGEND: ♂	
	MANUFACTURER: KICHLER, www.kichler.com MODEL: 9843, SAUSBURY 1 LIGHT PENDANT COLOUR: BLACK (BK) SUPPLIER: LINZEL DISTRIBUTING, TEL: 905.562.8600, www.linznel.ca
LEGEND: ♀	
	MANUFACTURER: KICHLER, www.kichler.com MODEL: 16101 12V 3000K LED 6" HARDSCAPE COPING LIGHT COLOUR: GRAY SUPPLIER: LINZEL DISTRIBUTING, TEL: 905.562.8600, www.linznel.ca LEGEND: ♀
	MANUFACTURER: WINONA MODEL: STEP13 WET 9LONG L LST2A WHT30K COLOUR: TBO SUPPLIER: TBA
LEGEND: ♀	
	MANUFACTURER: LITHONIA LIGHT MODEL: LDN4 4" ROUND SUPPLIER: TBA
LEGEND: ♂	

NOTE: LANDSCAPE LIGHTING SCHEDULE MUST BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. THIS LANDSCAPE LIGHTING SCHEDULE IS FOR DESIGN INTENT ONLY.

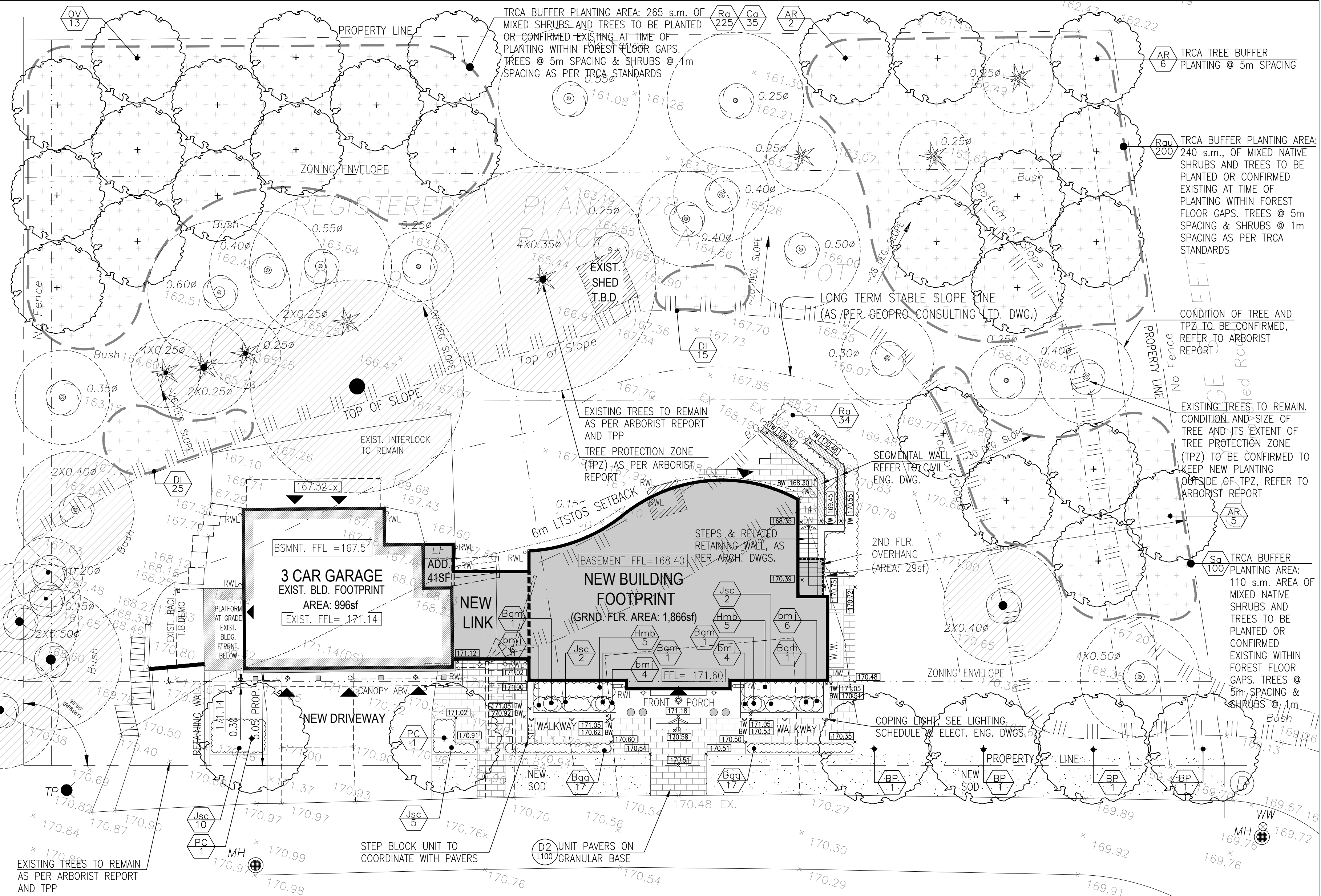


D2 UNIT PAVES ON GRADE
SCALE 1:20

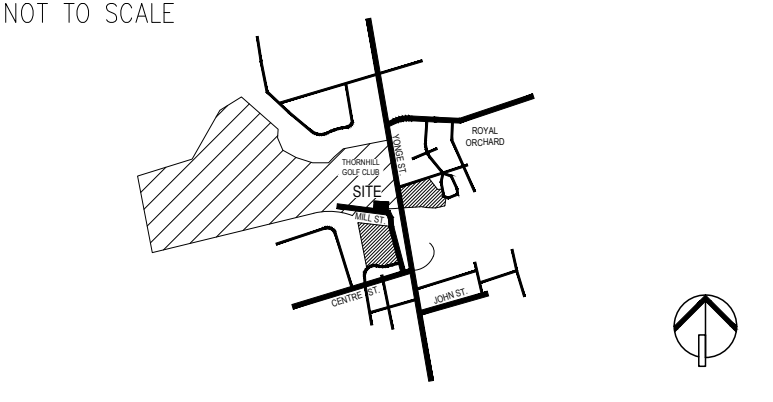


D1 PLANTING DETAILS
SCALE NTS



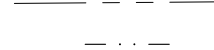
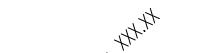
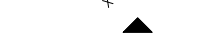
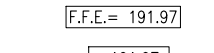
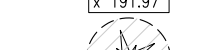







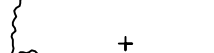


LANDSCAPE PLAN



KEY PLAN



LEGEND

	PROPOSED BUILDING/ STRUCTURE
	EXISTING STRUCTURE TO BE REMOVED (T.B.R.)
	PROPERTY LINE
	ZONING ENVELOPE
	EXISTING GRADE ELEVATION
	POINT OF ENTRY
	FINISHED FLOOR ELEVATION
	PROP. GRADE ELEVATION
	EXISTING CONIFEROUS TREE TO REMAIN AS PER ARBORIST REPORT & TREE PRESERVATION PLAN (TPP)
	EXISTING DECIDUOUS TREE TO REMAIN AS PER ARBORIST REPORT & TREE PRESERVATION PLAN (TPP)
	EXISTING DECIDUOUS & CONIFEROUS TREE CONDITION AND TP2 TO BE CONFIRMED BY ARBORIST FOR TRCA BUFFER PLANTING AREA
	TRCA BUFFER PLANTING AREA AT 80% DENSITY WITH NATIVE TREES AT 5m SPACING AND NATIVE SHRUBS AT 1m SPACING AS PER TRCA STANDARDS.
	PROPOSED DECIDUOUS TREE
	PROPOSED SHRUBS OR PERENNIALS
	PROPOSED SEGMENTAL RETAINING WALL
	PROPOSED UNIT PAVERS
	PROPOSED SOD

BASE INFORMATION

BASE INFORMATION USED IN PREPARATION FOR THE DEVELOPMENT OF THE LANDSCAPE PLAN DOCUMENTATION WAS TAKEN FROM THE FOLLOWING:

PLAN OF SURVEY
PARTS OF LOTS 9, 10 & 11
RANGE A
REGISTERED PLAN 328
CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK
PREPARED BY:
ERTL SURVEYORS, ONTARIO LAND SURVEYORS
1234 REID STREET, UNIT 10, RICHMOND HILL, L4B 1C1
DATED APRIL, 2019

SITE PLAN, DRAWING A-100, PREPARED BY:
JOSEPH N. CAMPIELLI ARCHITECT INC.
10 BUR OAK AVENUE, UNIT 3, MARKHAM, ONT., L6C 0A2
DATED NOVEMBER 20, 2019.
ISSUED FOR SITE PLAN COORDINATION.

