

**CITY OF VAUGHAN
COMMITTEE OF THE WHOLE (PUBLIC HEARING)
AGENDA**

Wednesday, December 5, 2018

7:00 p.m.

Council Chamber

2nd Floor, Vaughan City Hall

2141 Major Mackenzie Drive

Vaughan, Ontario

Pages

1. **DISCLOSURE OF INTEREST**
2. **COMMUNICATIONS**
3. **CONSIDERATION OF PUBLIC HEARING ITEMS**
 1. ARBOR MEMORIAL INC. ZONING BY-LAW AMENDMENT FILE Z.18.002 VICINITY OF REGIONAL ROAD 50 AND REGIONAL ROAD 7
Information Item from the Deputy City Manager, Planning and Growth Management with respect to the above. 3
 2. OFFICIAL PLAN AMENDMENT FILE OP.18.003 ZONING BY-LAW AMENDMENT FILE Z.18.007 1567855 ONTARIO LTD. VICINITY OF KIPLING AVENUE AND WOODBRIDGE AVENUE
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 3. OFFICIAL PLAN AMENDMENT FILE OP.18.014 ZONING BY-LAW AMENDMENT FILE Z.18.021 DRAFT PLAN OF SUBDIVISION FILE 19T-18V008 2748355 CANADA INC. VICINITY OF JANE STREET AND INTERCHANGE WAY
Information Item from the Deputy City Manager, Planning and Growth Management with respect to the above. 35

4. OFFICIAL PLAN AMENDMENT FILE OP.18.015 ZONING BY-LAW
AMENDMENT FILE Z.18.024 CATHOLIC CEMETERIES AND
FUNERAL SERVICES ARCHDIOCESE OF TORONTO VICINITY OF
REGIONAL ROAD 27 AND HIGHWAY 407
Information Item from the Deputy City Manager, Planning and Growth
Management with respect to the above.

4. ADJOURNMENT

ALL APPENDICES ARE AVAILABLE FROM THE CITY CLERK'S OFFICE
PLEASE NOTE THAT THIS MEETING WILL BE AUDIO RECORDED
AND VIDEO BROADCAST

www.vaughan.ca (Agendas, Minutes and Live Council Broadcast)

Committee of the Whole (Public Hearing) Report

DATE: Wednesday, December 05, 2018

WARD: 2

TITLE: ARBOR MEMORIAL INC.

ZONING BY-LAW AMENDMENT FILE Z.18.002

VICINITY OF REGIONAL ROAD 50 AND REGIONAL ROAD 7

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Zoning By-law Amendment File Z.18.002 to permit a crematorium, funeral home and employment uses on the Subject Lands (Attachments #1 and #2).

Report Highlights

- To receive input from the public and Committee of the Whole regarding the proposed crematorium, funeral home and employment uses.
- An amendment to Zoning By-law 1-88 is required to permit the development.
- A technical report to be prepared by the Development Planning Department will be considered at a future Committee of the Whole meeting.

Recommendations

1. THAT the Public Hearing report for Zoning By-law Amendment File Z.18.002 (Arbor Memorial Inc.) BE RECEIVED; and, that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The Subject Lands (the 'Subject Lands') are located south of Regional Road 7, east of Regional Road 50, to the west of Highway 427, and are municipally known as 7541 Regional Road 50. The Subject Lands are bound to the south by a Hydro Corridor and vacant agricultural lands to the north. The future Gibraltar Road extension (local road) will traverse through the Subject Lands and provide access to the future proposed uses. The Subject Lands contain an existing cemetery (Glenview Memorial Gardens), which occupies two-thirds of the Subject Lands with frontage from Regional Road 50. The proposed employment uses on the Subject Lands apply to the lands that will be accessed via the Gibraltar Road extension (Attachment #2). The existing access from Regional Road 50 will remain unchanged and will continue serving the existing cemetery.

A Zoning By-law Amendment Application has been submitted to permit the proposed Development

The Applicant (Cosmopolitan Associates Inc.) on behalf of the Owner (Arbor Memorial Inc.), has filed a Zoning By-law Amendment Application (the 'Application') to rezone the Subject Lands from "A Agricultural Zone" and "OS2 Open Space Park Zone" (Attachment #2) to "EM1 Prestige Employment Area Zone" and "OS2 Open Space Park Zone", in the manner shown on Attachment #3, together with site-specific zoning exceptions identified in Table 1 of this report. The proposal includes a crematorium, funeral home and employment uses (the 'Development') on the Subject Lands, as shown on Attachments #3 and #4.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

- a) Date the Notice of Public Hearing was circulated: November 9, 2018

The Notice of Public Hearing was also posted on the City's website at www.vaughan.ca and a Notice Sign was installed on the property in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: 150 m and the West Woodbridge Homeowners' Association

Any comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

[Item 15, Report No. 14 of the Committee of the Whole, adopted without amendment by the Council of the City of Vaughan on April 5, 2011. Site Development File DA.10.022 \(Memorial Gardens Canada Limited\)](#)

Analysis and Options

The proposed crematorium, funeral home and employment uses conform to Vaughan Official Plan (“VOP 2010”)

The Subject Lands are designated “Private Open Spaces” (westerly two-thirds abutting Regional Road 50) and “Prestige Employment” (easterly one-third of the Subject Lands abutting the future Gibraltar Road extension) within the Section 12.12 Huntington Business Park, Volume 2, by Vaughan Official Plan 2010 (‘VOP 2010’).

The proposed crematorium is located within the “Private Open Spaces” designation on the Subject Lands and is a permitted use. The crematorium is connected to the funeral home by a breezeway. The crematorium is considered accessory to a funeral home and conforms with the *Funeral, Burial and Cremation Services Act, 2002*.

The proposed funeral home and employment uses are primarily located within the “Prestige Employment” designation which conforms with VOP 2010. Only landscaping and parking areas associated with the employment use are located within the “Private Open Spaces” designation.

The overall site plan (Attachment #3) illustrates the limit of the proposed zone boundary between the proposed OS2 and EM1 Zones. The Owner is proposing to adjust the current OS2 Zone boundary approximately 18 m to the west. This area is designated “Private Open Spaces” by VOP 2010. Section 10.2.1.6 of VOP 2010 states (in part): “...where the intent of this Plan is maintained, minor adjustments to boundaries will not require an amendment to this Plan”. The landscaping and parking associated with the proposed funeral home and employment uses within this area are privately operated and will maintain the intent of the “Private Open Spaces” and “Prestige Employment” designations. The proposed Zoning Amendment conforms to VOP 2010.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are zoned “OS2 Open Space Park Zone”, subject to site-specific Exception 9(1139) and “A Agricultural Zone” by Zoning By-law 1-88, as shown on Attachment #2. The OS2 Zone, Exception 9(1139) permits the current cemetery use and the proposed crematorium use.

The portion of the Subject Lands Zoned “A Agricultural Zone” is proposed to be rezoned to “EM1 Prestige Employment Area Zone” to permit the proposed employment and funeral home uses.

TransCanada Pipeline Limited has acquired an 18 m wide pipeline easement parallel to the future Gibraltar Road extension, as shown on Attachment #3. The required easement has displaced lands intended for the proposed funeral home and employment uses to the west approximately 18 m, and an adjustment to OS2 Zone boundary is proposed. These lands are proposed to be rezoned from “OS2 Open Space Park Zone” to “EM1 Prestige Employment Area Zone”.

The following site-specific zoning exceptions are also required to the “EM1 Prestige Employment Area Zone” and “OS2 Open Space Park Zone” to permit the Development shown on Attachments #3 and #4:

Table 1:

	Zoning By-law 1-88 Standard	EM1 Prestige Employment Area Zone Requirements	Proposed Exceptions to the EM1 Prestige Employment Area Zone Requirements
a.	Permitted Uses	A Funeral Home is permitted within a Single Unit Building	Permit a Funeral Home in a Single Unit Building that may be connected to another cemetery use by a covered walkway
b.	Minimum Landscape Strip Width abutting an EM1 Zone boundary Containing Funeral Home and Employment Uses	7.5 m	0 m
c.	Minimum Driveway Width (one-way Beneath Canopy)	5.4 m	5 m

	Zoning By-law 1-88 Standard	EM1 Prestige Employment Area Zone Requirements	Proposed Exceptions to the EM1 Prestige Employment Area Zone Requirements
d.	Required Parking for any Building, Structure or Use Across Zone Boundaries	Shared parking spaces for any building, structure, or use is not permitted across zone boundaries.	To permit required parking for any building, structure or use to be shared across zone boundaries

Additional zoning exceptions may be identified through the detailed review of the Application and will be considered in a technical report to a future Committee of the Whole meeting.

Through a preliminary review of the Application, the Development Planning Department has identified matters to be reviewed in detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Consistency and Conformity with the PPS, Growth Plan, YROP 2010, and VOP 2010	<ul style="list-style-type: none"> The Application will be reviewed for consistency with the <i>Provincial Policy Statement 2014</i> (the “PPS”), and for conformity with the <i>Growth Plan for the Greater Golden Horseshoe 2017</i> (the “Growth Plan”), the York Region Official Plan (“YROP 2010”) and Vaughan Official Plan 2010 (“VOP 2010”).
b.	Funeral Burial and Cremation Services Act, RSO 2002	<ul style="list-style-type: none"> The Application will be reviewed in consideration of the requirements of the <i>Funeral Burial and Cremation Services Act, RSO 2002</i> (the “FBCSA”).
c.	Appropriateness of the Proposed Zoning By-law Amendments	<ul style="list-style-type: none"> The appropriateness of the proposed amendments to Zoning By-law 1-88 will be reviewed in consideration of the existing and planned uses to implement the “Prestige Employment” and “Private Open Spaces” policies of VOP 2010. The Owner has submitted a Planning Justification Report in support of the Application, which must be reviewed to the satisfaction of the Development Planning Department.

	MATTERS TO BE REVIEWED	COMMENT(S)
d.	Reports and Studies	<ul style="list-style-type: none"> ▪ The following studies and reports submitted in support of the Application must be approved to the satisfaction of the City and/or respective public approval authority: <ul style="list-style-type: none"> • Access Study • Arborist Report • Archaeological Brief • Planning Justification Report • Environmental Site Assessment (the 'ESA') and Reliance Letter • Functional Servicing Brief • Urban Design Brief <p>Additional studies/reports may be required as part of the development application review process.</p>
e.	Block 57/58 Huntington Business Park Block Plan	<ul style="list-style-type: none"> ▪ The Subject Lands are located within the approved Block 57/58 Huntington Business Park - Block Plan. The Development must be reviewed in consideration of the approved Block Plan and the applicable Architectural Design Guidelines and Block 57/58 Urban Design Guidelines within the Employment Area.
f.	Block 57/58 Developers' Group Agreement	<ul style="list-style-type: none"> ▪ The Owner will be required to satisfy all obligations financial or otherwise of the Block 57/58 Developers' Group Agreement, to the satisfaction of the Block 57/58 Block Trustee and the City of Vaughan.
g.	TransCanada Pipeline Limited. ("TransCanada")	<ul style="list-style-type: none"> ▪ An easement and temporary workspace lands abutting the proposed extension of Gibraltar Road have been acquired by TransCanada. Any required setbacks or buffers must be reviewed and approved to the satisfaction of the City and TransCanada.
h.	Ministry of Transportation ("MTO")	<ul style="list-style-type: none"> ▪ The MTO advises that the Subject Lands are located within an MTO Permit Control Area and that an MTO Building and Land Use Permit is required prior to commencement of any construction/works on the Subject Lands. MTO sign permits may also be required.

	MATTERS TO BE REVIEWED	COMMENT(S)
i.	Toronto and Region Conservation Authority ("TRCA")	<ul style="list-style-type: none"> A small portion of the Subject Lands are situated within the TRCA regulated area. The proposed development limits and any other required setbacks and or buffers must be reviewed and approved to the satisfaction of the City and the TRCA.
j.	Hydro One Networks Inc. ("Hydro One")	<ul style="list-style-type: none"> The Subject Lands abut the Hydro One corridor to the south. Any required setbacks/requirements affecting Hydro One's 'High Voltage Facilities and Corridor Lands' must be reviewed and approved to the satisfaction of Hydro One.
k.	Future Site Development Application	<ul style="list-style-type: none"> The submission of a future Site Development Application will be required to facilitate the Development. The following matters, but not limited to, will be considered: <ul style="list-style-type: none"> The relationship of the building setbacks, height and design within the immediate area, and in consideration of the setbacks as required by TransCanada Pipeline Limited The appropriate site design The provision of enhanced landscaping, snow storage area(s), waste collection, stormwater management, and site servicing and grading The number of surface parking spaces abutting the future local collector road (Gibraltar Road) Pedestrian and barrier-free accessibility The requirement for the future Gibraltar Road extension to serve the Development and any potential requirement for a turning circle at the proposed terminus of the road Proper stormwater management and retention measures to ensure any runoff/drainage is properly maintained on site Proper vehicular access and turning movements from all roads (Regional Road 50 and future Gibraltar Road) including service vehicles such as fire and garbage trucks
l.	Sustainable Development	<ul style="list-style-type: none"> Opportunities for sustainable design, including CPTED (Crime Prevention Through Environmental Design), LEEDS (Leadership in Energy and Environmental

	MATTERS TO BE REVIEWED	COMMENT(S)
		Design), permeable pavers, bio-swales, drought tolerant landscaping, bicycle racks to promote alternative modes of transportation, energy efficient lighting, reduction in pavement and roof-top treatment to address the "heat island" effect, green roofs, etc., will be reviewed.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Application has been circulated to the York Region Community Planning and Development Services Department, and the Region of Peel for review and comment. Any issues identified when the technical report is considered.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of this Application will be considered in the technical review of the Application. Comments from the public and Vaughan Council expressed at the Public Hearing or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Natalie Wong, Planner at extension 8866.

Attachments

1. Context Location Map
2. Location Map
3. Proposed Zoning and Overall Site Plan
4. Site Plan and Proposed Zoning

Prepared by

Natalie Wong, Planner ext. 8866

Clement Messere, Senior Planner ext. 8409

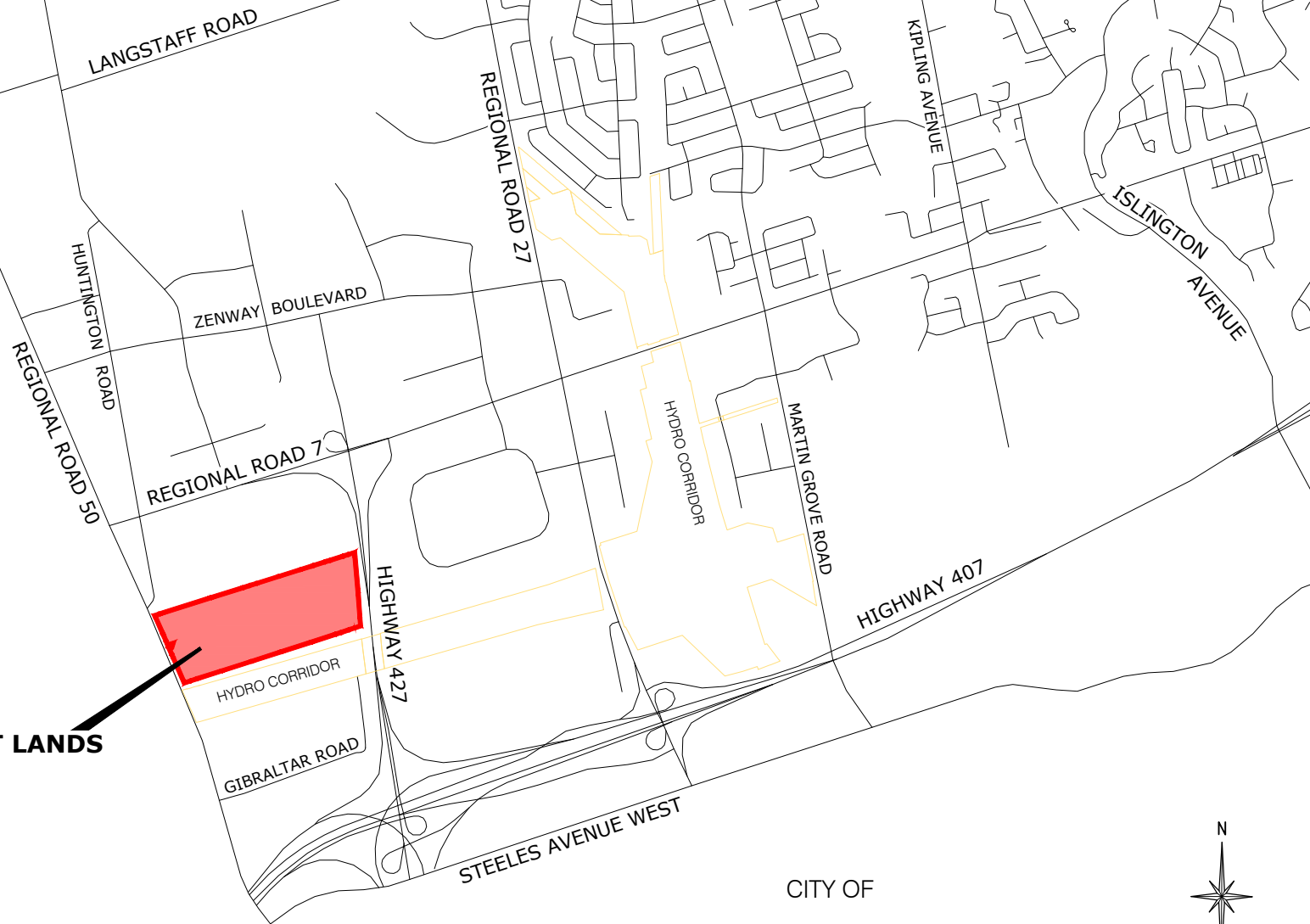
Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Mauro Peverini, Director of Development Planning ext. 8407

