

**CITY OF VAUGHAN
HERITAGE VAUGHAN COMMITTEE
AGENDA**

This is an Electronic Meeting. Vaughan City Hall will not be open to the public. Public comments can be submitted by email to clerks@vaughan.ca

Wednesday, April 21, 2021

7:00 p.m.

Electronic Meeting

Vaughan City Hall

	Pages
1. CONFIRMATION OF AGENDA	
2. DISCLOSURE OF INTEREST	
3. COMMUNICATIONS	
4. DETERMINATION OF ITEMS REQUIRING SEPARATE DISCUSSION	
<u>Office of the City Manager</u>	
1. RENOVATION OF EXISTING HERITAGE HOUSE, AND REAR ADDITION AT 7714 YONGE STREET, THORNHILL HERITAGE CONSERVATION DISTRICT (REFERRED) Report of the City Manager with respect to the above.	3
2. DE-LISTING FOR 11110 JANE STREET Report of the City Manager with respect to the above.	179
3. KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT PLAN PHASE 2 UPDATE – PRESENTATION OF THE DRAFT PLAN Report of the City Manager with respect to the above.	257
5. ADOPTION OF ITEMS NOT REQUIRING SEPARATE DISCUSSION	
6. CONSIDERATION OF ITEMS REQUIRING SEPARATE DISCUSSION	

7. NEW BUSINESS

8. ADJOURNMENT

Heritage Vaughan Committee Report

DATE: Wednesday, April 21, 2021

WARD(S): 5

TITLE: RENOVATION OF EXISTING HERITAGE HOUSE, AND REAR
ADDITION AT 7714 YONGE STREET, THORNHILL HERITAGE
CONSERVATION DISTRICT
(REFERRED)

FROM:

Jim Harnum, City Manager

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for the proposed adaptive reuse of the existing Heritage house and the proposed new construction of a rear 2-storey addition. The subject property is located at 7714 Yonge Street, in the Thornhill Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*, as shown on Attachments 1 and 2.

Report Highlights

- The Owner seeks a recommendation for approval to renovate the existing dwelling for adaptive reuse, including the partial removal of existing additions and to construct a new rear 2-storey addition located at 7714 Yonge Street
- The existing main dwelling on the subject lands is identified as a contributing property in the Thornhill Heritage Conservation District Plan
- The proposal is consistent with the relevant policies and objectives of the Thornhill Heritage Conservation District Plan
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff supports approval of the proposal as it conforms with the policies and objectives of the Thornhill Heritage Conservation District Plan

Recommendations

Heritage Vaughan, at its meeting March 24, 2021, recommended the following (Item 3, Report No. 3):

- 1) That consideration of this matter be deferred to the Heritage Vaughan Committee meeting of April 21, 2021, to allow the applicant, staff and noted neighbours to deal with issues raised and report back; and
- 2) That the following comments and Communications were received:
 1. Mr. Azam Khan, Yonge Street, Thornhill and Communication C2, presentation material;
 2. Mr. Michael Scott, Michael Scott Architect Inc., Delaware Avenue, Toronto, on behalf of the applicant;
 3. Karolina and Igor Kataev, Old Jane Street, Thornhill;
 4. Mr. Sonny Goldstein, Elizabeth Street, Thornhill;
 5. Ms. Valerie Burke, Colborne Street, Thornhill and Communication C3, presentation material;
 6. Mr. Adam Birrell, The Society for the Preservation of Historic Thornhill (SPOHT), Royal Orchard Blvd., Thornhill and Communication C4, dated March 24, 2021, and
 7. Mr. Barry Nelson, The Society for the Preservation of Historic Thornhill (SPOHT), Royal Orchard Blvd., Thornhill.

Report of the City Manager, dated March 24, 2021

THAT Heritage Vaughan Committee recommend Council approve the proposed adaptive reuse of the existing dwelling, and the new construction of a rear 2-storey addition located at 7714 Yonge Street under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Deputy City Manager, Planning & Growth Management.
- b) Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application.
- c) The Applicant submit a finalized Stage 1 Conservation Plan to the satisfaction of Urban Design and Cultural Heritage Division prior to final Site Plan approval.
- d) The Applicant submit Stage 2 Conservation Plan drawings and specifications to the satisfaction of Urban Design and Cultural Heritage Division and Chief Building Officials prior to the issuance of a demolition permit.

- e) The Applicant submit Building Permit stage architectural drawings and building material specifications to the satisfaction of Urban Design and Cultural Heritage Division and Chief Building Official.

Background

7714 Yonge Street (also known as the W.D. Stark House) is located along the west side of Yonge Street, one block south of Centre Street in the City of Vaughan, as shown in Attachment 1. The subject property is within the Thornhill Heritage Conservation District ('THCD') and is identified as a contributing property.

W.D. Stark House is a single-detached, three-bay, and one-and-one-half storey structure with overall dimensions of 16m by 7.5m, with a wall height in the southeast corner of 4.4m. The building's T-shaped design is oriented with the long façade and central entrance of the East Portion parallel with Yonge Street (north-south).

The earliest built elements are the main Stark House block (the eastern portion of the structure) and the West Wing addition sharing a common stone foundation, both built circa 1853. This combination of main section and 'tail' is typical of mid-19th Century Gothic Revival residences in the Thornhill HCD. Later additions and the present outbuilding structures were added at different times in the 20th century and a full history of the property is available in the supporting Cultural Heritage Impact Assessment (CHIA), refer to Attachment 2.

To enable the adaptive reuse of the property, the applicant is proposing to remove the existing outbuilding and later additions. The original 1853 house and tail will be preserved and integrated into the proposed development.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies, objectives and supporting guidelines within the Thornhill Heritage Conservation District Plan.

The following is an analysis of the proposed adaptive reuse of the existing Heritage building and the construction of a rear 2-storey addition located at 7714 Yonge Street according to the THCD Plan guidelines.

4.2.2 Alterations and Additions to Heritage Buildings

- a) *Conserve the heritage value and heritage attributes of a heritage resource when creating any new addition or any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.*

- b) Ensure that any new addition, alteration, or related new construction will not have detrimental impact on the heritage resource if the new work is removed in future.*
- c) Alterations and additions to the heritage resource shall conform with the guidelines found in Section 9.3.*

The proposed redevelopment of the property conserves the original 1853 house and addition. The later additions have been deemed to not be of significant cultural heritage value as supported in the CHIA.

The new addition is sympathetic to the original house and is set back from the original block to provide a clear delineation between the old and new sections. The addition conforms to the guidelines in Section 9.3 of the Thornhill HCD Plan by providing a neutral backdrop that effectively “frame” the 1853 structures.

4.2.6 Use of a Heritage Building

- a) The uses permitted for a heritage building will be governed by the zoning by-law.*
- b) Uses that require minimal or no changes to heritage attributes are supported.*

Although the proposed reuse requires the removal of some portions of the addition and outbuilding structures, the significant heritage attributes of the house and the mature trees in the front yard will be preserved throughout construction, and maintaining the Cultural Heritage character. The proposed adaptive reuse will minimize the changes to the identified heritage attributes of the property.

4.6.4 Commercial Parking Lots

- *Attractive, well-designed parking lots that complement the special character of the District are supported. Parking will not be located in front of buildings.*
- *Parking lots will be appropriately screened. Features such as lighting, signage, and amenities used in parking lots will be consistent in design terms with those selected for use throughout the District.*
- *The consolidation and connection of commercial parking lots, to improve the efficiency and appearance of the parking facilities, is supported due to the collaborative nature and interdependence of the various commercial enterprises on Yonge Street and Centre Street.*
- *The development of underground parking facilities, appropriately located and accessed, is supported.*

As identified in the Site Plan drawing, the current driveway on the south side of the lot is proposed to be retained, widened slightly and modernized to meet current safety and access regulations. As currently proposed, the driveway meets the policies of the Thornhill HCD Plan.

9.1.1 Heritage Styles Residential Buildings

- *Vernacular “Loyalist” Cottage 1800-1850*
- *Neo-Classical 1800-1830*
- *Ontario Gothic Vernacular 1830-1890*

- *Victorian Vernacular*
- *Queen Anne Revival 1885-1900*
- *Vernacular Homestead 1890-1930*
- *Four-square 1900-1920*
- *Edwardian Classic 1900-1920*

The W.D. Stark House is identified as an example of the Ontario Gothic Vernacular style that was popular in 19th century Thornhill and the surrounding area. It supports and maintains the cultural heritage character of the streetscape and District. The proposed addition does not interfere or clash with the style and echoes the form to provide a sympathetic backdrop to the original house.

9.3.7 New Additions to Heritage Buildings Architectural Style

New attached additions to heritage buildings should be designed to complement the design of the original building.

Guidelines:

- *Design additions to maintain the original architectural style of the building. See Section 9.1.*
- *Use authentic detail.*
- *Research the architectural style of the original building.*
- *New additions to heritage buildings should respect the scale of the original building.*
- *Don't design additions to a greater height or scale than the original building.*
- *Don't design additions to predominate over the original building. Usually, additions should be located at the rear of the original building or, if located to the side, be set back from the street frontage of the original building.*
- *Use appropriate materials.*
- *Avoid destruction of existing mature trees.*

The proposed addition respects the original building by using a similar architectonic form and emulating some of the cladding of the original structure. Although it is a taller building at two storeys, it is set back from the existing original house with a new link that will diminish the impact of its height and simply provide a sympathetic backdrop. It does not overwhelm the original house as seen from the sidewalk and thus respects the scale of the original building.

The proposed rear location of the structure is sympathetic in architectural detail by repeating the form and orientation of the original house, complete with a dormer roofline that is oriented north-south as the original house does. The materials chosen reflect, and are sympathetic to, the cladding of the original house. The lower half is brick veneer forming a visual foundation echoing the original's stone foundation, as it references a historic practice of brick, stone and wood materials often used together. The upper level is clad in horizontal Hardie Board, providing visual continuity to the existing heritage

resource. The intermediate hallway ensures that the addition does not significantly impact the integrity of the original structure, and could be removed, if required in the future.

9.5.3.2 Built Form Vision

The objective of the proposed built form for the Yonge Street commercial corridor is to enable the development and insertion of more intense forms of development within the context of existing heritage and complementary buildings. The Thornhill Yonge Street Study, 2005 describes the basic building form:

- *Building massing should reflect a linked series of pavilion type buildings defined by recessed connector building segments. This variety in setback will create certain buildings that have greater emphasis and is somewhat in keeping with the character of a village which would have had independent buildings with sideyards.*
- *Mid-block pavilion building segments should generally occupy 15-20 metres of the street frontage whereas corner pavilion segments should occupy more frontage (25 -30 metres)*
- *The recessed connector building segments should generally occupy 6-15 metres of street frontage, and should be set back from the mandatory streetscape setback an additional 1.5 to 3.0 metres. This additional setback will provide an area of refuge for private landscape enhancements as well as street furniture.*
- *Long, homogenous facades are to be avoided.*
- *Pedestrian “through building” connections from Yonge Street to rear commercial parking areas are desirable especially for any development exceeding 50 metres of continuous building frontage.*
- *Massing and built form should step down to respond to and respect adjacent heritage buildings.*

The proposed adaptive reuse maintains the current setback and will maintain a front yard with landscaping and the existing mature trees will be preserved, thereby maintaining the streetscape character of the THCD.

In addition, the proposed addition respects the adjacent heritage property to the north in form and massing. The heritage property to the north (7716-7724 Yonge Street) is a 19th century commercial block that is directly adjacent to the existing sidewalk. The proposed addition of 7714 Yonge Street will not impact or overwhelm this structure as the addition is located at the rear of the existing setback of house, as shown in Attachment 8. This Attachment provides a rendering of the subject property in context with massing forms of the neighboring properties.

9.7.1 Planting

No heritage permits are required for planting activities, but voluntary compliance with the guidelines in this Section can help maintain and enhance the natural heritage of Thornhill and its valleys. Suitable new planting and management of existing flora are a primary means of ensuring the health of the entire ecosystem: plants contribute to stormwater and groundwater management, erosion control, and provide habitat and nutrition for wild fauna.

Guidelines:

- *Maintain health of mature indigenous tree by pruning and fertilizing, and by preventing intrusion that may damage the root systems.*
- *Over time, remove unhealthy, invasive and non-indigenous species.*
- *Site buildings and additions to preserve suitable mature trees.*
- *Suitable indigenous species:*
- *Sugar Maple, Red Oak, Basswood, Silver Maple, Bitternut, Butternut, White Pine, Hemlock, American Elm, Red Maple, Bur Oak, White Spruce.*
- *Suitable salt-tolerant species (for roadside planting):*
- *Little Leaf Linden, Serviceberry, Freeman Maple, Bur Oak, Red Oak, Kentucky Coffee Tree.*
- *Unsuitable species:*
- *Manitoba Maple, Hawthorn, Black Locust, and Buckthorn tend to be invasive.*
- *Ornamental species, particularly Norway Maple cultivars, are extremely invasive.*

The proposal conserves mature trees located on the subject lands along the east side of the property (the front elevation), along the north side of the property and on the west side of the property (rear) which abuts the residential neighbourhood. The proposed landscaping as outlined in the Arborist Report (see Attachment 9) is in keeping with the Policies of the Thornhill HCD Plan.

9.8.1 Heritage Buildings***Appropriate Materials***

Exterior Finish: Smooth red clay face brick, with smooth buff clay face brick as accent. Wood clapboard, 4" to the weather. Smooth, painted, wood board and batten siding.

Exterior Detail: Cut stone or reconstituted stone for trim in brick buildings. Wood shingles, stucco, or terra-cotta wall tiles in gable ends. Painted wood porches, railings, decorative trim, shutters, fascias and soffits. Painted wood gingerbread bargeboards and trim, where appropriate to the design.

Shopfronts: Wood frames, glazing bars, and panels with glazed wood doors are preferred.

Metal shopfronts, detailed and proportioned to be compatible with heritage shopfronts, are acceptable.

Roofs: Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the style. Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style.

Doors: Wood doors and frames, panel construction, may be glazed. Transom windows and paired sidelights. Wood french doors for porch entrances. Single-bay wood panelled garage doors.

Windows: Wood frames; double hung; lights as appropriate to the architectural style. Real glazing bars, or high-quality simulated glazing bars. Vertical proportion, ranging from 3:5 to 3:7.

Flashings: Visible step flashings should be painted the colour of the wall.

The proposed adaptive reuse will restore the original structure and tail addition on the property. A Conservation Plan has not yet been submitted as part of the Building Permit application process.

Cultural Heritage staff has, in light of the extenuating circumstances, proposed that a Stage 1 Conservation Plan be submitted to the satisfaction of the Urban Design and Cultural Heritage Division prior to final approval of the Site Plan application (DA.14.009). In addition, a Stage 2 Conservation Plan package of drawings must be submitted to the satisfaction of Cultural Heritage staff and Building Department staff as part of a complete demolition application under the Ontario Building Code Act. It is staff's opinion these conditions, in addition to the standard final review of materials prior to Building Permit issuance, will sufficiently protect the built heritage resource.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed heritage site redevelopment and related works conform to the policies and objectives within the THCD Plan. Accordingly, staff can support Council approval of the proposed adaptive reuse of the existing Heritage building and the construction of a rear 2-storey addition located at 7714 Yonge Street under the *Ontario Heritage Act*.

For more information, please contact: Katrina Guy, Heritage Coordinator, ext. 8115

Attachments

Attachment 1 – 7714Yonge_Location Map
Attachment 2 – 7714Yonge_Cultural Heritage Impact Assessment
Attachment 3 – 7714Yonge_CHIA Staff Memo
Attachment 4 – 7714Yonge_Site Plan (Current and Proposed)
Attachment 5 – 7714Yonge_Floor Plans
Attachment 6 – 7714Yonge_Elevations
Attachment 7 – 7714Yonge_Renderings
Attachment 8 – 7714Yonge_Materials
Attachment 9 – 7714Yonge_Arborist Report
Attachment 10 – 7714Yonge_Letter from Alexander Planning
Attachment 11 – Communication C2 from March 24, 2021 Heritage Vaughan Meeting
Attachment 12 – Communication C3 from March 24, 2021 Heritage Vaughan Meeting
Attachment 13 – Communication C4 from March 24, 2021 Heritage Vaughan Meeting

Prepared by

Katrina Guy, Cultural Heritage Coordinator, ext. 8115

Nick Borcescu, Senior Heritage Planner, ext. 8191

Rob Bayley, Manager of Urban Design/Cultural Services, ext. 8254

Bill Kiru, Acting Director of Development Planning, ext. 8633



Location Map

Location:
7714 Yonge Street, Thornhill
Part of Lot 30, Concession 1



Attachment

Date:
February 16, 2021

1



REPORT

Cultural Heritage Impact Assessment

*W.D. Stark House, 7714 Yonge Street, Former York County, Vaughan Township,
City of Vaughan, Regional Municipality of York, Ontario*

Submitted to:

Roman Vorotynskiy

c/o Alexander Planning Inc.
72 Herefordshire Crescent
East Gwillimbury, Ontario
L9N 0B6

Submitted by:

Golder Associates Ltd.

309 Exeter Road, Unit #1 London, Ontario, N6L 1C1 Canada

+1 519 652 0099

1651524-R01

February 13, 2019



Distribution List

1 e-copy - Alexander Planning Inc.

1 e-copy - Golder Associates Ltd.

Personnel

Project Director	Hugh Daechsel, M.A., Principal, Senior Archaeologist
Project Manager	Henry Cary, Ph.D., CAHP, RPA, Cultural Heritage Specialist
Historical Research	Henry Cary, Ph.D., CAHP, RPA
Field Investigations	Henry Cary, Ph.D., CAHP, RPA
Report Production	Henry Cary, Ph.D., CAHP, RPA
	Elizabeth Cushing, M.Pl., Cultural Heritage Specialist
	Liz Yildiz, Administrative Assistant
Maps & Illustrations	Dave Hoskings, CAD/GIS Team Leader
Senior Review	Hugh Daechsel, M.A.

Executive Summary

The Executive Summary summarizes only the key points of the report. For a complete account of the results and conclusions, as well as the limitations of this study, the reader should examine the report in full.

In March 2016, Alexander Planning Inc. on behalf of Roman Vorotynskiy (the Client) retained Golder to conduct a CHIA for the property located at 7714 Yonge Street, in the City of Vaughan, Regional Municipality of York, Ontario (the property). The 0.414-acre (0.167-hectare) lot includes a one-and-one-half storey, Gothic Revival style residence constructed in 1853 that measures 52 feet 9 inches (16.1 m) by 24 feet 5 inches (7.4 m), and a one-storey 50 (15.2 m) foot by 34 foot (10.4 m) outbuilding. The property is described in the City's municipal heritage register as 'W.D. Stark House' and is within the City of Vaughan's Thornhill Heritage Conservation District (HCD).

This CHIA was undertaken to accompany the Client's development proposal for site plan and zoning by-law amendments to permit the demolition of the outbuilding as well as the shed wing and west wing extension of W.D. Stark House to construct a two-and-a-half storey retail and medical building connected to the rear of the existing heritage structure.

Following guidelines outlined in the City of Vaughan's *Guidelines for Cultural Heritage Impact Assessments*, the Ministry of Tourism, Culture and Sport, and Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this CHIA identifies the heritage policies applicable to new development, summarizes the property's geography and history, and provides an inventory and evaluation of the property's built and landscape features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed and future conservation actions recommended based on a rigorous options analysis.

This CHIA concluded that:

- ***The W.D. Stark House at 7714 Yonge Street, designated under Part V of the Ontario Heritage Act for its associations and contributions to the Thornhill Heritage Conservation District is also of cultural heritage value or interest as a representative example of a mid-19th century Gothic Revival style house; and,***
- ***The outbuilding is not a heritage attribute of the property.***

The CHIA also concluded that with the conservation or mitigation measures recommended in this report the proposed development of the property:

- ***Will not result adverse impacts to the property's identified heritage attributes;***
- ***Will not result in adverse impacts to the cultural heritage attributes of the Thornhill HCD.***

In addition to the recommendations the Client has adopted to comply with the Thornhill HCD design guidelines and compatibly incorporate the new development into W.D. Stark House, Golder recommends the mitigations to avoid potential impacts:

Site Preparation Phase

- ***Implement construction plan control and communication.***

The property and specifically the footprint of W.D. Stark House should be clearly marked on project mapping and communicated to all project personnel for avoidance during site preparation and construction.

- ***Demolish the outbuilding***

No further documentation is recommended for the outbuilding as it is not considered a heritage attribute.

- ***Preserve by record the shed wing and west wing extension of W.D. Stark House through written notes, measured drawings and photographic records prior to partial demolition.***

The *Standards and Guidelines* identifies that for rehabilitation projects, some alterations may be required to assure the continued use of an historic place. The main block of the W.D. Stark House is of higher priority for conservation due to its numerous heritage attributes, and removal of the rear and shed wing will serve to reinstate attention to the character-defining elements.

Partial Demolition and Construction Phase

- ***Hand demolish the west wing extension and shed wing from W.D. Stark House.***

Removing the west wing extension and shed wing must be carefully supervised by a qualified demolition contractor and requires that the roof and wall joints of the west wing extension be disconnected manually from the west wing. Once disconnected by hand, hydraulic equipment (e.g. hammer, excavator) are acceptable mechanical methods to demolish the remainder of the west wing extension and shed wing.

- ***Monitor for vibration impact during all construction.***

Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.

The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.

- ***Create a temporary physical buffer.***

To reduce the risk of accidental subsidence, temporary fencing should be erected at a 2 m distance from the house footprint to ensure that all excavation, utility and sidewalk installation is a distance from the foundations of W.D. Stark House. To reduce the risk of construction vehicles accidentally colliding with the house, concrete barriers should be placed along the north foundation walls adjacent to the main access route.

- ***Implement dust control measures.***

All preparatory cutting of building materials should be carried out a distance from the house to reduce and control dust levels.

Re-use Phase

- ***Develop a Heritage Conservation Plan to guide re-use planning for W.D. Stark House.***

A heritage conservation plan should be commissioned that details the appropriate conservation treatments (i.e. preservation, rehabilitation or restoration) and actions, trades, and implementation schedule required to adaptively re-use of W.D. Stark House as a café. The plan will also suggest the materials and colours appropriate for W.D. Stark House to ensure it complements the immediate physical context and streetscape.

Operation Phase

- ***Create a permanent physical buffer.***

A permanent buffer, such as a concrete curb or bollards, should be erected to the immediate northeast and northwest corners of the W.D. Stark House to reduce the risk of accidental collision with vehicles accessing the rear of the property.

- ***Develop a maintenance plan and inspection schedule to address current issues and maintain the structure; and,***

- ***Install an interpretive panel or display within the new development that outlines the history of W.D. Stark House and its architecture.***

Study Limitations

Golder Associates Ltd. has prepared this report in a manner consistent with the guidelines developed by the Ontario Ministry of Tourism, Culture, and Sport (MTCSS), the City of Vaughan, and Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places* subject to the time limits and physical constraints applicable to this report. No other warranty, expressed or implied, is made.

This report has been prepared for the specific site, design objective, developments and purpose described to Golder Associates Ltd., by Roman Vorotynskiy (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder Associates Ltd.'s express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the Client, Golder Associates Ltd. may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder Associates Ltd. The report, all plans, data, drawings and other documents as well as electronic media prepared by Golder Associates Ltd. are considered its professional work product and shall remain the copyright property of Golder Associates Ltd., who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permission of Golder Associates Ltd. The Client acknowledges the electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client cannot rely upon the electronic media versions of Golder Associates Ltd.'s report or other work products.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.