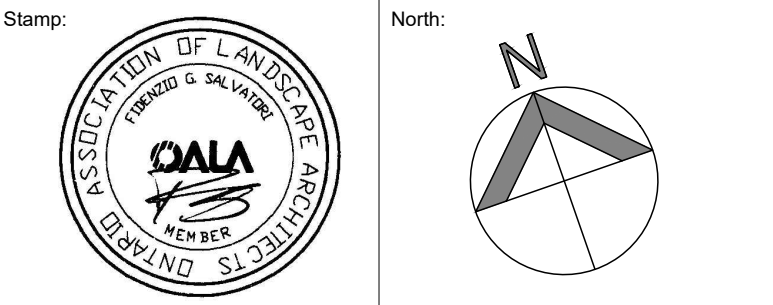
ARBORIST REPORT, TREE PROTECTION AND REMOVAL PLAN
PREPARED BY:
P&A URBAN FORESTRY CONSULTING LTD.
40 BRILLINGER STREET, RICHMOND HILL, ONT., L4C 8Y4
DATED OCTOBER 7, 2019

Submission / Revisions:		
NO.	DATE:	DESCRIPTION:
1	2019.12.13	SITE PLAN APPLICATION
2	2021.07.13	SITE PLAN APPLICATION RESUBMISSION
3	2021.11.05	SITE PLAN APPLICATION RESUBMISSION

Consultant:

**Integrated Design Associates**
Landscape + Urban Design Inc.
19 Thorne Street, Suite 329
Cambridge, Ontario, N1R 1S3
T: 416.543.8743
E: g.tan@integrated-ida.com

Stamp:



Project:

PRIVATE RESIDENCE
10 Mill Street,
Thornhill, Ontario

Drawing Title:

LANDSCAPE PLAN & DETAILS

Job No.: 19113	Dwg. No.:
Date: DEC. 6, 2019	
Revised:	
Drawn: MK	
Checked: GJ, FS	
Scale: 1:150 (24" x 36")	

JOSEPH N CAMPITELLI
ARCHITECT INC.

Project: Proposed Custom Residence
10 Mill Street, Thornhill, On

Issue date: November 22, 2021



Front Elevation Rendering – View 1

Project: Proposed Custom Residence
10 Mill Street, Thornhill, On

Issue date: November 22, 2021



Front Elevation Rendering – View 2

ATTACHMENT 10

**Heritage Impact Statement
10 Mill Street
in the Thornhill-Vaughan Heritage Conservation District
City of Vaughan**



View of the front (south) elevation of the subject property. Photo by authors.

**Phillip H. Carter Architect and Planner
& Paul Oberst Architect
January 2018**

Engagement:

We are architects licensed in Ontario, and professional members of the Canadian Association of Heritage Professionals (CAHP). We were engaged by the owners to produce a heritage impact statement regarding alterations to the property at 10 Mill Street, Thornhill, in the City of Vaughan. The property is designated under Part V of the *Ontario Heritage Act* by virtue of being within the Thornhill Vaughan Heritage Conservation District, and appears in the City's Register of Property of Cultural Heritage Value, by virtue of being in the District.

Contacts:

Heritage Consultants-

Phillip H. Carter Architect and Planner 416-504-6497
phcarch@bellnet.ca

Paul Oberst Architect 416-504-6497
oberst@bellnet.ca

Architect- Joseph N. Campitelli Architect Inc. 905-887-8900
jcampitelli@jnc-architect.com

Owner- Chan Chiu San
mike@santradeplastics.ca

Table of Contents

1. The Mandate	3
2. Introduction to the Site	3
3. Examination of the Property	4
4. Evaluation of the Building under Ontario Regulation 9/06	14
5. The Proposal	15
6. Heritage Evaluation of the Proposal	
7. Bibliography	

Appendices

- A. Ownership Chronology by Su Murdoch Historical Consulting
- B. CVs for Heritage Consultants

1. The Mandate:

The subject property is a protected heritage resource by virtue of its inclusion in the Thornhill Vaughan Heritage Conservation District. It is not otherwise designated as a heritage property.

The Provincial Policy Statement addresses the situation of development on protected heritage resources in Section 2.6.3:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Conserved is defined in the Provincial Policy Statement as follows:

Conserved means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

This Heritage Impact Statement is prepared in compliance with this requirement in the Provincial Policy Statement, and relies on the guidance provided in the City's *Heritage Impact Assessment Terms of Reference*.

2. Introduction to the Site

The property is located on the north side of Mill Street, near the intersection with Old Yonge Street.

The property is described as: Lots 9, 10, and 11, Range A, Registered Plan 328, City of Vaughan, Regional Municipality of York.



Figure 1. Aerial view of the immediate area from Google Maps. Subject property is circled in red.

There is one modern residential structure on the property and two small sheds. The lot is heavily treed.