/LG

CITY OF
BRAMPTON

SUBJECT LANDS



Not to Scale

Context Location Map

LOCATION: Part of Lot 4, Concession 9;
7541 Highway 50

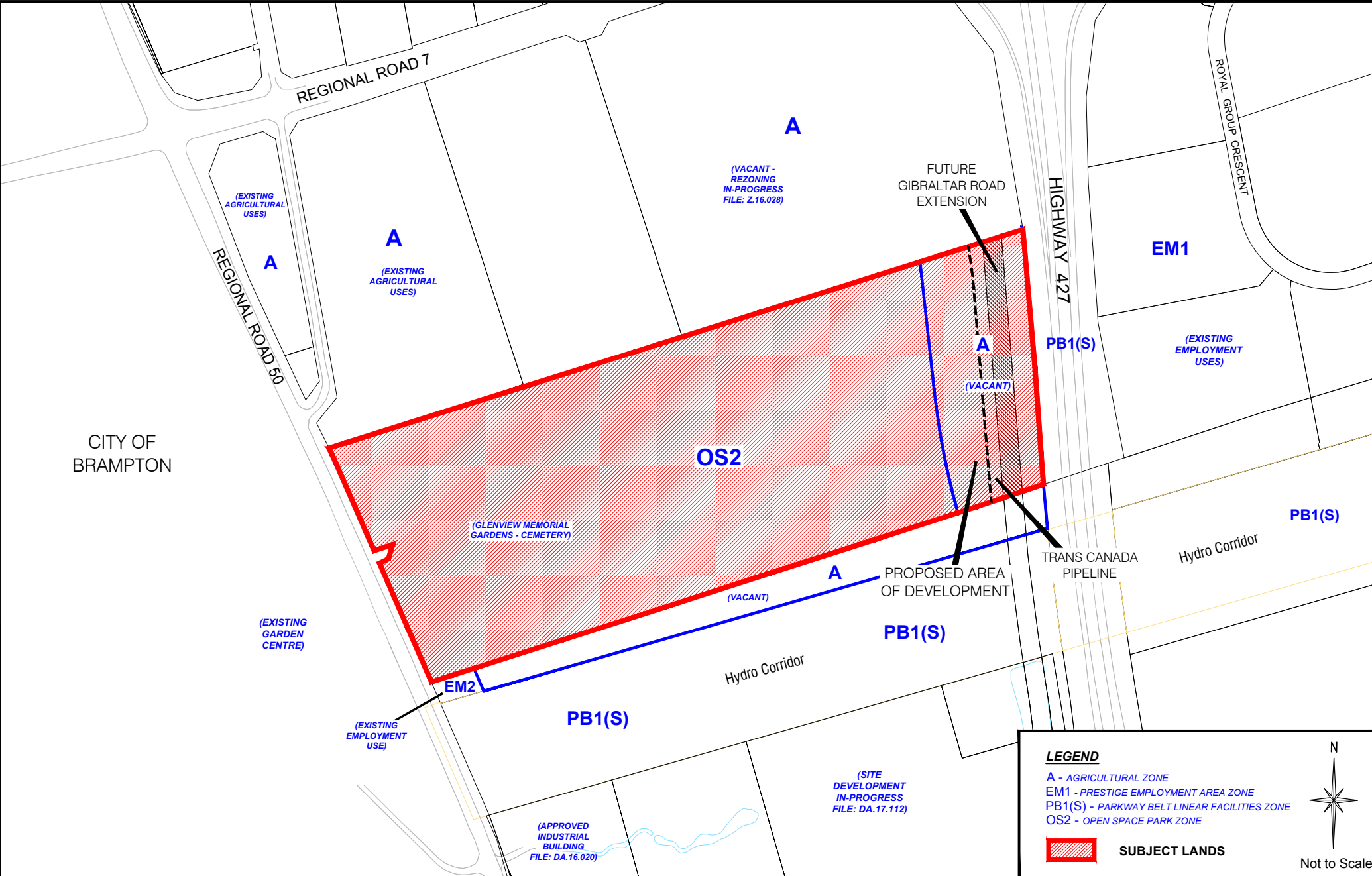
APPLICANT:
Arbor Memorial Inc.

Attachment

FILE:
Z.18.002

DATE:
December 5, 2018

1



Location Map

LOCATION: Part of Lot 4, Concession 9;
7541 Highway 50

APPLICANT:
Arbor Memorial Inc.

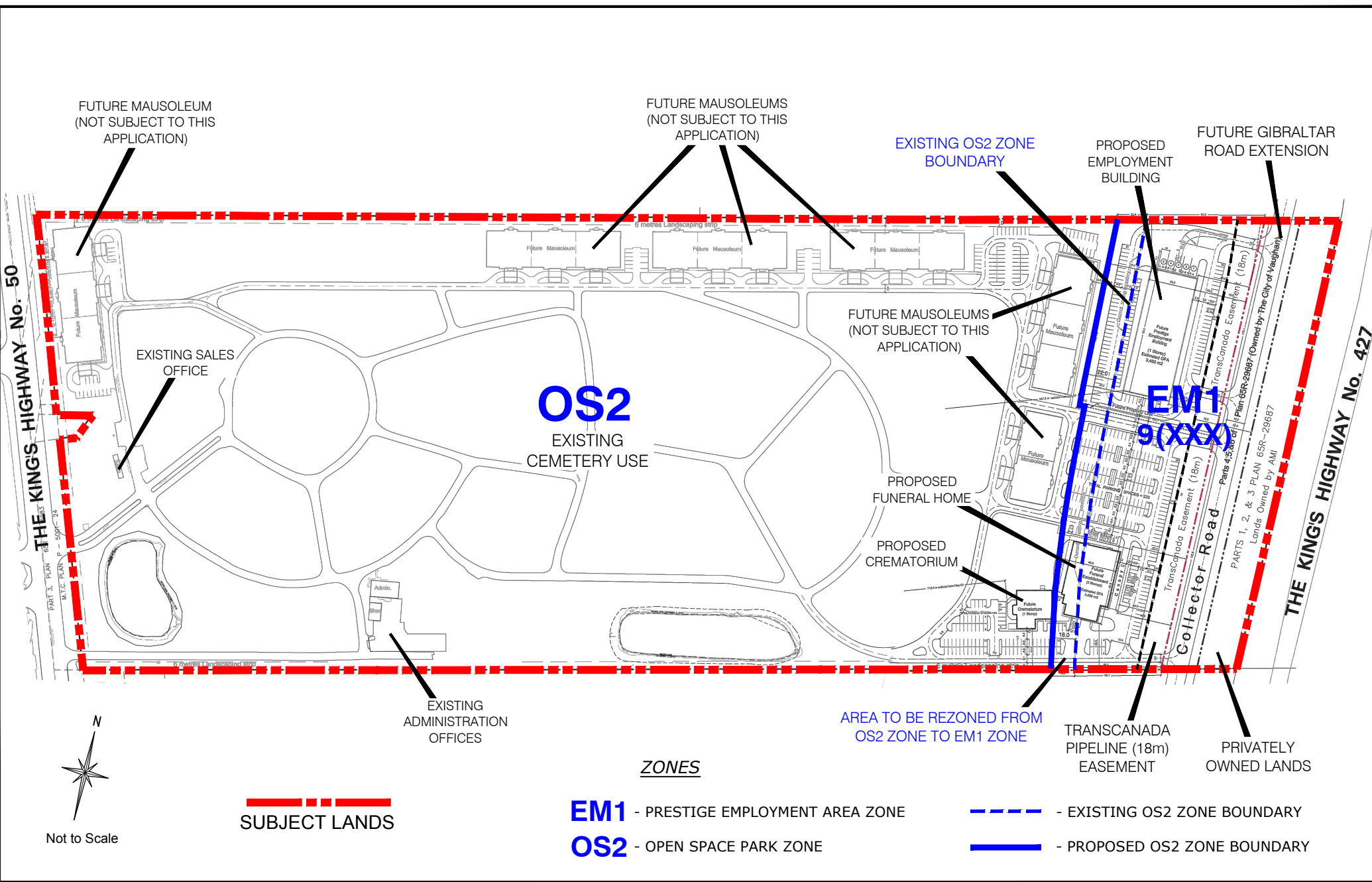
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Attachment

FILE:
Z.18.002

DATE:
December 5, 2018

2



Proposed Zoning and Overall Site Plan

APPLICANT: Arbor Memorial Inc. **LOCATION:** Part of Lot 4, Concession 9; 7541 Highway 50

Committee of the Whole (Public Hearing) Report

DATE: Wednesday, December 05, 2018

WARD: 2

**TITLE: OFFICIAL PLAN AMENDMENT FILE OP.18.003
ZONING BY-LAW AMENDMENT FILE Z.18.007
1567855 ONTARIO LTD.
VICINITY OF KIPLING AVENUE AND WOODBRIDGE AVENUE**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.18.003 and Z.18.007 for the Subject Lands shown on Attachments #1 and #2, to permit the development of a 3-storey residential apartment building, containing 45 rental units, as shown on Attachments #3 to #6.

Report Highlights

- To receive input from the public and the Committee of the Whole on a development proposal for a 3-storey residential apartment building consisting of 45 rental units, a Floor Space Index ('FSI') of 1.89 times the area of the lot, and served by 40 parking spaces.
- Official Plan and Zoning By-law Amendments are required to permit the proposed development.
- A technical report to be prepared by the Development Planning Department will be considered at a future Committee of the Whole meeting.

Recommendations

1. THAT the Public Hearing report for files OP.18.003 and Z.18.007 (1567855 Ontario Ltd.), BE RECEIVED; and that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The Subject Lands (the 'Subject Lands') shown on Attachments #1 and #2 are located on the west side of Kipling Avenue, north of Woodbridge Avenue, and are municipally known as 8010 Kipling Avenue. The surrounding land uses are shown on Attachment #2.

Official Plan Amendment and Zoning By-law Amendment Applications are required to permit the proposed development

The Owner has submitted the following Applications (the 'Applications') for the Subject Lands shown on Attachments #1 and #2 to permit a 3-storey residential apartment building, containing 45 rental units, with an FSI of 1.89 times the area of the lot, a lot coverage of 70%, 39 underground parking spaces and 1 surface parking space (the 'Development'), as shown on Attachments #3 to #6:

1. Official Plan Amendment File OP.18.003 to amend Vaughan Official Plan 2010 ("VOP 2010"), specifically Volume 2, Section 11.5 Kipling Avenue Corridor Secondary Plan ("KACSP") to:
 - a) redesignate the Subject Lands from "Low-Rise Mixed-Use" and "Low-Rise Residential B" to "Mid-Rise Residential";
 - b) amend policies 11.5.2.6 and 11.5.12 of VOP 2010, Volume 2 as follows:
 - i) increase the maximum permitted FSI from 0.7 to 1.89 FSI;
 - ii) increase the lot coverage from 50% to 70%;
 - iii) permit a residential Apartment Building.
2. Zoning By-law Amendment File Z.18.007 to amend Zoning By-law 1-88 to rezone the Subject Lands from "R3 Residential Zone" to "RA2 Apartment Residential Zone" in the manner shown on Attachment #3, together with the site-specific zoning exceptions identified in Table 1 of this report.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

- a) Date the Notice of Public Hearing was circulated: November 9, 2018.

The Notice of Public Hearing was also posted on the City's web-site at www.vaughan.ca and a Notice Sign was installed along Kipling Avenue street frontage in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: To all property owners within 150 m of the Subject Lands and to the West Woodbridge Homeowners Association.
- c) To date, the Development Planning Department has not received any comments.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not Applicable.

Analysis and Options

Amendments to VOP 2010 are required to permit the proposed Development

The Subject Lands are located within a 'Local Centre' as identified on Schedule 1-Urban Structure of VOP 2010 and within the KACSP. The front one-third of the Subject Lands abutting Kipling Avenue is designated "Low-Rise Mixed-Use" by the KACSP and the balance of the property is designated "Low-Rise Residential B" by VOP 2010. The portion of the lands designated "Low-Rise Residential B" are also subject to Section 11.5.2.6 of the KACSP, the Rainbow Creek South – South East Area, which conceptually illustrates a townhouse development with maximum density of 0.7 FSI and network of street and pedestrian connections as shown on Map 11.5N the Rainbow Creek South Industrial Lands Low Rise Residential Neighbourhood (Attachment #7).

The existing land use designations do not contemplate a 3-storey building with a lot coverage of 70% and an FSI of 1.89 times the lot area. Amendments to the KCASP are required to permit the proposed Development.

The Owner is proposing to redesignate the Subject Lands to "Mid-Rise Residential" and amend policies 11.5.2.6 and 11.5.12 together with site-specific exceptions to the KACSP to implement the proposed Development.

Amendments to Zoning By-law 1-88, are required to permit the proposed Development

The Subject Lands are zoned R3 Residential Zone by Zoning By-law 1-88, subject to site-specific Exception 9(267), which does not permit the proposed Development. The

Owner is proposing to rezone the Subject Lands from R3 Residential Zone to RA2 Apartment Residential Zone, together with the following site-specific exceptions:

Table 1

	Zoning By-law 1-88 Standard	RA2 Apartment Residential Zone Requirements	Proposed Exceptions to the RA2 Apartment Residential Zone Requirements
a.	Minimum Front Yard Setback (Kipling Avenue)	7.5 m	4.5 m
b.	Minimum Lot Area/Unit	80 m ² /unit	40 m ² /unit
c.	Minimum Rear Yard Setback (West)	7.5 m	4.5 m
d.	Minimum Interior Yard Setbacks (North and South)	4.5 m	3 m
e.	Minimum Amenity Area	1,250 m ²	318 m ²
f.	Minimum Number of Parking Spaces	45 units @ 1.5 spaces/ unit = 68 parking spaces + 45 units @ 0.25 spaces/unit for visitor parking = 12 Total Parking Required = 79 spaces	7 units (1 Bdrm) @ 0 spaces/unit = 0 spaces + 28 units (1 Bdrm + Den) @ 0.85 spaces/unit = 24 spaces + 10 units (2 Bdrm) @ 0.95 spaces/unit 10 = 9 spaces +

	Zoning By-law 1-88 Standard	RA2 Apartment Residential Zone Requirements	Proposed Exceptions to the RA2 Apartment Residential Zone Requirements
			45 units @ 0.15 visitor parking spaces/unit = 7 Total Parking Provided = 40 spaces
g.	Minimum Front Yard Setback to Excavated Open and Unclosed Stairs	5.7 m	0 m
h.	Minimum Lot Frontage	30 m	25.2 m (existing)
i.	Minimum Parking Space Size	2.7 m x 6 m	2.6 m x 6 m
j.	Minimum Driveway Width at Property Line	7.5 m	6.7 m
k.	Minimum Loading Space Size	3.5 m x 9 m	3 m x 6.4 m
l.	Location of a Loading Space	Loading space shall be located between the building and the rear lot line	Permit a loading space to be located between the building and front lot line

	Zoning By-law 1-88 Standard	RA2 Apartment Residential Zone Requirements	Proposed Exceptions to the RA2 Apartment Residential Zone Requirements
m.	Minimum Landscape Strip Abutting Kipling Avenue	6 m	4.5 m 0 m at staircase

Additional zoning exceptions may be identified through the detailed review of the applications and will be considered in a technical report to a future Committee of the Whole meeting.