Table of Contents

1.0 INTRODUCTION	1
1.1 Measurement Units	1
2.0 POLICY FRAMEWORK	4
2.1 Federal and International Heritage Policies	4
2.2 Provincial Heritage Policies.....	4
2.2.1 The Ontario Planning Act and Provincial Policy Statement.....	4
2.2.2 The Ontario Heritage Act and Ontario Regulation 9/06.....	5
2.3 Municipal Heritage Policies	7
2.3.1 Official Plan and Secondary Plans.....	7
2.3.2 Cultural Heritage Impact Assessments.....	7
2.3.3 Heritage Conservation Districts and Design Guidelines	8
3.0 SCOPE AND METHOD	10
3.1 Record of Consultation.....	11
4.0 GEOGRAPHIC & HISTORICAL CONTEXT	12
4.1 Geographic Context	12
4.2 Historical Context	12
4.2.1 County of York	12
4.2.2 Vaughan Township and the City of Vaughan	13
4.2.3 7714 Yonge Street	15
5.0 STRUCTURAL HISTORY	19
5.1 Phase 1: 1853 to circa 1900	19
5.2 Phase 2: circa 1900 to circa 1930.....	19
5.3 Phase 3: Circa 1930 to 1949.....	21
5.4 Phase 4: 1949 to 2016	23
6.0 RESOURCE DESCRIPTION	25
6.1 Setting	25

6.1.1	Setting – Figures	26
6.2	Built Environment: W.D. Stark House	30
6.2.1	General Description	30
6.2.2	Main Block with East Porch	30
6.2.3	Original West Wing	31
6.2.4	Southwest Addition	32
6.2.5	West Wing Extension	32
6.2.6	Shed Wing	32
6.2.7	South Porch	32
6.2.8	W.D. Stark House – Figures	33
6.3	Outbuilding	44
6.4	Interpretation	46
6.5	Heritage Integrity	47
6.6	Physical Condition	50
7.0	CULTURAL HERITAGE VALUE OR INTEREST	52
7.1	Description of Property – 7714 Yonge Street	52
7.2	Statement of Cultural Heritage Value or Interest	52
7.3	Description of Heritage Attributes	52
8.0	IMPACT ASSESSMENT	53
8.1	Development Description	53
8.2	Impact Assessment	53
8.2.1	Design Assessment	60
8.3	Results of Impact Assessment & Recommendations	69
8.4	Additional Considerations	72
9.0	ALTERNATIVES, MITIGATION AND CONSERVATION OPTIONS	73
9.1	Option 1: Preservation	73
9.2	Option 2: Restore or Rehabilitate and Incorporate	74
9.3	Option 3: Relocate & Rehabilitate	74

9.4	Option 4: Preserve by Record & Commemorate	75
9.5	Results of Options Analysis	75
9.5.1	Outbuilding	76
10.0	SUMMARY STATEMENT & RECOMMENDATIONS	77
11.0	REFERENCES	81

TABLES

Table 1: Results of Consultation.....	11
Table 2: Heritage Integrity Analysis	48
Table 3: Assessment of direct & indirect adverse impacts	55

FIGURES

Figure 1: Location Map	2
Figure 2: Key plan of built elements on the property	3
Figure 3: The single front survey system, used from 1783 to 1818. As depicted here, each lot is 200 acres (Ac.), created from surveying 19 chains by 105.27 chains (1 chain = 66 feet/ 20.12 metres; Gentilcore 1969).....	14
Figure 4: Tremaine's Map of the County of York, 1860.....	17
Figure 5: Miles & Co. Illustrated Historical Atlas of the County of York, 1878.	18
Figure 6: A circa 1900 street view with the fence, ditch, and boardwalk of the property at far left (courtesy City of Vaughan Archives).....	20
Figure 7: Goad's 1910 Fire Insurance Plan of Thornhill (courtesy Society for the Preservation of Historic Thornhill). The subject property is outlined in red.	20
Figure 8: A circa 1930 oblique air photo of the property, with red arrow indicating W.D. Stark House. The rear wings can be clearly seen (Toronto Telegram, Society for the Preservation of Historic Thornhill).	21
Figure 9: A 1948 photograph of the house adjacent to W.D. Stark House being moved. Note the projecting bay, gable chimneys and front porch on W.D. Stark House (courtesy City of Vaughan Archives).	22
Figure 10: A 1949 oblique air photo of the property, with red arrows indicating W.D. Stark House (right) and the outbuilding (left). The southwest porch is still extant and, judging from the roofline, the southwest addition may also be present. Not seen on the outbuilding is the tall brick chimney that stands today (Toronto Telegram, Society for the Preservation of Historic Thornhill).	22
Figure 12: A circa 1978 building inventory record of W.D. Stark House (courtesy City of Vaughan Archives).	24
Figure 13: Phase plan of built elements in the property	24
Figure 14: View of the property facing northwest.	26

Figure 15: View of the property facing west. The Bell Service Centre is on the left, and the Francis Block is to the right.	26
Figure 16: View facing east from the southwest corner of the property.	27
Figure 17: View facing west of the west half of the property.	27
Figure 18: The northwest corner of the property.	28
Figure 19: Panorama of the view facing east from the east porch of W.D. Stark House.	28
Figure 20: John Francis / Boynton Weldrick House at 25 Elizabeth Street, built in 1904.	29
Figure 21: Example of a stucco-covered Gothic Revival residence in the Thornhill HCD.	29
Figure 22: Example of a brick Gothic Revival residence in the Thornhill HCD.	30
Figure 24: The south and east façades of W.D. Stark House.	34
Figure 25: The east façade of W.D. Stark House.	34
Figure 26: The north and east façades of W.D. Stark House.	35
Figure 27: A typical window of the Main Block, ground level.	35
Figure 28: The projecting bay on the south façade of W.D. Stark House.	36
Figure 29: The central entrance of the Main Block.	36
Figure 30: Central stairway in the south room of the Main Block, ground level.	37
Figure 31: The south room of the Main Block, ground level, facing southwest.	37
Figure 32: Exposed squared log studs in the west wall of the Main Block, ground level.	38
Figure 33: The rounded fieldstone foundation as seen from beneath the West Wing Extension.	38
Figure 34: Planed wood joists and floorboards as seen from the Main Block basement.	39
Figure 35: Notching of the Main Block sill to accommodate a floor joist.	39
Figure 36: South façade of W.D. Stark House.	40
Figure 37: The hearth in the west wall of the Original West Wing ground level.	40
Figure 38: Second level room of the Original West Wing, facing south.	41
Figure 39: Surviving baseboard in the south wall of the Original West Wing. More recent baseboard can be seen at right.	41
Figure 40: North and west façades of W.D. Stark House.	42
Figure 41: West and south façades of W.D. Stark House.	42
Figure 42: The staircase in the northwest corner of the West Wing Extension.	43
Figure 43: Second level room of the West Wing Extension, facing southeast.	43
Figure 44: The west façade of W.D. Stark House.	44
Figure 45: The distinguishing characteristics of the 'Ontario Gothic' as outlined in the Thornhill HCD Plan (City of Vaughan 2007:58).	47

Figure 46: Mortar and concrete damage on the north foundation wall at a downspout location.....	51
Figure 47: View of the property from the southeast.	58
Figure 48: View of the property from the northeast.	59
Figure 49: View of the property from the southwest.	59
Figure 50: Site plan with proposed locations for bollards identified in red.	71

APPENDICES

APPENDIX A

Abstract Index Records, Part of Lot 30, Concession 1, Vaughan Township

APPENDIX B

7714 Yonge Street Inventory Sheet, Thornhill HCD Plan

APPENDIX C

Site Plan and Elevations for 7714 Yonge Street

1.0 INTRODUCTION

In March 2016, Alexander Planning Inc. on behalf of Roman Vorotynskiy (the Client) retained Golder to conduct a CHIA for the property located at 7714 Yonge Street, in the City of Vaughan, Regional Municipality of York, Ontario (the property; Figure 1 and Figure 2). The 0.414-acre (0.167-hectare) lot includes a one-and-one-half storey, Gothic Revival style residence constructed in 1853 that measures 52 feet 9 inches (16.1 m) by 24 feet 5 inches (7.4 m), and a one-storey 50 (15.2 m) foot by 34 foot (10.4 m) outbuilding. The property is described in the City's municipal heritage register as 'W.D. Stark House' and is within the City of Vaughan's Thornhill Heritage Conservation District (HCD).

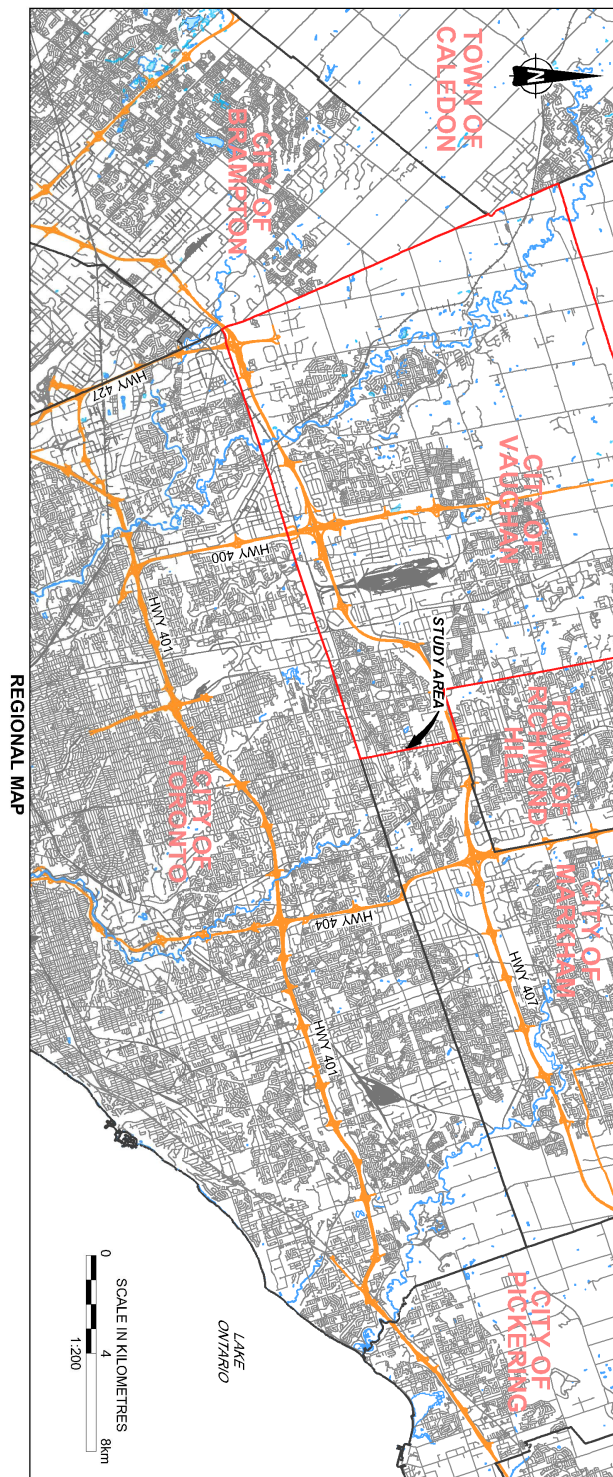
This CHIA was undertaken to accompany the Client's development proposal for site plan and zoning by-law amendments to permit the demolition of the outbuilding as well as the shed wing and west wing extension of W.D. Stark House to construct a two-and-a-half storey retail and medical building connected to the rear of the existing heritage structure.

Following guidelines provided by the City of Vaughan's *Guidelines for Cultural Heritage Impact Assessments* (2016), the Ministry of Tourism, Culture and Sport (MTCS) and Canada's Historic Places, this CHIA provides:

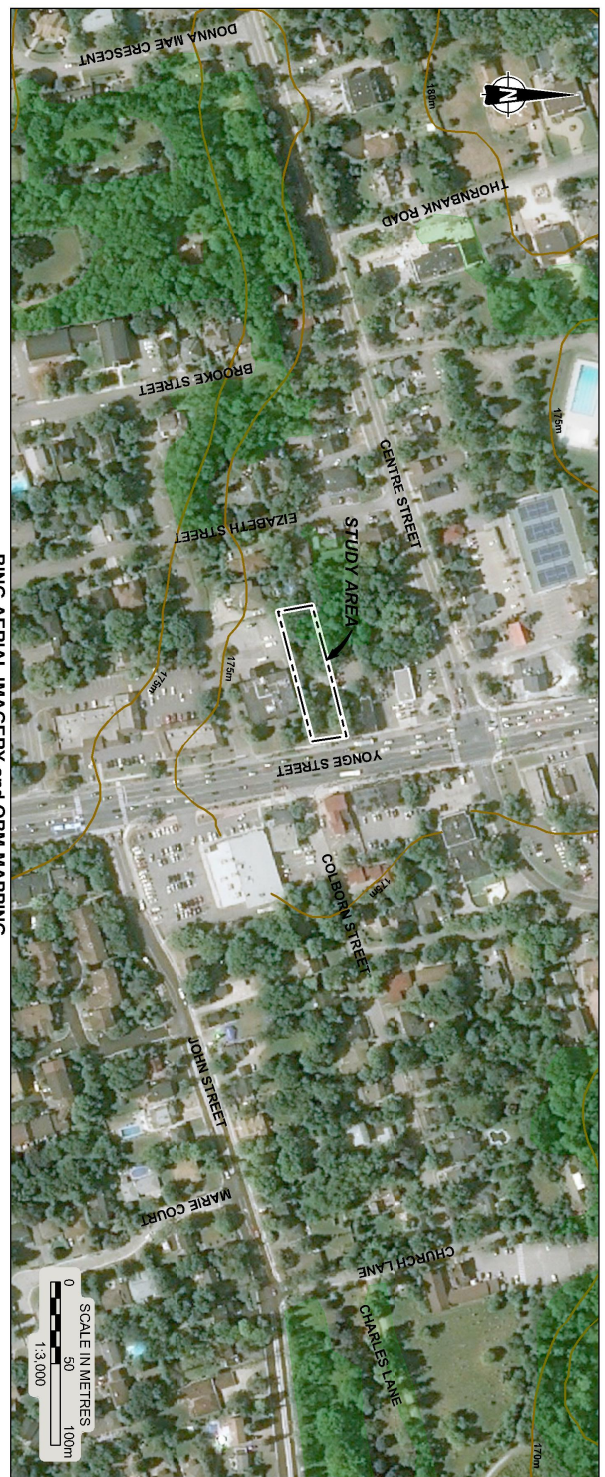
- A background on the purpose and requirements of a CHIA and the methods used to investigate and evaluate cultural heritage resources;
- An overview of the property's geographic context and its documentary and structural history;
- An inventory of the built and landscape features on the property and a statement of their significance;
- A description of the proposed development and an assessment of potential adverse impacts; and,
- Recommendations for future action.

1.1 Measurement Units

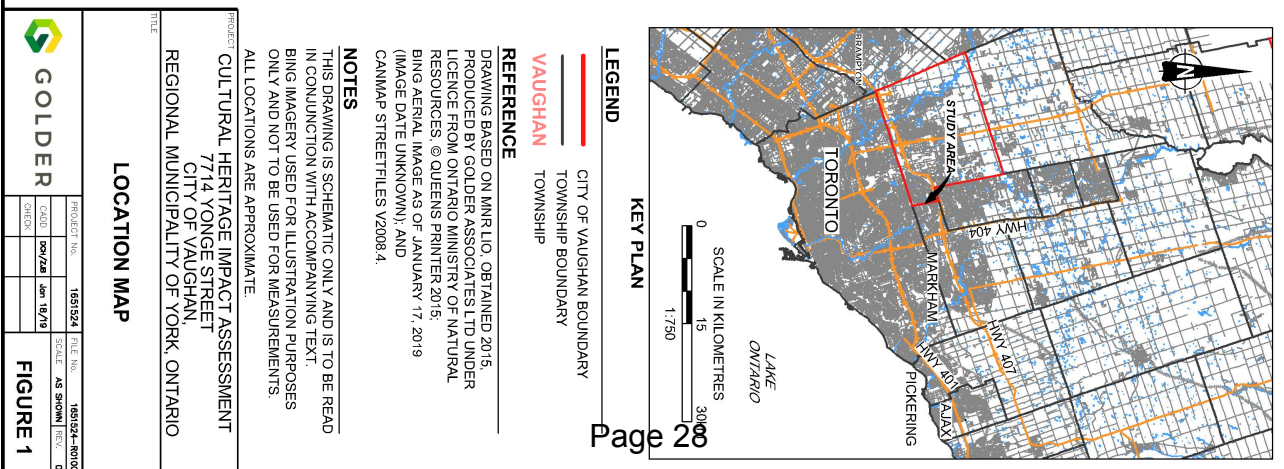
This report uses the metric system for descriptions of distance and area but employs the Imperial system for all structural dimensions. The use of Imperial (or US Customary units) for describing heritage structures is generally preferred since most structures—including those within the property—were constructed prior to national implementation of the metric system in Canada in 1971, and often better reflect the design decisions and material specifications of historical builders. To reduce text clutter, conversions from metric to Imperial and vice versa are not provided in this report.



REGIONAL MAP



BING AERIAL IMAGERY and OBM MAPPING



KEY PLAN

		PROJECT No. 1651524		FILE No. 1651524-0001	
DATE 05/25/2019		SCALE AS SHOWN		REV 0	
DRAWN BY		CHECKED BY		FIGURE 1	

LOCATION MAP

PROJECT CULTURAL HERITAGE IMPACT ASSESSMENT
7714 YONGE STREET
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK, ONTARIO

ALL LOCATIONS ARE APPROXIMATE.

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
IN CONJUNCTION WITH ACCOMPANYING TEXT.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
IN CONJUNCTION WITH ACCOMPANYING TEXT.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES
ONLY AND NOT TO BE USED FOR MEASUREMENTS.

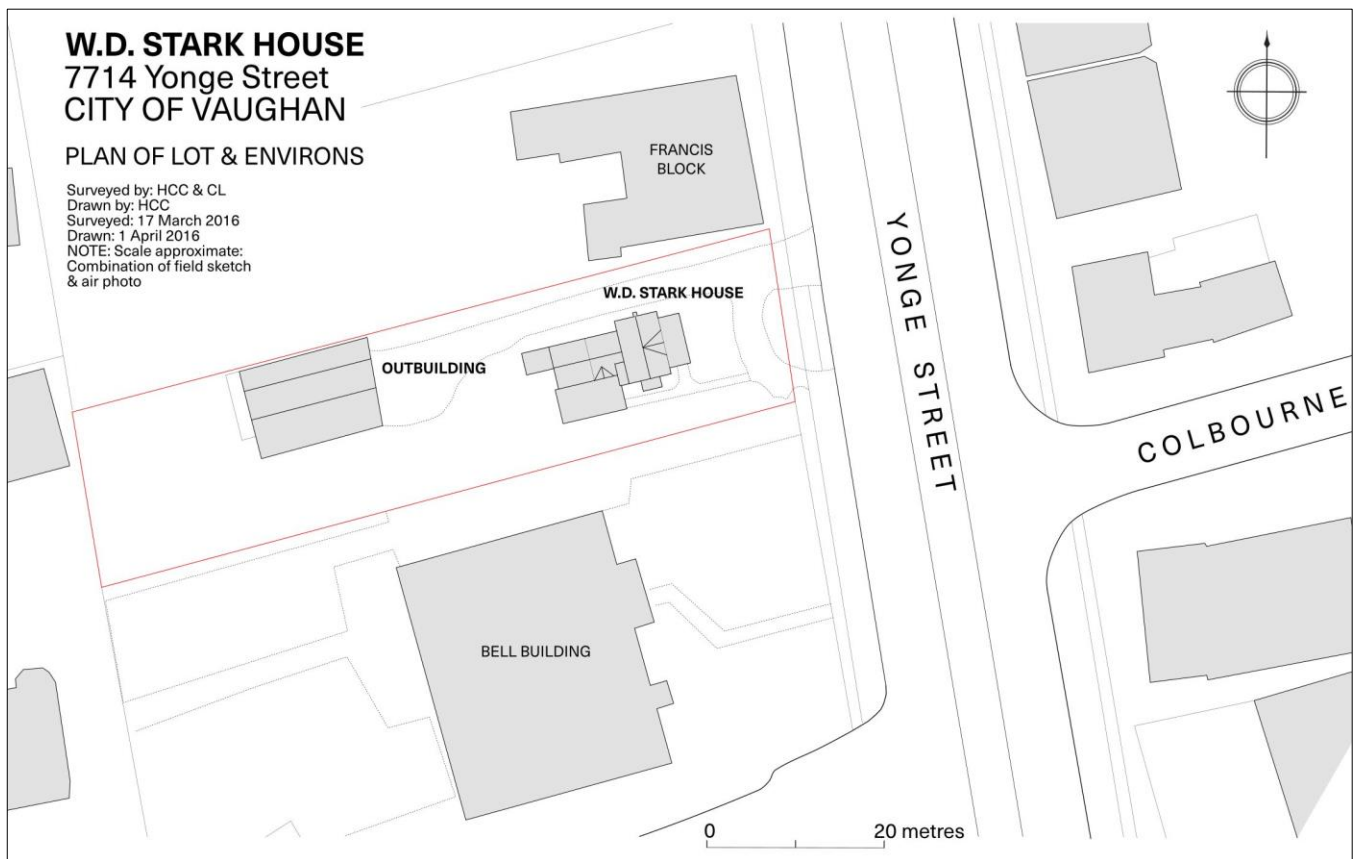


Figure 2: Key plan of built elements on the property.

2.0 POLICY FRAMEWORK

The property is subject to a number of federal, provincial and municipal heritage planning and policy regimes, as well as guidance developed at the federal and international level. Although these have varying levels of priority, all are considered for decision-making in the cultural heritage environment. The relevant guidance, legislation, and policies are described below.

2.1 Federal and International Heritage Policies

No federal heritage policies apply to the property, but many provincial and municipal policies align in approach to the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010), which was drafted in response to international and national agreements such as the 1964 *International Charter for the Conservation and Restoration of Monuments and Sites (Venice Charter)*, 1979 *Australia ICOMOS Charter for Places of Cultural Significance (Burra Charter)*, updated 2013), and 1983 *Canadian Appleton Charter for the Protection and Enhancement of the Built Environment*. The national *Standards and Guidelines* defines three conservation 'treatments' — preservation, rehabilitation, and restoration— and outlines the process, and required and recommended actions, to meet the objectives for each treatment for a range of cultural heritage resources.

At the international level, the International Council on Monuments and Sites (ICOMOS) has developed guidance on heritage impact assessments for world heritage properties, which also provide 'best practice' approaches for all historic assets (ICOMOS 2011).

2.2 Provincial Heritage Policies

2.2.1 The Ontario Planning Act and Provincial Policy Statement

The *Ontario Planning Act* (1990) and associated Provincial Policy Statement 2014 (PPS 2014), both of which also provide the legislative imperative for heritage conservation in land use planning. These documents identify conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest, and PPS 2014 recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The *Planning Act* serves to integrate this interest with planning decisions at the provincial and municipal level, and states that all decisions affecting land use planning 'shall be consistent with' PPS 2014.

The importance of identifying and evaluating built heritage and cultural heritage landscapes is recognized in two sections of PPS 2014:

- Section 2.6.1 – 'Significant built heritage resources and significant heritage landscapes shall be conserved';
- Section 2.6.3 – 'Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.'

PPS 2014 defines **significant** as resources 'determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people', and **conserved** as 'the identification, protection, management and use of built heritage resources, cultural heritage

landscapes, and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the *Ontario Heritage Act*. **Adjacent lands** are defined as ‘those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan’. Built heritage resources, cultural heritage landscapes, heritage attributes, and protected heritage property are also defined in the PPS:

- **Built heritage resources:** a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Aboriginal [Indigenous] community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers.
- **Cultural heritage landscapes:** a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal [Indigenous] community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts designated under the *Ontario Heritage Act*; villages, parks, gardens, battlefields, main streets and neighbourhoods, cemeteries, Trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities (e.g., a National Historic Site or District designation, or a UNESCO World Heritage Site).
- **Heritage attribute:** the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).
- **Protected heritage property:** property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

For municipalities, PPS 2014 is implemented through an Official Plan, which may outline further heritage policies. Additionally, the MTCS *Heritage Resources in the Land Use Planning Process* advises how to organize a HIA, although municipal documents may also provide an outline. For this study, the Town’s guidance on preparing a CHIA, as provided in the *Terms of Reference*, was also referenced.

2.2.2 The Ontario Heritage Act and Ontario Regulation 9/06

The Province and municipalities are enabled to conserve significant individual properties and areas through the *Ontario Heritage Act* (OHA). Under Part III of the OHA, compliance with the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* is mandatory for Provincially-owned and administered heritage properties and holds the same authority for ministries and prescribed public bodies as a Management Board or Cabinet directive.

For municipalities, Part IV and Part V of the OHA enables councils to ‘designate’ individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of ‘cultural heritage value or interest’

(CHVI). Evaluation for CHVI under the *OHA* is guided by *Ontario Regulation 9/06*, which prescribes the *criteria for determining cultural heritage value or interest*. The criteria are as follows:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
 - ii) Displays a high degree of craftsmanship or artistic merit; or
 - iii) Demonstrates a high degree of technical or scientific achievement.
- 2) The property has historic value or associative value because it:
 - i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- 3) The property has **contextual value** because it:
 - i) Is important in defining, maintaining or supporting the character of an area;
 - ii) Is physically, functionally, visually or historically linked to its surroundings; or
 - iii) Is a landmark.