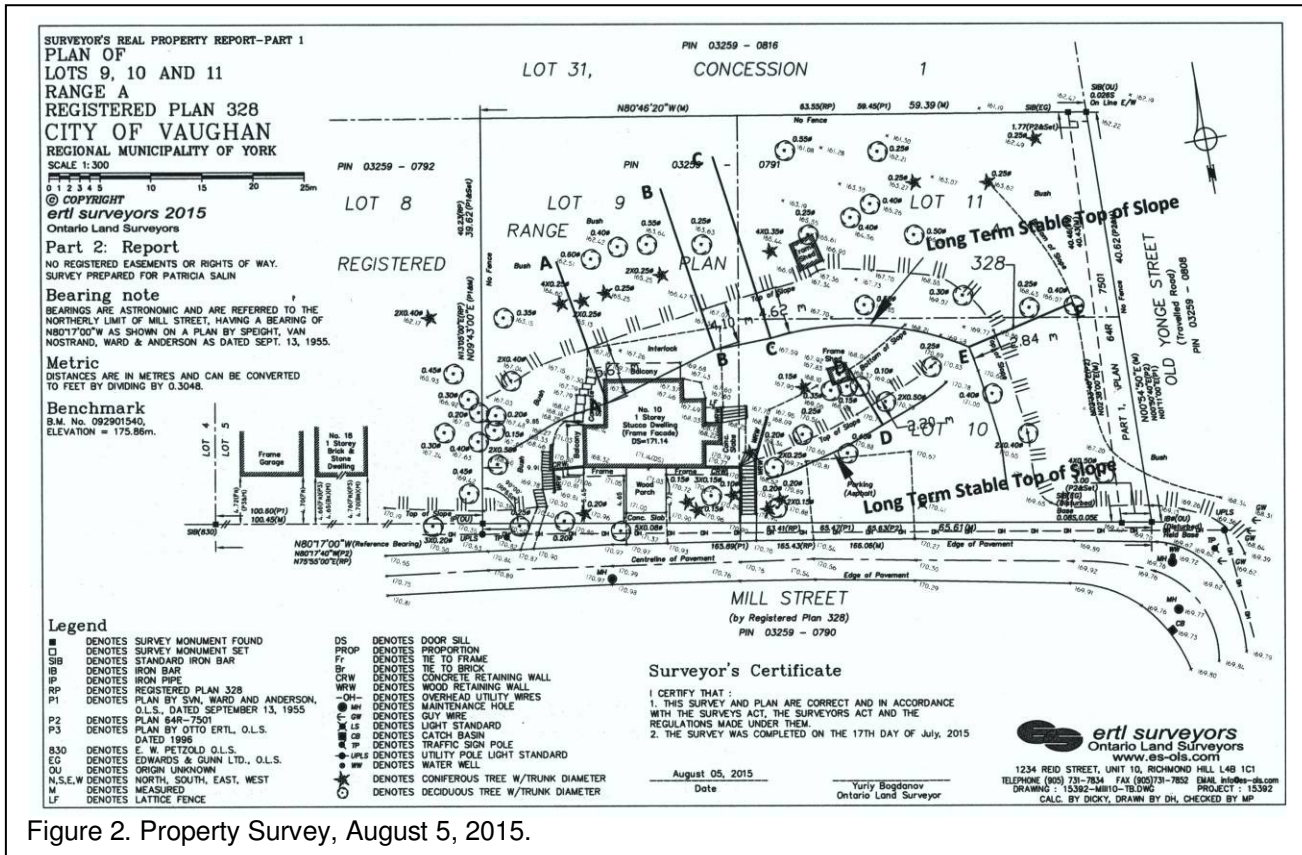


Figure 2. Property Survey, August 5, 2015.

3. Examination of the property

3.1 Description.

The lot frontage on Mill Street is 65.61m, and it is 39.62 m deep on the west lot line. The rear lot line of 59.39m is nearly parallel with the frontage, and the east lot line of 40.62m is at an angle of about 81degrees to the frontage. The western setback of the house is 9.91m, and the front yard setback is 5.45m. The lot slopes downward to the north and east in two steps, with only a small wedge east of the house—providing a parking pad—near the elevation of the street. The elevation of the land at the front of the house is about 0.5m below the pavement, and at the back of the house is about 3m below that. The rear lot line is a further 5m down. A 5m high concrete retaining wall under the front of the house creates the space below for the five lower floor areas of the house. It is literally “built into the hill.”

The house is eccentric dwelling of a modern back-split design. It is upside-down compared to the usual house on a flat site. From the street, only the entry level is visible—it looks like a one-storey building. It is unusual in that it has no windows other than a large side light to the left of the front door. This level, at the front, contains the foyer, living room with balcony, and master suite. The next level down at the rear contains a large family room with balcony. The next level down at the front contains the kitchen and dining room, each with a walk-out. The next level down at the rear contains two bedrooms and a bath. The next level down at the front contains basement storage and the hydro panel. And finally the lowest level to the rear contains the utility room.

The lot is heavily planted with trees and bush, making it difficult to photograph from most angles.

3.2 Measured Drawings

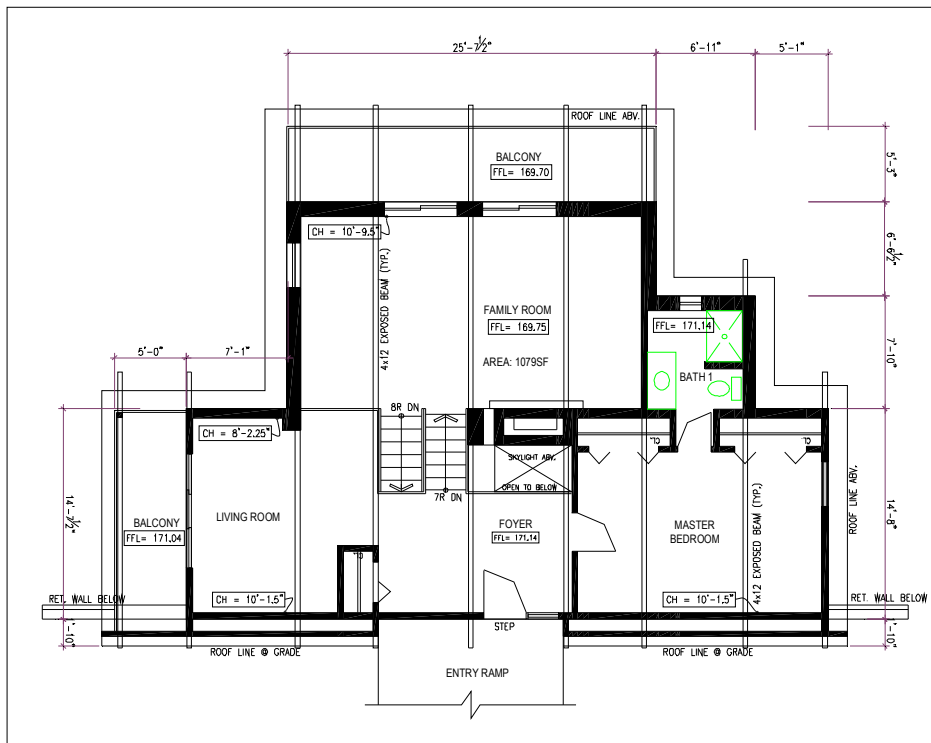


Figure 3.

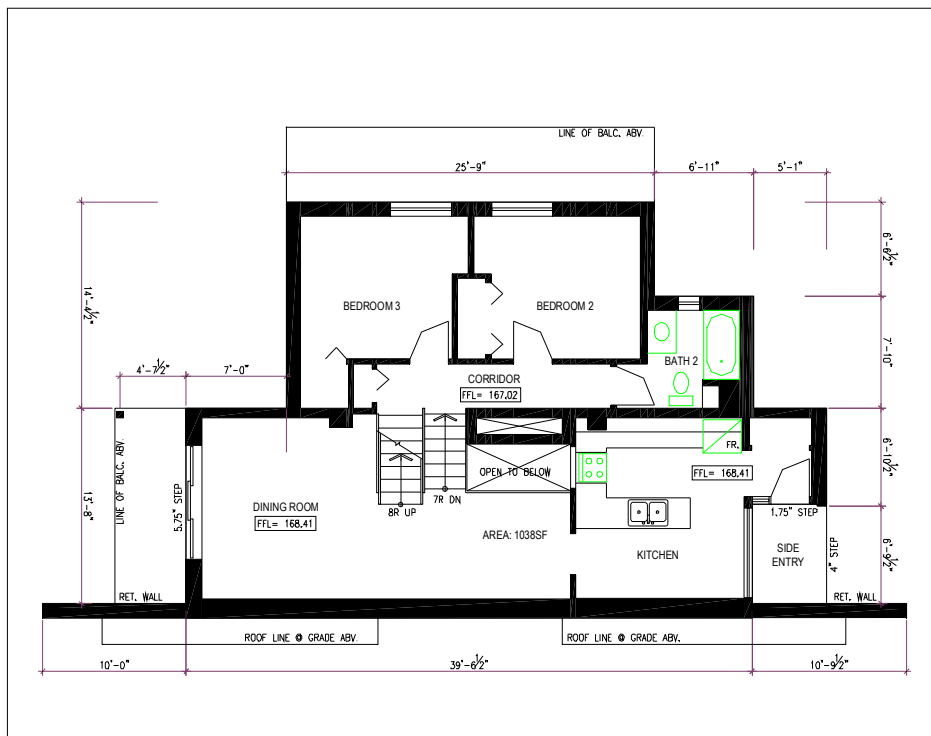


Figure 4.