Through a preliminary review of the Applications, the Development Planning Department has identified the following matters to be reviewed in greater detail:

	MATTERS TO BE REVIEWED	COMMENTS
a.	Provincial Policies, Growth Plan, and York Region and City of Vaughan Official Plan Policies	<ul style="list-style-type: none"> The Applications will be reviewed in consideration of the statutory policies including the <i>Provincial Policy Statement (2014) (the "PPS")</i>, the <i>Growth Plan for the Greater Golden Horseshoe 2017 (the "Growth Plan")</i>, and the policies of the York Regional Official Plan (YROP 2010).
b.	Appropriateness of Proposed Amendments to VOP 2010	<ul style="list-style-type: none"> The proposed redesignation of the Subject Lands and the amendments to VOP 2010 will be reviewed in consideration of the policies of VOP 2010 specifically, Volume 2, Chapter 11.5 - The Kipling Avenue Corridor Secondary Plan. The current land use permissions require that a 'Low-Rise Mixed-Use' building be provided along Kipling Avenue and the balance of the Subject Lands be developed with a low-rise built form consisting either of townhouses, stacked

	MATTERS TO BE REVIEWED	COMMENTS
		<p>townhouses and semi-detached units connected by a network of streets and pedestrian walkways. The proposed Development is for a residential rental apartment building on the entirety of the Subject Lands.</p> <ul style="list-style-type: none"> ▪ The proposed “Mid-Rise Residential” designation permits a building with a 4-storey podium increasing to a maximum of 6-storeys, stepping back on a 45 degree angle plane from the podium, with a FSI of 2.5 and lot coverage of 80%. The proposed redesignation of the Subject Lands to “Mid-Rise Residential” and the site-specific amendments to VOP 2010 required to implement the Development will be reviewed in consideration of the existing and planned land uses and the street and pedestrian networks of the area neighbourhood. ▪ The appropriateness of redesignating the Subject Lands from “Low-Rise Residential” to “Mid-Rise Residential” together with the amendments to VOP 2010 will be reviewed in consideration of the policies of VOP 2010 specifically, Volume 2, Kipling Avenue Corridor Secondary Plan - Chapter 11.5, the Neighbourhood Plan (Map 11.5N - Attachment #7) and the area context.
c.	Appropriateness of the Proposed Rezoning and Site-Specific Zoning Exceptions	<ul style="list-style-type: none"> ▪ The appropriateness of the proposed rezoning of the Subject Lands to permit the Development, together with the required site-specific zoning exceptions identified in Table 1 of this report, will be reviewed in consideration of the surrounding existing and planned land uses, with particular consideration given to land use compatibility, built-form, building height and setbacks, adequate parking,

	MATTERS TO BE REVIEWED	COMMENTS
		the adjacent heritage building, and pedestrian and vehicular accessibility.
d.	Woodbridge Heritage Conservation District Plan	<ul style="list-style-type: none"> ▪ The Subject Lands are located within the Woodbridge Heritage Conservation District ("WHCD") Plan and within the Kipling Avenue North Character Area. The Subject Lands are located immediately adjacent to 8006 Kipling Avenue, which contains a heritage contributing building. The Development will be reviewed for conformity with the WHCD Plan. ▪ The Development must be reviewed by the Heritage Vaughan Committee. ▪ The Owner has submitted a Cultural Heritage District Impact Assessment ("CHIA") to assess the impact of the Development and its conformity with the surrounding area within the Woodbridge Heritage Character Area. The CHIA is being reviewed by the Development Planning Department in consideration of the requirements of the WHCD Plan.
e.	Proposed Rental Building/Housing Options	<ul style="list-style-type: none"> ▪ The Development includes a rental housing tenure which is supported by policies of the PPS, YROP, and VOP 2010, that encourage increased housing choices. The Development may be eligible for York Region Rental Housing incentive programs for private market rentals. Should the Applications be approved, mechanisms to ensure the units remain as purpose built rental units will be reviewed.

	MATTERS TO BE REVIEWED	COMMENTS
f.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner has submitted the following studies and reports in support of the Applications, which must be approved to the satisfaction of the City and/or respective public approval authority: <ul style="list-style-type: none"> - Planning Justification Report - Arborist Report - Cultural Heritage Impact Assessment - Functional Servicing and Stormwater Management Reports - Community Service and Facility Study - Noise and Vibration Study - Urban Design Brief - Transportation Study - Phase One and Two Environmental Site Assessment Reports - Draft Official Plan Amendment and Zoning By-law Amendment - Geotechnical Investigation Report - Hydrogeological Assessment <p>Additional reports or studies may be required as part of the development application review process.</p>
g.	Allocation and Servicing	<ul style="list-style-type: none"> ▪ The availability of water and sanitary servicing capacity for the Development must be identified and allocated by Vaughan Council, if the Applications are approved. If servicing is unavailable, the Subject Lands will be zoned with a Holding Symbol "(H)", which will be removed once Vaughan Council identifies and allocates servicing capacity to the Subject Lands.

	MATTERS TO BE REVIEWED	COMMENTS
h.	Cash-in-Lieu of Parkland	<ul style="list-style-type: none"> ▪ The Owner will be required to pay to the City of Vaughan, cash-in-lieu of the dedication of parkland, prior to the issuance of a Building Permit, in accordance with the <i>Planning Act</i> and the City's Cash-in-Lieu Parkland Policy, should the Applications be approved. The final value of the cash-in-lieu of parkland dedication will be determined by the Office of the City Solicitor, Real Estate Department.
i.	Related Site Development File DA.18.012	<ul style="list-style-type: none"> ▪ A Site Development File DA.18.012 has been submitted concurrently with the Applications to permit the proposed Development shown on Attachments #3 to #6. ▪ The Site Development Application will be reviewed to ensure, that the following matters, but not limited to, will be considered: <ul style="list-style-type: none"> - appropriate site design - architectural details, materials and colours - transition with the surrounding land uses - pedestrian connectivity and barrier free Accessibility - vehicular access and internal traffic Movements - parking, landscaping, servicing grading - appropriate amenity area(s). ▪ All issues identified through the review of a Site Development Application must be addressed to the satisfaction of the City, should the Application be approved.

	MATTERS TO BE REVIEWED	COMMENTS
j.	Sustainable Development	<ul style="list-style-type: none"> ▪ Opportunities for sustainable design, including CPTED (Crime Prevention Through Environmental Design), LEED (Leadership in Energy and Environmental Design), permeable pavers, bio-swales, drought tolerant landscaping, energy efficient lighting, reduction in pavement etc., will be reviewed and implemented through the site plan approval process, if the Applications are approved.
k.	Canadian Pacific Railway ("CPR")	<ul style="list-style-type: none"> ▪ The Subject Lands are located in close proximity to a main Canadian Pacific rail line and has been circulated to CPR for review and approval.
l.	Transportation and Roads	<ul style="list-style-type: none"> ▪ The Owner has submitted a Transportation Study, which includes a Parking Assessment and Transportation Demand Management ('TDM') measures, prepared by Nextrans Consultant Engineers in support of the Applications, which has been circulated to the Development Engineering ("DE") Department for review. ▪ Access improvements and any required road widenings must be approved by the DE Department.

	MATTERS TO BE REVIEWED	COMMENTS
m.	Section 37 (Density Bonusing)	<ul style="list-style-type: none"> ▪ The proposed Development exceeds the maximum permitted building density identified in the policies of VOP 2010 Volume 2, the Kipling Avenue Corridor Secondary Plan. The <i>Planning Act</i> and the policies in VOP 2010 permit an increase in the height and density in exchange for community benefits. The request for increased density will be reviewed in accordance with the Section 37 policies of VOP 2010 and the City's Guidelines. Should the Applications be approved, the implementing Zoning By-law shall include provisions regarding density bonusing that will be implemented through an executed Density Bonusing Agreement, to the satisfaction of the City of Vaughan.

Financial Impact

N/A

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. Any issues identified will be addressed when the technical report is considered.

York Region, on July 6, 2018, issued an exemption from Regional Approval, which allows the Official Plan Amendment application to be exempt from Regional Council approval. York Region has determined that the proposed amendment is a matter of local significance, and does not adversely affect Regional Planning policies or interests. This allows the amendment to come into full force and effect, following its adoption by Vaughan Council and the expiration of the required appeal period, should the Applications be approved.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of these Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Eugene Fera, Planner at extension 8003.

Attachments

1. Context Location Map
2. Location Map
3. Site Plan and Proposed Zoning
4. Landscape Plan
5. Elevation Plan (East - Kipling Avenue)
6. Elevation Plan (North, South and West)
7. Map 11.5N (The Rainbow Creek Industrial Lands Low Density Residential Neighbourhood)

Prepared by

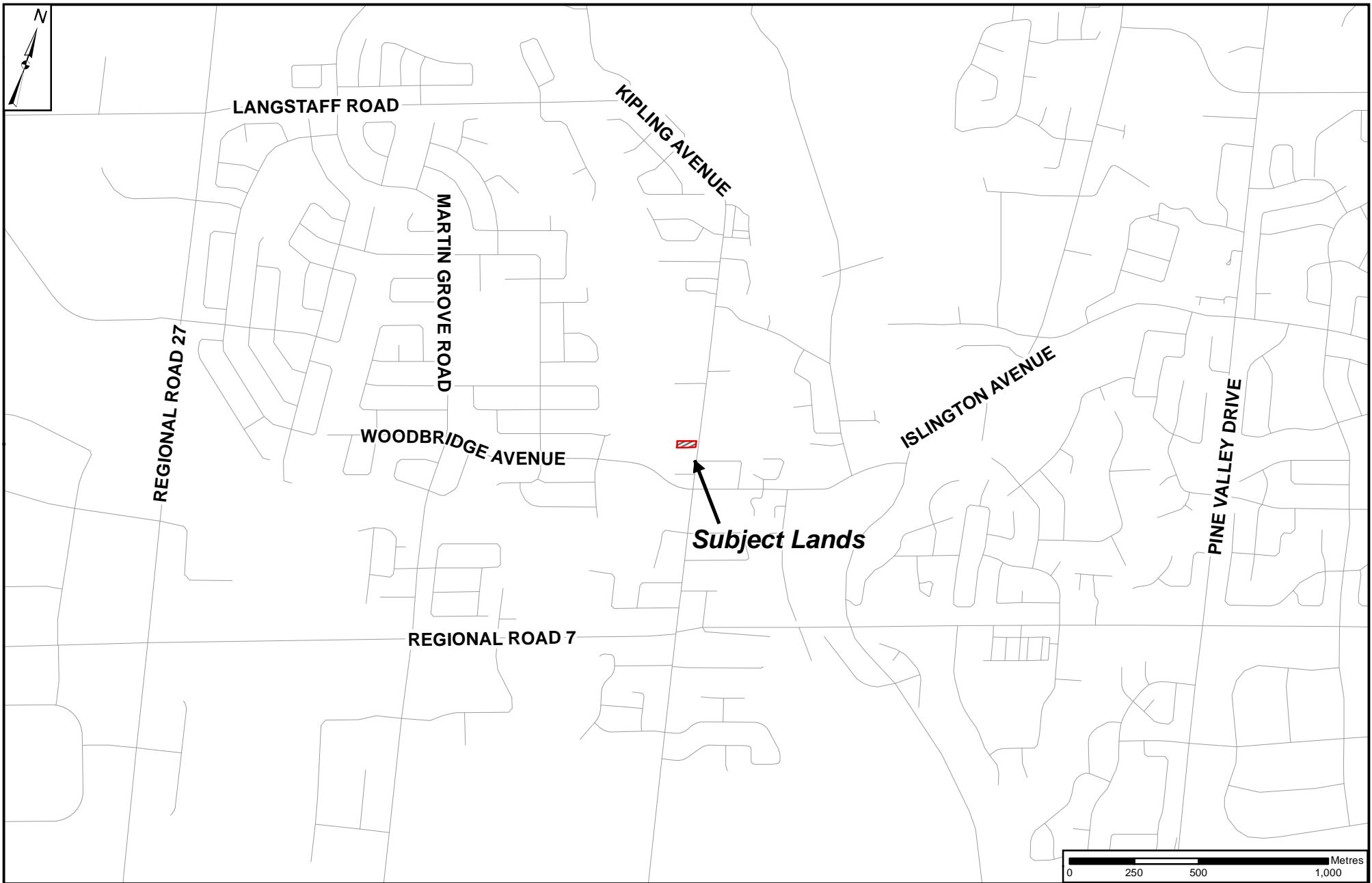
Eugene Fera, Planner extension 8003

Clement Messere, Senior Planner extension 8409

Carmela Marrelli, Senior Manager of Development Planning extension 8791

Mauro Peverini, Director of Development Planning extension 8407

/CM



Context Location Map

LOCATION:
Part of Lot 7, Concession 8

APPLICANT:
1567855 Ontario Ltd.

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.003\OP.18.003_ContextLocationMap.mxd



Attachment

FILES: OP.18.003 and Z.18.007
RELATED FILE: DA.18.012

DATE:
December 5, 2018

1



Location Map

LOCATION:

Part of Lot 7, Concession 8

APPLICANT:

1567855 Ontario Ltd.



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Attachment

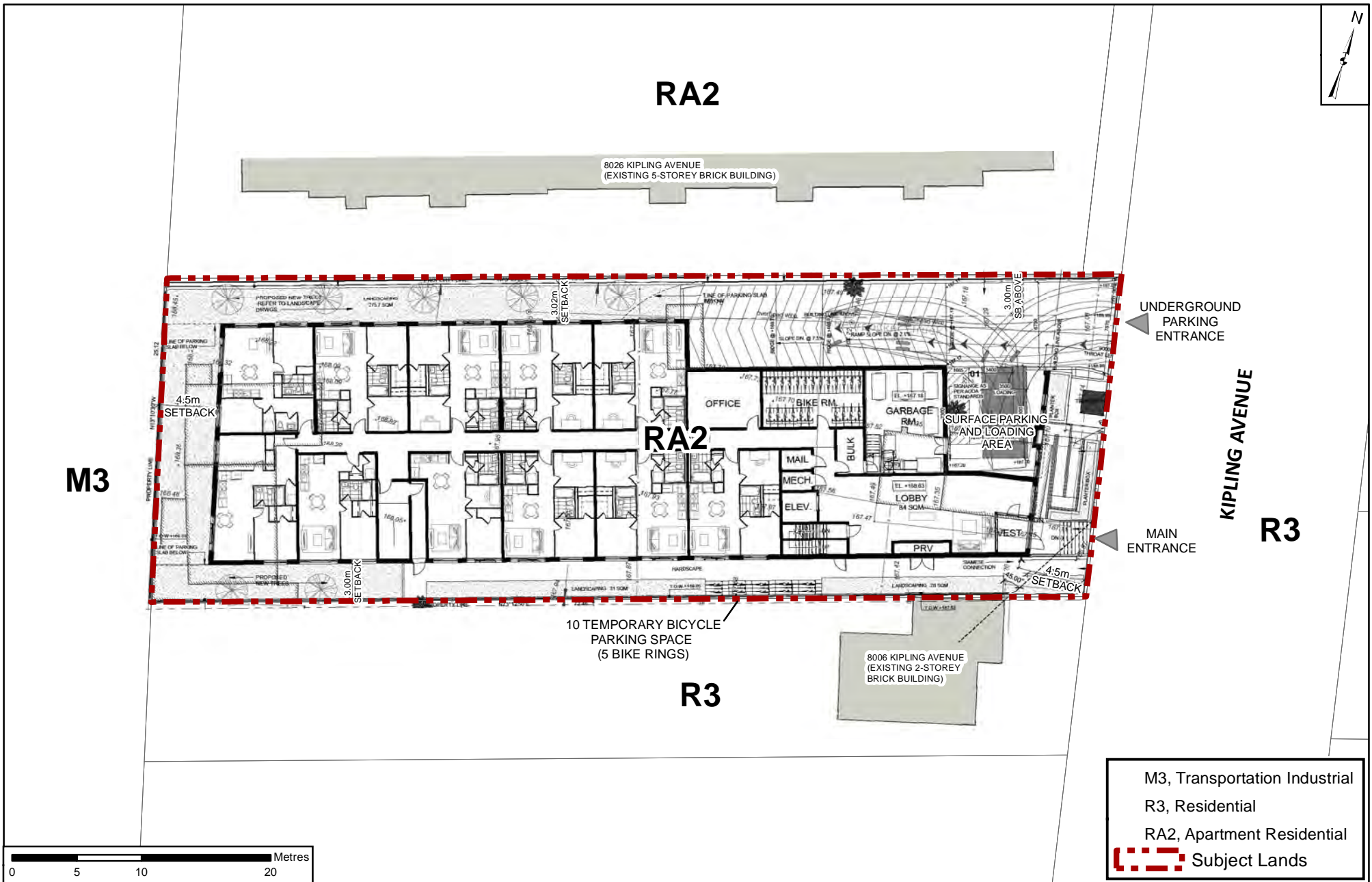
FILES: OP.18.003 and Z.18.007

RELATED FILE: DA.18.012

DATE: _____

December 5, 2018

2



Site Plan and Proposed Zoning

LOCATION:
Part of Lot 7, Concession 8

APPLICANT:
1567855 Ontario Ltd.