If a property meets one or more of these criteria, it may be eligible for designation under Part IV, Section 29 of the *OHA*. Designated properties, which are formally described¹ and recognized through by-law, must then be included on a 'Register' maintained by the municipal clerk. At a secondary level, a municipality may 'list' a property on the register to indicate its potential CHVI. Importantly, designation or listing in most cases applies to the entire property, not only individual structures or features.

The City of Vaughan maintains a single, inclusive *Heritage Inventory* (n.d.), which includes:

- Individual buildings or structures designated under Part IV of the *Ontario Heritage Act*;
- Buildings or structures within an HCD designated under Part V of the *Ontario Heritage Act*;
- Properties of cultural heritage value listed in the *Listing of Buildings of Architectural and Historical Value* as per Part IV, Subsection 27 of the *Ontario Heritage Act*; and,
- Properties of interest to the City of Vaughan's Cultural Services Division.

¹ The *OHA* defines 'heritage attributes' slightly differently than PPS 2014; in the former, heritage attributes 'means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest'.

In addition to being listed as per Part IV, Subsection 27 of the *Ontario Heritage Act*, W.D. Stark House is also designated as part of the Thornhill HCD designation under Part V of the *Ontario Heritage Act*.

2.3 Municipal Heritage Policies

2.3.1 Official Plan and Secondary Plans

The City's *Official Plan* (2010) informs decisions on issues such as land use, built form, transportation, and the environment until its expiry in 2031. Section 6.1 in Volume 1 of the *Official Plan* addresses cultural heritage resources, which include built heritage, cultural heritage landscapes, HCDs, areas with cultural heritage character, heritage cemeteries, and archaeological resources.

Section 6.2.1 stipulates the requirement for submitting a heritage permit application for 'exterior alterations, demolitions or removals' to designated heritage properties, while Section 6.2.2.6 outlines the principles the City uses to evaluate heritage permit applications. The subsections relevant to this project include:

- 'Retaining and repairing original building fabric and architectural features; and,
- New additions and features should generally be no higher than the existing building and wherever possible be placed to make the addition unobtrusive from the pedestrian realm.'

Policies for listed properties are provided in Section 6.2.3, while HCDs are addressed under Section 6.3 'Cultural Heritage Landscapes'. The policy for development within an HCD is that it must be 'designed to respect and complement the identified heritage character of the district as described in the Heritage Conservation District Plan [in this case the Thornhill HCD Plan] (Section 6.3.2.4). It further specifies that:

'demolition for a building or part of a building within a Heritage Conservation District shall not be issued until plans for a replacement structure and any related proposed landscaping features in accordance with the relevant Heritage Conservation District Plan, the Vaughan Heritage Conservation Guidelines, and the policies of this Plan' (Section 6.3.2.5).

The planning requirement and policies for CHIAs are listed under Sections 6.2.2.5, 6.2.3.1, 6.2.3.2, and 6.2.4, and are supplemented by the City's *Guidelines for Cultural Heritage Impact Assessments* (2016). Of these, Section 6.2.2.5 is the most relevant to this project since it states that an applicant shall submit a CHIA when there is a proposal for 'an alteration, addition, demolition or removal of a designated heritage property'.

In some cases cultural heritage may be addressed under Secondary Plans, but the property is not within one of the City's Secondary Plan areas.

2.3.2 Cultural Heritage Impact Assessments

After establishing the provincial and municipal policy context, the City's *Guidelines for Cultural Heritage Impact Assessments* outlines the minimum requirements of a CHIA, then defines three 'conservation/mitigation options' to be considered as part of a heritage impact study. These are:

- Avoidance mitigation: measures to retain heritage resources 'in situ and intact' while allowing development to proceed.

- This can include, 'where conservation of the entire structure is not possible, consideration may be given to the conservation of the heritage structure/ resource in part, such as the main portion of a building without its rear, wing or ell addition'.
- Salvage Mitigation: preservation through relocation or salvaging architectural elements.
- Historical Commemoration: use of historic plaques, monuments, or reproduced architectural heritage features as a means to preserve knowledge of a heritage place.

Overall the City's CHIA guidance aligns with the MTCS *Heritage Resources in the Land Use Planning Process*, except that the City also requires a 'condition assessment' as part of the analysis. This, and other City CHIA requirements, are included as part of this report.

2.3.3 Heritage Conservation Districts and Design Guidelines

In addition to the planning conditions listed above, the property is also situated within the City's Thornhill HCD, designated under Part V of the *Ontario Heritage Act*. Creation of the HCD was initiated in 1983 under By-law 198-83, then established under By-law 306-88 in 1988. The original 1984 HCD plan was superseded in 2007 by the *Thornhill Vaughan Heritage Conservation District Plan* (hereafter *Thornhill HCD Plan*) and includes design guidelines to cover all 'erection, demolition, or removal of a building or structure other than the interior' (City of Vaughan 2007:3,13).

The plan's objectives include not only retention and conservation of built heritage and landscapes, but also to 'correct unsympathetic alterations' and promote reuse. For new development, its objectives are to:

- Ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development; and,
- Guide the design of new development to be sympathetic and compatible with heritage resources and character of the district while providing for contemporary needs.

Policies for alterations to heritage buildings such as W.D. Stark House are generally addressed in Section 4.2.2, where it is described that new work should simultaneously 'conserve the heritage value and heritage attributes of a heritage resource', while at the same time be 'physically and visually compatible with, subordinate to, and distinguishable from the heritage resource', and not 'detrimentally impact the heritage resource if the new work is removed in the future.' For non-heritage buildings, demolition is only 'supported if the building's scale, massing, and/or architectural style is not supportive of the overall heritage character of the District' (Section 4.3.3).

New development is guided by the general statement in Section 4.4 that it must 'have respect for and be compatible with the heritage character of the district'. More specifically, under in Section 4.4.1, is the advice that new development should:

- 'Be a product of their own time, but should reflect one of the historic architectural styles traditionally found in the district;
- Complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors and roof shapes;

- Respect natural landforms, drainage, and existing mature vegetation;
- Have varied massing, to reflect the small and varied scale of the historical village;
- Have a height 'not less than 80% or more than 120% of the average height of the residential buildings on immediately adjacent properties' which, historically, 'are considered to be 1 ½ or 2 storeys'; and,
- Conform to the guidelines found in Section 9.5.2' of the *Thornhill HCD Plan*.

Further general restrictions for height over three storeys and design of commercial structures are presented in Section 6.1.2.1 and references the 2005 *Thornhill Yonge Street Study* and *Official Plan Amendment* 669, but neither of these policies appear in the 2010 *Official Plan*.

Specific design guidance is provided in Part D of the *Thornhill HCD Plan*, but is prefaced by the general advice that 'additions and alterations to an existing heritage building should be consistent with the style of the original building' and that 'New developments should be designed in a style that is consistent with the vernacular heritage of the community.' Importantly, all development should conform to a single style instead of being 'a hybrid of many styles'. The existing style of the property is 'Ontario Gothic Vernacular' (see Section 6.4 of this CHIA for further discussion), which is typified by elements such as a 'kitchen tail with room over', wood porches and verandahs, fieldstone foundations, a central dormer gable, 1 ½-storey scale, and a symmetrical façade with 2-over-2 windows (City of Vaughan 2007:58).

Guidelines for new additions to heritage buildings are outlined in Section 9.3.7 and focus primarily on scale. Of relevance to this project is the guidance that additions should not be of 'a greater height or scale than the original building' and that 'usually, additions should be located at the rear of the original building or, if located to the side, be set back from the street frontage of the original building'. The section on new development (Section 9.5) is also focussed on scale and setback, with the important element that 'new houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block' (City of Vaughan 2007:109).

A large part of the plan is then devoted to new development in the commercial area of Yonge Street. Although the property falls within this zone, the existing architecture of W.D. Stark House does not conform to the commercial streetscape, and therefore guidelines regarding alterations to residential structures is more appropriate.

The heritage attributes of the Thornhill HCD are not generally defined in the document but are perhaps best summarized in a paragraph written for the Statement of Heritage Value:

The ongoing development of Thornhill has maintained the scale and character of the older parts of the village, with a variety of lot sizes and siting, mostly modest-sized buildings, mature and rich planting and landscaping, and a rural or modified-rural profile in many places' (City of Vaughan 2007:10).

3.0 SCOPE AND METHOD

To conduct this CHIA, Golder:

- Reviewed applicable municipal heritage policies and consulted with local municipal planners responsible for heritage;
- Conducted field investigations to document the property's heritage attributes, and to understand the wider built and landscape context;
- Assessed the impact of the proposed development on any heritage attributes using provincial guidelines and municipal policies; and,
- Developed recommendations for future action based on international, federal, provincial, and municipal conservation guidance.

A variety of primary and secondary sources, including maps, aerial imagery, historical photographs, land registry data, municipal government documents, and research articles were compiled from the City of Vaughan Archives and other sources.

Field investigations were conducted on March 18, 2016 using methods and techniques comparable to a Level 3 or Level 4 survey as defined in the *Understanding Historic Buildings: A Guide to Good Recording Practice* (King 2006). This included: photographing all features in the property (including interiors) with a Nikon D5300 digital single reflex camera and Samsung Galaxy S6; documenting W.D. Stark House using a *Canadian Inventory of Historic Buildings Recording Form* (Parks Canada 1980); and producing measured sketches of each building footprint. The outbuilding and cultural landscape were documented following methods outlined in Brunskill (1978) *Illustrated Handbook of Vernacular Architecture* and Page et al. (1998) *A Guide to Cultural Landscape Reports: Contents, Process, and Techniques*, respectively.

The proposed development was then assessed for adverse impacts using the guidance provided in the MTCS *Heritage Resources in the Land Use Planning Process*. A number of widely recognized manuals related to evaluating heritage value, determining impacts, and conservation approaches to cultural heritage resources were also consulted, including:

- *The Ontario Heritage Tool Kit* (5 volumes, MTCS 2006);
- *Standards and Guidelines for the Conservation of Provincial Heritage Properties – Heritage Identification & Evaluation Process* (MTCS 2014);
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010);
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003);
- *The Evaluation of Historic Buildings* (Kalman 1979); and,
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001).

3.1 Record of Consultation

The results from consultation undertaken for this HIA are summarized in Table 1.

Table 1: Results of Consultation.

Contact	Date of Email and Response	Response
Katrina Guy, Cultural Heritage Coordinator, Development Planning Department, City of Vaughan	Email sent: January 11, 2019. Golder requested a copy of the Thornhill Plan Building Inventory.	Email received: January 28, 2019. The City provided Golder with the individual inventory sheet for 7714 Yonge Street from the Thornhill HCD Plan (1984 and 2007).

4.0 GEOGRAPHIC & HISTORICAL CONTEXT

4.1 Geographic Context

The property is in southwestern Ontario, approximately 25 km north of Lake Ontario and within the Peel Plain physiographic zone, an area of level to rolling terrain with fertile clay soils covering approximately 300 square miles of the central portions of the Regional Municipalities of York, Peel, and Halton. When properly drained, these soils are capable of supporting grain agriculture, stock raising, and dairying (Chapman & Putnam 1984:174-176). The property is also within the Don River watershed, which flows in a northwest-southeast direction approximately 330 m to the northeast. Trees in the vicinity of the property are predominately deciduous, but coniferous species are also present.

The City of Vaughan is situated between the Town of Richmond Hill and the City of Brampton and is immediately north of Toronto. The property is at the southeastern edge of the City, and on the southwest corner of the intersection formed by Centre Street and Yonge Street. The area immediate to the property is primarily commercial, with residential subdivisions located to the west.

4.2 Historical Context

4.2.1 County of York

Following the Toronto Purchase of 1787, today's southern Ontario was divided into four political districts — Lunenburg, Mechlenburg, Nassau, and Hesse— that were all within the old Province of Quebec. These became part of the Province of Upper Canada in 1791, and renamed the Eastern, Midland, Home, and Western Districts, respectively. The property was within the former Nassau District, then later the Home District, which originally included all lands between an arbitrary line on the west running north from Long Point on Lake Erie to Georgian Bay, and a line on the east running north from Presqu'île Point on Lake Ontario to the Ottawa River. Each district was further subdivided into counties and townships; the property was originally part of the County of York and Vaughan Township.

As was the case with most counties along the north shore of Lake Ontario, initial European settlement was by discharged soldiers and refugees displaced by the American War of Independence. The influx of new settlers created a high demand for land in the County of York, but measures were taken to acknowledge service and loyalty to the Crown. Military men and United Empire Loyalists (UEL) received title to land with little or no stipulation that it be cleared or improved, and those who received land grants were referred to as 'official' or non-resident patentees. Lots in the County of York were typically granted in 200-acre parcels but less or more could be received based on social status.

Settlers who had not served in the military or were UEL were referred to as 'unofficial' and had to meet strict conditions to attain title to lands. This included requirements to clear, fence and make fit for cultivation 10 acres of an awarded lot, cut down and remove all timber at the lot front to a width of 33 feet, and erect a house with a shingled roof and a minimum dimension of 16 by 20 feet. All of this had to be accomplished within two years. The 33-foot clearance specification was half a chain (66 feet), or the distance set aside for roads between concessions. It was further required that this 33 foot area be rendered smooth. Due to these strict regulations, and the fees incurred for clerks and officials, many were unable to receive full title to their lands and abandoned their lots (Johnson 1973:43).

The combined effect of official settlers failing to clear land, and the restrictions on unofficial settlers, resulted in large tracks of inaccessible and unimproved land being owned either by absentee landlords residing in York, or by early land holding companies who received title to additional lands for every settler they recruited to the area (Johnson 1973:43). Both carried out a form of indentured servitude that exploited new immigrants, a practice Governor Sir John Graves Simcoe attempted to end in 1796 (Johnson 1973:40-41).

Not surprisingly, the system had also hampered population growth. In many cases immigrants chose to move further north to counties where land was being freely granted. For example, in 1805 the population of Whitby Township was just 104 and Pickering Township only 96, while the population in the Township of Markham numbered 889 (Johnson 1973: 45).

Following the War of 1812, a new set of land grants was offered to discharged veterans. Unlike the early military grants, these new grants were limited to 100 acres and each family was provided with provisions for a year and farm implements. Unofficial settlers, however, were still subject to improvement conditions, which included clearing farmland and building county roads (Johnson 1973). Nevertheless, settlement in York County grew slowly.

In 1849 the County of York was subdivided to form the counties of York, Ontario, and Peel, although these continued to be governed as a single unit until January 1, 1854 (Miles and Co. 1878). York County was to include ten townships —Georgina, North Gwillimbury, East Gwillimbury, King, Whitchurch, Vaughan, Markham, Etobicoke, North York, and Scarboro. In 1971, the County of York was replaced by the Regional Municipality of York, and in 2011 boasted a population of 1,032,524 residents (Statistics Canada 2011).

4.2.2 Vaughan Township and the City of Vaughan

The property is located within the City of Vaughan, formerly Vaughan Township, in York County. Vaughan was named for Benjamin Vaughan, a British commissioner who negotiated the 1783 Treaty of Paris between Great Britain and the United States (Adam and Mulvany 1885; Reaman 1971). Abraham Iredell surveyed the Township in 1795 according to the 'single front survey system', a method used from 1783 onward where only the concessions were surveyed and lots of 120 to 200 acres were delineated to be five times as long as they were wide (Figure 3; Schott 1981). In Vaughan Township, the concession lines were oriented south to north, with the side roads crossing the township from east to west. Yonge Street, a military road surveyed in 1794, formed the baseline of the township, dividing it from Markham Township to the east (Miles & Co. 1878).

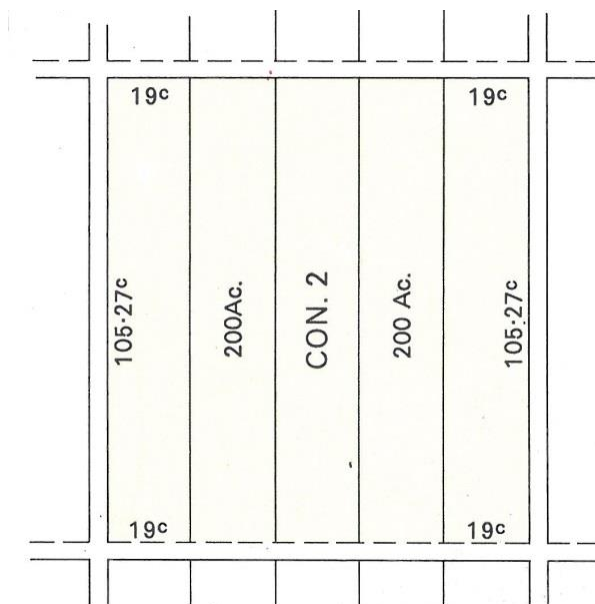


Figure 3: The single front survey system, used from 1783 to 1818. As depicted here, each lot is 200 acres (Ac.), created from surveying 19 chains by 105.27 chains (1 chain = 66 feet/ 20.12 metres; Gentilcore 1969).

Settlement of Vaughan Township began in 1796 when United Empire Loyalists from the United States settled primarily along Yonge Street (Miles & Co. 1878; Adam and Mulvany 1885; Reaman 1971). In addition to the Loyalists, many of the first European arrivals were Pennsylvania Dutch, encouraged through Philadelphia newspaper advertisements to travel north for the opportunity to acquire land for cultivation. The population of the Township was initially small, with only 103 individuals reportedly living in the area in 1797. After the War of 1812, however, emigrants from the British Isles began establishing the interior portions of the Township. By 1832, the population had grown to 2,141, and ten years later the population had more than doubled, reaching 4,300. The Township also boasted six grist mills and twenty-five saw mills (Smith 1846).

In 1855, the Northern Railway from Collingwood to Toronto was completed through the eastern half of the Township. This event, combined with the construction of the Toronto, Grey, and Bruce Railway in the western half of the Township in 1871, appears to have triggered additional growth in Vaughan Township so that by 1871 the population was 7,657 (Miles & Co. 1878; Adam and Mulvany 1885; Reaman 1971). In 1872, the community of Richmond Hill in the east-central portion of the Township was incorporated as a village. Richmond Hill had a population of 1,000 by 1886, while the remaining portion of Vaughan Township numbered 6,828 (Ontario Department of Agriculture).

Throughout the 19th century, several communities developed in Vaughan Township: Kleinburg, Woodbridge, Elder Mills, Maple, Edgeley, Thornhill, Brownsville, Teston, Purpleville, and Vellore. The property itself was located in the west-central portion of the community of Thornhill located at the southeastern edge of Vaughan Township and extending into the southwestern portion of the adjacent Markham Township. Thornhill was first settled in the early 19th century when UEL began constructing mills along the Don River (City of Vaughan n.d.). When Benjamin Thorne arrived in the area in 1820 and eventually operated a gristmill, sawmill, tannery, and warehouse for exporting grain and importing iron, the community came to be known as Thorne's Mill and then Thorne's Hill. Following the construction of a post office in the community in 1829, the place was officially called

Thornhill. By the 1830s, a variety of services and artisans were located in the community, including two sawmills, a distillery, several blacksmiths and harness makers, two inns, a millwright, a stonemason, a tanner, a weaver, a wheelwright, and a shopkeeper. Following a period of sustained growth and development in the 1830s and 1840s, Thornhill emerged in 1848 as the largest community along Yonge Street with a population of approximately 700 people. Unfortunately, this early prosperity was short-lived. When Thornhill was bypassed by both of the railroad companies that arrived in Vaughan Township in the mid-19th century and most of the mills began to disappear from the community due a decline in the need for milling, Thornhill eventually became a minor service centre for the surrounding farmland by the end of the 19th century. Following some modest growth after World War I, Thornhill was eventually incorporated as a Police Village in 1931, providing the Village with its own political boundaries distinct from the surrounding Townships of Vaughan and Markham. The village was later amalgamated as a part of the Town of Vaughan and later part of the City of Vaughan.

At the opening of the 20th century economic development of Vaughan Township was similar to that of the adjacent counties and townships in that it relied on the prosperity of nearby Toronto and exports to the United States and Britain. Following World War II, the widespread use of motor vehicles began to change urban and rural development; as vehicular traffic increased, the network of roadways throughout the region improved providing Vaughan and the surrounding communities with better connections to the growing metropolis of Toronto.

Significant new growth and development has occurred in the past four decades. Vaughan was amalgamated with the Village of Woodbridge in 1971, creating the Town of Vaughan within the Regional Municipality of York. On January 1, 1991, the Town was officially recognized as the City of Vaughan, and by 2011 it boasted a population of 288,301 residents, making it the fifth largest city in the Greater Toronto Area (Statistics Canada 2011).

4.2.3 7714 Yonge Street

Prior to its amalgamation within the City, the property fell within the northeastern corner of Lot 30, Concession 1 in the former Township of Vaughan (Figure 4 and Figure 5). In order to establish an understanding of the occupational history of this portion of Lot 30, title abstract index records, tax assessment roll records, census records, and commercial directory records were consulted (see references in Section 11.0).

A summary of the abstract index records for the portion of Lot 30 corresponding to the limits of the present property have been provided in APPENDIX A. According to these records, the Crown Patent for all 210 acres of Lot 30 was granted to John Wilson Sr. in 1810. The following year, the entire lot was sold to Stilwell Wilson, presumably a relation of John's, for £300. In 1822, the entire lot was sold to William Allan, who immediately began to subdivide it, selling the northeastern 55 acre parcel where the property is located to Henry John Boulton in 1823. This portion of Lot 30 was then sold to Daniel Brooke Jr. in 1824, who appears to have owned the entire 55-acre northeastern portion of Lot 30 until 1845 when part of the property was sold to Charles Thompson. Later in 1845, the quarter acre portion of Lot 30 where the property is located was acquired by Archibald Gallanough through an indenture of £25. Unfortunately, assessment roll records could not be located for Lot 30, Concession 1 prior to 1897 so it is unclear whether any of the early owners of Lot 30 ever resided within the limits of the property.

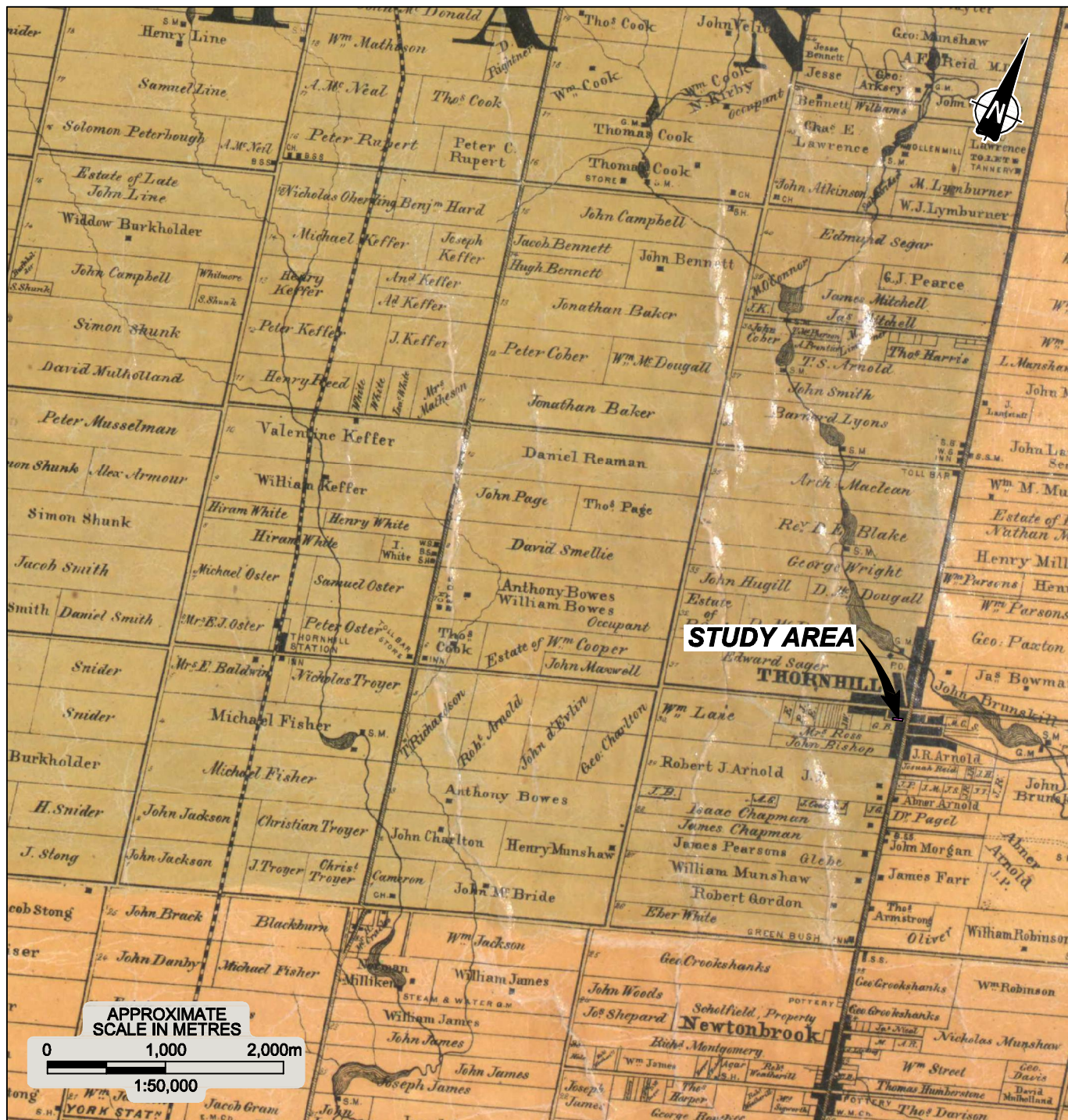
In 1846, the quarter acre parcel of Lot 30 where the property is located was sold to William D. Stark for £75. Stark was born in Scotland in 1815 and married his wife Agnes Walker there before immigrating to Upper Canada around 1844. The couple then had at least four children together: William, Alexander, Richard, and James. Various secondary source records provided by the City of Vaughan Archives suggest that William Stark

commissioned John Martin to construct the house currently in the property in 1853, yet the commercial directory or census records from 1851 to 1871 suggest that the Stark family lived on the Lot 30, Concession 1 of Markham—not Vaughan— Township, and no primary documentation of the John Martin commission could be found. Thus, the relationship of the property with W.D. Stark is tenuous and with further research may prove erroneous.