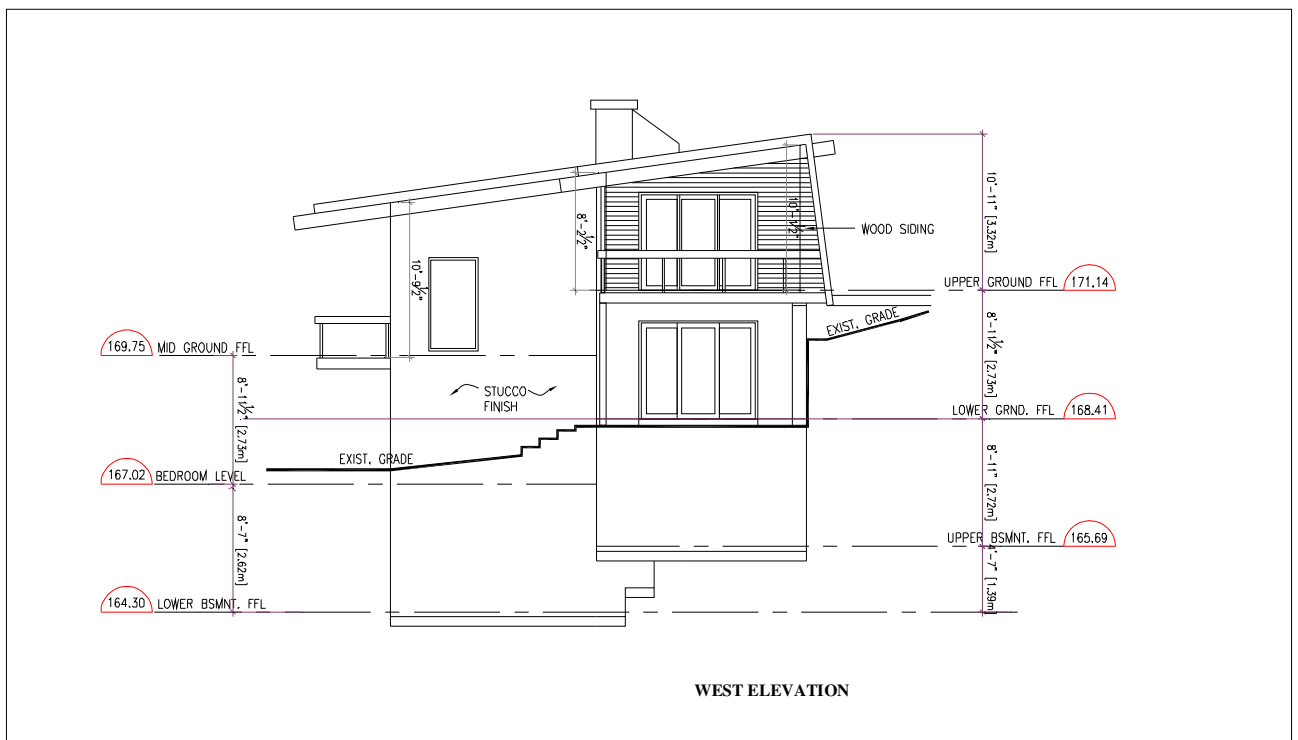


Figure 7.

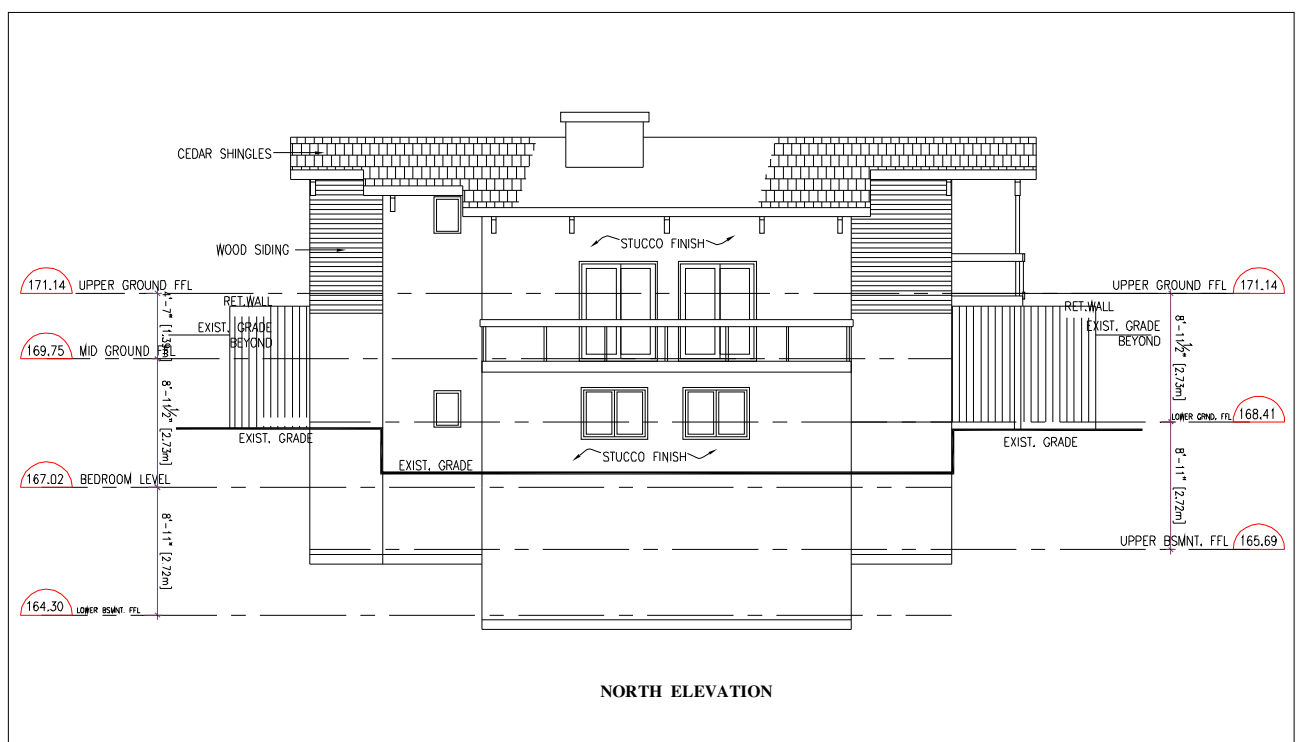
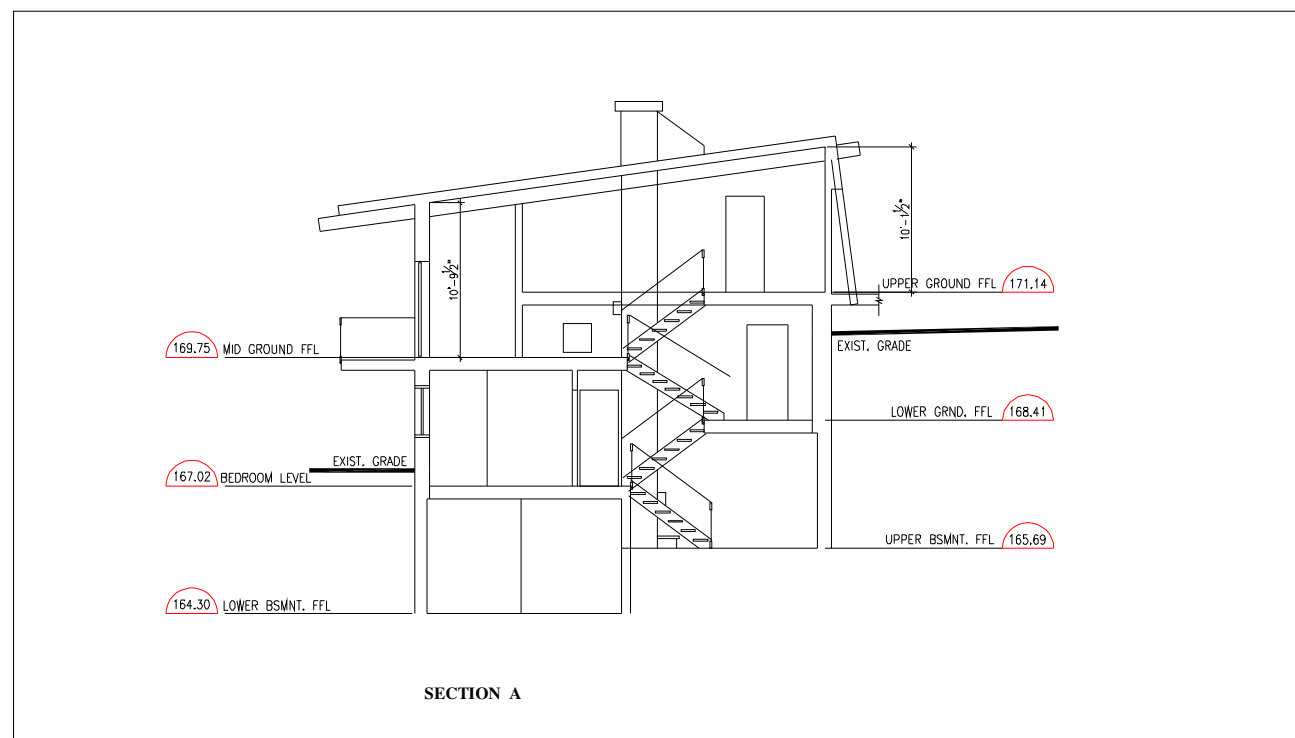
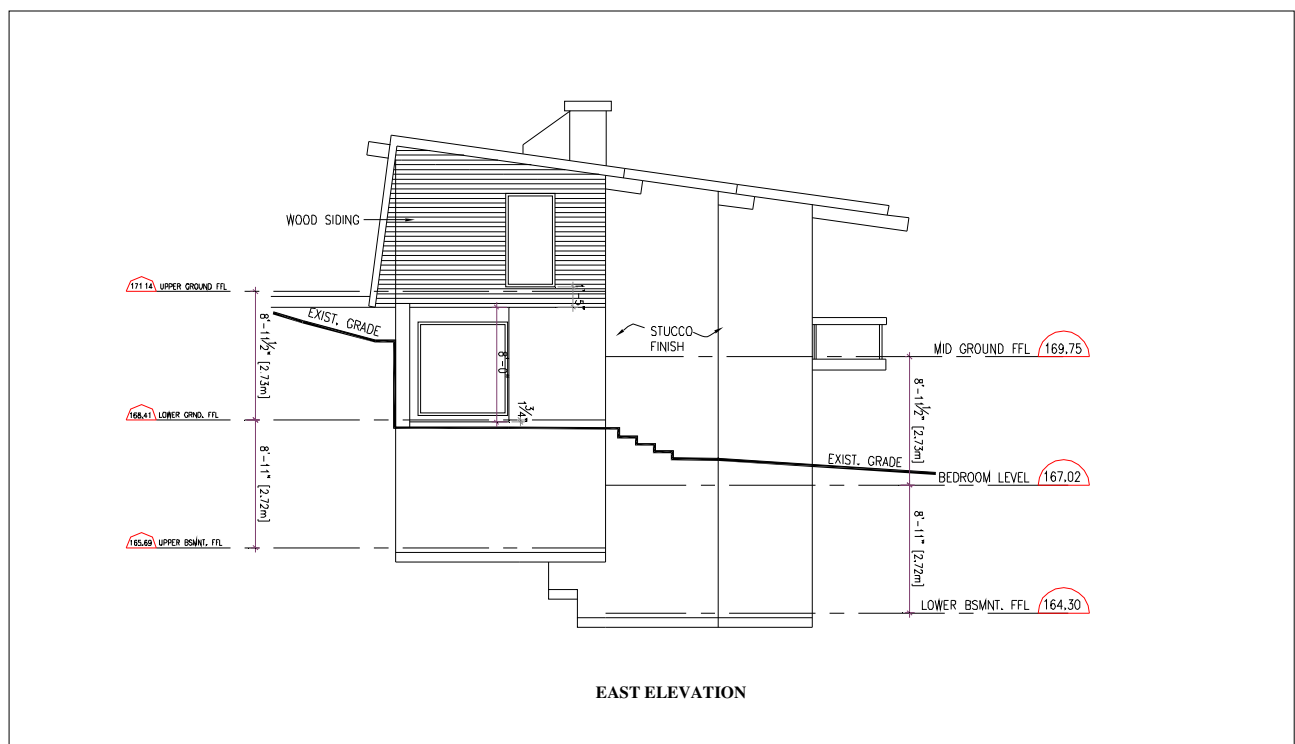