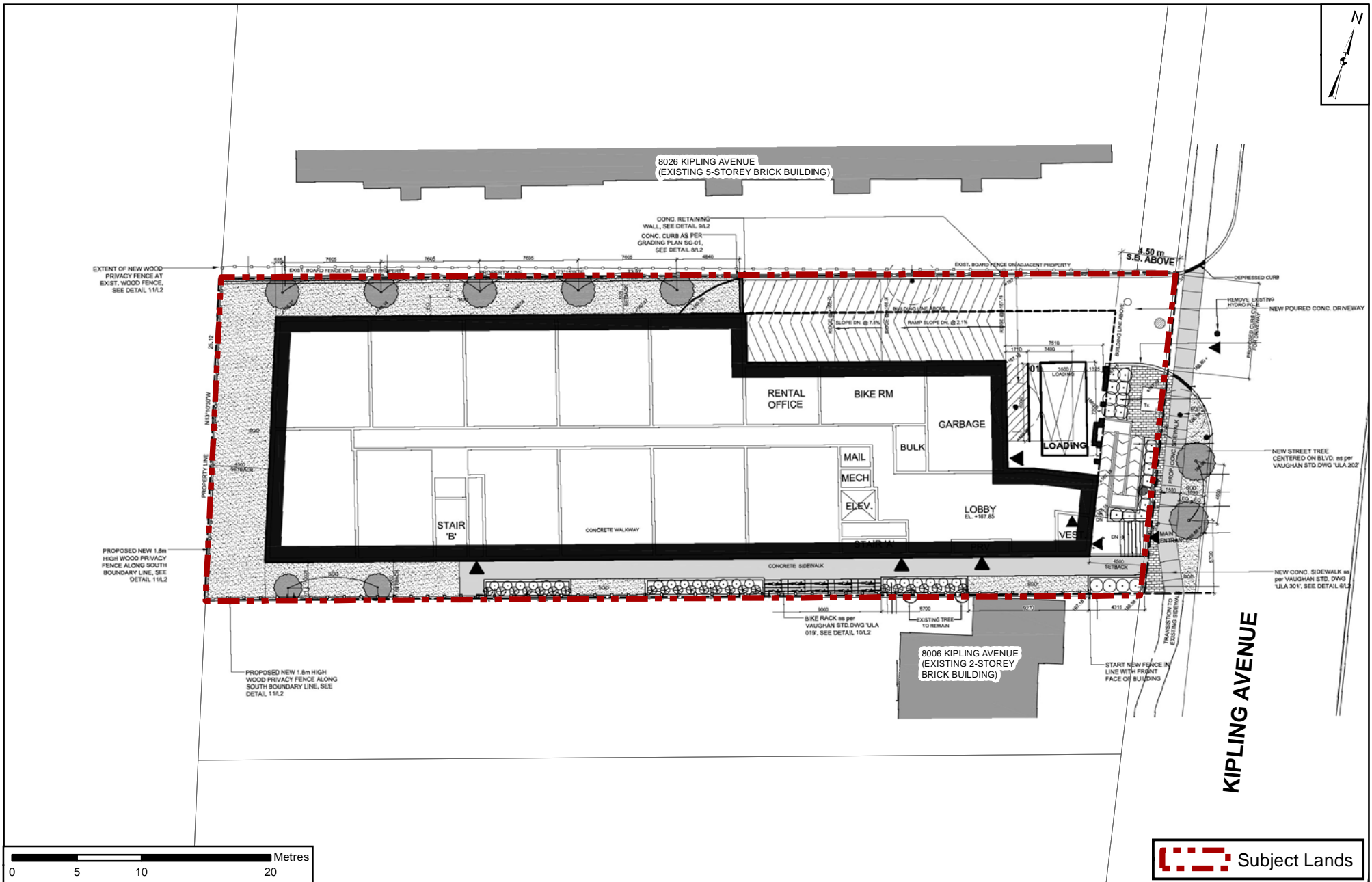


Attachment

FILES: OP.18.003 and Z.18.007
RELATED FILE: DA.18.012

DATE:
December 5, 2018

3



Landscape Plan

LOCATION:
Part of Lot 7, Concession 8

APPLICANT:
1567855 Ontario Ltd.

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.003\OP.18.003_LandscapePlan.mxd

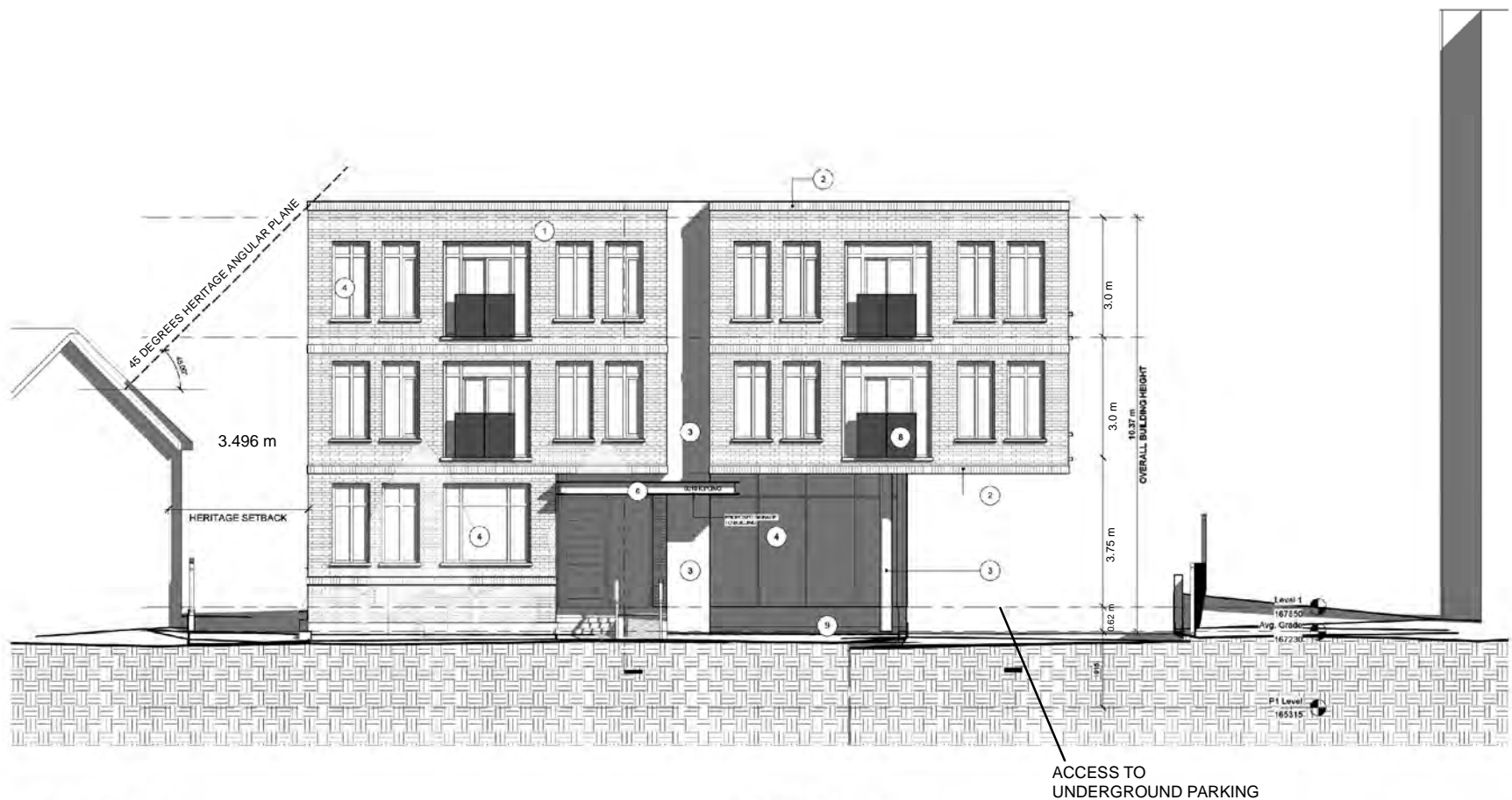
Attachment

FILES: OP.18.003 and Z.18.007
RELATED FILE: DA.18.012

DATE:
December 5, 2018

4

Printed on: 10/23/2018



1 East Elevation (Facing Kipling Avenue)
1:50

MATERIAL LEGEND

TYPE	DESCRIPTION	TYPE	DESCRIPTION	TYPE	DESCRIPTION
1	MASONRY- RED BRICK, REGULAR NORMA SIZE, RUNNING BOND, COLOUR AS SHOWN ON IMAGE	4	WINDOW WALL SYSTEM CHARCOAL GREY MULLIONS CLEAR GLAZING	7	CANOPY CEILING- STAINED WOOD FINISH CEILING & WOOD PANELS, PRODEMA OR EQUIVALENT
2	MASONRY- RED BRICK, REGULAR NORMA SIZE, VERTICALLY STACKED BOND, COLOUR AS SHOWN ON IMAGE	5	HOT DIPPED GALVANIZED STEEL RAILINGS, CLEAR FINISH	8	GLASS + ALUM. RAILING- SANDBLASTED GLAZING
3	PREFIN ALUM. CLADDING- (CHARCOAL GREY)	6	CANOPY- STEEL I-BEAM - PAINTED CHARCOAL GREY	9	ARCHITECTURAL CONCRETE FINISH

Not to Scale

Elevation Plan (East, Kipling Avenue)

LOCATION:
Part of Lot 7, Concession 8

APPLICANT:
1567855 Ontario Ltd.

Attachment

FILES: OP.18.003 and Z.18.007
RELATED FILE: DA.18.012

DATE:
December 5, 2018

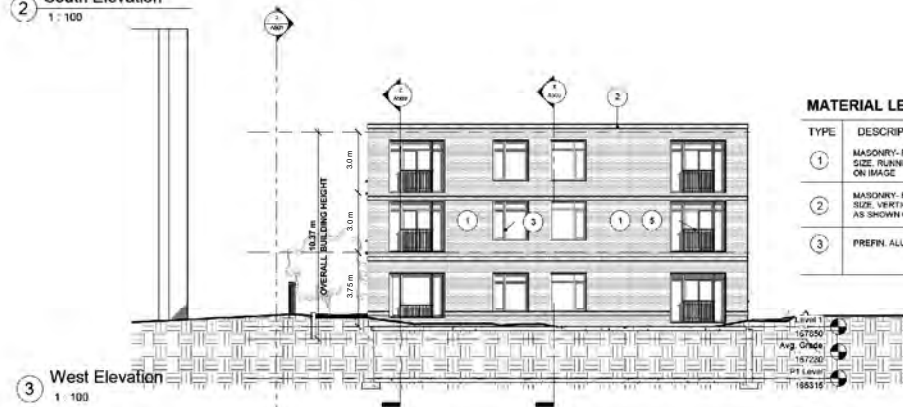
5



1 North Elevation
1 : 100



2 South Elevation
1 : 100



3 West Elevation
1 : 100

MATERIAL LEGEND

TYPE	DESCRIPTION	TYPE	DESCRIPTION	TYPE	DESCRIPTION
1	MASONRY- RED BRICK, REGULAR NORMA SIZE, RUNNING BOND, COLOUR AS SHOWN ON IMAGE	4	WINDOW WALL SYSTEM CHARCOAL GREY MULLIONS, CLEAR GLAZING	7	CANOPY CEILING- STAINED WOOD FINISH, CEILING & WOOD PANELS, PRODEMA OR EQUIVALENT
2	MASONRY- RED BRICK, REGULAR NORMA SIZE, VERTICALLY STACKED BOND, COLOUR AS SHOWN ON IMAGE	5	HOT DIPPED GALVANIZED STEEL RAILINGS, CLEAR FINISH	8	GLASS + ALUM. RAILING- SANDBLASTED GLAZING
3	PREFIN. ALUM. CLADDING- (CHARCOAL GREY)	6	CANOPY- STEEL + BEAM- PAINTED CHARCOAL GREY	9	ARCHITECTURAL CONCRETE FINISH

Not to Scale

Elevation Plan (North, South and West)

LOCATION:
Part of Lot 7, Concession 8

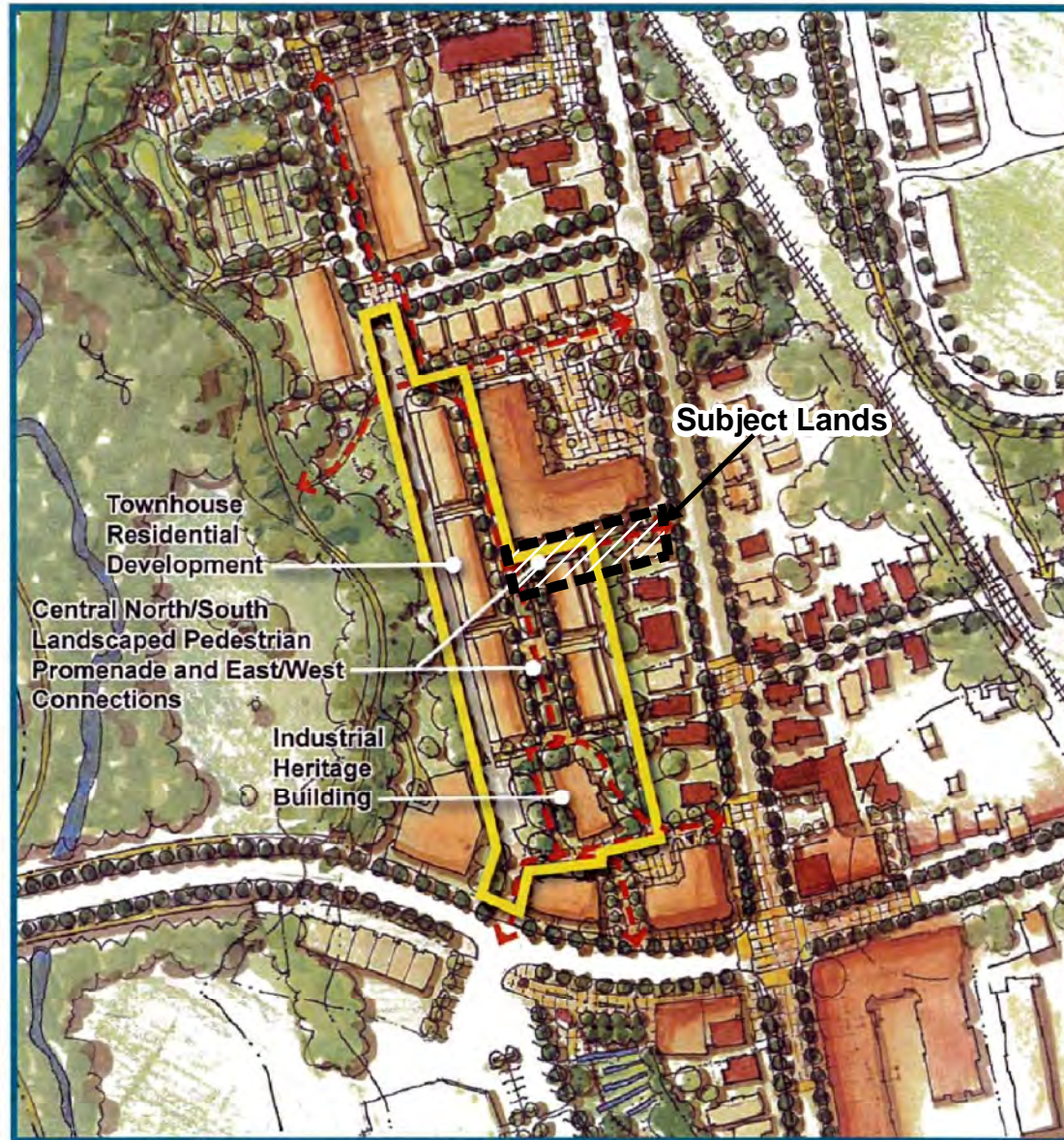
APPLICANT:
1567855 Ontario Ltd.

Attachment

FILES: OP.18.003 and Z.18.007
RELATED FILE: DA.18.012

DATE:
December 5, 2018

6



Map 11.5.N (The Rainbow Creek South Industrial Lands Low Density Residential Neighbourhood)

LOCATION:
Part of Lot 7, Concession 8

APPLICANT:
1567855 Ontario Ltd.

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.003\OP.18.003_KiplingAvenue.mxd



Page 34

Attachment

FILES: OP.18.003 and Z.18.007
RELATED FILE: DA.18.012

DATE:
December 5, 2018

7

Printed on: 10/23/2018

Committee of the Whole (Public Hearing) Report

DATE: Wednesday, December 05, 2018

WARD: 4

**TITLE: OFFICIAL PLAN AMENDMENT FILE OP.18.014
ZONING BY-LAW AMENDMENT FILE Z.18.021
DRAFT PLAN OF SUBDIVISION FILE 19T-18V008
2748355 CANADA INC.
VICINITY OF JANE STREET AND INTERCHANGE WAY**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.18.014 and Z.18.021 and Draft Plan of Subdivision File 19T-18V008 for the Subject Lands to permit a 993-unit residential development (the 'Development') in the Vaughan Metropolitan Centre ('VMC'), consisting of two phases, twenty-two townhouse blocks (traditional, back-to-back and stacked), 2 fifteen-storey apartment buildings with 169 m² of ground floor commercial uses, and one nine-storey residential apartment building.

Report Highlights

- To receive input from the public and the Committee of the Whole on a proposed (phased) Development consisting of 993 residential units in the VMC in two apartment buildings with ground floor commercial uses (fifteen-storeys each), a 9-storey apartment building and townhouse units.
- Official Plan and Zoning By-law Amendments and a Draft Plan of Subdivision approval are required to permit the Development.
- A technical report prepared by the Development Planning Department will be considered at a future Committee of the Whole meeting.

Recommendations

1. THAT the Public Hearing report for Files OP.18.014, Z.18.021, and 19T-18V008 (2748355 Canada Inc.) BE RECEIVED; and that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The subject lands ('Subject Lands') are located on the south side of Interchange Way, west of Jane Street, as shown on Attachments 1 and 2. The surrounding land uses are shown on Attachment 2.