If the Starks did live in the property, it was not for long because in 1867 that portion of Lot 30 was granted to William A. Cook for \$500. Mr. Cook owned the property for the next 26 years before granting it to Mary Saunders in 1893 for \$500, and two years later, the property was granted to John H. Francis. Francis evidently made some improvements to the property as assessment roll records from 1897 and 1906 indicate an increase in the property value from \$400 to \$650.

In 1918, the portion of Lot 30 described as commencing 276'7" south from the northeast angle, measuring 66' by 271'6" was granted to Austin A. Brillinger for \$4,000. The size of this grant combined with a property value of \$1,200 recorded in assessment rolls from 1920 suggests that Brillinger had made several investments in the property. One of these may have been the outbuilding currently on the property, which secondary sources suggest was originally Brillinger's blacksmith shop.

After owning the property for nearly 30 years, Mr. Brillinger granted his portion of Lot 30 to Thomas W. Jackson in 1949. Five years later, the property was granted to Harold and Rose E. Harley, who owned the 66' by 271'6" portion of Lot 30, Concession 1 until at least 1977, when they are named in a City building inventory.



REFERENCE

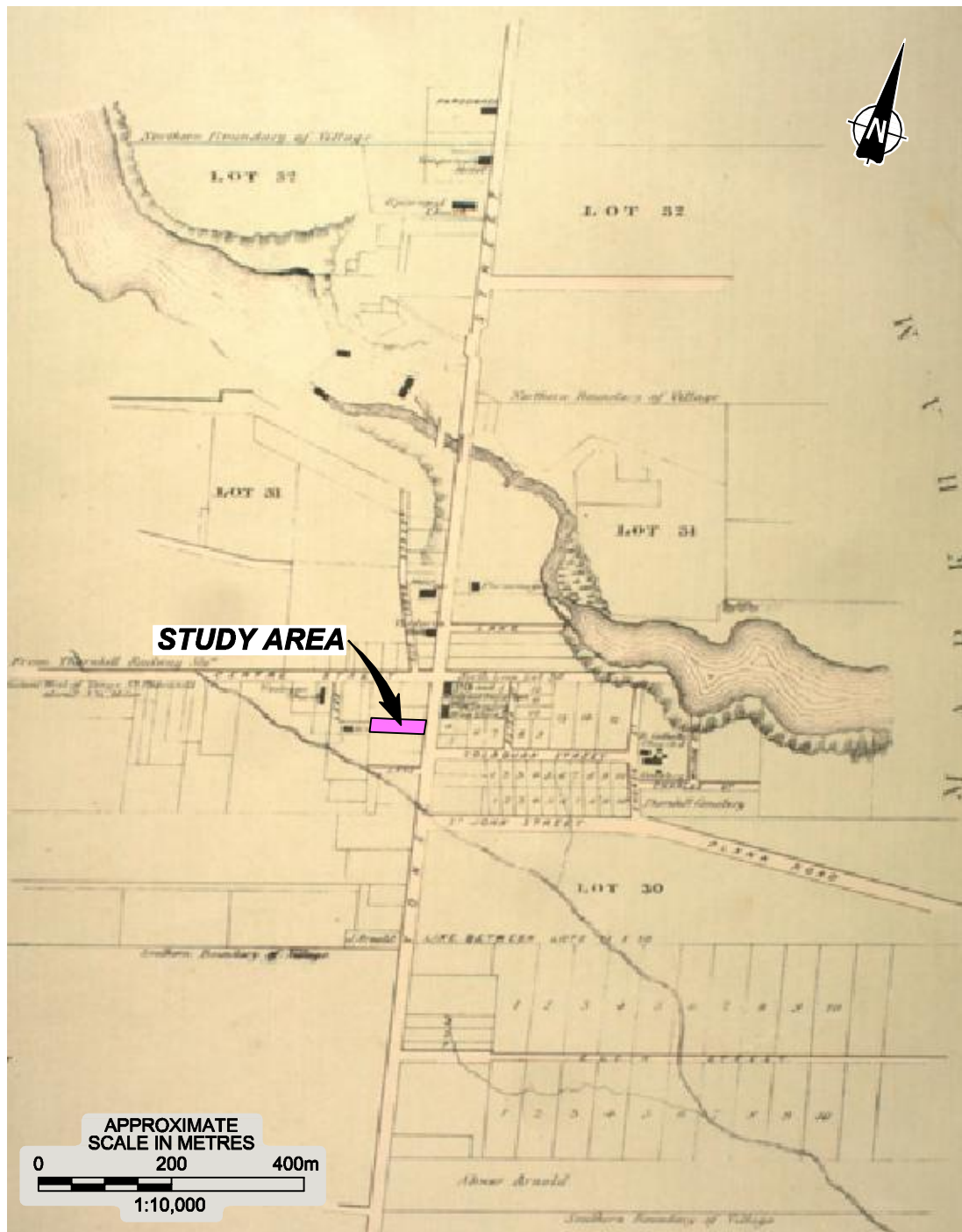
DRAWING BASED ON A PORTION OF TREMAINE'S MAP OF THE COUNTY OF YORK CANADA WEST, COMPILED AND DRAWN BY GEO. R. TREMAINE FROM ACTUAL SURVEYS TORONTO PUBLISHED BY GEO. C. TREMAINE 1860; AND CANMAP STREETFILES V2008.4.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT	CULTURAL HERITAGE IMPACT ASSESSMENT 7714 YONGE STREET CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, ONTARIO			
TITLE	TREMAINE'S MAP OF THE COUNTY OF YORK 1860			
PROJECT No.	1651524	FILE No.	1651524-R01004	
CADD	DCH	Jan 17/19	SCALE	AS SHOWN
CHECK			REV.	0
			FIGURE 4	



REFERENCE

DRAWING BASED ON A PORTION OF ILLUSTRATED HISTORICAL ATLAS OF THE COUNTY OF YORK AND THE TOWNSHIP OF WEST GWILLIMBURY & TOWN OF BRADFORD IN THE COUNTY OF SIMCOE, ONT. TORONTO : MILES & CO., 1878.; AND CANMAP STREETFILES V2008.4.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT	CULTURAL HERITAGE IMPACT ASSESSMENT 7714 YONGE STREET CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, ONTARIO		
TITLE	MILES & CO. ILLUSTRATED HISTORICAL ATLAS OF THE COUNTY OF YORK 1878		
PROJECT No.	1651524	FILE No.	1651524-R01005
CADD	DCH	Jan 17/19	SCALE AS SHOWN REV. 0
CHECK			
GOLDER			FIGURE 5

5.0 STRUCTURAL HISTORY

As outlined above, tracing the structural history of W.D. Stark House has proven difficult since few clues survive in the documentary record or in the structure itself to conclusively date it to 1853 or the Stark family. Compounding this is the fact that the architectural style of the house was popular for potentially seven decades (1830-1900, see Blumenson 1990:37).

Nevertheless, four building phases can be proposed for the property. The first covers the construction and 19th century occupation of W.D. Stark House, while the remainder cover developments during the 20th century. Each phase is described individually below and visually summarized at the end of the section in Figure 13.

5.1 Phase 1: 1853 to circa 1900

The earliest surviving elements to be built in the property include the:

- **Main Block** (East Portion); and,
- **Original West Wing**;

The main block or east portion and original west wing are believed to have been constructed at the same time in 1853, since they share a stone foundation, and since this combination of main section and 'tail' is typical of mid-19th century Gothic Revival residences in the Thornhill HCD (City of Vaughan 2007:58).

5.2 Phase 2: circa 1900 to circa 1930

This phase includes modifications to W.D. Stark House prior to circa 1930, which are the:

- **South projecting bay**
- **South porch (now demolished);**
- **West small wing (now demolished)**
- **West Wing Extension**; and,
- **Shed wing.**

Although the earliest available visual documentation of the property is a photograph dating to circa 1900, only the northwest corner of the property is in the frame and the only built elements that can be seen are a picket fence, a boardwalk, and a ditch (Figure 6). A clearer picture is provided in the 1910 Fire Insurance Plan, which shows a small wing centred on the west wall of the west wing, and a south porch (Figure 7). These were later demolished to make way for the West Wing Extension and Shed Wing, the latter added to the northwest corner of the West Wing. Although the resolution is not clear, an oblique air photo taken around 1930 appears to show W.D. Stark House with all the wings still standing today (Figure 8).



Figure 6: A circa 1900 street view with the fence, ditch, and boardwalk of the property at far left (courtesy City of Vaughan Archives).



Figure 7: Goad's 1910 Fire Insurance Plan of Thornhill (courtesy Society for the Preservation of Historic Thornhill). The subject property is outlined in red.



Figure 8: A circa 1930 oblique air photo of the property, with red arrow indicating W.D. Stark House. The rear wings can be clearly seen (Toronto Telegram, Society for the Preservation of Historic Thornhill).

5.3 Phase 3: Circa 1930 to 1949

This phase includes new construction and modifications to W.D. Stark House, which are the:

- **Outbuilding;**
- **Southwest addition;** and,
- **Front porch.**

Evidence for this period comes from two photographs taken a year apart and show two sides of the property: The first is a photograph of an adjacent house being moved in 1948, and on W.D. Stark House is the front porch and south projecting bay, as well as two gable chimneys (Figure 9). The second image is an oblique air photo published in the Toronto Telegram in 1949 that shows the southwest side of the house with the southwest porch still extant. The southwest addition may have also been constructed by this date. Also clearly seen in this photograph is the distinctive roofline of the outbuilding that stands today (Figure 10).



Figure 9: A 1948 photograph of the house adjacent to W.D. Stark House being moved. Note the projecting bay, gable chimneys and front porch on W.D. Stark House (courtesy City of Vaughan Archives).



Figure 10: A 1949 oblique air photo of the property, with red arrows indicating W.D. Stark House (right) and the outbuilding (left). The southwest porch is still extant and, judging from the roofline, the southwest addition may also be present. Not seen on the outbuilding is the tall brick chimney that stands today (Toronto Telegram, Society for the Preservation of Historic Thornhill).

5.4 Phase 4: 1949 to 2016

This phase includes the most recent modifications to W.D. Stark House, which are the:

- **Southwest porch;**
- **Chimney demolitions;**
- **Interior renovations;** and,
- **Outbuilding chimney construction.**

An air photo dated between 1959 and 1969 provides a picture of the early years of this phase (Figure 11), with latter years (1970-present) represented by air photos made available on the York Region Community Services online GIS and a City inventory photo dating to circa 1978 (Figure 12). Apart from demolition of the original southwest porch and gable chimneys of the East Portion, there is little recognizable exterior change.



Figure 11: An air photo of the property dated between 1959 and 1969. The red arrow indicates W.D. Stark House (RG 14-996.1-4170-1-22, Ontario Archives)



Figure 12: A circa 1978 building inventory record of W.D. Stark House (courtesy City of Vaughan Archives).

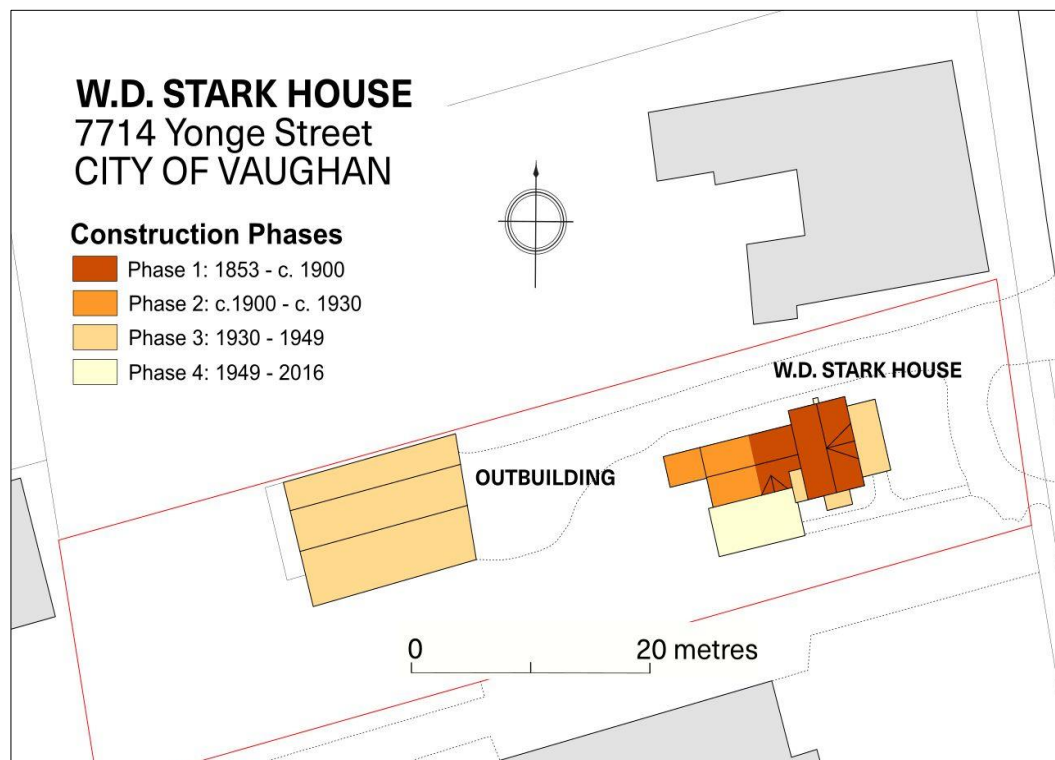


Figure 13: Phase plan of built elements in the property.

6.0 RESOURCE DESCRIPTION

6.1 Setting

The property lot is narrow and long, oriented east-west, and measures 83.01 m on the north boundary, 15.03 m on the west, and 82.66 m on the south. The 19.97-m long east side fronts onto Yonge Street. W.D. Stark House is in the east centre portion of the property but set back between 13.2 and 13.7 m from the road (Figure 14 to Figure 16). The outbuilding is in the west central portion of the lot and near the north property line (Figure 17). The property is flat and rises only 0.5 m over its entire east-west length. Apart from a gravel lane on the north that runs from Yonge Street to the outbuilding, and a small turnaround and paths on the east, the property is covered in lawn (Figure 18). A large number of mature deciduous and coniferous trees line the property boundary, which in mid-summer can entirely mask the property from the air.

A vertical board fence demarcates much of the north, west, and south boundary, with the remainder marked by hedges and trees. Vehicle access from Yonge Street is from the east, and the main parking is in the area between the house and the outbuilding. Although the lot is flat, the thick vegetation on its boundaries obscures views of adjacent properties and channels the vista eastward to a narrow section of the east side of Yonge Street (Figure 19).

The property is in the south and east portion of Thornhill HCD, and borders two listed properties: the commercial Francis Block (built 1898) on the north, and the southeast property line of 25 Elizabeth Street (John Francis / Boynton Weldrick House, built 1904) (Figure 20). Immediately south of the property is the large Bell Canada Service Centre, which occupies the area between the property and Old Jane Street. Two properties, including the Francis Block, separate the property from Centre Street. As mentioned, visual connections to and from the commercial district on the east and the residential properties of the Thornhill HCD are obscured by the property's thick vegetation, and W.D. Stark House is conspicuous on the streetscape for its residential architecture. There are similar architectural examples in the vicinity, however, that have a range of ornamentation, cladding, and walling (Figure 21 and Figure 22).

6.1.1 Setting – Figures



Figure 14: View of the property facing northwest.



Figure 15: View of the property facing west. The Bell Service Centre is on the left, and the Francis Block is to the right.



Figure 16: View facing east from the southwest corner of the property.



Figure 17: View facing west of the west half of the property.



Figure 18: The northwest corner of the property.



Figure 19: Panorama of the view facing east from the east porch of W.D. Stark House.



Figure 20: John Francis / Boynton Weldrick House at 25 Elizabeth Street, built in 1904.



Figure 21: Example of a stucco-covered Gothic Revival residence in the Thornhill HCD.



Figure 22: Example of a brick Gothic Revival residence in the Thornhill HCD.

6.2 Built Environment: W.D. Stark House

6.2.1 General Description

W.D. Stark House is a single-detached, three-bay, and one-and-one-half storey structure with overall dimensions of 52 feet 9 inches by 24 feet 5 inches, and a wall height in the southeast corner of 14 feet 4 inches (Figure 23). The building's T-shaped plan —composed of a Main Block with east porch, Original West Wing, Southwest Addition, West Wing Extension, and Shed Wing— is oriented with the long façade and central entrance of the main block parallel with Yonge Street (north-south), and the wings oriented east-west.

6.2.2 Main Block with East Porch

The wall cladding of the 24 foot 5 inch by 16 foot 3 inch Main Block is drop clapboard with five-inches to weather and narrow cornerboards, all painted yellow (Figure 24 and Figure 25). From exposed wood on the first level and basement it is known that the wall construction is timber frame using 7-inch-wide squared log wall studs set 14 inches apart on a 10-inch wide squared-log sill plate. This rests on a 5-foot high foundation made of mortared and parged rounded field stone.

The roof is medium gable (approximately 30-degrees) with a centre-gable on the east façade. On both gables the verges are projecting, the wood fascia and soffit are plain, and a frieze is absent. The fascia does have minor decoration at the eaves in the form of a curved transition to a wider section. For the east façade the eaves are also projecting with a plain soffit and fascia, and some sections are metal clad.

A narrow frieze can be seen in the centre-gable. All the eaves and rainwater leaders are modern aluminium. A red-brick chimney has been added to the north end wall and is lined with a metal pipe (Figure 26).

The windows on the north and east façade are tall and symmetrically placed (with the exception of a window well on the north façade), with two either side of the chimney on the second level of the north façade, and two either side of the central entrance on the east façade. The window in the centre-gable may have once been a door — since it opens to the balcony of the porch— but it has since been replaced with a vinyl insert. A typical ground floor window measures 5 feet high by 2 feet 8 inches wide and is a one-over-one double hung vinyl insert with removable muntins creating a two-over-two pattern (Figure 27). On the south façade is a projecting, single-storey and rectangular bay with mansard-type roof and three tall windows (Figure 28), and above it in the gable are combined windows in a wide opening. The fenestration on this façade is also symmetrical. All the windows have simple lip sills, flat heads, and thick, metal clad surrounds.

Centred on the east façade is the main entrance with a single-leaf, panelled pressed-steel door surrounded by a thick, flat-head and metal-clad frame and surround (Figure 29). This is covered by a two-level, 19 foot by 8 foot porch, both of which have flat balusters between a simple top and bottom rail. On the top level the posts are made of wood and are square, while the bottom posts are a combination of square brick pillars with a cement cap, and smooth, round wood columns with simple Ionic capitals. A beam has also been placed in the centre of the ground level porch to brace the roof. The fascia and soffit of this element are plain.

The interior living space is divided into six rooms —four above and two below— with a two-foot 10 inch wide central stairway (Figure 30). The north, first-level room measures 14 feet 11 inches by 9 feet 8 inches, while the south, first-level room measures 9 feet by 15 feet not including the 6 foot by 4 foot space in the projecting bay (Figure 31). The ceiling in both rooms is 7 feet 8 inches high. On the second level the layout includes a landing and corridor, two larger rooms (one 11 by 9 feet), and a bathroom that also extends into the Southwest Addition. New plasterboard and trim have been installed throughout and the woodwork, panelling, and iron railing of the stairway suggests a post 1950 date of construction. Entrance to the west wing is through the west wall on both levels and on the ground level the wall covering has been removed to expose the timber frame construction (Figure 32).

The basement of the Main Block, which is only entered through the West Wing Extension (an exterior entrance on the north façade of the Original West Wing has been blocked), is unfinished but has a concrete floor and the walls have been extensively parged (Figure 33). The east foundation has been covered by concrete block but there is a substantial void between it and the original fieldstone wall. As mentioned above, the sill plate can be clearly seen, as can the floor joists and flooring. Both of the latter appear to have been planed and recent in date, suggesting the floor of the structure was entirely replaced in the mid-to-late 20th century (Figure 34 and Figure 35).

6.2.3 Original West Wing

The 12 foot 2 inch long by 16 foot 3 inch wide Original West Wing extends perpendicularly from the centre of the west wall of the Main Block. The construction is also likely timber frame, and it is covered in clapboard and sits on a round fieldstone foundation (Figure 36). The roof is a medium gable with an off-centre gable and window on the south façade. Like the Main Block, the eaves are projecting and have a plain soffit and fascia, and some sections are metal clad. A narrow frieze can be seen in the off-centre gable. All the eaves and rainwater leaders are modern, and a red-brick chimney emerges through the west centre portion of the roof. A narrow vertical board on the north and south façades demarcates where the west wing gable originally stood. There is a single, off-centre

window on the ground level of the north façade and only an off-centre entrance with glazed, wood panel Dutch door and metal storm door on the south façade.

Inside are just one top storey and one bottom storey spaces, which measure 14 feet 10 inches north-south by 11 feet 7 inches wide. In the centre west of the first level room is a large and contemporary stone faced fireplace, while on the south and southwest walls of the second level room are the only surviving remnants of original baseboard (Figure 37 to Figure 39). The round fieldstone construction of the foundation is visible in the basement.

6.2.4 Southwest Addition

At the southwest corner of the Main Block, and the southeast corner of the Original West Wing is a 4 feet 2 inch by 3 feet 9 inch addition that is two storeys in height; since it is higher than the Main Block roofline, a section of low pitch roof was required to cover the addition. There is only a single, small window at the second level, with the remainder being covered in clapboard to match the other sections.

The interior of this space is used as a closet on the ground level, while on the second level it extends a bathroom located in the southwest corner of the Main Block.

6.2.5 West Wing Extension

The 36 foot 6 inch long by 16 foot 3 inch wide West Wing Extension continues the gable of the Original West Wing. The frieze on this gable is more prominent but still plain (Figure 40). This section may be wood frame as it sits on a poured concrete foundation seen in the 5-foot high basement. There is no fenestration on the north façade, and only a glazed wood Dutch door with metal storm door on the south façade. At the west end wall, however, there are two tall and symmetrically placed double-hung vinyl windows on the second level, and one horizontal opening with a four-over-eight fixed sash window on the ground level.

Like the Original West Wing, the extension has just one room above and a room below, although there is also a staircase that ascends from the northwest corner of the extension (Figure 42 and Figure 43). The access to the basement is also in this portion of the house.

6.2.6 Shed Wing

Measuring 10 feet 6 inches long and 8 feet 4 inches wide, the one-storey shed wing is attached to the northwest portion of the West Wing Extension (Figure 44). The foundation of this section is also poured concrete and the construction is of wood framing covered in clapboard. Unlike the other elements, there is no basement beneath this section. Fenestration includes a blind window on the north façade and another on the south, and a simple, single-leaf door with plain wood surround near the junction with the West Wing Extension. The pitch of the shed roof is relatively steep and there is a curved transition to the eaves in the otherwise plain fascia of the projecting eaves. Wall height at the west gable is only 5 feet 6 inches.

The interior of the Shed Wing is plain, and the space appears to be used as cold storage.