Figure 8.



3.3 Exterior Photographs by Architect



Figure 11. Front entry. Plywood covers broken sidelight. Due to dense vegetation, this is about all that is visible from the roadway.



Figure 12. Looking west along front wall from front entry. Front wall slopes slightly backward.



Figure 12. Plywood removed, showing broken glass.



Figure 13. View from southwest corner showing living room balcony, and end of big retaining wall.



Figure 14. View of northeast corner, again with big retaining wall.



Figure 15. View from northeast. Master bedroom clad in cladding.



Figure 22. View from northeast showing family room balcony on the right.



Figure 16. North side of the house with family room balcony above.



Figure 17. View of living room balcony from below.

3.4 Interior Photographs by Architect



Figure 18. Foyer, front entrance to the right.



Figure 19. Looking from foyer through the living room.



Figure 20. Master bedroom, foyer beyond at the left

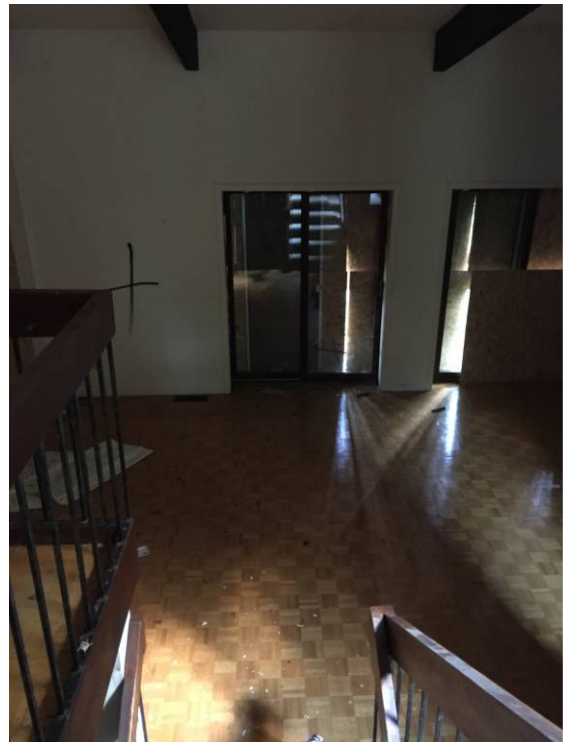


Figure 21. Looking down the stairs from the foyer to the family room.



Figure 22. Family room fireplace.



Figure 23. Dining room, looking toward the walk-out.



Figure 24. Kitchen.



Figure 25. East bedroom.



Figure 26. Grand fireplace in upper basement. This room is entirely below grade. The only natural light comes from the skylight more than 8.5 m above the floor level.



Figure 27. Lower basement. Furnace in the right background.