Official Plan Amendment, Zoning By-law Amendment, and Draft Plan of Subdivision Applications have been submitted to permit the Development

The Owner has submitted the following applications (the 'Applications') for the Subject Lands shown on Attachments 1 and 2 to permit the Development (phased), as shown on Attachments 4 to 6:

1. Official Plan Amendment File OP.18.014 to amend the Vaughan Official Plan 2010 ("VOP 2010") and Volume 2 of VOP 2010, specifically the Vaughan Metropolitan Centre Secondary Plan (the "VMC Secondary Plan"), to:
 - a) increase the maximum permitted tower floor plate for the 2 fifteen-storey residential towers from approximately 750 m² to 1,000 m²
 - b) reduce the facing distance between townhouse blocks from 18 m minimum to 8 m from a front facing wall and a side wall of another townhouse block
 - c) amend Schedule "D", Major Parks and Open Space and modify Schedule "K", Site Specific Policy Area, to include the proposed extension of the Millway Avenue linear park along the east side of Street "B" from Interchange Way to Exchange Avenue and the proposed relocation of the public square from the southwest to the northeast corner of Interchange Way and Street "B", as shown on Attachment 3.
2. Zoning By-law Amendment File Z.18.021, to rezone the Subject Lands from "EM1 Prestige Employment Area Zone" and "C10 Corporate District Zone", subject to site-specific Exception 9(957), to "RM2 Multiple Residential Zone" and "OS2 Open Space Park Zone", in the manner shown on Attachment 4, and to permit the site-specific development standards identified in Table 1 of this report.
3. Draft Plan of Subdivision File 19T-18V008, as shown on Attachment 5, consisting of the following:

Block 1 (residential and commercial)	4.10 ha
Blocks 2, 3 and 4 (0.3m reserves)	0.02 ha
Block 5 (linear park)	0.35 ha
Block 6 (Interchange Way road widening)	0.07 ha
<u>Streets A, B and C (roads)</u>	<u>1.81 ha</u>
Total	6.35 ha

The Draft Plan of Subdivision application has been submitted to facilitate the creation of the development block, widening of the existing streets, a new minor collector road (Street “B”), and a new linear public park.

Public Notice was provided in accordance with the Planning Act and Council’s Notification Protocol

- a) Date the Notice of Public Hearing was circulated: November 9, 2018.

The Notice of Public Hearing was also posted on the City’s web-site at www.vaughan.ca and three Notice Signs were installed (along Interchange Way, Exchange Avenue and Street “C”), in accordance with the City’s Notice Signs Procedures and Protocols.

- b) Circulation Area: 150 m

- c) Comments Received:

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not applicable.

Analysis and Options

Amendments to Volume 2 of VOP 2010 (the VMC Secondary Plan) are required to permit the Development

The Subject Lands are designated “South Precinct” by the VMC Secondary Plan, which forms part of Volume 2 of VOP 2010. The designation permits the uses in the “Station Precinct”, which includes a broad mix of uses and a wide variety of building types, including residential dwellings (apartment units and traditional, back-to-back and stacked townhouses), retail, and service commercial. The Development includes residential with limited retail uses and conforms to the VMC Secondary Plan.

The VMC Secondary Plan permits a building height range of 3 to 10-storeys and a density range (Floor Space Index - “FSI”) of 1.5 to 3 times the area of the lot on the Subject Lands. The Development represents a density of 2.44 FSI, which conforms to the density permission of the VMC Secondary Plan. The Subject Lands are permitted a 5-storey increase to the maximum building height (Policy 8.7.11) where the lands front arterial streets, major or minor collector streets, a neighbourhood park or a public square. The Subject Lands front along Interchange Way, a major collector. Therefore, the proposed maximum 15-storey building height is permitted, subject to approval of the sun/shadow and wind studies and site plan requirements.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are zoned “EM1 Prestige Employment Area Zone” and “C10 Corporate District Zone”, subject to site-specific Exception 9(957), by Zoning By-law 1-88, which does not permit the Development. The Owner proposes to amend Zoning By-law 1-88, specifically to rezone the Subject Lands to “RM2 Multiple Residential Zone” and “OS2 Open Space Park Zone”, together with the following site-specific zoning exceptions to permit the Development shown on Attachments 4 to 6:

Table 1

	Zoning By-law 1-88 Standards	RM2 Multiple Residential Zone Requirements	Proposed Exception to the RM2 Multiple Residential Zone
a.	Minimum Lot Area	230 m ² / unit	41 m ² / unit
b.	Minimum Front Yard Setback (Interchange Way)	4.5 m	2 m
c.	Minimum Rear Yard Setback (Exchange Avenue)	4.5 m	3.3 m
d.	Minimum Exterior Yard Setback (Streets “B” and “C”)	4.5 m	3 m (Streets “B” and “C”); 2 m (Building 3)
e.	Maximum Building Height	11 m	58 m (Buildings 1 and 2) 39 m (Building 3) 12 m (Townhouse blocks)

	Zoning By-law 1-88 Standards	RM2 Multiple Residential Zone Requirements	Proposed Exception to the RM2 Multiple Residential Zone
f.	Minimum Landscape Strip Width	6 m	2 m (Interchange Way) 3.3 m (Exchange Avenue) 3 m (Streets "B" and "C") 2 m (along Building 3)
g.	Portions of Buildings Below Grade	1.8 m (Interchange Way and Streets "B" and "C")	0 m
h.	Definition of "Lot"	"Lot" – means a parcel of land fronting on a street separate from any abutting land to the extent that a Consent (severance) contemplated by Section 49 of the <i>Planning Act</i> , R.S.O. 1983 would not be required for its conveyance.	"Lot" – means the Subject Lands are deemed one Lot, regardless of the number of buildings constructed thereon, the creation of separate units and/or lots by way of plan of condominium, consent, or other permissions, and any easements or registrations that are granted, shall be deemed to comply.

The Owner has submitted a conceptual site plan in support of the Development, as shown on Attachment 4. Other zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the Development Planning Department has identified following matters to be reviewed in greater detail

	MATTERS TO BE REVIEWED	COMMENTS
a.	Conformity with Provincial Policies, York	<ul style="list-style-type: none"> The Applications will be reviewed in consideration of all applicable statutory policies including the <i>Provincial Policy Statement (2014)</i> ("PPS"), <i>Places to Grow - The Growth Plan for the Greater Golden</i>

	MATTERS TO BE REVIEWED	COMMENTS
	Region and City of Vaughan Official Plans	<p><i>Horseshoe (2017)</i> (“The Growth Plan”) and the York Region and VOP 2010 policies.</p> <ul style="list-style-type: none"> ▪ The proposed 8 m facing distance between townhouse blocks will be reviewed in consideration of Policy 9.2.3 of VOP 2010 and the City-Wide Urban Design Guidelines.
b.	VMC Secondary Plan	<p>The Applications will be reviewed in consideration of the following policies contained in the VMC Secondary Plan, including, but not limited to, the following:</p> <ul style="list-style-type: none"> a) the identified vision and principles to create a new downtown area that is transit-oriented, walkable, accessible, diverse, vibrant, green and beautiful b) the objectives of establishing a distinct downtown containing a mix of uses, civic attractions and a critical mass of people; establishing complete neighbourhoods containing a variety of housing establishing a hierarchical, fine-grain grid network of streets and pathways linked to the larger road system; developing a generous and remarkable open space system; optimizing existing and planned investments in rapid transit; and ensuring the Development exhibits a high quality of urbanity, materials and design; c) the vision of buildings in all areas in the VMC, including ensuring the built form frames the streets and supports an inviting, comfortable and active public realm to bring vitality to the streets, and contribute positively to the image of Vaughan’s downtown d) the existing and planned surrounding land uses, environmental sustainability, transition, built form, compatibility, site organization, pedestrian accessibility, and traffic impacts

	MATTERS TO BE REVIEWED	COMMENTS
		<p>e) Policy 8.7.1 regarding the built form policies and Policy 8.7.2 regarding the location, massing, and design of buildings and the contribution to human-scaled street walls, attractive streetscapes, a varied sky line, an active pedestrian realm and environmental sustainability by adhering to the urban design criteria set out in Policies 8.7.3 to 8.7.25, with particular attention to the proposed massing and building height, microclimate impact and built form articulation</p> <p>f) Policy 8.7.11 permits the increase of 5-storeys to the maximum permitted 10-storey building height along Interchange Way, for total maximum building height of fifteen-storeys</p> <p>Policy 8.7.1 defines a mid-rise building as having a maximum building height of 10-storeys and building heights greater than 10-storeys are considered high-rise buildings. Policy 8.7.18 further requires tower elements of high-rise (residential) buildings to be slender and spaced apart from one another to minimize shadow impacts and the loss of sky views, maintain privacy and contribute to an interesting skyline. The maximum size of a residential tower floor plate shall be approximately 750 m²</p> <p>Therefore, the appropriateness of the proposed increased residential tower floor plate size to approximately 1,000 m² and the proposed fifteen-storey building height will be reviewed under the high-rise building standards and the VMC Urban Design Guidelines</p> <p>g) Policy 8.7.20 regarding building exteriors and long buildings, generally over 40 m, shall be designed to break up their perceived mass with evenly spaced vertical recesses or other articulation and/or changes in materials. In addition, Policy 8.7.21</p>

	MATTERS TO BE REVIEWED	COMMENTS
		<p>requires variation in the building materials and design treatments on the lower floors or podiums of buildings on a block. There should be variation in finishing materials between the podium and the tower of a high-rise building</p> <p>h) the fine-grain street network and public transportation policies related to the following:</p> <ul style="list-style-type: none"> ▪ the requirement for the planned new 26 m Street “B” right-of-way (a minor collector) ▪ the location and configuration of the 22 m Street “C” right-of-way (a local street), pursuant to Policy 4.3.16 of the VMC Secondary Plan ▪ the inclusion of the 15 m wide pedestrian mews and the required public access easement <p>i) The Development will be reviewed in accordance with Policy 6.2 regarding parks and public squares, specifically the proposed extension of the Millway Avenue Linear Park along the east side of Street “B”; the design of all parks and other open spaces in accordance with the VMC Streetscape and Open Space Plan; the relocation and configuration of the public square at a site that is currently owned by the Owner; and the design of the 15 m wide pedestrian mews</p>
c.	Affordable Housing	<p>The Applications will be reviewed in consideration of the affordable housing policies contained in VOP 2010 including, but not limited to, the following:</p> <p>a) Policy 7.5.1.1 that encourages and supports the provision of a full range of housing options including ownership and rental housing, social housing, housing for seniors, supportive housing, emergency shelters for women and families, accessible housing that meets the needs of people</p>

	MATTERS TO BE REVIEWED	COMMENTS
		<p>with disabilities and other types of housing that meets the needs of Vaughan's diverse population</p> <p>b) Policy 7.5.1.2 that requires the implementation of York Region's affordable housing policies in the following context:</p> <ul style="list-style-type: none"> ▪ requiring 25% of all new housing units in Vaughan be affordable and that a portion of these units should be accessible for people with disabilities ▪ requiring a minimum of 35% of new residential units in key development areas be affordable housing units <p>Furthermore, Policy 8.1.3 of the VMC Secondary Plan identifies that affordable housing shall comprise a range of compact housing forms and tenures and include intrinsically affordable units for low and moderate-income households</p> <p>c) Policy 7.5.1.3 requires all significant developments include a residential component that demonstrates the contribution to meeting the City's housing objectives through the preparation of a housing options statement, required for all Official Plan, Zoning By-law Amendment and Draft Plan of Subdivision applications that describe the following:</p> <ul style="list-style-type: none"> ▪ the total distribution of housing types; ▪ tenure types and distribution; ▪ the range of unit sizes, both in terms of floor area and number of bedrooms; ▪ special residential components, such as social or senior housing; and

	MATTERS TO BE REVIEWED	COMMENTS
		<ul style="list-style-type: none"> the proposed unit type and anticipated unit/sale price at the time of preparing the housing options statement. <p>The Owner must submit a housing statement to the satisfaction of the City.</p>
d.	Guidelines and other Area Plans	<ul style="list-style-type: none"> The Development will be reviewed in consideration of the City-Wide Public Art Program, the City-Wide Urban Design Guidelines, the VMC Culture and Public Art Framework, the VMC Urban Design Guidelines, the VMC Streetscape and Open Space Plan, the VMC Transportation Master Plan and the draft VMC Parking Strategy.
e.	Vaughan Design Review Panel	<ul style="list-style-type: none"> The Development will be reviewed in consideration of the recommendations provided by the City of Vaughan Design Review Panel (“DRP”) on January 25, 2018, and September 27, 2018. The Development must be further considered at a third DRP meeting.
f.	NavCanada and Bombardier Review	<ul style="list-style-type: none"> The Subject Lands are located within regulatory flight paths under the jurisdiction of NavCanada and Bombardier Aerospace. The Owner will be required to satisfy all conditions of NavCanada and Bombardier.
g.	External Agency Review	<ul style="list-style-type: none"> The Subject Lands are within the review areas of the Toronto Transit Commission (“TTC”), Canadian National Railway (“CNR”), the Ministry of Transportation Ontario (“MTO”), and York Region. The Applications have been circulated to these agencies for review. The Owner will be required to address the comments from the external agencies.
h.	Studies and Reports	<ul style="list-style-type: none"> The Owner has submitted the following studies and reports in support of the Applications, which must

	MATTERS TO BE REVIEWED	COMMENTS
		<p>be approved to the satisfaction of the City and/or respective public approval authority:</p> <ul style="list-style-type: none"> ▪ Planning Justification Report ▪ Preliminary Pedestrian Level Wind Analysis ▪ Conceptual Site Plan and Landscape Master Plan ▪ Stormwater Management and Functional Servicing Report ▪ Archaeology Assessment ▪ Aeronautical Assessment ▪ Arborist Report and Tree Inventory ▪ Transportation Study ▪ Noise and Vibration Report ▪ Sustainability Metrics ▪ Urban Design Brief ▪ Phase 1 Environmental Site Assessment <p>Additional studies and/or reports may be required as part of the Application review process.</p>
i.	Draft Plan of Subdivision Application	<ul style="list-style-type: none"> ▪ The Draft Plan of Subdivision File 19T-18V008 will be reviewed in coordination with the adjacent existing and planned area context respecting, but not limited to, servicing connections, grading, road alignments, required road widenings, and park configuration, to the satisfaction of the City.
j.	Site Development Application	<ul style="list-style-type: none"> ▪ A Site Development File DA.18.056 was submitted and will be reviewed to ensure appropriate building and site design, access, internal traffic circulation, parking, landscape, amenity area, sun and shadow, servicing and grading, the proposed phasing plan (shown on Attachment 4), and the appropriate built form interface with the IKEA lands to the west and the existing employment uses to the north and east. ▪ Opportunities for sustainable design, including principles of CPTED (Crime Prevention Through

	MATTERS TO BE REVIEWED	COMMENTS
		Environmental Design) and LEED (Leadership in Energy and Environmental Design), and inclusion of features such as permeable pavers, bio-swales, drought tolerant landscaping, bicycle racks to promote alternative modes of transportation, energy efficient lighting, reduction in pavement and roof-top treatment to address the "heat island" effect, green roofs, etc. will be reviewed and implemented through the site plan approval process, if approved.
k.	Servicing	<ul style="list-style-type: none"> ▪ Servicing allocation must be identified and assigned to the Development, if approved. Should servicing capacity not be available, the Holding Symbol "(H)" may be applied to the Subject Lands. Removal of the Holding Symbol "(H)" will be conditional on servicing capacity being allocated to the Subject Lands.
l.	Future Draft Plan of Condominium Application(s)	<ul style="list-style-type: none"> ▪ A future Draft Plan of Condominium (Standard) Application(s) will be required, if the Applications are approved, to establish the ownership tenure(s) of the Development.

Financial Impact

Not applicable.

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. Any issues will be addressed when the technical report is considered. The Owner has made a request to exempt the Official Plan Amendment Application from York Region approval.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed

at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Stephen Lue, Senior Planner, Development Planning Department, Extension 8210.

Attachments

1. Context Location Map
2. Location Map
3. Proposed Amendments to Schedule “D” of the VMC Secondary Plan
4. Conceptual Site Plan and Proposed Zoning
5. Draft Plan of Subdivision (File 19T-18V008)
6. Colour Perspective - West

Prepared by

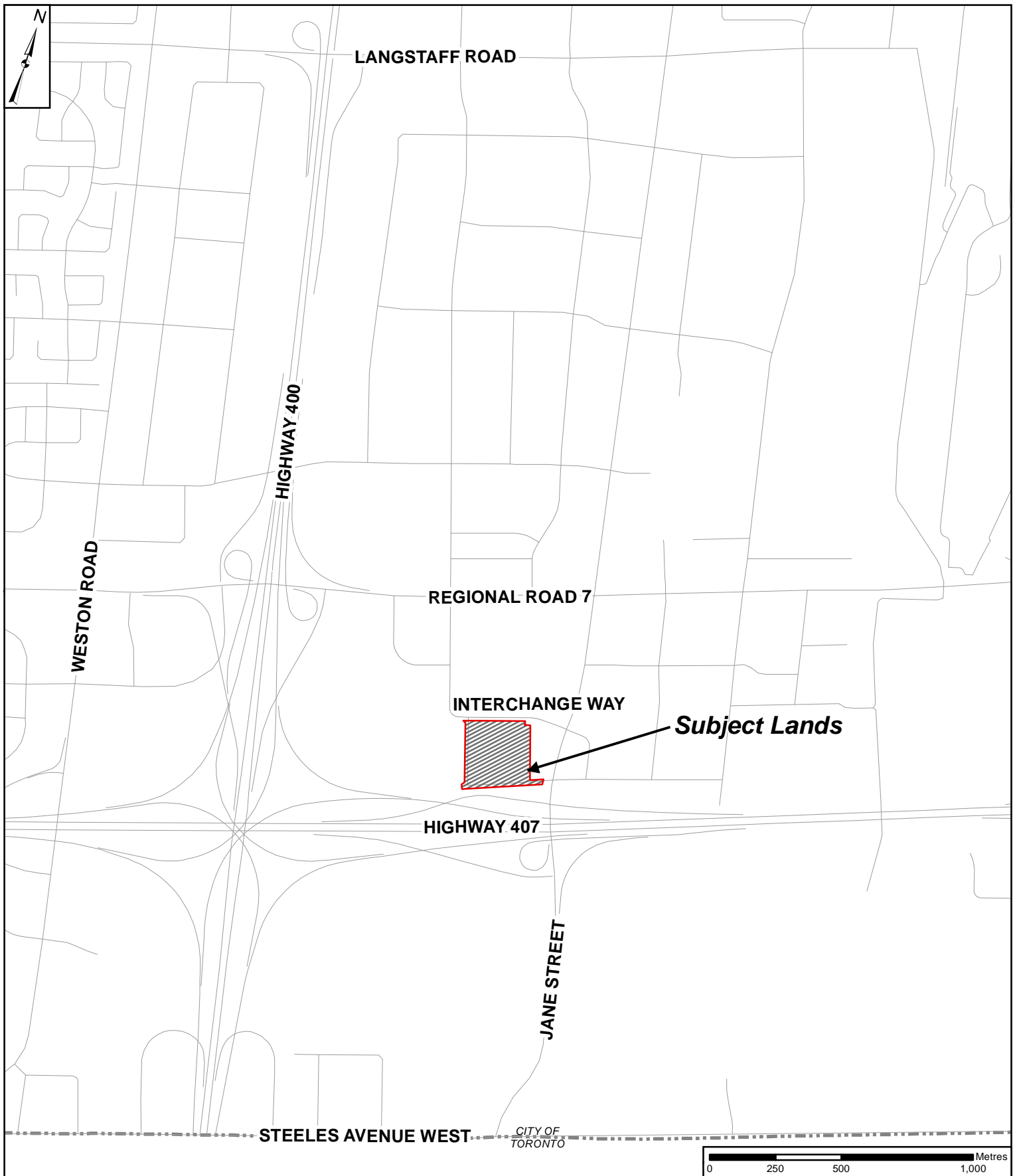
Stephen Lue, Senior Planner, extension 8210

Amy Roots, Senior Manager - VMC, extension 8035

Mauro Peverini, Director of Development Planning, extension 8407

Christina Bruce, Director, VMC Program, extension 8231

/CM



Context Location Map

LOCATION:
Part Lot 4, Concession 5

APPLICANT:
2748355 Canada Inc.