6.2.7 South Porch

Attached to the south façade of the west wing and west wing extension is an open porch with plain, 6 by 6 inch wood columns, and a plain fascia and soffit. The roof is flat, and the raised floor is made using interlocking brick. At its east opening is a metal access ramp with metal tube railings and posts.

6.2.8 W.D. Stark House – Figures

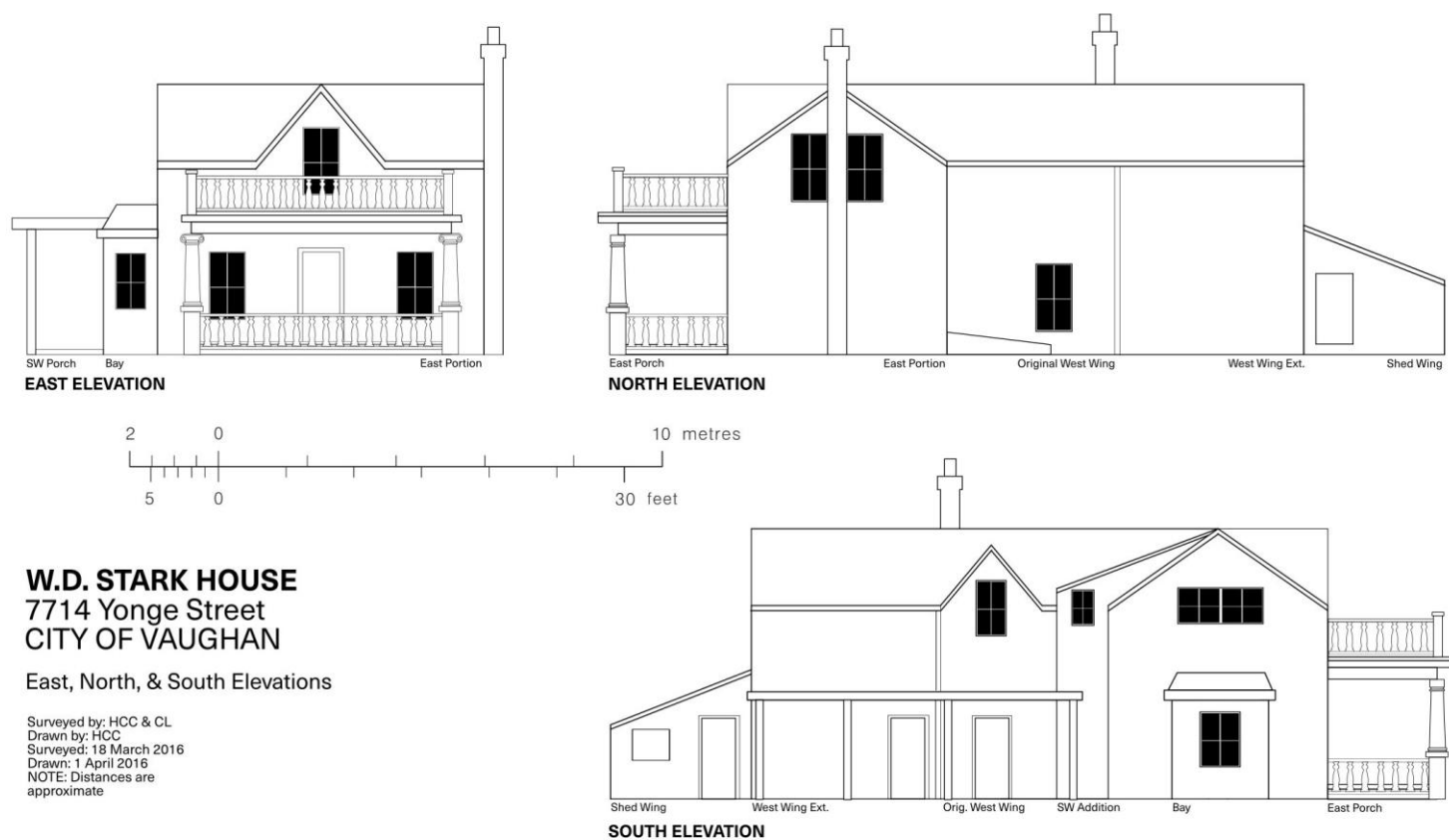


Figure 23: The east, north, and south façades of W.D. Stark House.



Figure 24: The south and east façades of W.D. Stark House.



Figure 25: The east façade of W.D. Stark House.



Figure 26: The north and east façades of W.D. Stark House.



Figure 27: A typical window of the Main Block, ground level.



Figure 28: The projecting bay on the south façade of W.D. Stark House.



Figure 29: The central entrance of the Main Block.



Figure 30: Central stairway in the south room of the Main Block, ground level.

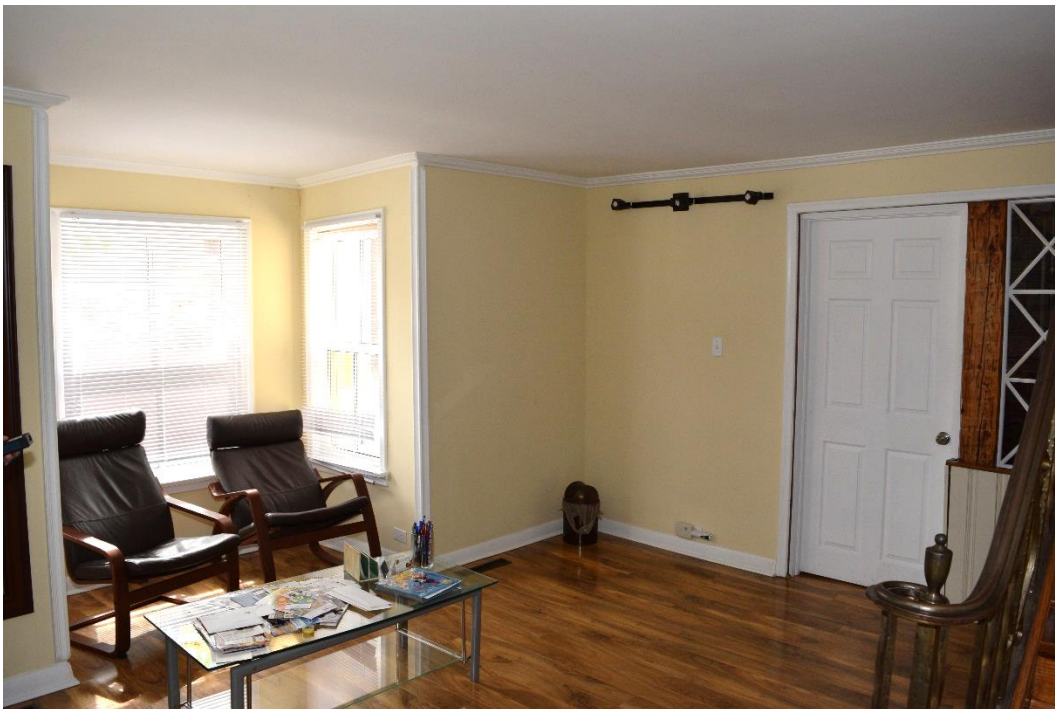


Figure 31: The south room of the Main Block, ground level, facing southwest.

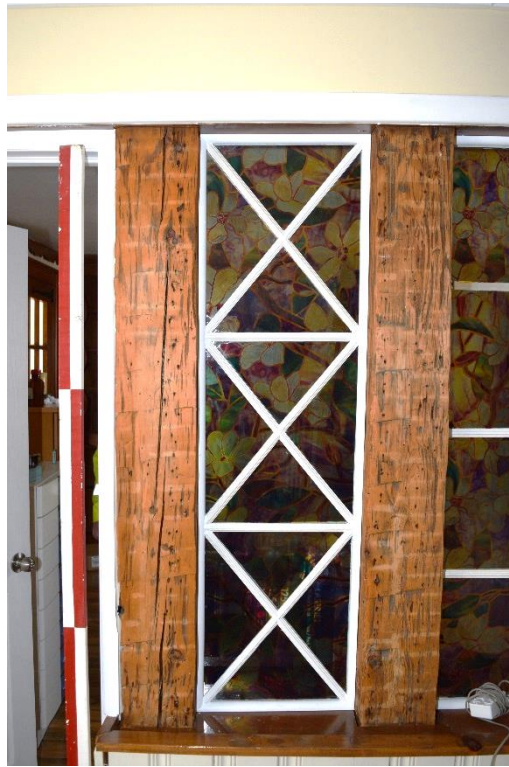


Figure 32: Exposed squared log studs in the west wall of the Main Block, ground level.



Figure 33: The rounded fieldstone foundation as seen from beneath the West Wing Extension.

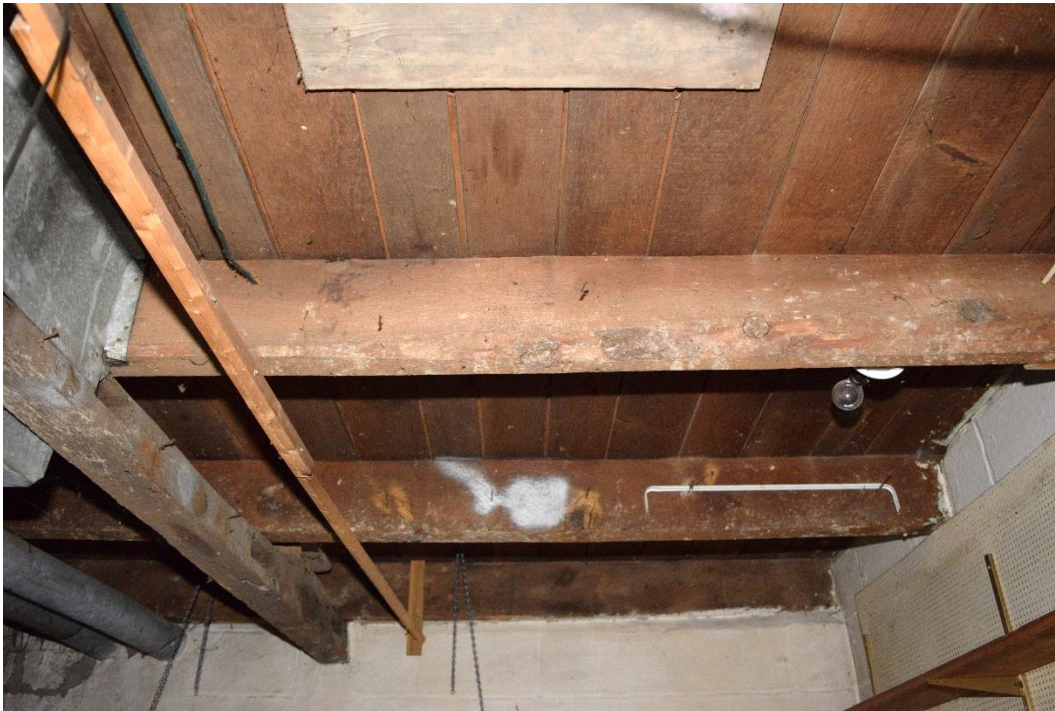


Figure 34: Planed wood joists and floorboards as seen from the Main Block basement.



Figure 35: Notching of the Main Block sill to accommodate a floor joist.



Figure 36: South façade of W.D. Stark House.



Figure 37: The hearth in the west wall of the Original West Wing ground level.

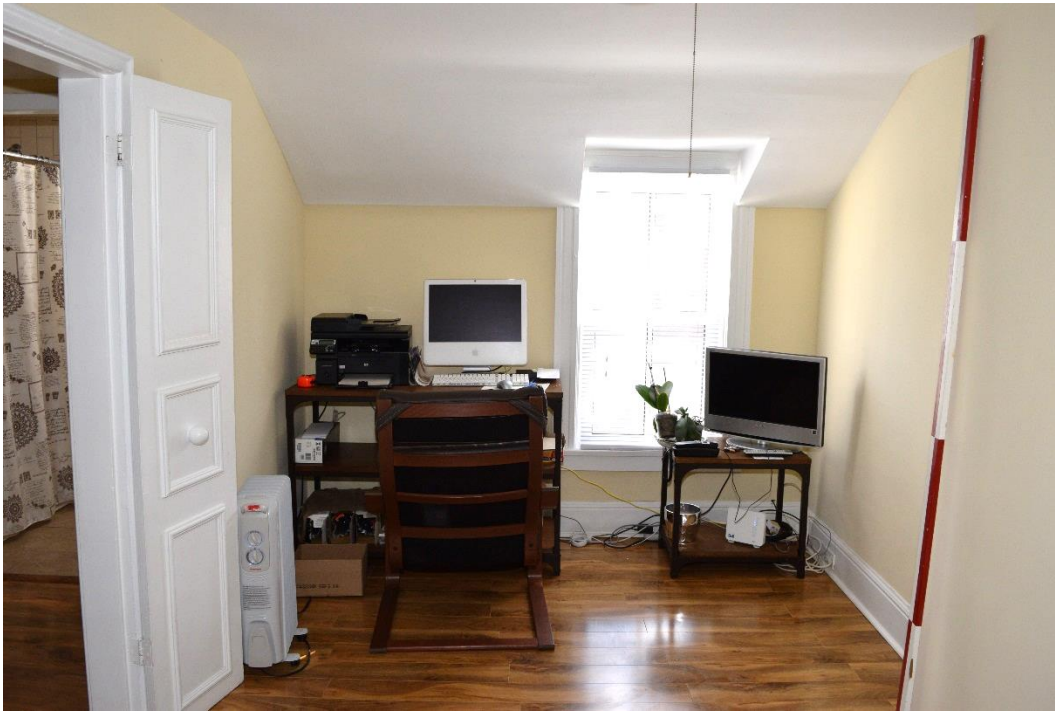


Figure 38: Second level room of the Original West Wing, facing south.



Figure 39: Surviving baseboard in the south wall of the Original West Wing. More recent baseboard can be seen at right.



Figure 40: North and west façades of W.D. Stark House.



Figure 41: West and south façades of W.D. Stark House.



Figure 42: The staircase in the northwest corner of the West Wing Extension.



Figure 43: Second level room of the West Wing Extension, facing southeast.



Figure 44: The west façade of W.D. Stark House.

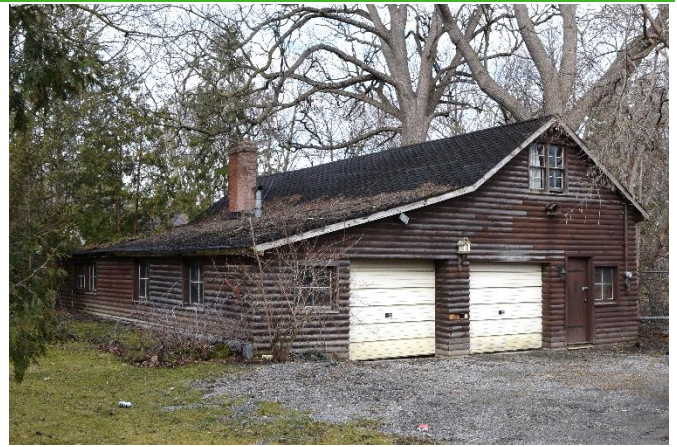
6.3 Outbuilding

For reasons of time and budget, the outbuilding was not analyzed to the same level of detail as W.D. Stark House and is instead summarized in the following inventory sheet.

Use:	Vehicle parking and social space	Construction date:	Pre-1949
Plan shape & dimensions:	Rectangular – 50 × 34'	Orientation:	East-west
No. of storeys:	One	No. of bays:	5
Construction type:	Timber frame	Cladding material:	Horizontal split log
Roof type:	Medium gable and shed	Roof material:	Asphalt shingle
Main door location:	Off-centre façade, east	Main door type:	Garage, sectional and single leaf panel
Window arrangement:	Symmetrical	Window shape:	Square
Special features:	Brick chimney	Architectural style:	20 th century gable roof, timber-frame outbuilding
Condition:	Poor		



East façade



South and east façades



West and south façades



West façade



North main room with exposed squared log tie beams



Fireplace and stove in the north main room



Paired chimneys in the south main room

6.4 Interpretation

Based on the historical research conducted for this study, there is very little to support the associations made in the pre-2000 City documentation of the property. No evidence could be found for the Martin commission, nor a specific 1853 year of construction. The early City documentation also mentions that W.D. Stark House is recorded in the Canadian Inventory of Historic Buildings (CIHB), but this too could not be verified using the CIHB's online database.

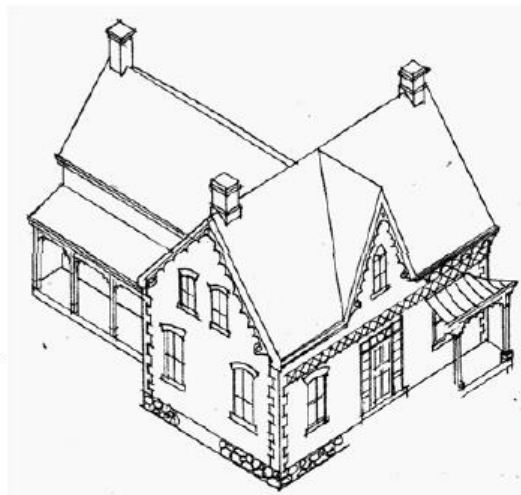
Nevertheless, the house does conform to a 'ubiquitous' mid-19th century Ontario architectural form and one seen, not surprisingly, in the Thornhill HCD. Despite its prevalence, however, the form is still not securely dated or universally defined. In the *Thornhill HCD Plan*, the architectural style to which W.D. Stark House conforms is referred to as 'Ontario Gothic Vernacular' and assigned dates between 1830 and 1890 (Figure 45). Fram (2003:25), however, calls it simply 'Gothic Revival' and narrows the period of popularity to between the 1840s and 1870s. Humphreys and Sykes (1980:6) further refine the dates to between 1850 and 1870, while Blumenson (1990:37) instead sees the form emerging in 1830 and continuing as late as 1900. Importantly, he also defines two types: Gothic Revival and Victorian Gothic, the latter incorporating significantly more ornament such as curvilinear vergeboards, bell-cast verandahs with trelliage, and segmental or round headed windows. Of these two types, W.D. Stark House is a plain Gothic Revival, although given the extent of change exhibited on the building, it is unknown if it originally had ornamentation that has since been removed.

Regardless of the specific dates, the Gothic Revival form appears to have met a particular aesthetic among urban and rural Ontarians in the second half of the 19th century. Its popularity was partly influenced by a resurgent interest in medieval forms for church architecture but may have also been a reaction to the Georgian and neoclassical symmetry of the previous one-and-a-quarter century. However, for the farmer moving up from his initial log cabin, the storey-and-a-half Gothic Revival farmhouse was also affordable and easily constructed from pattern books (Blumenson 1990:41). From its massing and scale, W.D. Stark House was likely both economical

and readily built, and through this it reflects the status and preferences of its builders and inhabitants. If W.D. Stark was the first owner, the architecture of the house reflects his social position and income as a schoolteacher.

ONTARIO GOTHIC VERNACULAR 1830-1890

Kitchen Tail with room over.
Wood side porch with sheet metal roof.
Wood porch posts with decorative brackets.
Fieldstone foundations.
Red brick masonry with buff brick detailing—sometimes the reverse (polychromy).
Optional front verandah, often with bell-cast roof.



Brick chimney, corbelled polychrome.

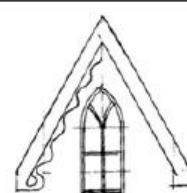
Steep roof with "gingerbread" trim at gables; wood shingles or sheet metal roofing; Pointed 'gothic' window in central dormer gable.

Archetypal Ontario Gothic house, 1 1/2 storeys, commonly brick construction, but also built of stone, stucco, and board and batten wood siding.

Symmetrical façade; central door with transom and/or sidelights.

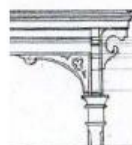
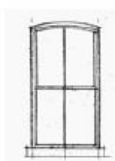
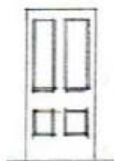
Segmental arch wood windows, double-hung, 2 over 2.

9.1.1 Heritage Styles Residential Buildings



The central dormer is the most persistent feature in Ontario vernacular design. It is with us still. People will move into a bungalow and install a little peak in the verandah, above the front door. It makes the place feel more like home.

Typical Design Elements: for more information see Section 9.2



18 Centre Street

Figure 45: The distinguishing characteristics of the 'Ontario Gothic' as outlined in the Thornhill HCD Plan (City of Vaughan 2007:58).

6.5 Heritage Integrity

In a heritage conservation context, the concept of integrity is linked not with structural condition, but rather to the literal definition of 'wholeness' or 'honesty' of a place. The *MTCS Heritage Identification & Evaluation Process* (2014:13) and *Ontario Heritage Tool Kit: Heritage Property Evaluation* (2006:26) both stress the importance of assessing the heritage integrity and physical condition of a structure in conjunction with evaluation under *O. Reg. 9/06* yet provide no guidelines for how this should be carried out beyond referencing the *US National Park Service Bulletin 8: How to Evaluate the Integrity of a Property* (US NPS n.d.). In this latter document, integrity is defined as 'the ability of a property to convey its significance', so can only be judged once the significance of a place is known.

Other guidance suggests that integrity instead be measured by understanding how much of the asset is 'complete' or changed from its original or 'valued subsequent configuration' (English Heritage 2008:45; Kalman

2014:203). Kalman's *Evaluation of Historic Buildings*, for example, includes a category for 'Integrity' with sub-elements of 'Site', 'Alterations', and 'Condition' to be determined and weighted independently from other criteria such as historical value, rather than linking them to the known significance of a place.

Kalman's approach is selected here and combined with research commissioned by Historic England (The Conservation Studio 2004), which proposed a method for determining levels of change in conservation areas that also has utility for evaluating the integrity of individual structures. The results for the property are presented in Table 2 and is considered when determining the CHVI of the property (see Section 7.0).

Table 2: Heritage Integrity Analysis.

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Site location	7714 Yonge Street	None	100	Very Good	No comment
Wall	Unknown but likely wood cladding	Horizontal wood clapboard, and projecting bay added pre-1949	80	Very good	Horizontal wood clapboard is historically compatible with the Gothic Revival architectural style and may have been the original cladding material
Doors	Wood	Steel panel	70	Good	Although all doors have been replaced, there do not appear to have been new entrances cut through historic fabric.
Windows	Wood	Steel insert	70	Good	All windows have been replaced with steel inserts, but all retain their original size except for two windows on the south gable that have been replaced with a combined, horizontal rectangular windows.

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Roof	Medium gable; Unknown covering	Small roof section added to southwest corner of Main Block; asphalt shingle covering added	90	Good	The new section was added prior to 1949 and the original roof profile can still be seen in the south gable.
Chimneys	Three – one on the interior of each gable of the Main Block and one on west gable of Original West Wing	A new chimney has been added to the north end wall and gable	50	Fair	At least two original chimneys have been removed.
Water systems	Unknown	Steel gutters and rain water leaders	0	Poor	No comment
Exterior decoration	Unknown	Unknown	N/A	N/A	No comment
Porches	One on southwest corner and one on east façade	Southwest corner porch replaced, and substantially new material added to east façade porch	35	Fair	The porches extant today do not use traditional materials. The east porch also has design elements that do not compliment the Gothic Revival style.
Wings	19 th -century Original West Wing, and Wing Extension and Shed Wing that pre-date 1930	None	100	Very good	No comment
Interior plan – ground level	Unknown but may be similar to existing divisions	None	70	Good	The interior plan does not appear to have undergone significant change

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Interior walls	Lathe-and-plaster	Removed if present – all partitions are plasterboard	0	Poor	Little surviving interior fabric
Interior trim	Thick wood baseboard	Removed in all sections except for the south and west wall of the Original West Wing, second level	Less than 5	Poor	Little surviving interior fabric
Interior features (e.g., hearth, stairs, doors)	Interior wood doors and brick hearth	All removed	0	Poor	All interior features removed
AVERAGE OF RATE OF CHANGE/HERITAGE INTEGRITY			51	Good	Rating of good is based on original element survival rate of between 50 and 75%

6.6 Physical Condition

Overall the physical condition of the foundations, interior, roofing, and exterior walls of W.D. Stark House appears to be good. Some mortar washing, and concrete disintegration, could be seen on the north foundation wall near a displaced downspout (Figure 46), but otherwise environmental damage and decay appears to be minimal.

The outbuilding, however, appears to be in poor condition with sections of the roof sagging and interior damage caused by roof leaks and animal infestation (a racoon was encountered in the building during the field investigation). Please note that these observations are based solely on superficial visual inspection and should not be considered a structural engineering assessment.



Figure 46: Mortar and concrete damage on the north foundation wall at a downspout location.