3.5 SitePhotographs by Architect

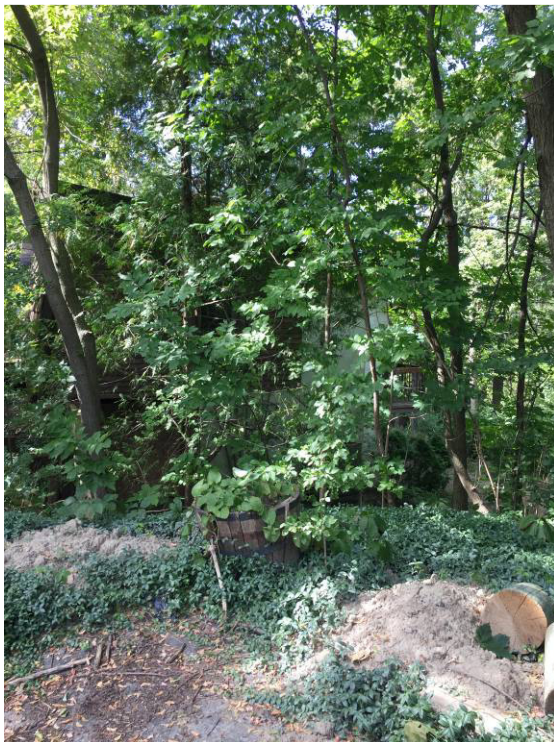


Figure 28. You can just make out the house through the greenery to the east.



Figure 29. Looking north from behind the house..



Figure 30. Looking southeast from the back of the house.



Figure 31. The larger of the two sheds on the property.

3.6 Result of Examination

Condition: The house appears to have not been substantially altered since construction. It has been unused for about two years, and has suffered from vandalism during that time. It also appears that some moisture related damage has occurred.

Design: The front elevation is an extreme version of a short-lived fetish, circa 1970, for heavy mansard roofs—almost always executed in cedar shakes or shingles. This may have come from the “back to nature” ideas of the previous decade. The style is sometimes called Neo-Mansard.



Figure 32. A typical example of 1970s Neo-Mansard Design.

The dearth of windows in the front may have been decided by the proximity of the house to the road, and the contrasting wealth of views from the other elevations. The side and rear elevations are of simple forms, clad in wood clapboard and stucco, with un-elaborated simple openings. The upside-down nature of the floor plans is a response to the rigors imposed by the steep site. By modern standards, the rooms are fairly small and dark. Our general impression is of an inexpensive house cleverly inserted into a difficult site.

4. Evaluation of the property under Ontario Regulation 9/06

Ontario Regulation 9/06 sets out the criteria for designation, referenced in Section 29(1)(a) of the *Ontario Heritage Act* as a requirement for designation under Part IV of the Act.

The Regulation states that “A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:”

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

Our evaluation of the subject property, on the basis of these criteria follows:

1. i, The existing building is a representative example of a deservedly short-lived style, Neo-Mansard.
1. ii, The building does not display a high degree of craftsmanship or artistic merit.
1. iii, There is no demonstration of technical or scientific achievement in the building.

2. i, There are no direct associations of community significance.
2. ii, The building does not yield particular information about the community or culture.
2. iii, There is no identified architect, artist, builder, designer, or theorist.

3. i, The building does not support the historic character of Thornhill, and is not identified as such.
3. ii, The building is linked to its surroundings, but only as to its modest scale.
3. iii, The building is not a landmark, and is barely visible from the public realm.

In our professional opinion, and based on the criteria in Ontario Regulation 9/06, the property at 10 Mill Street in Thornhill-Vaughan does not rise to the standard that would merit designation under Part IV of the *Ontario Heritage Act*.

5. The Proposal

It is proposed to remove the existing house and construct a replacement dwelling on the site. Drawings of the proposed new dwelling are shown below:

7. Bibliography

Carter, Phillip H., et al., Thornhill Vaughan Heritage Conservation District Study and Plan. Vaughan: 2007

Ontario: Ontario Heritage Act, R.S.O. 1990, Chapter O. 18, as amended.

Ontario Ministry of Housing and Municipal Affairs. Provincial Policy Statement 2014, Toronto: 2005

Ontario Ministry of Tourism, Culture and Sport: Ontario Heritage Toolkit, Heritage Conservation Districts, Queen's Printer for Ontario, 2006.

Parks Canada. Standards and Guidelines for the Conservation of Historic Places in Canada, second edition. Queen's Printer, 2010

Appendices:

PROPERTY OWNERSHIP CHRONOLOGY

***10 MILL STREET, THORNHILL
CITY OF VAUGHAN***

***PREPARED FOR
PHILLIP H. CARTER ARCHITECT AND PLANNER PAUL OBERST ARCHITECT***

***ON BEHALF OF
CHIU SAN CHAN***

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JANUARY 2018



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PROPERTY OWNERSHIP CHRONOLOGY

10 MILL STREET, THORNHILL, CITY OF VAUGHAN

LOTS 9, 10, AND 11, RANGE A, PLAN 328, VAUGHAN TOWNSHIP, CITY OF VAUGHAN

1.0 PROPERTY DESCRIPTION AND HERITAGE STATUS

The legal description of the property at 10 Mill Street is Lots 9, 10, and 11, Range A, Plan 328, Vaughan Township, City of Vaughan. This is a .593 acre parcel of land formed by Lot 9 fronting on the north side of Mill Street; Lot 10 fronting on the north side of Mill Street and west side of Old Yonge Street; and Lot 11 fronting on the west side of Old Yonge Street.

The dwelling known municipally as 10 Mill Street is within Lot 9. According to Paul Oberst, this parcel of land is “very steep.” “The house is literally built into the hill, with a 6 m high retaining wall under its front wall, dirt removed, and 6 levels of home (back-split) inserted behind going down the hill.” The property also contains two small sheds and is heavily treed.

This property is within the Thornhill Vaughan Heritage Conservation District (“TVHCD”), which is a geographic area protected by bylaw under Part V of the Ontario Heritage Act. No specific mention is made to 10 Mill Street in the TVHCD Study and Plan. The City of Vaughan Heritage Inventory identifies the dwelling as “1950 Modernism.”

2.0 REPORT OBJECTIVE AND METHODOLOGY

As 10 Mill Street is within the boundary of the TVHCD, the City of Vaughan requires a Heritage Impact Assessment (“HIA”) as part of any application for development or site alteration. The objective of this Property Ownership Chronology is to provide research information, not cultural heritage evaluation, as a component of the HIA being compiled separately by Phillip H. Carter Architect and Planner Paul Oberst.

The information in this report was compiled through a property Title search at the York Region Land Registry Office, and preliminary documentary research. The property was not viewed but recent photographs were supplied by Paul Oberst.

3.0 OVERVIEW HISTORY

3.1 VAUGHAN TOWNSHIP

The original plan for Vaughan Township in York County was a rough sketch dated 1788. The township was surveyed into lots and concessions over several ensuing decades. According to Smith’s Canadian Gazetteer for 1846, in 1842 the population of Vaughan was 4,300. There were six grist mills and twenty five saw mills. “This is a township of excellent land; it is well settled and contains numerous well cleared and highly cultivated farms.”

3.2 THORNHILL VILLAGE

The volume and rapid flow of the Don River allowed the development of a grist mill and a saw mill to the northwest of the subject property. As indicated on Plan 328 (Figure 1), a dam across the river created the millpond necessary to control the flow of water to power the mills. The need for a millpond declined with the rise in the availability of affordable steam power technology.

The following history of the historic village of Thornhill is provided by the City of Vaughan website:

History of Thornhill

The community of Thornhill is divided in half between the City of Markham and the City of Vaughan, and runs along both the east and west sides of Yonge Street. The growth and development of Thornhill is directly related to: the development of Yonge Street as a transportation route; the Don River system running through the village; and Thornhill's proximity to Toronto.

Yonge Street

Yonge Street was first developed as a military road by the first Lieutenant-Governor of Upper Canada, John Graves Simcoe. In 1792, a guide showed Simcoe an aboriginal route connecting Lake Ontario to Lake Simcoe from York (Toronto). The trail was surveyed, and by 1793 William Berczy cleared the trail from Toronto to the present site of Thornhill. Later that year, soldiers were dispatched by Simcoe to finish the road to Holland Landing (Lake Simcoe).