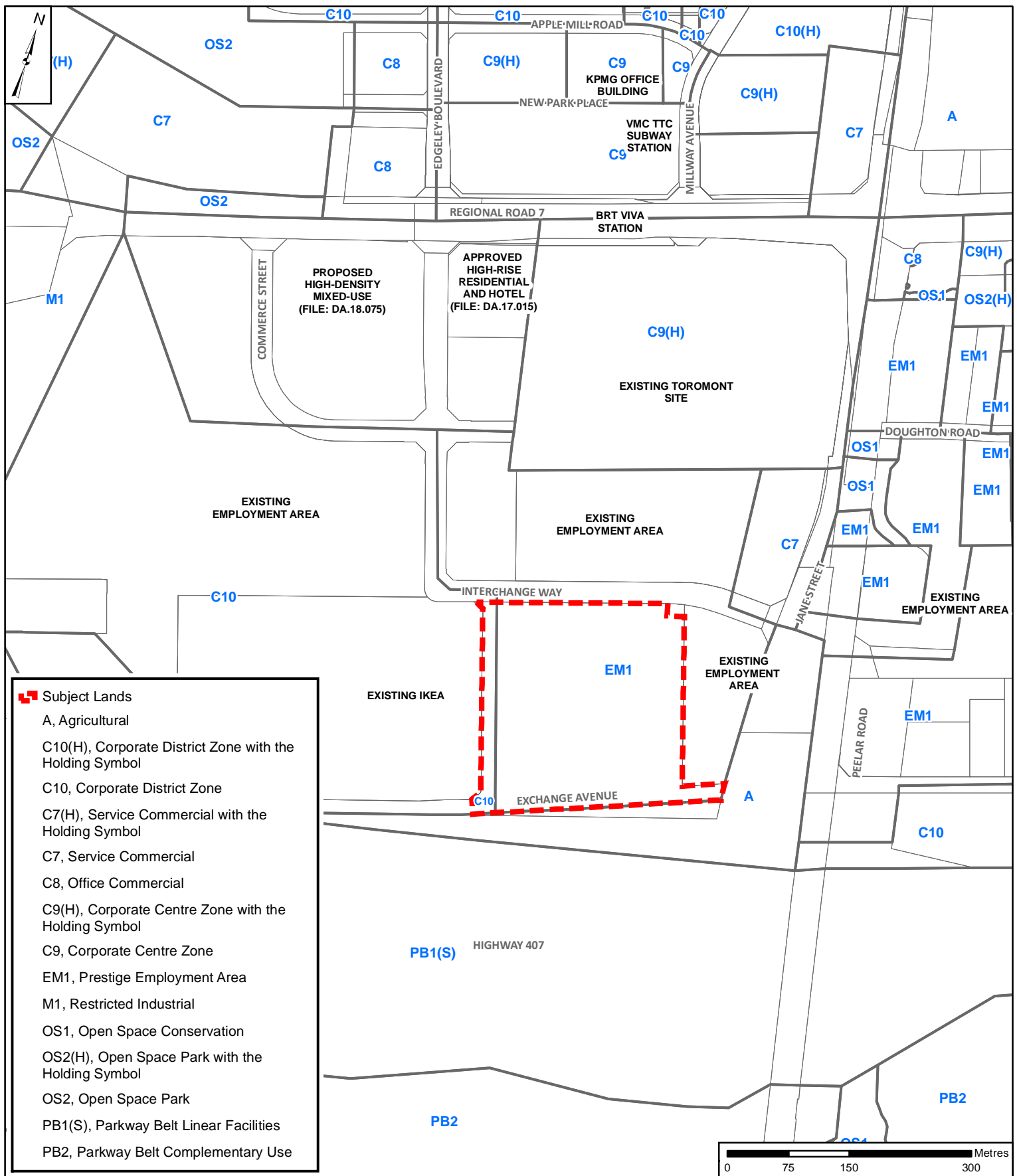


Attachment

FILES:
OP.18.014, Z.18.021, 19T-18V008

DATE:
December 5, 2018

1



Location Map

LOCATION:
Part Lot 4, Concession 5

APPLICANT:
2748355 Canada Inc.

Attachment

FILES:
OP.18.014, Z.18.021, 19T-18V008

DATE:
December 5, 2018

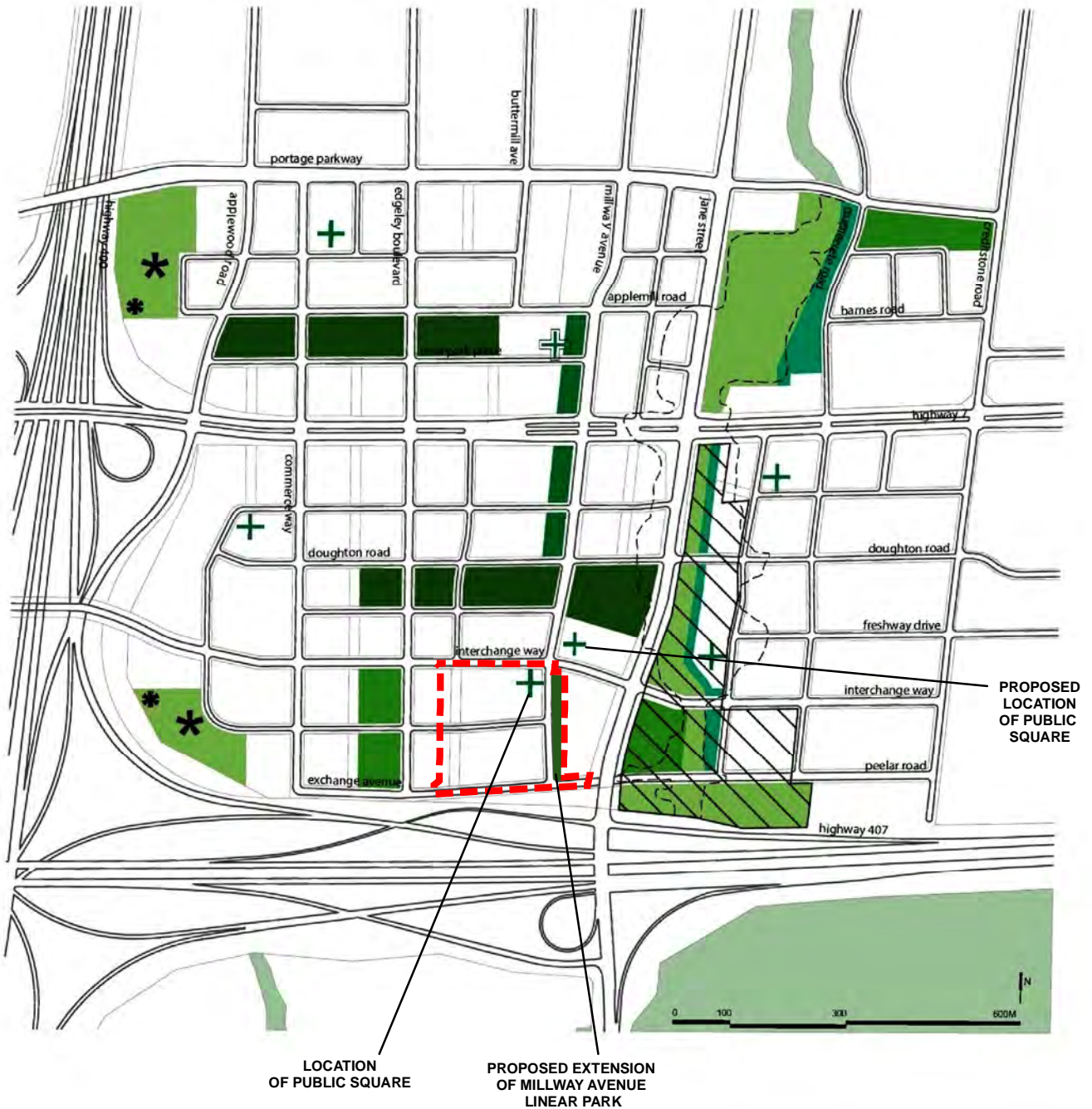
2

LEGEND

- environmental open spaces
- urban parks
- neighbourhood parks
- millway avenue linear park
- black creek greenway

- public squares (see Policies 6.2.4.-6.2.5.)
- transit Square
- parkland associated with environmental spaces
- see policy 6.3.2

final configuration of parks and open spaces within this area are subject to the results of the VMC Black Creek Renewal EA (Stages 3 & 4) and the detailed design of the Black Creek Corridor



Proposed Amendments to Schedule "D" of the VMC Secondary Plan

LOCATION:
Part Lot 4, Concession 5

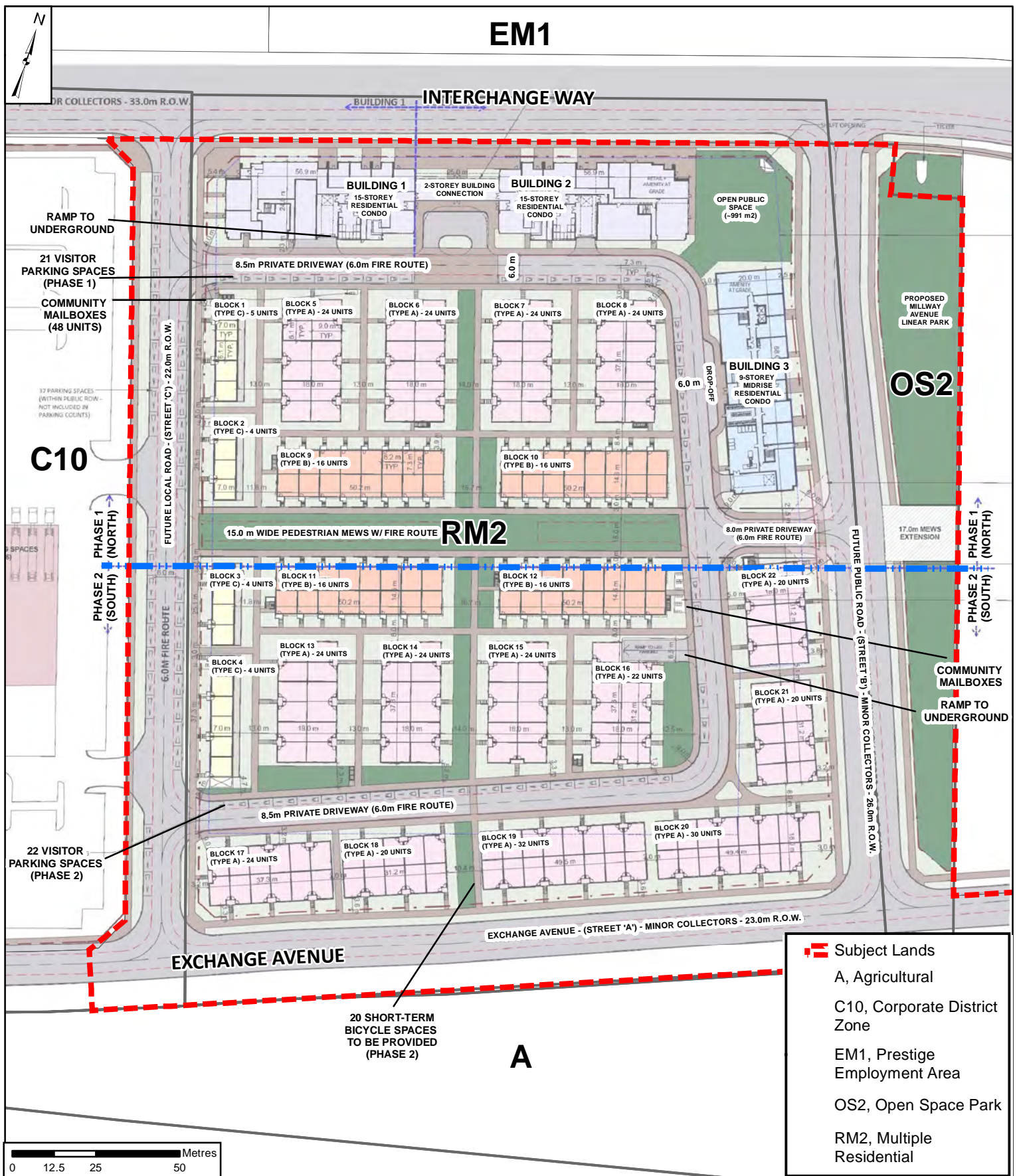
APPLICANT:
2748355 Canada Inc.

Attachment

FILES:
OP.18.014, Z.18.021, 19T-18V008

DATE:
December 5, 2018

3



Conceptual Site Plan and Proposed Zoning

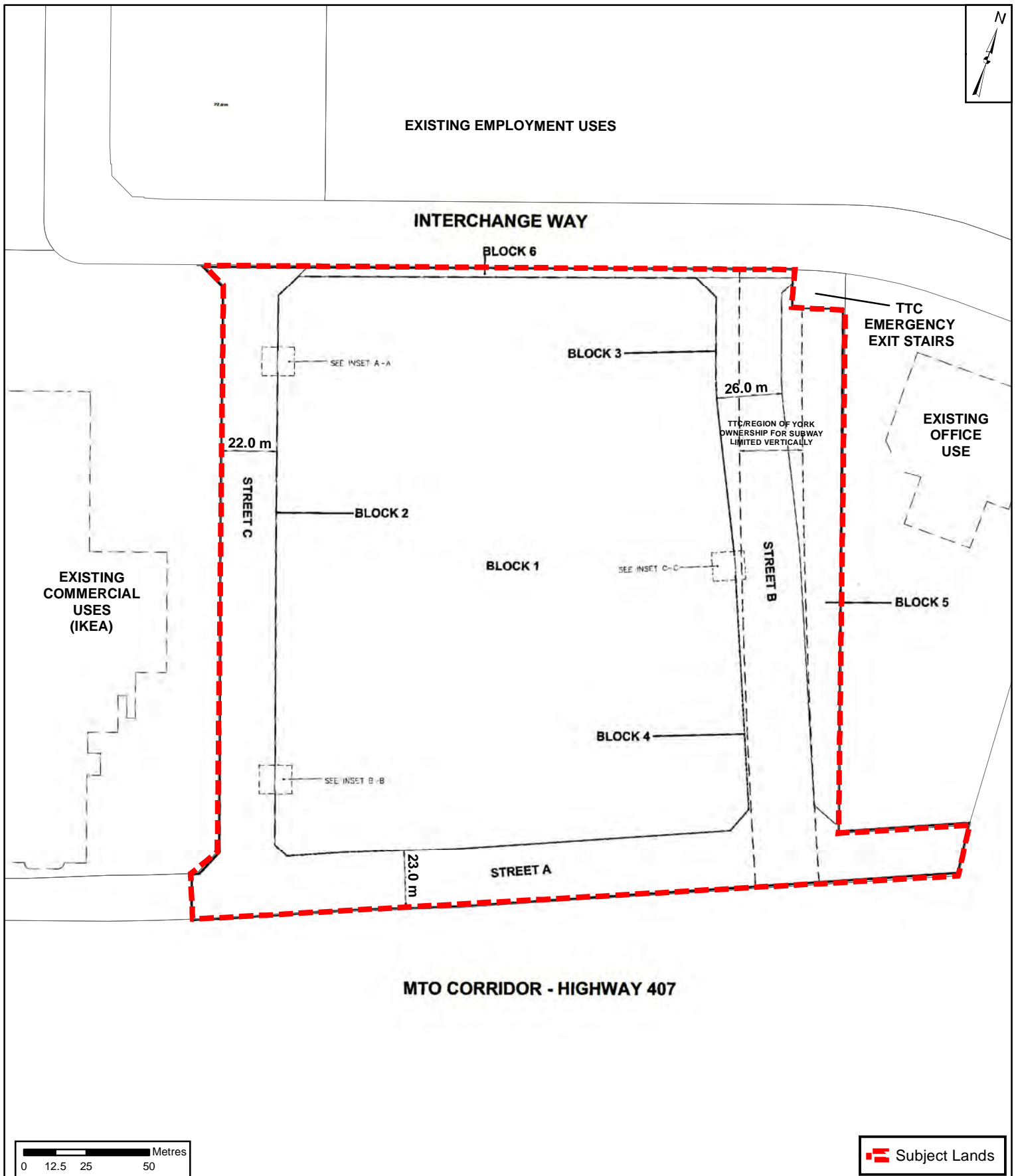
LOCATION:
Part Lot 4, Concession 5

APPLICANT:
2748355 Canada Inc.