7.0 CULTURAL HERITAGE VALUE OR INTEREST

W.D. Stark House was inventoried in 2007 through the Thornhill Vaughan Heritage Conservation District Plan, enabled under Part V of the *Ontario Heritage Act*. A Statement of CHVI excerpted from information provided in the Building Inventory Extract document (2007) is included below and can be found in full in APPENDIX B.

The outbuilding was visually evaluated to identify attributes of cultural heritage value or interest using the criteria prescribed in *O. Reg. 9/06*. It was determined that the outbuilding did not meet any criteria, as it is:

- Not rare or unique in form, construction or design or display a high degree of craftsmanship;
- Does not contribute to an understanding of the Thornhill HCD; a
- Not associated with a known historic occupation of W.D. Stark House; and,
- Lacks social significance and contextual value.

7.1 Description of Property – 7714 Yonge Street

W.D. Stark House is located at 7714 Yonge Street, bound by Elizabeth Street to the west, Old Jane Street to the south, Yonge Street to the east and Centre Street to the north. The one-and-a-half storey and three-bay clapboarded residence is set back on a narrow and deep lot from the major commercial and transportation corridor of Yonge Street.

7.2 Statement of Cultural Heritage Value or Interest

Built by John Martin for W.D. Starke, schoolteacher, in 1853, the one-and-a-half storey, three-bay residence at 7714 Yonge Street was designed in the Ontario Gothic Vernacular style. The house is constructed of wood clapboard with central gable and side gable roof. There is a one storey square bay window with mansard roof on the south façade and flat roofed verandah supported by two Tuscan columns and cut-out bellie balustrades. The building is one of the last original Yonge Street houses in Lot 30.

7.3 Description of Heritage Attributes

The heritage attributes of the property are its:

- Association and set back from Yonge Street;
- Mature vegetation along its north, west, and south boundaries;
- Simple Gothic Revival three-bay form with centre-gable, but with a medium pitch roof;
- Timber frame construction, wood clapboard cladding, and fieldstone foundation;
- Projecting bay window on the south façade;
- Symmetrical fenestration on the east façade;
- West wing that has extended perpendicular from the centre of the main eastern portion; and,
- Residential architecture within a commercial district of Yonge Street.

8.0 IMPACT ASSESSMENT

8.1 Development Description

The Client is proposing to apply for a Site Plan Amendment and a Zoning By-law amendment to permit:

- Demolition of the west extension and shed extension of the W.D. Stark House, with the original block of the house being used as a café;
- Construction of a 6,127 square foot, two-storey addition plus basement to the rear of the house, to be used for retail purposes and a medical office; and,
- Construction of a 90-square-foot, one-storey link between the two structures.

The following components are also proposed:

- A 6-m wide driveway accessible to the north of the property, which narrows to 5-m near W.D. Stark House;
- A pedestrian plaza to the south of W.D. Stark House which provides access to the addition; and,
- 15 parking spaces for the mixed-use building.

Elevations indicate that the proposed addition will be constructed using similar materials to W.D. Stark House, including red Ontario clay brick and asphalt shingles. It will include tall, vertical windows and similar doors to the heritage house. Rooftop HVAC will be hidden. W.D. Stark House will have grey wood siding and a new porch floor and ceilings.

Golder provided a preliminary assessment of the development and recommendations for compatibility with the Thornhill HCD design guidelines in a technical memorandum dated January 31, 2018. The Client has made several design modifications to address initial concerns and compatibility issues. For elevations and site plans, see APPENDIX C.

8.2 Impact Assessment

When determining the effects, a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MTCS *Heritage Resources in the Land Use Planning Process* advises that the following direct and indirect adverse impacts be considered:

- Direct impacts
 - *Destruction* of any, or part of any, significant heritage attributes, or features; and
 - *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance.
- Indirect Impacts
 - *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
 - *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship;
 - *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features; or

- *A change in land use* such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Other potential impacts associated with the undertaking may also be considered. Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

Although the MTCS *Heritage Resources in the Land Use Planning Process* identifies types of impact, it does not advise on how to describe its nature or extent. For this the MTCS *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1990:8) provides criteria of:

- Magnitude (amount of physical alteration or destruction that can be expected)
- Severity (the irreversibility or reversibility of an impact)
- Duration (the length of time an adverse impact persists)
- Frequency (the number of times an impact can be expected)
- Range (the spatial distribution, widespread or site specific, of an adverse impact)
- Diversity (the number of different kinds of activities to affect a heritage resource)

Since the MTCS *Guideline* guidance, nor any other Canadian source of guidance, does not include advice to describe magnitude, the ranking provided in the UK Highways Agency *Design Manual for Roads and Bridges* [DMRB]: *Volume 11*, HA 208/07 (2007: A6/11) is used here. Despite its title, the DMRB provides a general methodology for measuring the nature and extent of impact to cultural resources in urban and rural contexts and is the only assessment method to be published by a UK government department (Bond & Worthing 2016:167). Similar ranking systems have been adopted by agencies across the world, such as the International Council on Monuments and Sites (ICOMOS 2011), the Irish Environmental Protection Agency (reproduced in Kalman 2014:286), and New Zealand Transport Agency (2015).

The DMRB impact assessment ranking is:

- Major
 - Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.
- Moderate
 - Change to many key historic building elements, such that the resource is significantly modified.
 - Changes to the setting of an historic building, such that it is significantly modified.
- Minor
 - Change to key historic building elements, such that the asset is slightly different.

- Change to the setting of an historic building, such that it is noticeably changed.
- Negligible
 - Slight changes to historic building elements or setting that hardly affect it.
- No impact
 - No change to fabric or setting.

An assessment of impacts resulting from the proposed development on the property's heritage attributes and those of the adjacent Thornhill Heritage Conservation District is presented in Table 3.

Table 3: Assessment of direct & indirect adverse impacts.

Potential direct and indirect adverse impact	Analysis of Impact	Mitigation Required (Yes/No)
<i>Destruction of any, or part of any, significant heritage attributes, or features</i>	<p>As currently proposed, the development will involve destruction of the outbuilding, removal of the west wing extension and shed wing of the W.D. Stark House and modifications to the south verandah and subsequent reconstruction of the west wall.</p> <p>The west wing extension and shed wing and outbuilding are not significant heritage attributes. The outbuilding is of poor condition and integrity and does not meet any <i>O. Reg. 9/06</i> criteria. The west wing extension and shed wing have limited integrity and do not contribute significantly to the cultural heritage value or interest of the main block and original west wing of the W.D. Stark House as a representative example in the Thornhill HCD of an Ontario Gothic Vernacular style building. Although an MTCS guiding principle is 'respect for history' (do not restore to one period at the expense of another period) this refers to significant character-defining elements, which the west wing extension, shed wing and outbuilding are not. The removal of these features will not significantly effect the heritage integrity of W.D. Stark House.</p> <p>The removal of these features will involve partial demolition of W.D. Stark House and potential that the structure will be damaged during construction from vibration from heavy machinery and from the cumulative effects of high-volume vehicle traffic. The construction activity also has potential to impact neighbouring properties within the Thornhill HCD, such as 25 Elizabeth Street and the Fraser Block.</p>	Yes (see Section 8.3)

Potential direct and indirect adverse impact	Analysis of Impact	Mitigation Required (Yes/No)
<i>Alteration that is not sympathetic or is incompatible, with the historic fabric and appearance</i>	<p>The proposed development will result in the construction of a 6,127 square foot, two-storey addition plus basement to the rear of the house which will have a major impact on the setting and physical structure of W.D. Stark House.</p> <p>However, after assessing several design iterations for compatibility against the design guidelines of the <i>Thornhill HCD Plan</i> (see Section 8.2.1) and suggesting changes to meet most of the criteria, Golder believes the proposed addition continues the existing building's Gothic Revival architectural style through a gable roof with cross-gables (north, east and west elevations) and tall windows and does not represent a significant impact through alteration to the identified heritage attributes of W.D. Stark House (see Section 7.3). The setback of the house from Yonge Street will remain unaltered.</p> <p>The proposed development is also unlikely to result in incompatible alteration given the mass of the surrounding architectural forms, and particularly if the development is screened by vegetation (see Figure 47 to Figure 49). The setbacks and side yards will remain unchanged, and an attractive environment for pedestrians will be developed. Views into the property are masked by larger adjacent buildings and impact to the HCD would be minimal if vegetation was retained to screen the south boundary.</p> <p>To accommodate adaptive re-use W.D. Stark House will be altered, but any adverse effects of this change will be avoided if the actions are guided by a Heritage Conservation Plan (HCP), as recommended in this CHIA.</p>	Yes (see Sections 8.2.1 and 8.3)
<i>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden</i>	<p>The 2 ½ storey height of the proposed addition to the rear of the property, along with the approximately 40 m setback from Yonge Street, are unlikely to create shadows that will alter the appearance of the Fraser Block or any other structures in the Thornhill HCD. A shadow study was not conducted but it can be assumed no impact based on rear location to south of the built heritage resource to the north.</p>	No

Potential direct and indirect adverse impact	Analysis of Impact	Mitigation Required (Yes/No)
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	Since the proposed development is located to the rear of the W.D. Stark House, it does not isolate any heritage properties in the vicinity from their historic context. The house itself will not be isolated from its historical, visual and physical relationship with the Thornhill HCD as it will be retained in its current location.	No
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	<p>The proposed addition to W.D. Stark House will not obstruct or impede significant views or vistas within, from, or to the Thornhill HCD (see Figure 47 to Figure 49). The addition is located to the rear of the house, ensuring the W.D. Stark House retains prominence in the streetscape.</p> <p>The proposed development has also been assessed against the design guidelines for Thornhill HCD (see Section 8.2.1), and mitigations Golder recommended in preliminary design assessments have been incorporated into the current design.</p> <p>The proposed development will result in a change of setting, however, none of the heritage attributes of W.D. Stark House or Thornhill HCD will be adversely impacted since the proposed development abides to the Thornhill HCD policies.</p>	No
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces	The commercial and residential land use practiced on the property since the mid-20 th century will continue under the proposed development. Overall, Yonge Street already has several mixed-use developments.	No
Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.	Extensive land disturbances will occur if the proposed development proceeds. The asphalt parking lot will be constructed to the rear of the property and a pedestrian plaza to the south of W.D. Stark House. The partial demolition of the house may cause impacts in terms of vibration from construction, potential collisions, and increased levels of dust, which will potentially result in a major impact on the Main Block and West Wing of W.D. Stark House	Yes (see Section 8.3)

Potential direct and indirect adverse impact	Analysis of Impact	Mitigation Required (Yes/No)
	<p>(the most significant heritage attribute) and neighbouring properties (i.e. 25 Elizabeth Street, the Fraser Block).</p> <p>The Client has developed a site grading and servicing plan that incorporates storm water drainage and servicing, and erosion and sediment control have also been considered.</p>	



Figure 47: View of the property from the southeast.



Figure 48: View of the property from the northeast.



Figure 49: View of the property from the southwest.

8.2.1 Design Assessment

The information below provides a design assessment of the proposed development at 7714 Yonge Street. The proposed development was assessed for compliance against the *Thornhill Heritage Conservation District Plan and Guidelines* (2007). As identified in the Thornhill HCD Plan, the objective of the design guidelines is not to prevent change, but to ensure that change is complementary to the heritage character that already exists, and enhances, rather than harms it.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
9.3.7 New Additions to Heritage Buildings <i>New attached additions to heritage buildings should be designed to complement the design of the original building and respect the scale of the original building.</i>	
Design additions to maintain the original architectural style of the building.	Compatible. The proposed addition continues the existing building's Gothic Revival architectural style through a gable roof with cross-gables (north, east and west elevations) and tall windows.
Use authentic detail.	Compatible. The proposed addition uses red Ontario clay brick to match the existing building's piers and chimney, and asphalt shingle roof similar to the existing building. The addition also features tall, symmetrically placed windows that are compatible with the style of the existing building.
Research the architectural style of the original building.	The existing building is a mid-19 th century Gothic Revival residence.
Follow the relevant guidelines for construction (Section 9.5)	See comments under City HCD Guideline Section 9.5.
Don't design additions to a greater height or scale than the original building	Compatible. Although the proposed addition's roofline is 1-storey higher than the original building (2 ½ storeys versus 1 ½ storeys), the proposed addition does not exceed the height of the immediately adjacent Bell Canada building (3 storeys) and is visually and physically separated from W.D. Stark House by a one-storey link. The addition is also located to the rear of the existing heritage house.
Don't design additions to predominate over the original building. Usually, additions should be located at the rear of the original building, or, if located to the side, be setback from the street frontage of the original building	Compatible. The proposed addition is located at the rear of W.D. Stark House and is visually differentiated by a single-storey glass link between the two buildings.
For garage additions, see Section 9.3.8	Not applicable.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
Use appropriate materials. See Section 9.8	See comments below.
Avoid destruction of existing mature trees. See Section 9.7	See comments below.
9.5 General Guidelines for New Development <i>New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration and detail</i>	
New buildings should reflect a suitable local heritage style. Use of a style should be consistent in materials, scale, detail and ornament	Compatible. The proposed addition continues the Gothic Revival style of the existing building through its gable roof with cross-gables. The proposed development also utilizes materials (e.g. red clay brick) and tall, symmetrical windows.
It is strongly recommended that owners engage design professionals skilled in heritage work for new buildings in the District	Compatible. The Client engaged Golder Associates Ltd. to conduct a cultural heritage impact assessment report.
9.5.2.1 Site Planning	
Site new houses to provide setbacks and frontages that are consistent with the variety of the village pattern	Compatible. The setback of the north elevation (Yonge Street) of W.D. Stark House will not change.
Site new houses to preserve existing mature trees	Compatible. At time of writing, an updated landscape plan had not been received. However, it has been advised that mature trees along the south and west boundaries, which currently act to screen the property, will be retained and new trees planted.
9.5.2.2 Architectural style	
Design houses to reflect one of the local heritage Architectural Styles	Compatible. The proposed addition includes a gable roof with cross-gables, reflecting the Gothic Revival style of W.D. Stark House.
Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate	None proposed.
Use authentic detail, consistent with the Architectural style	Compatible.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
	The proposed addition uses authentic details (e.g. red Ontario clay brick, tall windows, panelled doors) to match the existing Gothic Revival style building.
Research the chosen Architectural Style.	The Gothic Revival architectural style is referenced in the new design.
Use appropriate materials.	See comments below.
9.5.2.3 Scale and Massing	
New buildings should be designed to preserve the scale and pattern of the historic District.	Compatible. The proposed addition is of a similar scale to immediately adjacent properties on Yonge Street. The setback from the street will not change.
New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block.	Compatible. The proposed addition does not exceed the height of the tallest building on the block, immediately south of the property (3-storeys). The proposed development is no lower than the lowest building on the same block (1-storey).
As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1 ½ - storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape.	Compatible. The proposed addition is located to the rear of the existing building and will not replace the W.D. Stark House.
9.5.2.4 Commercial Aspects	
The house form and architectural details of converted residences should be preserved, and signage is not to be mounted on the buildings. Ground signs, in conformity with the Sign By-law, are appropriate.	Compatible. The shed wing and west wing extension will be demolished for the development. However, Golder determined that these extensions are not a heritage attribute of the property. A ground sign is proposed in front of the existing building, on the pedestrian plaza to the east. The proposed addition will also include painted signage on glass to the west of the main entrance.
Paved areas toward the front of lots should be minimized. Parking areas in front yards are not appropriate. In order to minimize the paved areas and number of traffic entrances, the consolidation of parking areas, with shared entrances is supported.	Compatible. Parking is located at the rear of the property, with an entrance from Yonge Street located to the west of the lot. The entrance will use the existing curb

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
	cut and drive and the parking lot will be shared amongst the office and retail spaces.
9.5.3 Yonge Street Commercial Areas <i>The vision for the Thornhill Yonge Street Corridor Area is characterized by: a vibrant and mixed use main street; a predominance of at grade commercial/retail uses along Yonge Street; an attractive, high quality, pedestrian friendly, transit supportive streetscape; differing scales of development including transit supportive mid-rise intensification and smaller scale infill projects to complement existing heritage assets and adjacent residential neighbourhoods; protection for, and enhancement of heritage resources and their environs; new public parks and plazas and enhanced connections to the surrounding open space system; and organized access and parking to the rear of commercial and mixed use properties.</i>	
9.5.3.2 Built Form Vision <i>The objective of the proposed built form for the Yonge Street commercial corridor is to enable the development and insertion of more intense forms of development within the context of existing heritage and complementary buildings. The Thornhill Yonge Street Study, 2005 describes the basic building form:</i>	
Building massing should reflect a linked series of pavilion type buildings defined by recessed connector building segments. This variety in setback will create certain buildings that have greater emphasis and is somewhat in keeping with the character of a village which would have had independent buildings with sideyards.	Compatible. A link is proposed to connect the existing building with the addition, to emphasize the existing building and create a visible buffer. This is proposed to be primarily glass to encourage the visual separation. The addition will be located to the rear of the building providing a variety in setbacks which will ensure the W.D. Stark House retains prominence in the streetscape.
Mid-block pavilion building segments should generally occupy 15-20 metres of the street frontage whereas corner pavilion segments should occupy more frontage (25-30 metres)	Compatible. The proposed addition (mid-block) does not impact the current street frontage, as the massing of W.D. Stark House will not change.
The recessed connector building segments should generally occupy 6-15 metres of street frontage and should be set back from the mandatory streetscape setback an additional 1.5 to 3.0 metres. This additional setback will provide an area of refuge for private landscape enhancements as well as street furniture.	Compatible. The connection between the existing building and proposed addition will not be visible from the street front (Yonge Street) as it is located to the rear of the structure.
Long, homogeneous facades are to be avoided.	None proposed.
Pedestrian "through building" connections from Yonge Street to rear commercial parking areas are desirable especially for any development exceeding 50 metres of continuous building frontage.	Compatible. Pedestrian access to the rear parking lot is through the plaza located to the east of the property.
Massing and built form should step down to respond to and respect adjacent heritage buildings.	Compatible. The proposed addition is compatible in height and massing to adjacent properties (e.g. Bell building). The Bell building obscures views of the rear of the

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
	property. The rear addition to W.D. Stark House will provide a transition of height between the two properties.
9.5.3.3 Location and Setbacks	
Buildings should be sited to address: 1) corner or intersection locations, 2) the primary street frontage, and 3) street frontage on the secondary/local street.	Compatible. Street frontage along the primary street (Yonge Street) remains unchanged. The proposed addition is located to the rear of the existing structure.
Buildings should be oriented towards public streets to clearly define the public realm, create a consistent street wall and create an attractive retail and commercial environment for pedestrians.	Compatible. The building is oriented towards Yonge Street, and creates an attractive environment for pedestrians through its landscaping and pedestrian plaza along the street wall.
The segment or component of the new building adjacent to heritage buildings should align with the building face of the heritage building.	Compatible. The proposed addition aligns with the building face of W.D. Stark House, extending slightly to the east to allow for a pedestrian plaza leading up to the entrance.
A sideyard setback of 4 to 6 metres should be achieved to emphasize the importance and prominence of the heritage building anchors or pavilions and should allow for greater visibility from the road. The sideyard may be used for pedestrian or vehicular access to the rear of the property.	Compatible. The sideyards of the W.D. Stark House will remain unchanged. The east sideyard will be used for the pedestrian plaza, while the west sideyard allows for vehicular access to the rear of the property which uses the existing curb cut.
Buildings fronting on Yonge Street should occupy a minimum of 70% of the frontage along the property line and buildings on secondary or local streets should occupy a minimum of 50% of the frontage along the property line.	Compatible. The building frontage on Yonge Street will remain unchanged.
To achieve an enhanced streetscape, a 1.8m minimum setback from the edge of the public right of way is required for all properties fronting onto Yonge Street and all secondary streets. This will create a minimum 7 metre public realm from curb edge to building face. The additional 1.8 metre streetscape zone will be implemented by development proponents in a manner consistent with the streetscape improvement program.	Compatible. There will be no change to the building setback from Yonge Street.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
Setback for development on local streets should be generally consistent with the setbacks of existing development.	Compatible. The building setback from Yonge Street remains unchanged. The proposed addition will be screened by trees along the property boundaries.
9.5.3.7 Architectural Styles	
New mid-rise development should be products of their own time but should be compatible with the basic tenets and styles of traditional historical commercial architecture typically found in an older Ontario downtown setting.	Compatible. The proposed addition incorporates cross-gable roofs compatible with the Gothic Revival style of W.D. Stark House, similar materials and design.
Buildings should be articulated to express a building base with traditional storefronts, a mid section and a top of cornice.	Not applicable.
A consistent approach to design detail for the chosen style should be used for all building elements.	Compatible. The proposed addition incorporates similar materials as W.D. Stark House (e.g. red Ontario clay brick will be used to match the existing building's house piers and chimney) and are consistent throughout. Additionally, tall symmetrical windows are proposed for the addition which are similar in style to the house.
It is important to recognize that the overwhelming characteristic regarding style in Thornhill was its simplicity. Overly elaborate styles and others not generally compatible with a local village context should be avoided.	None proposed.
9.5.3.8 Heritage-Friendly Design of New Developments	
The base of a stepped back building should be architecturally legible; it should read as a building from the pedestrian level.	Not applicable.
Step backs should be sufficiently deep that the upper levels don't overwhelm the base when viewed from the pedestrian level.	Not applicable.
The height of the base should usually be 2 or 3 stories high, in keeping with historic patterns.	Not applicable.
Cornice and sill heights should relate to adjacent buildings whenever possible.	Compatible. The ground floor, north-elevation windows of the proposed development are of a similar cornice height (slightly higher) than those of W.D. Stark House. At the second storey, the north and south

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
	elevations of the proposed building, the sill height relates to the cornice height of the house.
Low rise buildings and the bases of mid-rise buildings should express a traditional bay-width of 6 to 8 metres, using piers or pilasters to form substantial and legible divisions of the façade.	Compatible. The piers are visible from the east and west elevation, which are visible from Yonge Street and the parking lot.
Larger developments should consider breaking down their widths into elements of 4 bays or less. For example, a nine-bay building could have a centre portion that is set off with heavier piers, or a change in the design of upper-floor window pattern.	Not applicable.
The cap should be substantial and legible element, distinct from the body of the building. Parapets are useful in providing a suitable scale for the cap.	Not applicable.
The cap should include elements, such as cornices, that produce a shadow line near the top of the street façade.	Not applicable.
Detailing such as decorative inserts, niches, machiolation, and string courses are encouraged.	None proposed.
Finials that continue the division of bays at the base and body are encouraged.	None proposed.
9.5.3.9 Mechanical and Utility Equipment	
Rooftop mechanical equipment, transformer vaults, heat pumps and other forms of mechanical equipment should be considered in design of the building.	Compatible. The rooftop HVAC is incorporated into the proposed development and covered from view.
These elements should be designed or screened to reduce their visual impact on the subject building, the streetscape and neighbouring properties, as well as ensure that noise and servicing does not have an impact on neighbouring properties.	Compatible. See comment above. The rooftop HVAC has been identified in renderings as not visible from the streetscape and neighbouring properties.
9.5.3.10 Loading, Garbage and Storage	
Loading, storage and other service areas should not be visible from any public street. Building form and placement should be designed to provide screening of these areas in order to reduce their visual impact.	Not identified in renderings.
Location and access to garbage receptacles and storage shall conform to the Zoning By-law.	Garbage room is located in the interior of the proposed addition and accessible from an exterior entrance on the south wall.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
9.5.3.11 Commercial Patios	
Commercial patios are required to comply with the City of Vaughan Zoning By-law	Not applicable.
All patios should reflect and enhance the existing streetscape. Features such as wood picket fences and furniture that is compatible with the Heritage District is encouraged.	Not applicable.
Commercial rooftop patios are not appropriate for the District.	None proposed.
Umbrellas which have advertising are not permitted.	None proposed.
Outdoor patios that include structural elements such as a raised roof or floor require permits under the <i>Building Code Act</i> .	Not applicable.
9.8.1 Heritage Buildings	
Appropriate Materials	
Exterior finish: <ul style="list-style-type: none"> - Smooth and red clay face brick, with smooth buff clay face brick as accent - Wood clapboard, 4" to the weather - Smooth, painted, wood board and batten siding 	Compatible. The proposed addition uses red Ontario clay brick.
Exterior detail: <ul style="list-style-type: none"> - Cut stone or reconstituted stone for trim in brick buildings - Wood shingles, stucco, or terra-cotta wall tiles in gable ends - Painted wood porches, railings, decorative trim, shutters, fascias and soffits - Painted wood gingerbread bargeboards and trim, where appropriate to the design 	Compatible. W.D. Stark House will have gray wood siding and the new railings will have square shaped balusters. The porch will have pine flooring and v-joint siding at the soffit.
Shopfronts: <ul style="list-style-type: none"> - Wood frames, glazing bars, and panels with glazed wood doors are preferred - Metal shopfronts, detailed and proportioned to be compatible with heritage shopfronts, are acceptable 	Compatible. The proposed addition incorporated glazed metal (aluminium) doors although an effort will be made to replicate wood and will incorporate a transom window to reflect a design compatible with heritage shopfronts. Doors are single panelled and similar in design to the existing building.
Roofs: <ul style="list-style-type: none"> - Hipped or gable roof as appropriate to the architectural style 	Compatible.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
<ul style="list-style-type: none"> - Cedar, slate, simulated slate or asphalt shingles of an appropriate colour - Standing seam metal roofing, if appropriate to the style - Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style 	Asphalt shingles consistent in colour and pattern to W.D. Stark House will be used on the proposed addition. A gabled roof will be incorporated.
Doors: <ul style="list-style-type: none"> - Wood doors and frames, panel construction, may be glazed - Transom windows and paired sidelights - Wood French doors for porch entrances - Single-bay wood panelled garage doors 	Potentially compatible. Door and window openings are proposed as metal (aluminium) framed although a transom window is incorporated.
Windows: <ul style="list-style-type: none"> - Wood frames; double hung; lights as appropriate to the architectural style - Real glazing bars, or high-quality simulated glazing bars 	Potentially compatible. Window openings are proposed as metal (aluminium) framed although an effort will be made to replicate wood.
Flashings: Visible step flashings should be painted the colour of the wall	Compatible. Prefinished metal cap flashing to be the same colour as the acrylic stucco and siding on the original house (grey).
Inappropriate Materials	
Exterior finish: <ul style="list-style-type: none"> - Concrete block; calcite or concrete brick - Textured, clinker, or wire cut brick - Precast concrete panels or cast-in-place concrete - Prefabricated metal or plastic siding - Stone or ceramic tile facing - Rustic clapboard or rustic board and batten siding; wood shake siding 	Potentially compatible. Although not directly addressed as an inappropriate material, porcelain panels are proposed for the addition (technically ceramic).
Exterior detail: <ul style="list-style-type: none"> - Prefinished metal fascias and soffits - Stock suburban pre-manufactured shutters, railings and trims - Unfinished pressure-treated wood decks, porches, railings, and trim 	None proposed.
Shopfronts: <ul style="list-style-type: none"> - Standard metal shopfronts and pre-finished metal spandrel material - Frameless tempered glass shopfronts 	None proposed.
Roofs:	None proposed.