Simcoe also announced a plan to attract settlers to Upper Canada (Ontario) in 1792. The plan offered settlers 80 hectares (200 acres) of land provided they complete these tasks within the first two years of ownership: build a home; clear 10 metres of land across the front of the property for a road; and clear and fence four hectares (10 acres) of grant land.

By 1800, all the lots between what are now Steeles Avenue and Langstaff Road were granted to future settlers. Simcoe's policies helped populate and develop communities throughout Upper Canada.

Benjamin Thorne's mills

The years following the War of 1812 saw another wave of immigration take place. The end of the Napoleonic Wars meant significant social and economic change in Great Britain. This resulted in upper-class families and servicemen leaving Great Britain to start a new life in North America.

The arrival of Benjamin Thorne in 1820 was particularly important. Thorne set up a warehouse in York that dealt with the export of grain and import of iron. He then purchased the remains of a burnt down mill and renovated it into a gristmill. By 1830, he was operating a gristmill, sawmill and tannery. Thorne became a major influence in the economic life of the village. The small settlement became known as Thorne's Mills and then Thorne's Hill.

In 1828, Thorne and his brother-in-law, William Parson, petitioned for a post office. It was granted in 1829 and the village was officially called Thornhill, with Mr. Parson being its first postmaster. By 1830, Thornhill had a variety of services and industries including a distillery, millwright, several blacksmiths, harness makers, shopkeeper, tanner, weaver, sawmills and more.

Growth and development

Between 1830 and 1848, Thornhill experienced constant growth. The business district developed on Yonge Street in the area between Centre Street and John Street. Stagecoaches (covered wagons) travelled between Holland Landing and York as Yonge Street's road conditions improved and many churches, which stand to this day, were built.

Agricultural farming thrived during this period as local farmers took advantage of new mechanical advances, such as reapers (machines that pick crops at harvest) and threshers (machines that separate grain). Millers also found a ready market for their products in the protected British market.

The village acquired further services and the original Crown lots were subdivided to provide for the needs of the new urban class. By 1848, Thornhill was the largest community on Yonge Street north of Toronto, having a population of approximately 700 people.

Thornhill had grown into a busy milling centre by the mid-1840s. However, the factors that fostered its growth, namely government policy, economics and technology, all evolved and changed around mid-century resulting in an extended period of inactivity. The biggest change was the British government's elimination of the Corn Laws in 1846, which ended lower import tariffs for Canadian grain into British markets.

Mill decline

As the need for mills declined, farmers and millers suffered. Thorne was left with no market and went bankrupt. In 1848, he committed suicide after selling his assets and paying off his creditors. This was the first of a long series of events that eroded the economic base of the village:

- A decline in milling continued in the latter part of the 19th century as less lumber was required
- agriculture was in a state of flux by the mid-1870s
- farmers began engaging in mixed farming to protect themselves from fluctuating grain prices

Steam power

By the mid-19th century, steam had replaced waterpower as the main source of energy. Transportation was particularly affected as the railroad was being expanded. Communities wanted the tracks to run through their villages to take advantage of the benefits the trains would bring. Thornhill, however, was bypassed, losing potential growth as a result. By the end of the 19th century, Thornhill had become primarily a service centre for the surrounding farmland.

Railways and automobiles

In 1896, a new mode of transportation, the Metropolitan Radial Railway (bus-like cabins on rails) reached Thornhill, and brought commuters to and from Toronto. Before this railway, the only public transit to the city was a three-hour ride by stagecoach. The electric street railway was a significant improvement in both speed and convenience. For the first time, it was possible to live in Thornhill and work in Toronto. By the late 1920s, the automobile became a popular source of transportation for many people, further facilitating travel along Yonge Street.

4.0 PROPERTY CHRONOLOGY

The legal description of the property at 10 Mill Street is Lots 9, 10, and 11, Range A, Plan 328. Plan 328 is a subdivision of Lots 31 and 32, Concession 1, Vaughan Township (Figure 1).

4.1 EARLY PROPERTY OWNERS

The 210 acres of Lot 32, Concession 1, Vaughan Township, were patented from the Crown on May 17, 1802, by Robert Marsh. The 210 acres of Lot 31, Concession 1, Vaughan, were patented from the Crown on October 11, 1805, by Daniel Soules.

The highest value of the east halves of Lots 31 and 32 was concentrated at the east west boundary between the two, at Yonge Street. This is where the Don River entered the lots with sufficient volume and power to be developed as a mill site. Mill Street began as a laneway between what became Old Yonge Street and the south side of the mill pond to the northwest.

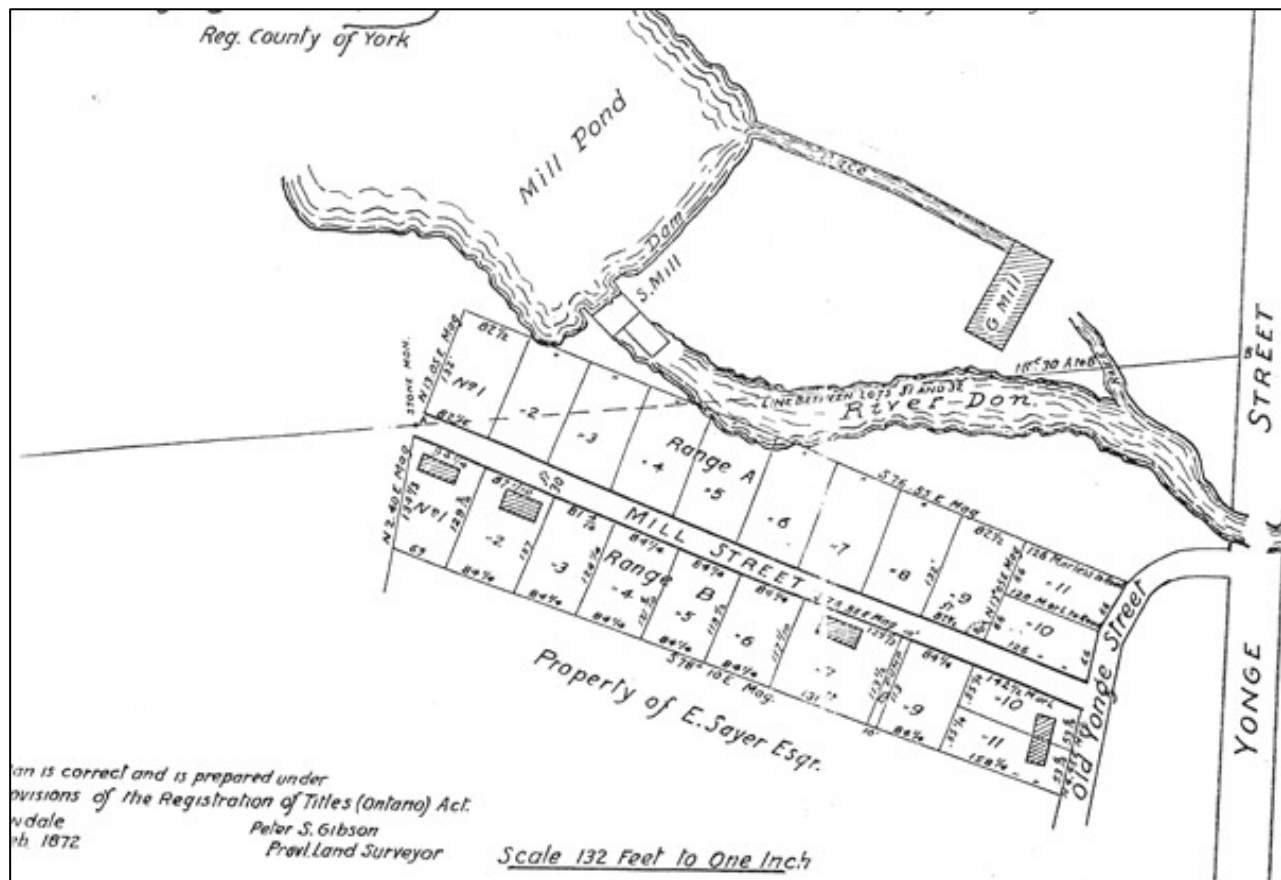


Figure 1: Plan 328, Drawn February 27, 1872. The property at 10 Mill Street is Lots 9, 10, and 11, Range A.