FILES:
OP.18.014, Z.18.021, 19T-18V008

DATE:
December 5, 2018

4



Draft Plan of Subdivision (File 19T-18V008)

Attachment

LOCATION:
Part Lot 4, Concession 5

APPLICANT:
2748355 Canada Inc.

FILES:
OP.18.014, Z.18.021, 19T-18V008

DATE:
December 5, 2018

5



AERIAL VIEW FROM THE SOUTH-WEST

Colour Perspective - West

LOCATION:
Part Lot 4, Concession 5

APPLICANT:
2748355 Canada Inc.

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.014\OP.18.014_PublicHearing_Perspective.mxd

Attachment

FILES:
OP.18.014, Z.18.021, 19T-18V008

DATE:
December 5, 2018

6

Printed on: 10/29/2018

Committee of the Whole (Public Hearing) Report

DATE: Wednesday, December 05, 2018

WARD: 2

**TITLE: OFFICIAL PLAN AMENDMENT FILE OP.18.015
ZONING BY-LAW AMENDMENT FILE Z.18.024
CATHOLIC CEMETERIES AND FUNERAL SERVICES –
ARCHDIOCESE OF TORONTO
VICINITY OF REGIONAL ROAD 27 AND HIGHWAY 407**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.18.015 and Z.18.024 for the Subject Lands shown on Attachments #1 and #2, to permit a two-storey, 5,039 m² a funeral home use and 279 parking spaces, as shown on Attachments #3 to #6.

Report Highlights

- To receive input from the public and the Committee of the Whole regarding a development proposal for a two-storey, 5,039 m² funeral home use and 279 parking spaces.
- Amendments to Vaughan Official Plan 2010 ("VOP 2010") and Zoning By-law 1-88 are required to permit the development.
- A technical report to be prepared by the Development Planning Department will be considered at a future Committee of the Whole hearing.

Recommendations

1. THAT the Public Hearing report for Files OP.18.015 and Z.18.024 (Catholic Cemeteries and Funeral Services – Archdiocese of Toronto) BE RECEIVED; and, that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The Subject Lands (the 'Subject Lands') are located on the west side of Regional Road 27, north of Highway 407, as shown on Attachments #1 and #2. The surrounding land uses are shown on Attachment #2. The Subject Lands are also known and operated as the Queen of Heaven Catholic Cemetery.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

- a) Date the Notice of Public Hearing was circulated: November 9, 2018.

The Notice of Public Hearing was also posted on the City's website at www.vaughan.ca and a Notice Sign was installed on the property in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: 150 m and the West Woodbridge Homeowners' Association.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not Applicable.

Analysis and Options

Official Plan and Zoning By-law Amendment Applications have been submitted to permit the proposed development

The Owner has submitted the following applications (the 'Applications') for the Subject Lands shown on Attachments #1 and #2, to permit a two-storey 5,039 m² funeral home use and 279 parking spaces (the "Development"), as shown on Attachments #3 to #6.

1. Official Plan Amendment File OP.18.015 to amend the "Private Open Space" designation to permit the cemetery related use of a funeral home on the Subject Lands.
2. Zoning By-law Amendment File Z.18.024 to amend Zoning By-law 1-88, specifically the "PB2 Parkway Belt Complementary Use Zone", to permit the cemetery related use of a funeral home within a two-storey, 5,039 m² building on the Subject Lands, together with the site-specific zoning exceptions identified in Table 1 of this report.

Amendments to Vaughan Official Plan 2010 are required to permit the cemetery related uses

The Subject Lands are designated “Private Open Spaces” and a portion of the rear of the Subject Lands is designated “Natural Areas”.

The “Private Open Space” designation permits cemeteries, including the following accessory buildings and structures: mausoleums, columbaria, crematoria, chapels, and caretaker’s residences, in accordance with the implementing zoning by-law. The designation does not prescribe buildings types. A Funeral Home is not permitted use; therefore, an Official Plan Amendment is required to permit the use.

No development is proposed on the rear portion of the Subject Lands that is designated “Natural Areas”, therefore, no amendment to the “Natural Areas” designation is required.

Amendments to Zoning By-law 1-88 are required to amend the “PB2 Parkway Belt Complementary Use Zone” to permit the Development

The Subject Lands are zoned “PB2 Parkway Belt Complementary Use Zone”, which does not permit a funeral home use. An amendment to Zoning By-law 1-88 is required to permit the proposed use, together with the following site-specific zoning exceptions:

Table 1:

	Zoning By-law 1-88	PB2 Parkway Belt Complementary Use Zone Requirements	Proposed Exceptions to the PB2 Parkway Belt Complementary Use Zone Requirements
a.	Permitted Uses	'Funeral Home' is not a permitted.	To permit a 'Funeral Home' use.
b.	Maximum Building Height	11 m	11.95 m (building)

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Through a preliminary review of the Applications, the Development Planning Department has identified matters to be reviewed in detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity with PPS, Growth Plan, and YROP 2010	<ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of the statutory Provincial policies including the <i>Provincial Policy Statement</i> 2014 (the “PPS”), the Growth Plan for the Greater Golden Horseshoe 2017 (the “Growth Plan”), and the policies of the York Region Official Plan (“YROP 2010”).
b.	Conformity with VOP 2010	<ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of the applicable policies of Vaughan Official Plan 2010 (“VOP 2010”).
c.	Appropriateness of Proposed Site-Specific Zoning Exceptions	<ul style="list-style-type: none"> ▪ The appropriateness of the zoning by-law amendments required to permit the Development on the Subject Lands will be reviewed in consideration of the existing and planned surrounding land uses.
d.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner has submitted the following studies and reports in support of the Applications, which must be approved to the satisfaction of the City or respective approval authority: <ul style="list-style-type: none"> - Archaeological Assessment - Urban Design and Sustainability Brief - Planning Justification Report - Arborist Report - Traffic Impact Study ▪ Additional studies and/or reports may be required as part of the development application review process.
e.	Parkland Dedication	<ul style="list-style-type: none"> ▪ The Owner will be required to pay to the City of Vaughan, cash-in-lieu of the dedication of parkland, prior to the issuance of a Building Permit, in accordance with the <i>Planning Act</i> and

	MATTERS TO BE REVIEWED	COMMENT(S)
		the City of Vaughan's Cash-in-Lieu of Parkland Policy, should the Applications be approved. The final value of the cash-in-lieu of parkland dedication will be determined by the Real Estate Department.
f.	Toronto and Region Conservation Authority (TRCA)	<ul style="list-style-type: none"> ▪ The Subject Lands fall within the TRCA Regulated Area and must be reviewed and approved by the TRCA.
g.	Related Site Development File DA.18.062	<ul style="list-style-type: none"> ▪ The related Site Development File DA.18.062 will be reviewed in consideration of, but not limited to: <ul style="list-style-type: none"> - the appropriate building and site design - the retention and preservation of mature trees on the Subject Lands - pedestrian and barrier free accessibility - vehicular access, internal traffic and emergency and service vehicle circulation and parking - landscaping, waste management - all required easements with the adjacent landowners (e.g. driveway access and servicing) and driveway alignment - appropriate site design and building materials, snow storage areas, stormwater management, and servicing and grading. ▪ All issues identified through the review of the Site Development File must be addressed to the satisfaction of the City.
h.	Sustainable Development	<ul style="list-style-type: none"> ▪ Opportunities for sustainable design, including CPTED (Crime Prevention Through Environmental Design), LEED (Leadership in Energy and Environmental Design), permeable pavers, bio-swales, drought tolerant landscaping, energy efficient lighting, reduction in pavement etc., will be reviewed and implemented through the Site Plan review process, if the Applications are approved.

	MATTERS TO BE REVIEWED	COMMENT(S)
i.	Ministry of Transportation (the "MTO")	<ul style="list-style-type: none"> ▪ The Subject Lands are located within the MTO's Permit Control Area. ▪ The Applications have been circulated to the MTO for review and comment. Any issues identified by the MTO will be addressed when the Technical Report is considered. ▪ The Owner will be required to obtain a MTO Building and Land Use Permit prior to the commencement of any works on the Subject Lands, should the Applications be approved.
j.	Hydro One Networking Inc. ("HONI")	<ul style="list-style-type: none"> ▪ The Subject Lands abut a hydro corridor. The Owner will be required to satisfy the requirements of HONI.

Financial Impact

n/a

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. The Owner has made a request to exempt the Official Plan Amendment Application from York Region's approval. To date, York Region has not issued a decision regarding the exemption request. Any issues will be addressed when the technical report is considered.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Mary Caputo, Senior Planner, at extension 8635.

Attachments

1. Context Location Map
2. Location Map
3. Site Plan and Zoning
4. Landscape Plan
5. Elevation Plan (South and East)
6. Elevation Plan (North and West)

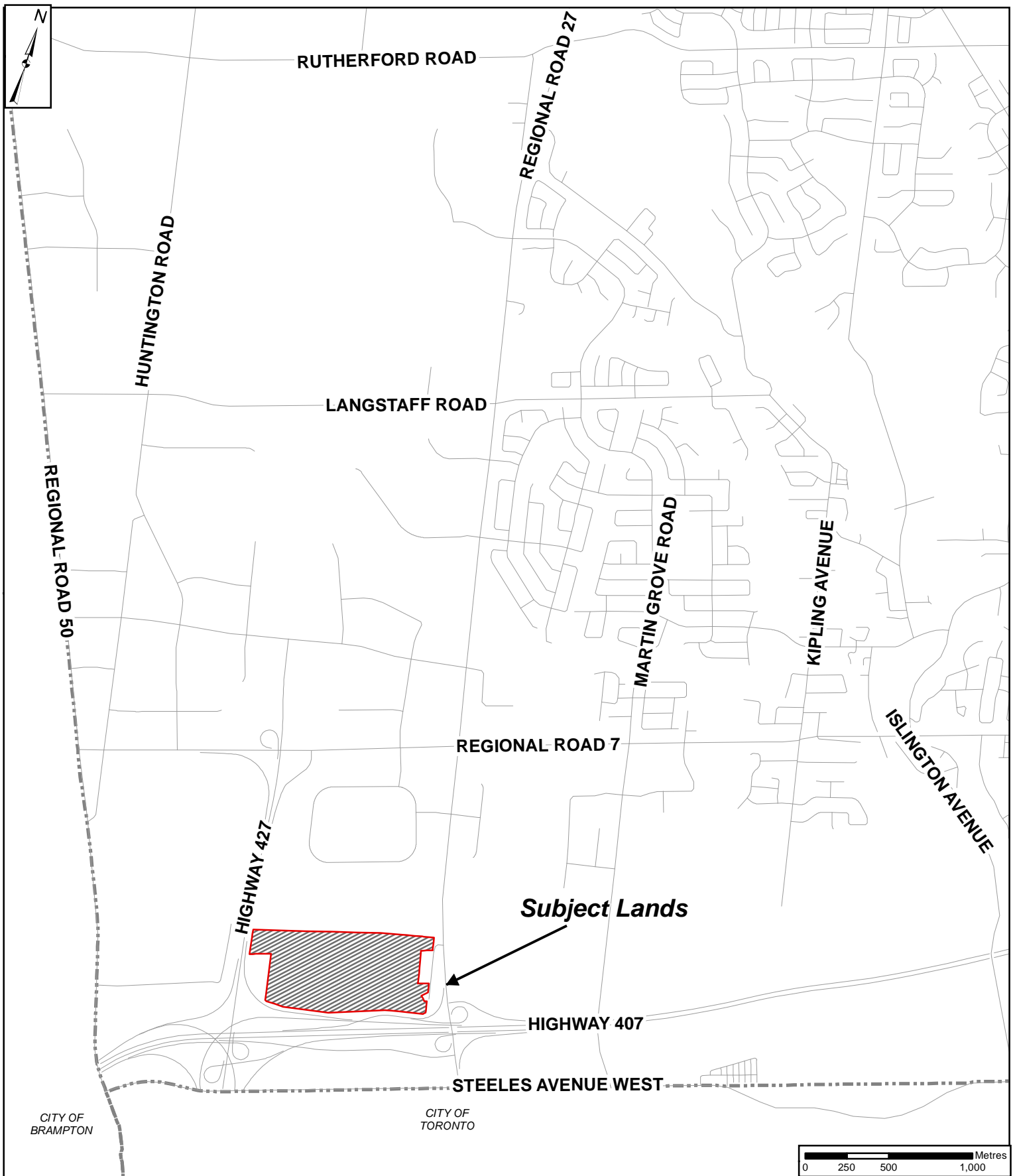
Prepared by

Mary Caputo, Senior Planner, ext. 8635

Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Mauro Peverini, Director of Development Planning, ext. 8407

/LG



Context Location Map

LOCATION:

Part of Lots 2 & 3, Concession 9

APPLICANT:

Catholic Cemeteries & Funeral Services
- Archdiocese of Toronto

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.015\OP.18.015_PH_ContextLocationMap.mxd



Attachment

FILES:

OP.18.015, Z.18.024

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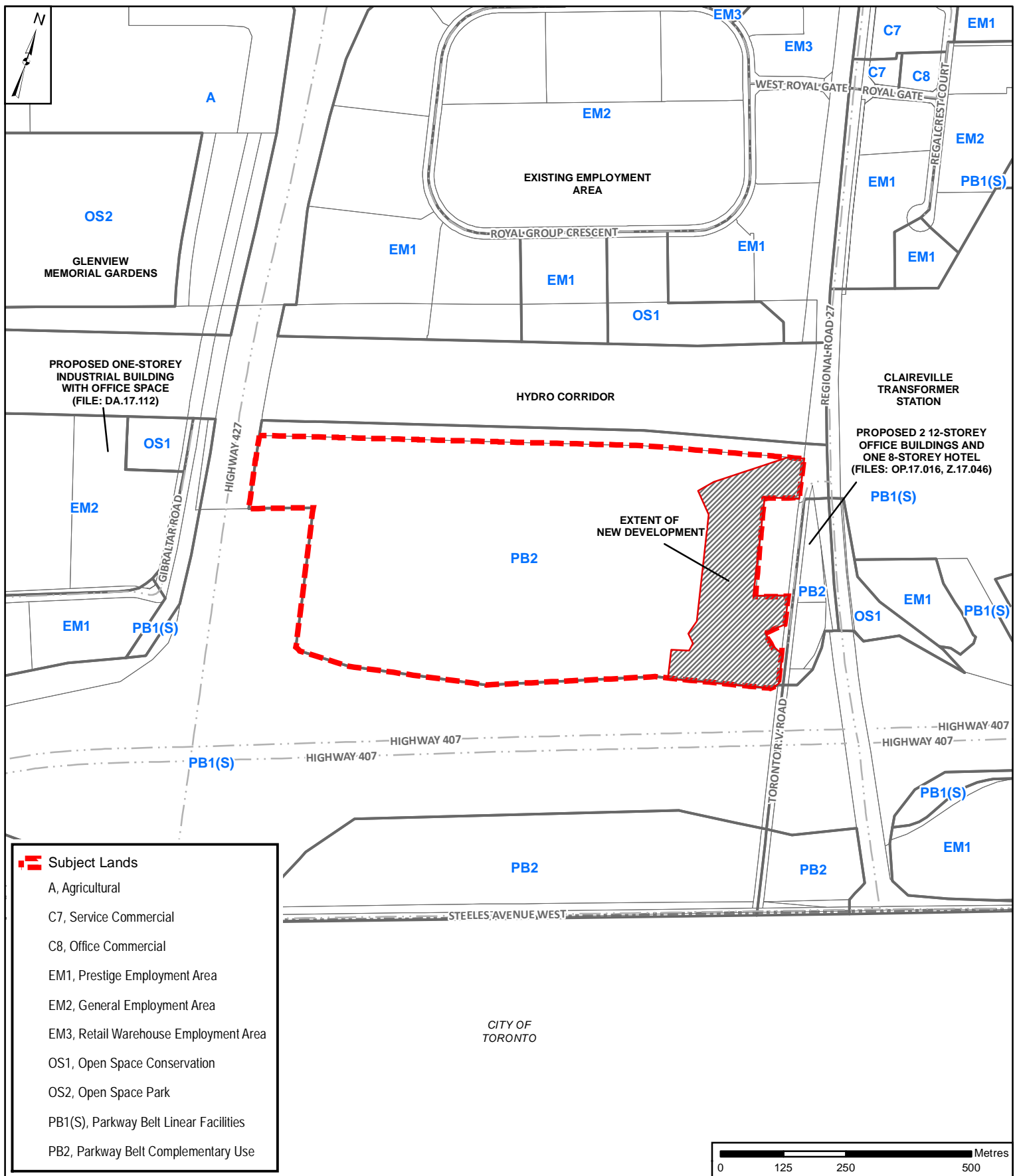
DA.18.062