CITY HCD GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
<ul style="list-style-type: none"> - Slopes or layouts not suitable to the architectural style - Non-traditional metal roofing such as pre-finished or corrugated metal - Modern skylights, when facing the street 	
Doors: <ul style="list-style-type: none"> - Stock suburban door assemblies - Flush doors - Sidelights on one side only - Aluminium storm and screen doors - Sliding patio doors - Double-bay, slab or metal garage doors 	<p>Potentially compatible.</p> <p>Although an effort will be made to replicate wood, all door openings are proposed to be metal (aluminium) framed.</p>
Windows: <ul style="list-style-type: none"> - Large picture windows - Curtain wall systems - Metal, plastic or fibreglass frames - Metal or plastic cladding - Awning, hopper or sliding openers - Snap-in, or tape simulated, glazing bars 	<p>Potentially compatible.</p> <p>Metal (aluminium) window frames are proposed, although an effort will be made to replicate wood.</p>
Flashings: Pre-finished metal in inappropriate colours	<p>Compatible.</p> <p>Prefinished metal will be a similar colour to the original house siding.</p>

8.3 Results of Impact Assessment & Recommendations

The preceding assessment has determined that without conservation or mitigation measures, the proposed development of the property:

- ***Will result in major, direct impacts through alteration and land disturbance to the identified heritage attributes (the original West Wing of W.D. Stark House) that are irreversible, permanent, will occur once and are site specific;***
- ***Will result in minor but neutral (i.e. not adverse) impact through land disturbances to the identified cultural heritage attributes of the Thornhill HCD that are irreversible, permanent, will occur once and are site specific.***

Golder recommends the following mitigations to ensure the heritage attributes of W.D. Stark House are not adversely impacted by the proposed development:

Site Preparation Phase

- ***Implement construction plan control and communication.***

The property and specifically the footprint of W.D. Stark House should be clearly marked on project mapping and communicated to all project personnel for avoidance during site preparation and construction.

■ ***Demolish the outbuilding***

No further documentation is recommended for the outbuilding as it is not considered a heritage attribute.

■ ***Preserve by record the shed wing and west wing extension of W.D. Stark House through written notes, measured drawings and photographic records prior to partial demolition.***

The *Standards and Guidelines* identifies that for rehabilitation projects, some alterations may be required to assure the continued use of an historic place. The main block of the W.D. Stark House is of higher priority for conservation due to its numerous heritage attributes, and removal of the rear and shed wing will serve to reinstate attention to the character-defining elements.

Partial Demolition and Construction Phase

■ ***Hand demolish the west wing extension and shed wing from W.D. Stark House.***

Removing the west wing extension and shed wing must be carefully supervised by a qualified demolition contractor and requires that the roof and wall joints of the west wing extension be disconnected manually from the west wing. Once disconnected by hand, hydraulic equipment (e.g. hammer, excavator) are acceptable mechanical methods to demolish the remainder of the west wing extension and shed wing.

■ ***Monitor for vibration impact during all construction.***

Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.

The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.

■ ***Create a temporary physical buffer.***

To reduce the risk of accidental subsidence, temporary fencing should be erected at a 2 m distance from the house footprint to ensure that all excavation, utility and sidewalk installation is a distance from the foundations of W.D. Stark House. To reduce the risk of construction vehicles accidentally colliding with the house, concrete barriers should be placed along the north foundation walls adjacent to the main access route.

■ ***Implement dust control measures.***

All preparatory cutting of building materials should be carried out a distance from the house to reduce and control dust levels.

Re-use Phase

■ ***Develop a Heritage Conservation Plan to guide re-use planning for W.D. Stark House.***

A heritage conservation plan should be commissioned that details the appropriate conservation treatments (i.e. preservation, rehabilitation or restoration) and actions, trades, and implementation schedule required to adaptively re-use of W.D. Stark House as a café. The plan will also suggest the materials and colours appropriate for W.D. Stark House to ensure it complements the immediate physical context and streetscape.

Operation Phase

- ***Create a permanent physical buffer.***

A permanent buffer, such as a concrete curb or bollards, should be erected to the immediate northeast and northwest corners of the W.D. Stark House to reduce the risk of accidental collision with vehicles accessing the rear of the property (see Figure 50).

- ***Develop a maintenance plan and inspection schedule to address current issues and maintain the structure; and,***
- ***Install an interpretive panel or display within the new development that outlines the history of W.D. Stark House and its architecture.***

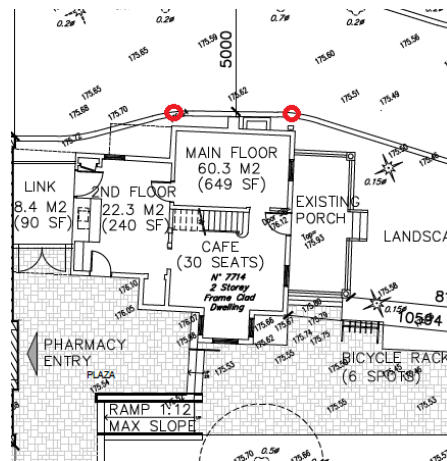


Figure 50: Site plan with proposed locations for bollards identified in red.

8.4 Additional Considerations

Central to conservation practice today is the issue of sustainability (see Déom & Thiffault 2013). One of the key reasons there has been a shift away from the strict preservationist approaches since the 1950s is the realization that built heritage can neither practically nor authentically be frozen; instead, conservation efforts and heritage appreciation have proven most effective when they can be sensitively and practically incorporated into new development. This is echoed by the Thornhill HCD Plan, which states:

It is not the purpose of heritage conservation district designation to make the district a static place where change is prohibited. Rather, the purpose is to guide change so that it contributes to the district's architectural and historical character (City of Vaughan 2007:2).

The proposed development retains and rehabilitates the heritage attributes of W.D. Stark House to ensure its continued active use. This meets the Plan's Heritage Buildings policies as the heritage attributes of the resource will be protected so as to retain its heritage value and extend its physical life. The proposed addition will be located to the rear of the property which ensures the heritage house has prominence in the streetscape. Although it uses similar forms and materials to W.D. Stark House, it does not seek to replicate it which abides to MTCS *Eight Guiding Principles* (2007), which states that new work should be distinguishable from the old. Buildings or structures must be recognized as products of their own time.

Sections 4.2.1 and 4.2.2 of the Thornhill HCD Plan identifies that the heritage value of each heritage resource should be conserved and protected including when creating any new addition. The proposed development allows for the conservation of W.D. Stark House while creating a distinguishable addition from the heritage resource. Although the shed and west wing extension will be removed, these have been determined not to be significant heritage attributes and will have minimal impact on the overall heritage value of the structure.

9.0 ALTERNATIVES, MITIGATION AND CONSERVATION OPTIONS

There is no single, correct way to mitigate the impacts of new construction on historic structures. Best practice for heritage conservation generally prefers *minimal intervention*; that is, maintaining the building in as close to the condition it was encountered. In reality, however, economic and/or technical site considerations may require an alternate method to conserve the cultural heritage value of structure or property.

The City's three conservation/ mitigation options —*Avoidance Mitigation*, *Salvage Mitigation*, and *Historical Commemoration*— have been modified to meet the specific considerations of impact resulting from the proposed addition to the southwest corner of W.D. Stark House. These are:

- Preservation (corresponds to *Avoidance Mitigation*): retain house unaltered in its original location and continue its current and historic use;
- Restore / rehabilitate and incorporate into the new development (corresponds to *Avoidance Mitigation*): Restore or rehabilitate the east and north façade and replace additions with new construction;
- Relocation and restore / rehabilitate (corresponds to *Salvage Mitigation*): Relocate to another portion of the property and restore/rehabilitate for adaptive re-use; and,
- Preservation by record (corresponds to *Historical Commemoration*): document the house through written notes, measured drawings and photographic records, then demolish the house.

An options analysis for each mitigation option is provided below. The Client has not considered full demolition.

9.1 Option 1: Preservation

This option involves retaining the house unaltered in its original location and continue its current and historic use.

Advantages: This is generally the most preferred of conservation options since —through the principle of minimal intervention— it has the highest potential for retaining all the structure's heritage attributes and retains evidence from all phases in the history of the property. In order of priority, this is the first preferred option in the Thornhill HCD Plan for the retention of heritage resources.

Disadvantages: Preservation is not a 'do nothing' approach. To ensure the structure does not suffer from deterioration, repairs must be carried out and systematic monitoring and repair program will be required. As identified in MTCS *Eight Guiding Principles* (2007), maintenance is required to ensure future restoration is not necessary and to avoid major conservation projects which can be costly. The potential to develop the addition separate from W.D. Stark House to the rear of the property and avoid the heritage structure is low as it reduces the available area and as a result would lower the commercial viability. Development surrounding W.D. Stark House will be significantly constrained and it may prove difficult to maintain the building as a viable business within this small structure.

Feasibility: This option is not deemed feasible due to:

- High expense to stabilize, preserve and maintain W.D. Stark House;
- The reduction in economic and commercial viability of the property; and,
- Difficulty for long-term sustainability.

9.2 Option 2: Restore or Rehabilitate and Incorporate

This option involves restoring or rehabilitating W.D. Stark House and incorporating the structure into new development.

Advantages: As outlined in the Canada's Historic Places *Standards & Guidelines*, rehabilitation and adaptive reuse can 'revitalize' a historic place and ensures heritage attributes are retained and conserved. Further, the guidelines recommend that non character-defining elements should be removed or altered. This option would allow the rehabilitation of the east and north façade and replace the additions, which have no cultural heritage value or interest, with new construction. Rehabilitation would serve to preserve *in situ* an example of pre-Confederation residential architecture on Yonge Street and return the structure to an appearance that better reflects its original architecture. A rehabilitated and expanded W.D. Stark House is more likely to contribute to the economic viability of the property than in its current configuration. This will, in turn, result in investment in the building's heritage conservation. Although this option involves replacing additions with new construction, these additions were found not to have CHVI and thus would abide to Section 4.2.1 of the Thornhill HCD Plan regarding conserving and protecting the heritage value of a resource as no heritage attributes of the property would be removed.

Disadvantages: Restoration is a more intrusive form of heritage conservation and requires a greater level of understanding about the structure's construction and history. Maintaining a commercial use of the building may prove difficult given its limited size and incorporating the structure into the new development will introduce further design constraints for the new development; the impacts of differences in scale and orientation, and architectural compatibility all have to be considered when drafting the architectural designs for the new addition to W.D. Stark House.

Feasibility: This option is most desirable because of:

- The CHVI of the Main Block and original west wing of the W.D. Stark House; and,
- Overall good condition of the structure.

9.3 Option 3: Relocate & Rehabilitate

This option considers relocating W.D. Stark House to another portion of the property and rehabilitate for adaptive re-use. This would separate the structure from the new proposed development.

Advantages: This option would retain and conserve the W.D. Stark House in its current form (albeit in a new context) and would encourage sustainability through retention of its 'embodied energy'.

Disadvantages: In addition to often prohibitively expensive, relocating the structure puts the building at risk of losing its heritage attributes to accidents during the relocation operation, or loss of the structure itself due to unforeseen structural issues discovered during the relocation process. Relocation is often recommended as the absolute last resort, if there are no other means to save a historic resource (MTCS 2007; City of Vaughan 2007) as site plays an integral role in the cultural heritage value of a structure. The Thornhill HCD, under Section 4.2.3, identifies that before relocation can be approved, all options for on-site retention must be investigated. The proposed development meets the second option in order of priority, the retention of the building on site in an adaptive-reuse.

Feasibility: This option is not feasible as:

- It reduces the development capacity and total area of the site; and,
- Heritage guidance recommends relocation as an absolute last resort.

9.4 Option 4: Preserve by Record & Commemorate

This option involves documenting W.D. Stark House or its elements through written notes, measured drawings and photographic records, then demolish. The building may then be commemorated through interpretive signage or art. This option is not being considered by the Client, but some of the principles apply to the proposed removal of the West Wing Extension and Shed Wing.

Advantages: Through detailed investigations, the construction, architecture, and history of the house and outbuilding would be better understood and become an example for comparative study. Its importance to the community would survive as documentary records accessible to the public through the local library or other public repository, and also through commemorative signage or digital exhibits.

Disadvantages: Preservation by record is the least desirable conservation option but may be appropriate in cases where the structural integrity of the building is poor, and it is prohibitively expensive to stabilize. It may also be an option when there is a large stock of other surviving, or more representative, examples. This partially applies to W.D. Stark House: the structural integrity overall appears to be good, but there is a large stock of similar, more representative examples of Gothic Revival residences in the City of Vaughan and the Thornhill HCD. Nevertheless, the Client has not expressed a wish to demolish the main portion of the house, although does intend to remove the wings. Pursuing a demolition permit within an HCD can be an extended process that carries with it the risk of public protest or censure by provincial authorities.

Feasibility: This option was deemed most feasible for the shed and west wing extension of W.D. Stark House because:

- It preserves a record of the wings in a manner scaled to their level of cultural heritage significance;
- Ensures the continued active use of the property; and,
- The shed and west wing extension of W.D Stark House have an overall low cultural heritage significance.

9.5 Results of Options Analysis

The option that best balances economic viability of the surrounding land, and conserves the heritage attributes of W.D. Stark House is:

- **Option 2: Rehabilitate and incorporate into the new development:** rehabilitate the east and north façades, remove the shed and west wing extension, and add a new wing of compatible but contemporary design.

For the shed wing and west wing extension of W.D. Stark House, the option that best balances economic viability of the surrounding land, and conserves the heritage attributes of W.D. Stark House is:

- **Preserve by record:** document the shed wing and west wing extension through written notes, measured drawings and photographic records, then demolish. These elements of the building may be then commemorated through interpretive signage.

9.5.1 Outbuilding

Since the outbuilding was evaluated as having no cultural heritage value or interest and, as per the Thornhill HCD Plan, the building's scale, massing, and/or architectural style is *not* supportive of the overall heritage character of the District, this structure can be demolished without further heritage recording or investigation.

10.0 SUMMARY STATEMENT & RECOMMENDATIONS

In March 2016, Alexander Planning Inc. on behalf of Roman Vorotynskiy (the Client) retained Golder to conduct a CHIA for the property located at 7714 Yonge Street, in the City of Vaughan, Regional Municipality of York, Ontario (the property). The 0.414-acre (0.167-hectare) lot includes a one-and-one-half storey, Gothic Revival style residence constructed in 1853 that measures 52 feet 9 inches (16.1 m) by 24 feet 5 inches (7.4 m), and a one-storey 50 (15.2 m) foot by 34 foot (10.4 m) outbuilding. The property is described in the City's municipal heritage register as 'W.D. Stark House' and is within the City of Vaughan's Thornhill Heritage Conservation District (HCD).

This CHIA was undertaken to accompany the Client's development proposal for site plan and zoning by-law amendments to permit the demolition of the outbuilding as well as the shed wing and west wing extension of W.D. Stark House to construct a two-and-a-half storey retail and medical building connected to the rear of the existing heritage structure.

Following guidelines outlined in the City of Vaughan's *Guidelines for Cultural Heritage Impact Assessments*, the Ministry of Tourism, Culture and Sport, and Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this CHIA identifies the heritage policies applicable to new development, summarizes the property's geography and history, and provides an inventory and evaluation of the property's built and landscape features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed and future conservation actions recommended based on a rigorous options analysis.

This CHIA concluded that:

- ***The W.D. Stark House at 7714 Yonge Street, designated under Part V of the Ontario Heritage Act for its associations and contributions to the Thornhill Heritage Conservation District is also of cultural heritage value or interest as a representative example of a mid-19th century Gothic Revival style house; and,***
- ***The outbuilding is not a heritage attribute of the property.***

The CHIA also concluded that with the conservation or mitigation measures recommended in this report the proposed development of the property:

- ***Will not result adverse impacts to the property's identified heritage attributes;***
- ***Will not result in adverse impacts to the cultural heritage attributes of the Thornhill HCD.***

In addition to the recommendations the Client has adopted to comply with the Thornhill HCD design guidelines and compatibly incorporate the new development into W.D. Stark House, Golder recommends the mitigations to avoid potential impacts:

Site Preparation Phase

- ***Implement construction plan control and communication.***

The property and specifically the footprint of W.D. Stark House should be clearly marked on project mapping and communicated to all project personnel for avoidance during site preparation and construction.

■ ***Demolish the outbuilding***

No further documentation is recommended for the outbuilding as it is not considered a heritage attribute.

■ ***Preserve by record the shed wing and west wing extension of W.D. Stark House through written notes, measured drawings and photographic records prior to partial demolition.***

The *Standards and Guidelines* identifies that for rehabilitation projects, some alterations may be required to assure the continued use of an historic place. The main block of the W.D. Stark House is of higher priority for conservation due to its numerous heritage attributes, and removal of the rear and shed wing will serve to reinstate attention to the character-defining elements.

Partial Demolition and Construction Phase

■ ***Hand demolish the west wing extension and shed wing from W.D. Stark House.***

Removing the west wing extension and shed wing must be carefully supervised by a qualified demolition contractor and requires that the roof and wall joints of the west wing extension be disconnected manually from the west wing. Once disconnected by hand, hydraulic equipment (e.g. hammer, excavator) are acceptable mechanical methods to demolish the remainder of the west wing extension and shed wing.

■ ***Monitor for vibration impact during all construction.***

Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.

The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.

■ ***Create a temporary physical buffer.***

To reduce the risk of accidental subsidence, temporary fencing should be erected at a 2 m distance from the house footprint to ensure that all excavation, utility and sidewalk installation is a distance from the foundations of W.D. Stark House. To reduce the risk of construction vehicles accidentally colliding with the house, concrete barriers should be placed along the north foundation walls adjacent to the main access route.

■ ***Implement dust control measures.***

All preparatory cutting of building materials should be carried out a distance from the house to reduce and control dust levels.

Re-use Phase

■ ***Develop a Heritage Conservation Plan to guide re-use planning for W.D. Stark House.***

A heritage conservation plan should be commissioned that details the appropriate conservation treatments (i.e. preservation, rehabilitation or restoration) and actions, trades, and implementation schedule required to adaptively re-use of W.D. Stark House as a café. The plan will also suggest the materials and colours appropriate for W.D. Stark House to ensure it complements the immediate physical context and streetscape.

Operation Phase

- ***Create a permanent physical buffer.***

A permanent buffer, such as a concrete curb or bollards, should be erected to the immediate northeast and northwest corners of the W.D. Stark House to reduce the risk of accidental collision with vehicles accessing the rear of the property.

- ***Develop a maintenance plan and inspection schedule to address current issues and maintain the structure; and,***

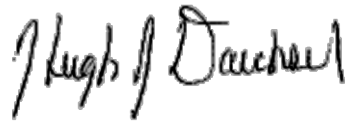
- ***Install an interpretive panel or display within the new development that outlines the history of W.D. Stark House and its architecture.***

Signature Page

GOLDER ASSOCIATES LTD.



Henry Cary, Ph.D., CAHP, RPA
Cultural Heritage Specialist/Archaeologist



Hugh Daeschel, M.A.
Principal, Senior Archaeologist

HC/HD/ly

Golder and the G logo are trademarks of Golder Associates Corporation

11.0 REFERENCES

Adam, Graeme Mercer and Charles Pelham Mulvany

1885 *History of Toronto and the County of York, Ontario*. C. Blackett Robinson, Toronto

Blumenson, John

1990 *Ontario Architecture: A Guide to Styles and Building Terms, 1784 to the present*. Fitzhenry & Whiteside, Markham, Ont.

Brunskill, R.W.

1978 *An Illustrated Handbook of Vernacular Architecture*. Faber & Faber, Boston.

Canadian Inventory of Historic Buildings (CIHB)

n.d. Canada's Historic Places: The Canadian Register. Electronic resource:

<http://www.historicplaces.ca/en/pages/about-afpropos.aspx>. Last accessed April 2016.

Carter, Floreen

1984 *Place Names of Ontario*. Phelps Publishing Company, London.

Chapman, L. J. and D. F. Putnam

1984 *The Physiography of Southern Ontario*. Third Edition. Ontario Geologic Survey Special Volume 2. Ministry of Natural Resources, Toronto.

City of Vaughan

2016 *Guidelines for Cultural Heritage Impact Assessments*. City of Vaughan, Vaughan.

2010 City of Vaughan Official Plan. Electronic resource:

https://www.vaughan.ca/projects/policy_planning_projects/Pages/Vaughan-Official-Plan---Volume-1-and-2.aspx. Last accessed April 2016.

2007 Thornhill Vaughan Heritage Conservation District Plan. Electronic resource:

https://www.vaughan.ca/projects/policy_planning_projects/Pages/Thornhill-Vaughan-Heritage-Conservation-District-Plan-2007.aspx. Last accessed April 2016.

n.d. City of Vaughan Heritage Inventory. Electronic resource:

https://www.vaughan.ca/services/business/heritage_preservation/General%20Documents/Vaughan%20Heritage%20Inventory.pdf. Last accessed April 2016.

n.d. *A Brief History of Thornhill*. Electronic resource:

https://www.vaughan.ca/services/vaughan_archives/historyofvaughan/VaughanDocuments/A%20Brief%20History%20of%20Thornhill.pdf. Last accessed April 2016.

Congress of Architects and Technicians of Historic Monuments (CATHM)

1964 *The International Charter for the Conservation and Restoration of Monuments and Sites, Venice* (the Venice Charter 1964).

Déom, Claudine and Marie-Andrée Thiffault

2013 Thoughts Towards a New Definition of Heritage. *The Historic Environment* 4.1: 62-74.

Designing Buildings Ltd.

2018 Construction Dust. Electronic resource:

https://www.designingbuildings.co.uk/wiki/Construction_dust#prevention_or_reduction_of_dust

Fram, Mark

2003 *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*. Boston Mills Press, Erin, Ontario.

Gardiner, Herbert Fairbairn.

1899 *Nothing But Names, an Inquiry Into the Origin of the Names of the Counties and Townships of Ontario*. G. Morang, Toronto. [Online] <http://www.ourroots.ca/e/toc.aspx?id=819>. Last Accessed: March 2016.

Gentilcore, R. Louis.