4.2 DAVID McDUGALL

The ownership of all and then subdivided parts of Lots 31 and 32, Concession 1, changed several times between the dates of the Crown Patent and the 1850s.

The Abstracts of Title for Lots 31 and 32, Concession 1, indicate that on May 1, 1852, David “McDougall” acquired from William Proudfoot, 110 acres of Lots 31, 32, and 33, Concession 1. McDougall paid £600 for the acreage but immediately mortgaged it with Proudfoot for £5000. On January 26, 1854, Proudfoot assigned the mortgage to William Cawthra in the amount of £2375.

The 1857-1858 Canada Directory for Thornhill identifies a David McDougall with Thornhill Mills.

David McDougall remortgaged the property (except 15 acres) in September 1861 with William McDougall but by November 1863 the 110 acres were assigned to James McDougall and other creditors. William assigned the mortgage in 1864 to the Quebec Bank. This was partially discharged back to David by Quebec Bank in 1869.

In November 1871, mortgage holder William Cawthra partially discharged the 1852/1854 mortgage to David McDougall, to the amount of \$1,000.

It was David McDougall who had Plan 328 drawn on February 27, 1872, and registered on September 18, 1872, as a subdivision of part of Lots 31 and 32, Concession 1, Vaughan Township. As indicated on Figure 1, the Plan is mostly within Lot 31, with the northwest corner in Lot 32. The surveyor was Peter S. Gibson. There is no building plotted on Lots 9, 10, or 11, Range A, Plan 328, so it is assumed that none were standing on those lots at that date.

4.3 WILLIAM CAWTHRA ESTATE

On September 29, 1879, an Order of Foreclosure was issued by the Court of Chancery in favour of William Cawthra. This Order is presumed to be the result of non payment of the full amount of the 1852/1854 mortgage held by Cawthra.

William Cawthra died in Toronto on October 26, 1880, without leaving a Last Will and Testament. His widow was Sarah Ellen Cawthra.

4.4 JOHN, JOSEPH, AND WILLIAM RANKIN

As permitted by the Order of Foreclosure, the property was sold by tender on February 24, 1882.

A deed dated June 29, 1882, itemizes the sale of several parcels of land within the 110 acres to John Rankin of the village of Thornhill. Rankin paid \$1,500 for 38 acres of Lots 32 and 33,

Concession 1; 4 and 68/100s [or 86/100s] acres within Lots 31 and 32; and 75/100s of an acre also within Lot 31. The amount was paid in a cash and mortgage combination. Of note is that this deed references a plan by Provincial Land Surveyor John Gibson dated March 23, 1878. This is not the date of Plan 328. There is no indication on the Abstracts of Title that this 1878 plan was registered. It is not attached to the deed.

On January 6, 1887, John Rankin, identified as a Thornhill farmer, and his wife Elizabeth sold the lands for \$1,600 to Joseph W. Rankin, a local builder.

On March 29, 1889, Joseph W. Rankin was still identified as a builder in Vaughan Township. On that day, he and his wife Christiana, sold three acres to William Rankin for \$300. The description continues to reference the 1878 Gibson survey. It is possible that these lands abut the north side of the subject property at 10 Mill Street.

4.5 FREDERICK JAMES AND FREDERICK MANNING

The Abstracts of Title for Lots 9, 10, and 11, Range A, Plan 328 (separate from the Abstracts for Lots 31 and 32, Concession 1) do not open until February 6, 1911. On that day, the three lots were sold by local farmer William J. Rankin to Frederick Reesor James and Frederick Scott Manning, both agents living in the City of Toronto. They paid \$145 plus “services rendered” for a total of 4 and 86/100s acres.

This 4 and 86/100s acres is believed to be one of the parcels of land purchased by John Rankin from the heirs of William Cawthra in 1882. The deed does not use the Lots 9, 10, and 11, Plan 328 reference. This suggests that these lots, now measured at .593 acres, are within the larger parcel sold.

4.6 JOHN HENRY RISEBROUGH

Frederick James (an unmarried man) and Frederick Manning with his wife Mary Adeline Manning, sold the 4 86/100s acres to Toronto merchant John Henry Risebrough. This was on May 1, 1911, for \$2,200. This value cannot be compared to the “\$145 plus services rendered” of the sale a month earlier as the dollar value of the “services rendered” is not given.

4.7 THOMAS W. JACKSON

John Risebrough was a widower still residing in Toronto when he sold to Thomas W. Jackson described as a manager living in Thornhill. This was on March 7, 1944, for a dollar and “other good and valuable consideration.” The deed is the first registered document to use the Lots 9, 10, and 11, Range A, Plan 328 description.

The 1945 Voters' List lists a Thomas W. Jackson as a "Dales Engineer, Thornhill." In 1949, he is identified as a "sales engineer, Thornhill." The 1963 Voters' List lists a Thomas W. Jackson, a manager, at 15 Mill Road. In 1965, he is listed as an engineer on Mill Road. No. 15 Mill Road is presumed to be 15 Mill Street, opposite and west of 10 Mill Street.

4.8 RALPH LOCKWOOD ROBINSON AND MARGARET MOORE ROBINSON

Thomas Jackson and his wife Donna P. were still living in Thornhill when on August 17, 1970, they sold to Ralph Lockwood Robinson and his wife Margaret Moore. They paid two dollars but the property tax value of the property is listed on the deed as \$21,000.

On January 25, 1971, and again on February 5, 1971, a Mechanics' Lien was registered by Ejgil Nielson against Ralph and Margaret Robinson of 10 Mill Street and McKinlay Lathing Ltd., Thornhill. The claim was for "drywall taping and finishing" services between December 18, 1970, and January 1971 for the amount of \$464.64 plus \$100 for the lien.

4.9 SUBSEQUENT AND CURRENT OWNERS

It was Margaret Robinson who sold to property to Idin Rangchi in 2015. Rangci sold in 2017 to Chiu San Chan, the current owner.

5.0 CONCLUSION

The architectural assessment undertaken by Paul Oberst concludes the following about the dwelling at 10 Mill Street:

The front elevation is an extreme version of a short-lived fetish, circa 1970, for heavy mansard roofs—almost always executed in cedar shakes or shingles. This may have come from the "back to nature" ideas of the previous decade. The style is sometimes called Neo-Mansard.

The property tax value of \$21,000 for the three lots in 1970 may be indicative of vacant land and/or possibly land with a modest structure. The January 1971 Mechanics' Lien for \$464.64 is too low to be the cost of all the drywall and finishing for the construction of the existing dwelling. It could be a final claim for an unpaid balance. This Lien does confirm that some construction activity was underway between December 1970 and January 1971. This corresponds with Oberst's c.1970 estimated date of construction.

Based on its chronology of ownership and the architectural assessment by Oberst, it is the conclusion of this report that the dwelling at 10 Mill Street was erected in 1970 for Ralph

Lockwood Robinson and his wife Margaret Moore Robinson. There may have been an earlier structure on the property, now demolished. Based on this conclusion, the City's categorizing of the dwelling as "1950 Modernism" is inaccurate.

SOURCES

Abstract of Title and documents for the subject property including Lots 31 and 32, Concession 1, Vaughan Township, and Plan 328.

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