DATE:

December 5, 2018

Printed on: 10/3/2018

1



Location Map

LOCATION:

Part of Lots 2 & 3, Concession 9

APPLICANT:

Catholic Cemeteries & Funeral Services
- Archdiocese of Toronto

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.015\OP.18.015_PH_LocationMap.mxd

Attachment

FILES:

OP.18.015, Z.18.024

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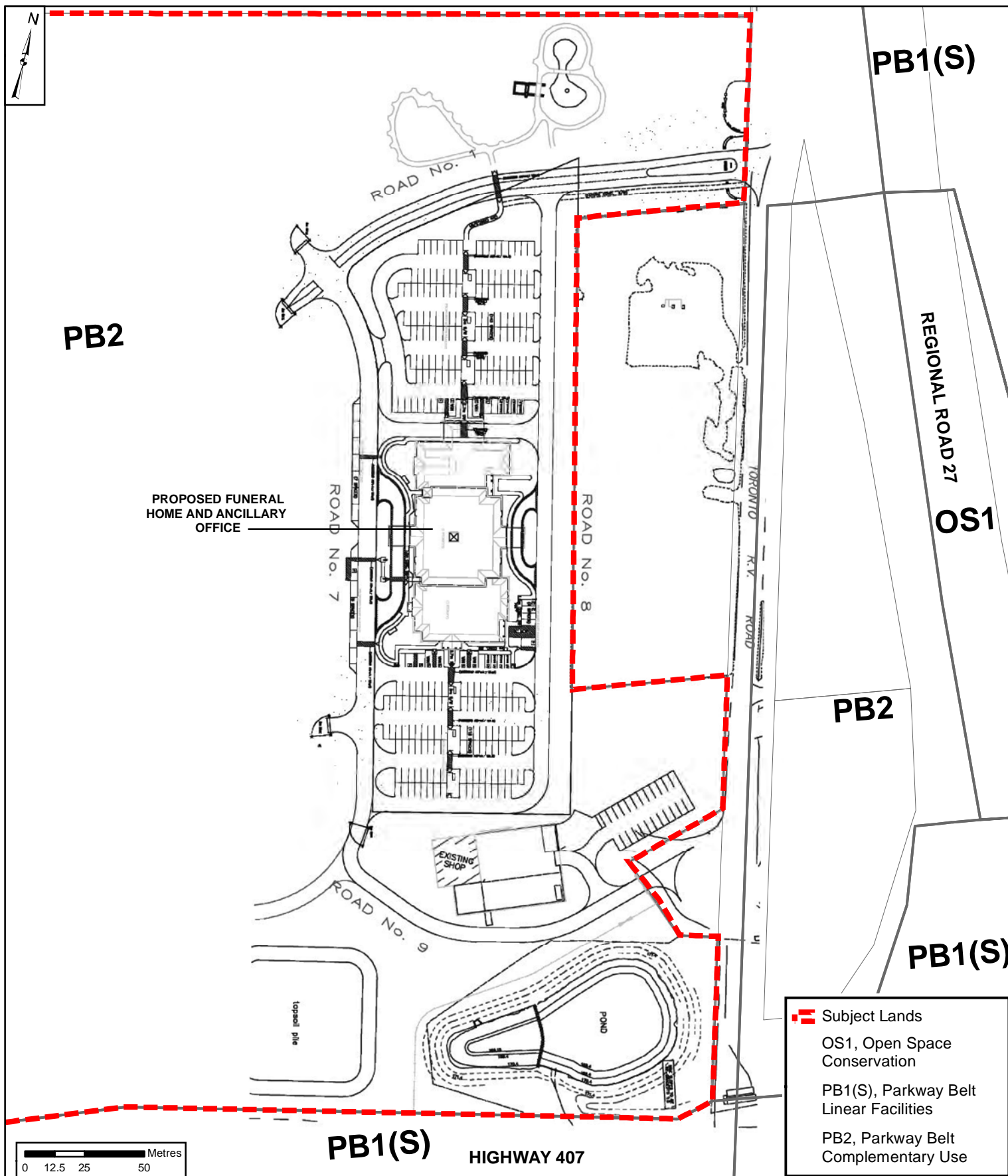
DA.18.062

DATE:

December 5, 2018

Printed on: 10/19/2018

2



Site Plan and Zoning

LOCATION:

Part of Lots 2 & 3, Concession 9

APPLICANT:

Catholic Cemeteries & Funeral Services
- Archdiocese of Toronto

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.015\OP.18.015_PH_SitePlanUpdate.mxd

Attachment

FILES:
OP.18.015, Z.18.024

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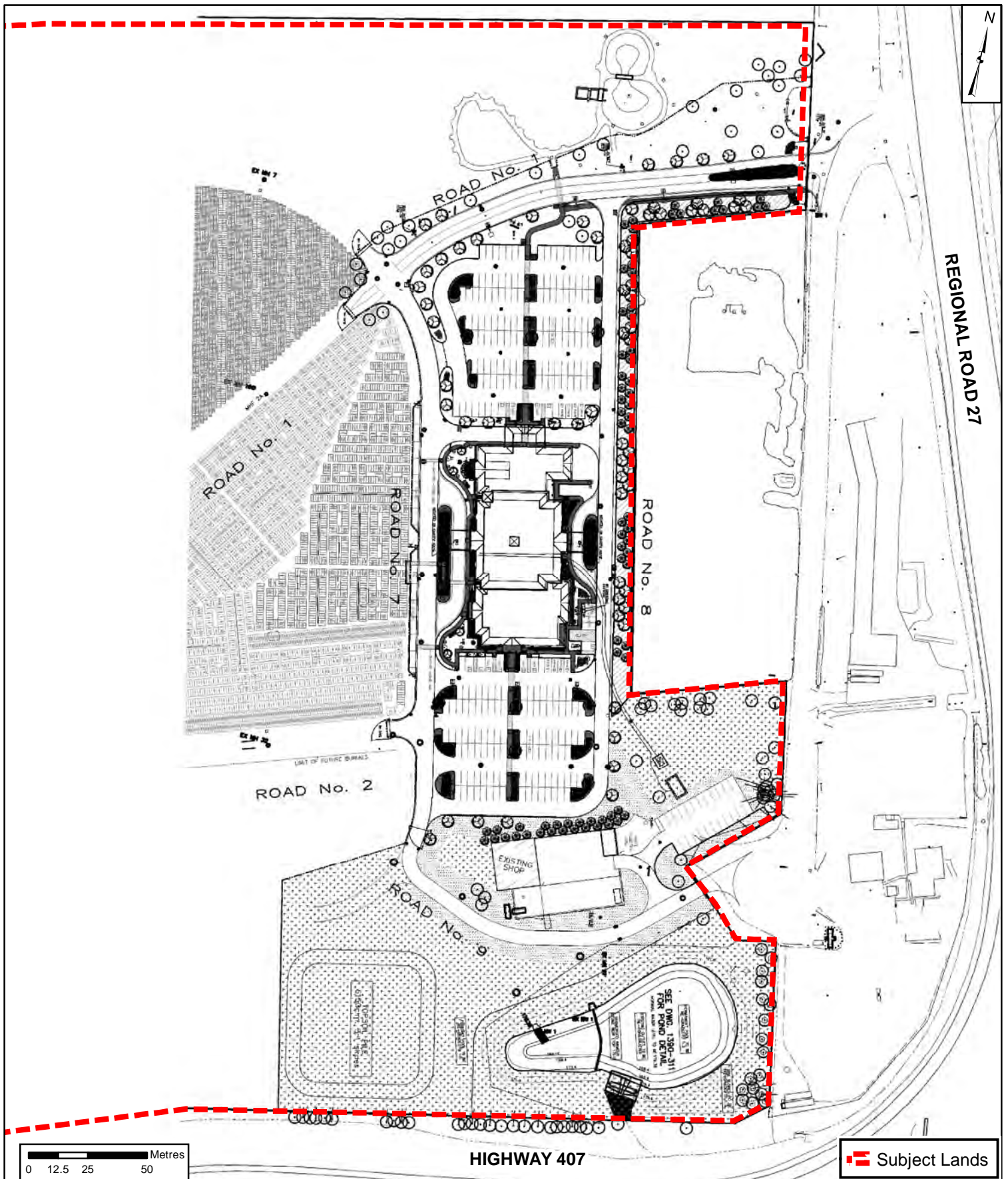
DA.18.062

DATE:

December 5, 2018

Printed on: 10/19/2018

3



Landscape Plan

LOCATION:

Part of Lots 2 & 3, Concession 9

APPLICANT:

Catholic Cemeteries & Funeral Services
- Archdiocese of Toronto

Document Path: N:\GIS_Archive\Attachments\OP\OP.18.015\OP.18.015_PH_LandscapePlanUpdate.mxd

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OP.18.015, Z.18.024

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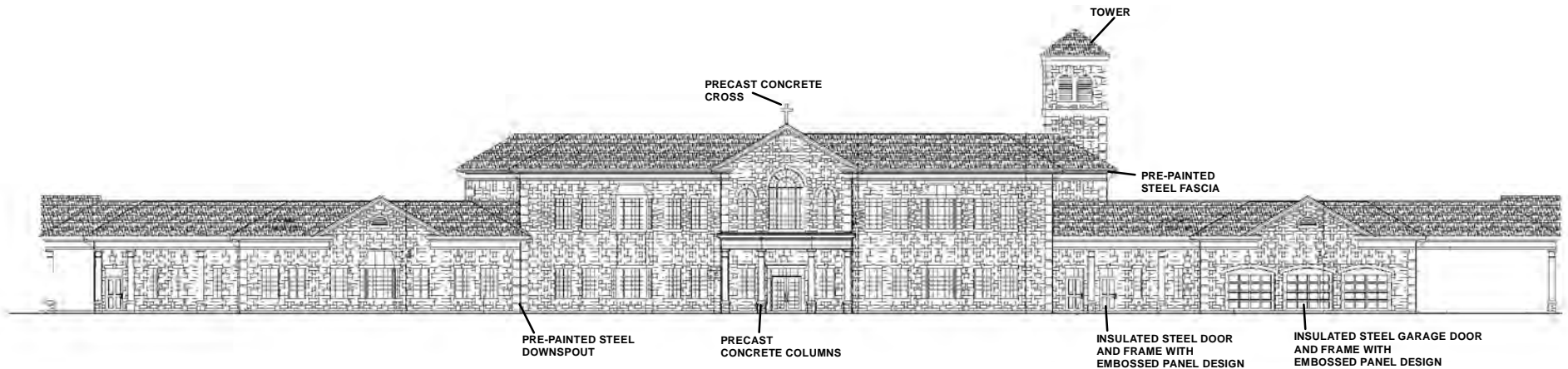
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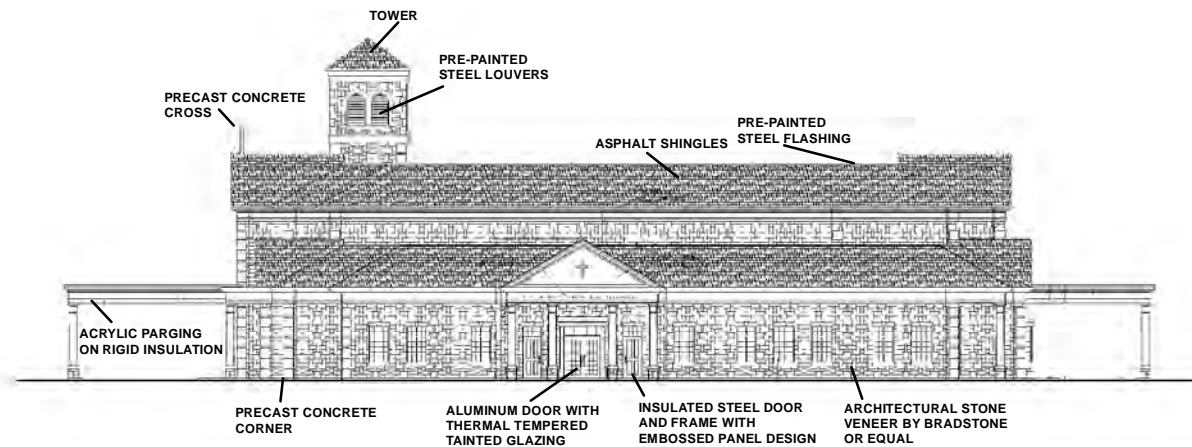
December 5, 2018

Printed on: 10/5/2018

4



EAST ELEVATION (FACING REGIONAL ROAD 27)



SOUTH ELEVATION (FACING HIGHWAY 407)

Not to Scale

Elevation Plan (South and East)

LOCATION:

Part of Lots 2 & 3, Concession 9

APPLICANT:

Catholic Cemeteries & Funeral Services
- Archdiocese of Toronto



Page 65

Attachment

FILES:

OP.18.015, Z.18.024

RELATED FILE:

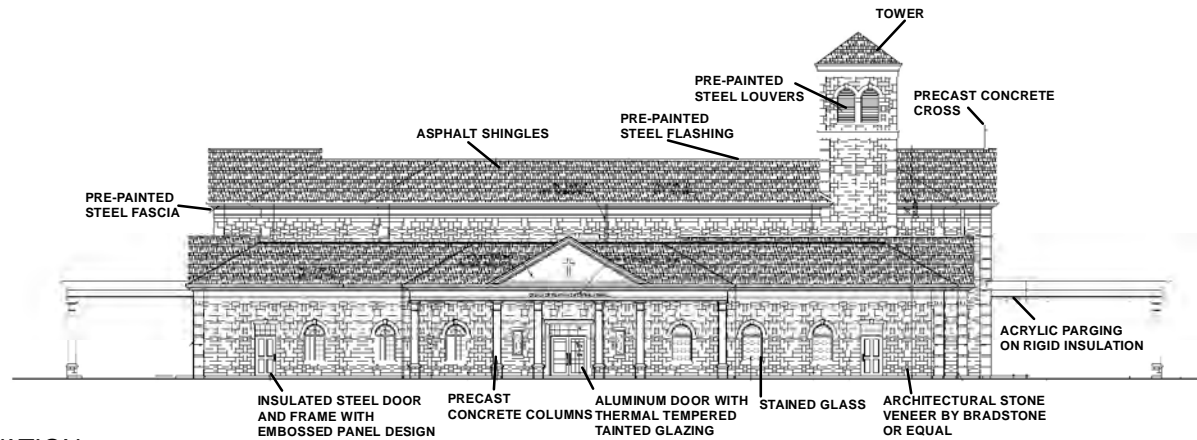
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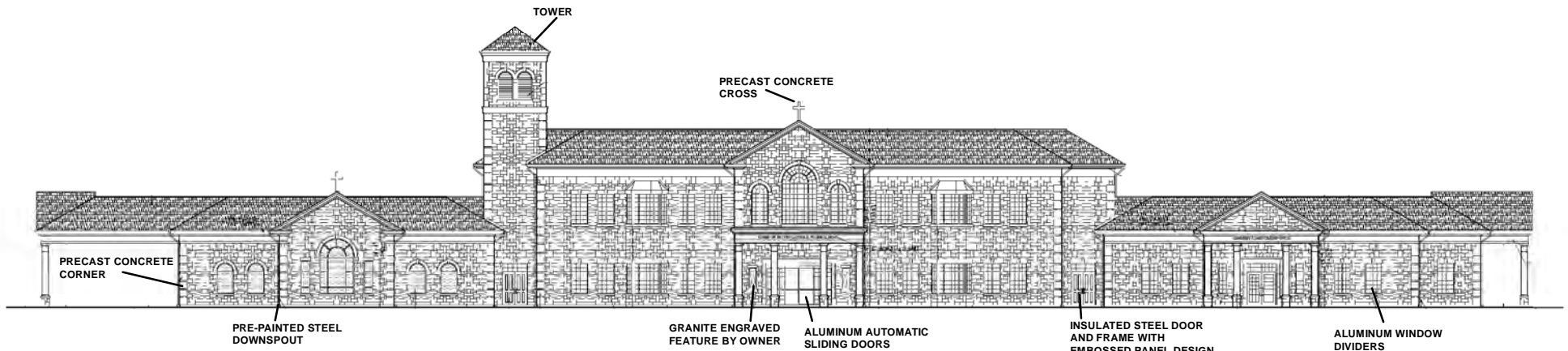
December 5, 2018

5

Printed on: 10/17/2018



NORTH ELEVATION



WEST ELEVATION

Not to Scale

Elevation Plan (North and West)

LOCATION:

Part of Lots 2 & 3, Concession 9

APPLICANT:

Catholic Cemeteries & Funeral Services
- Archdiocese of Toronto



Page 66

Attachment

FILES:

OP.18.015, Z.18.024

RELATED FILE:

DA.18.062

DATE:

December 5, 2018

6

Printed on: 10/17/2018