1969 Lines on the Land: Crown Surveys and Settlement in Upper Canada. *Ontario History* 61: 57–73.

Gentilcore, R. Louis and Kate Donkin

1973 *Land Survey of Southern Ontario: An Introduction and Index to the Field Notebooks of the Ontario Land Surveyors, 1784-1859*. York University, Toronto.

Government of Ontario

1990a *The Planning Act*. Electronic document: <https://www.ontario.ca/laws/statute/90p13?search=planning+act>

1990b *Ontario Heritage Act*. Electronic document: <https://www.ontario.ca/laws/statute/90o18?search=heritage+act>

Humphreys, Barbara A. and Meredith Sykes

1980 *The Buildings of Canada: A Guide to pre-20th-century styles in houses, churches and other structures*. Parks Canada, Ottawa.

International Council on Monuments and Sites (ICOMOS) Canada

1983 *The Appleton Charter for the Protection and Enhancement of the Built Environment* (English-speaking Committee).

Jandl, H. W.

1987 *Rehabilitating Interiors of Historic Buildings. Preservation Brief No. 18*, U.S. Department of the Interior National Parks Service Cultural Resources, Washington.

Johnson, Leo A.

1973 *History of the County of Ontario, 1615-1875*. Corporation of the County of Ontario, Whitby.

Kalman, Harold

1979 *The Evaluation of Historic Buildings*. Parks Canada, Ottawa.

King, John (Editor)

2006 *Understanding Historic Buildings: A Guide to Good Recording Practice*. English Heritage, Swindon, UK.

McGill University

2001 *In Search of Your Canadian Past: The Canadian County Atlas Digital Project*. Electronic document: <http://digital.library.mcgill.ca/countyatlas/search.htm>. Last accessed March 2016.

McIlwraith, Thomas F.

1999 *Looking for Old Ontario: Two Centuries of Landscape Change*. University of Toronto Press, Toronto.

Miles & Co.

1878 *Illustrated Historical Atlas of the County of York and the Township of West Gwillimbury & Town of Bradford in the County of Simcoe, Ontario*. Miles & Co., Toronto.

Ministry of Tourism, Culture and Sport (MTCS)

- 2006 *Ontario Heritage Tool Kit: Heritage Property Evaluation - A Guide to Listing, Researching and Evaluating Cultural Heritage Property in Ontario Communities*. Ministry of Tourism, Culture and Sport, Toronto.
- 2005 *Ontario Heritage Tool Kit: Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process*. Ministry of Tourism, Culture and Sport, Toronto.

Ontario Department of Agriculture

- 1880 *Ontario Agricultural Commission, Appendix A: Proceedings of the Ontario Agricultural Commission*. Department of Agriculture, Toronto.

Page, Robert R., Cathy A. Gilbert, and Susan A. Dolan

- 1998 *A Guide to Cultural Landscape Reports: Contents, Process, and Techniques*. U.S. Department of the Interior, National Park Service, Washington.

Parks Canada Agency

- 1980 *Canadian Inventory of Historic Building: Exterior Recording Training Manual*. Parks Canada, Ottawa.
- 2006 *Canadian Register of Historic Places: Writing Statements of Significance*. Parks Canada, Ottawa.
- 2010 *Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition*. Parks Canada, Ottawa.
- 2011 *Canadian Register of Historic Places: Writing Statements of Significance*. Parks Canada, Ottawa.

Randl, C.

- 2001 *Protecting a Historic Structure During Adjacent Construction. Preservation Briefs, No.3*. U.S. National Park Service, Washington.

Reaman, George Elmore

- 1971 *A History of Vaughan Township*. Vaughan Township Historical Society, Vaughan.

Schott, Carl

- 1981 *The Survey Methods*. Translated by Andrew Burghardt. *Canadian Geographer* 25(1): 77–93.

Smith, William Henry

- 1846 *Smith's Canadian Gazetteer: Comprising Statistical and General Information Respecting All Parts of the Upper Province, Or Canada West... With a Map of the Upper Province*. H. & W. Rowsell, Toronto.

Society for the Preservation of Historic Thornhill

- n.d. *The View from Above: Aerial Photos of Thornhill from the 1930's [sic] to the 1960's [sic]*. Electronic resource: <https://www.thornhillhistoric.org/index.php/exhibits/79-the-view-from-above-aerial-photos-of-thornhill-from-the-1930-s-to-the-1960-s>. Accessed April 2016.

Statistics Canada

- 2011 *Census Profile, City of Vaughan*. Electronic resource: www.statcan.gc.ca. Accessed April 2016.

The Conservation Studio

- 2004 *Measuring change in conservation areas: A research report for English Heritage*. The Conservation Studio, Cirencester, UK. Electronic resource: <http://historicengland.org.uk/images-books/publications/measuring-change-in-conservation-areas/> Accessed April 2016.

APPENDIX A

**Abstract Index Records, Part of Lot
30, Concession 1, Vaughan
Township**

No. of Instrument	Instrument	Date	Date of Registry	Grantor	Grantee	Consideration	Quantity of Land - Remarks
	Patent	March 29, 1810		Crown	John Wilson Sr.		All 210 acres
2252	B. & S.	September 15, 1811	February 23, 1814	John Wilson Sr. et ux	Stilwell Wilson	£300	All
4337	B. & S.	May 23, 1822	December 13, 1822	Stilwell Wilson	William Allan		All
4559	B. & S.	July 26, 1823	July 31, 1823	William Allan	Henry John Boulton	£168	N.E. pt. 55 acres
4827	B. & S.	May 20, 1824	May 26, 1824	Henry John Boulton	Daniel Brooke Jr.		N.E. pt. 55 acres
26091	B. & S.	November 27, 1845	February 4, 1846	Daniel Brooke	Charles Thompson		Pt.
26436	Indenture	December 6, 1845	November 14, 1846	Charles Thompson et ux	Archibald Gallanough	£25	1/4 acre
26966	Mortgage	June 9, 1846	June 13, 1846	William D. Stark	Archibald Gallanough	£75	1/4 acre 38464
26968	B. & S.	June 9, 1846	June 13, 1846	Archibald Gallanough	William D. Stark	£75	1/4 acre
36962	Mortgage	April 30, 1850	May 2, 1850	W. D. Stark et ux	James Murdock		Pt. 50466
38464	D. M.	May 1, 1850	November 9, 1850	Archibald Gallanough	W. D. Stark		
90426	Grant	August 10, 1867	August 15, 1867	William D. Stark et ux	William A. Cook	\$500	Pts.
90427	Mortgage	August 10, 1867	August 15, 1867	William A. Cook	William D. Stark	\$300	Pts.

No. of Instrument	Instrument	Date	Date of Registry	Grantor	Grantee	Consideration	Quantity of Land - Remarks
5845	Grant	November 30, 1893	January 31, 1894	William A. Cook & Mary A. his wife	Mary Saunders	\$500	
6066	Grant	March 5, 1870	March 7, 1895	Mary Saunders & Henry I. Saunders	John H. Francis	\$500	Pts.
11306	Grant	April 1 1918	April 19 1918	John H. Francis & Phoebe his wife	Austin A. Brillinger	\$4,000	Part comg. 276'7" S from NE angle then S 66', W 271'10", N 66', 10", E 271'6" to PDB
24375	Quit Claim	March 29 1949	May 31 1949	Pearl R. Smith	Austin A. Brillinger	\$1 etc.	Pt. comg. 276'6" S from NE angle then S 66' x 271'10" deep
24376	Grant	February 15 1949	May 31 1949	Austin A. Brillinger & Gertrude his wife	Thomas W. Jackson	\$1 etc.	Same as in 24375
32690	Grant	October 28 1954	November 15 1954	Thomas W. Jackson & Mary L. his wife	Harold Harley & Rose E. Harley as joint tenants	\$1 etc.	Same as in 24375

APPENDIX B

**7714 Yonge Street Inventory Sheet,
Thornhill HCD Plan**



Location: 7714 Yonge Street
 Year Built: 1853
 Style: Ontario Gothic Vernacular
 Storeys: 1 ½
 Classification: Inventoried

Cladding: Wood clapboard
 Roof: Side gable, asphalt shingles
 Windows:

Description: Modest 3-bay Ontario Gothic house with central gable. Roof slopes are not as steep as usually found. There is a one storey square bay window with mansard roof on the left side wall, with a replacement "picture" window in the gable end above it. Flat roofed verandah supported on 2 Tuscan columns, and the cut-out bellied balustrades above and at ground floor level are later revisions. Shed-roof rear extension and tail. Driveway on right leading to a large outbuilding/garage at rear. Very deep lot with many large trees. Evergreen trees at front corners of verandah.

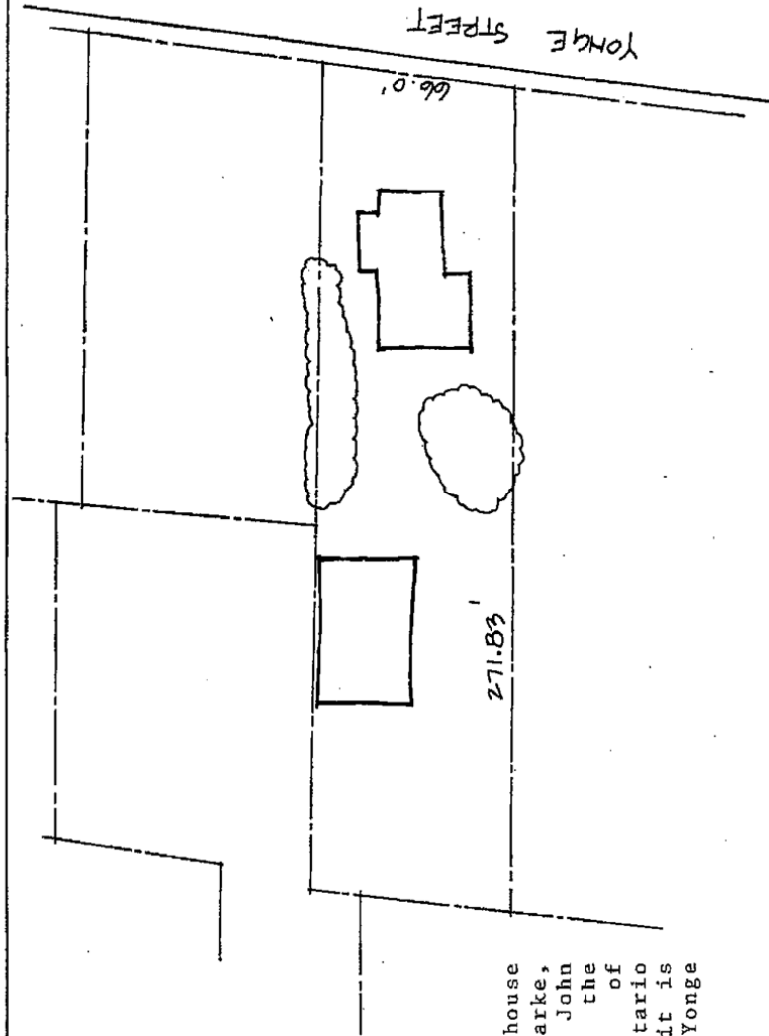
History: Built by John Martin for W.D. Starke, schoolteacher. This is the last of the original Yonge Street houses in Lot 30. Outbuilding was once Austin Brilling's blacksmith shop, which opened in 1928.

Comments: This building is included in the Canadian Inventory of Historic Buildings and the Ontario Inventory of Buildings. It is an important heritage asset, contributing to the village heritage character.

LOCATION	NO. 7714 YONGE STREET	ARCHITECTURAL STYLE	ONTARIO HOUSE
DESCRIPTION		CONSTRUCTION DATE	1853
No. of Floors	ONE AND ONE HALF	REMARKS	GARAGE AND LARGE REAR LOT
Roof Type	GABLE		CIHB AND OIB DESIGNATIONS
Exterior Cladding	WOOD CLAPBOARD		LAST ORIGINAL HOUSE LOT 30 YONGE STREET



A traditional frame house built for W.D. Starke, Schoolteacher, in 1853 by John Martin. Recorded by the Canadian Inventory of Buildings and the Ontario Inventory of Buildings, it is the last of the original Yonge Street houses in Lot 30.



7714 YONGE STREET

APPENDIX C

**Site Plan and Elevations for 7714
Yonge Street**

DRAWING NOTES

SITE PLAN AND GRADING TAKEN FROM SURVEY OF THE PROPERTY REPORT OF PART 1 PLAN OF LOT 59, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, DATED 25 JULY 2011.

REV	DATE	DESCRIPTION	BY
1	23 JAN/19	ISSUED FOR REVIEW	BA
2	25 JAN/19	ISSUED FOR REVIEW	BA

REV	DATE	DESCRIPTION	BY
1	23 JAN/19	ISSUED FOR REVIEW	BA
2	25 JAN/19	ISSUED FOR REVIEW	BA

REV	DATE	DESCRIPTION	BY
1	23 JAN/19	ISSUED FOR REVIEW	BA
2	25 JAN/19	ISSUED FOR REVIEW	BA

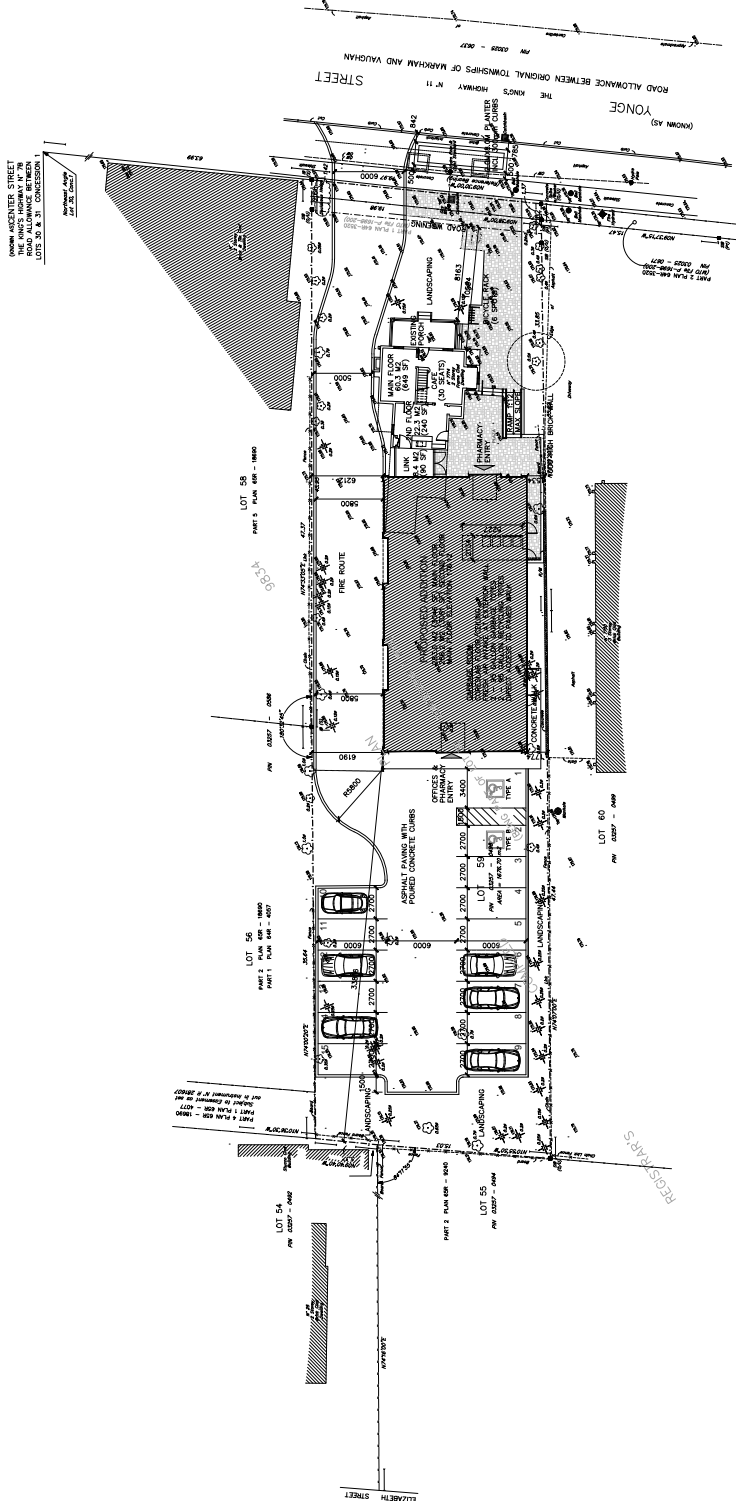
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION OF THE PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT.

nadco
too designgroup
47 Lonsdale Ave.
Toronto, Ontario M4M 1B7
416 930-6337

Brian Aude Archited Inc.
628 Currier Avenue North York
Ontario M2N 6K5
Tel: (416) 226-5183 Fax: (416) 226-5066
e-mail: brian@brianarchited.com

7714 YONGE STREET
VAUGHAN ONTARIO

Scale	1:200
Projection	16.17
Sheet No.	A0-1



PARKING CALCULATIONS

RETAIL (MAIN FLOOR & LINK NEW PLUS EXISTING)
= 374.0 M² / 100 X 2.0 = 7.5 SPACES
MEDICAL (SECOND FLOOR)
286.2 M² / 100 X 2.5 = 7.2 SPACES
TOTAL PARKING REQUIRED
= 14.7 OR 15 SPACES
PARKING PROVIDED 15 SPACES
CAVE AREA
FIRST FLOOR EXISTING BUILDING 60.3 M²
FIRST FLOOR LINK 25.4 M²
TOTAL CAVE AREA 91.0 M²

SITE STATISTICS

LOT AREA 1676.7 M²
SITE COVERAGE 63.3 M²
EXISTING BUILDING 292.5 M²
PROPOSED ADDITION 286.2 M²
TOTAL 578.7 M²
FIRST FLOOR EXISTING 22.3 M²
LINK NEW FOR NEW 28.4 M²
SECOND FLOOR NEW 286.2 M²
TOTAL 600.2 M²
FLOOR SPACE INDEX 0.40
BUILDING HEIGHT 8.6 M

EAST ELEVATION

WEST ELEVATION

CROSS SECTION

MATERIALS

- [illegible]

DRAWING NOTES

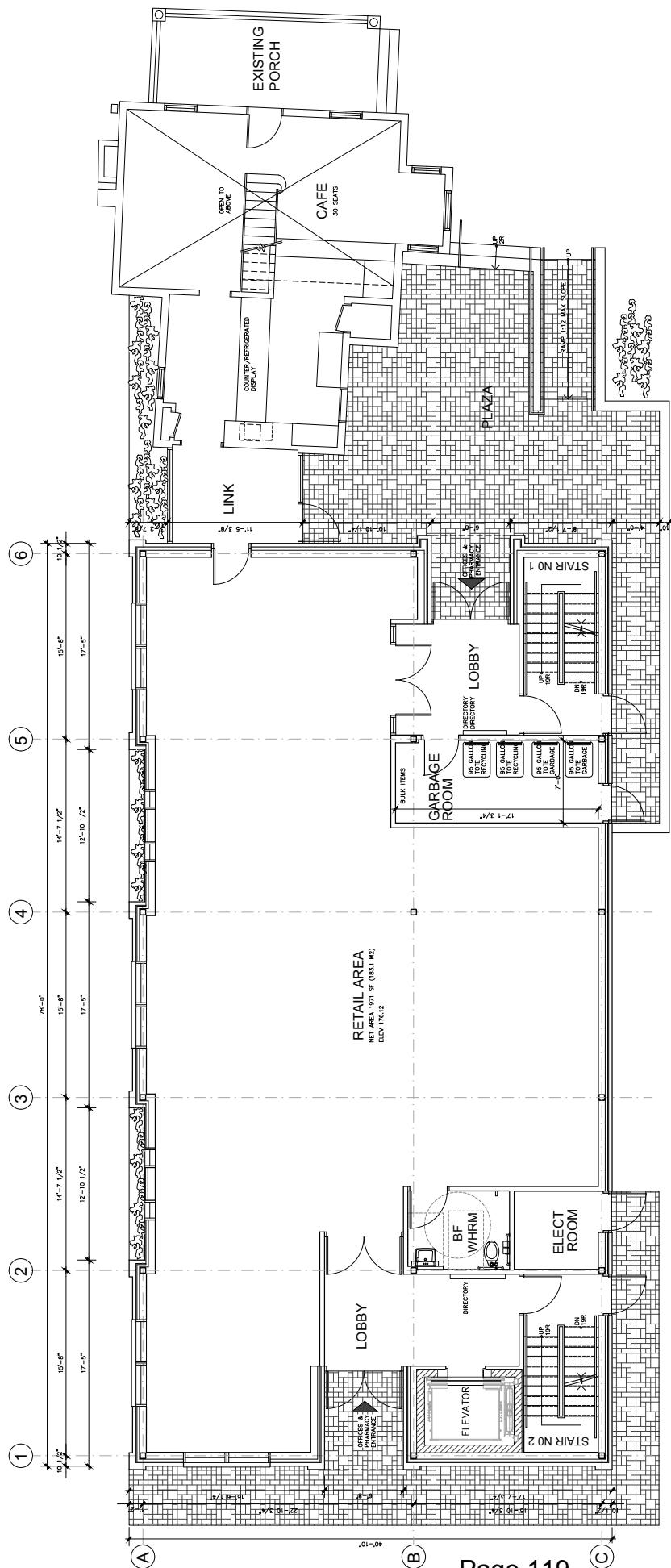
No	Date	Description	By
1	11 OCT/17	ISSUED FOR REVIEW	BA
2	22 JAN/18	ISSUED FOR REVIEW	BA
3	02 MAY/18	ISSUED FOR REVIEW	BA
4	06 FEB/19	RAMP LOCATION REVISED	BA

This drawing is not to be used for construction until signed by the Architect.	Date	OCTOBER 2017
	Drawn	BA
	Checked	
	Approved	
	CAD Version AUTOCAD 2018	

Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M6
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

napco designgroup
47 Lonsdale Ave.
Urbicville, Ontario, L3R 7W8
napcadesign@napcoeng.com
416 930-6337

Project	7714 YONGE STREET VAUGHAN ONTARIO	
	Drawing Name EAST & WEST ELEVATIONS	
Scale	1/4" = 1'-0"	Revision No Drawing No
Project No	16.17	SK-5



FIRST FLOOR PLAN
283.0 M2 (3046 SF) ADDITION
8.4 M2 (90 SF) LINK
60.3 M2 (649 SF) HERITAGE HOUSE

[illegible]



golder.com

February 19, 2021

Re: Cultural Heritage Impact Assessment (CHIA)
Owner Name: Roman Vorotynskiy Agent: Alexander Planning
File No.: DA.14.009
Address: 7714 Yonge Street

Thank you for advising us of the recent departure of the Heritage Consultant on this development application due to the change in company policy at Golder Inc. We acknowledge that the consultant's departure has led to a significant inconvenience for the update of the existing Cultural Heritage Impact Assessment (CHIA) to respond to the updated materials for the proposed addition to 7714 Yonge Street.

Therefore, the City of Vaughan Cultural Heritage and Urban Design staff has reviewed the following documents submitted

- a) An updated Site Plan that has showed has relocated the driveway of the proposed development back to the south side of the lot and the location and footprint of the proposed new addition to the existing heritage structure (November 2020)
- b) Updated elevation drawings demonstrating the height, material and design of the proposed new addition which address previous staff comments. (January 2021)

Regarding the updated Site Plan, staff acknowledges that the submitted Site Plan demonstrates that the relocation of the driveway back to its present location is the appropriate choice for the preservation of the built heritage structure and the cultural heritage landscape. The relocation of the driveway will allow more trees to be conserved on the property. The driveway will be curved slightly at the south eastern edge of the existing heritage structure, as well as bollards installed near the existing bay window which will protect the house from vehicle damage.

The submitted elevations have also incorporated previous staff feedback to better reflect the Thornhill HCD Plan policies and guidelines.

The existing CHIA still retains merit in its research and assessment of the existing property and the existing additions and outbuilding. The footprint of the proposed breezeway and 2 storey addition is still an appropriate response. As a document that assesses the cultural heritage value of the property, the present condition of the property and the potential impacts of the proposed development, along with proposed conservation strategies, it satisfies the City of Vaughan's Terms of Reference.

Going forward, the applicant shall provide Stage 1 of a final Conservation Plan as a condition of final Site Plan approval. Stage 2 drawings and notes will be required as part of a final demolition permit and building permit. The Terms of Reference for this document is available on the City of Vaughan website.

Should you require any further information pertaining to the above do not hesitate to contact me at (905) 832-8585, ext. 8115 or katrina.guy@vaughan.ca as I will be working from home for the foreseeable future.

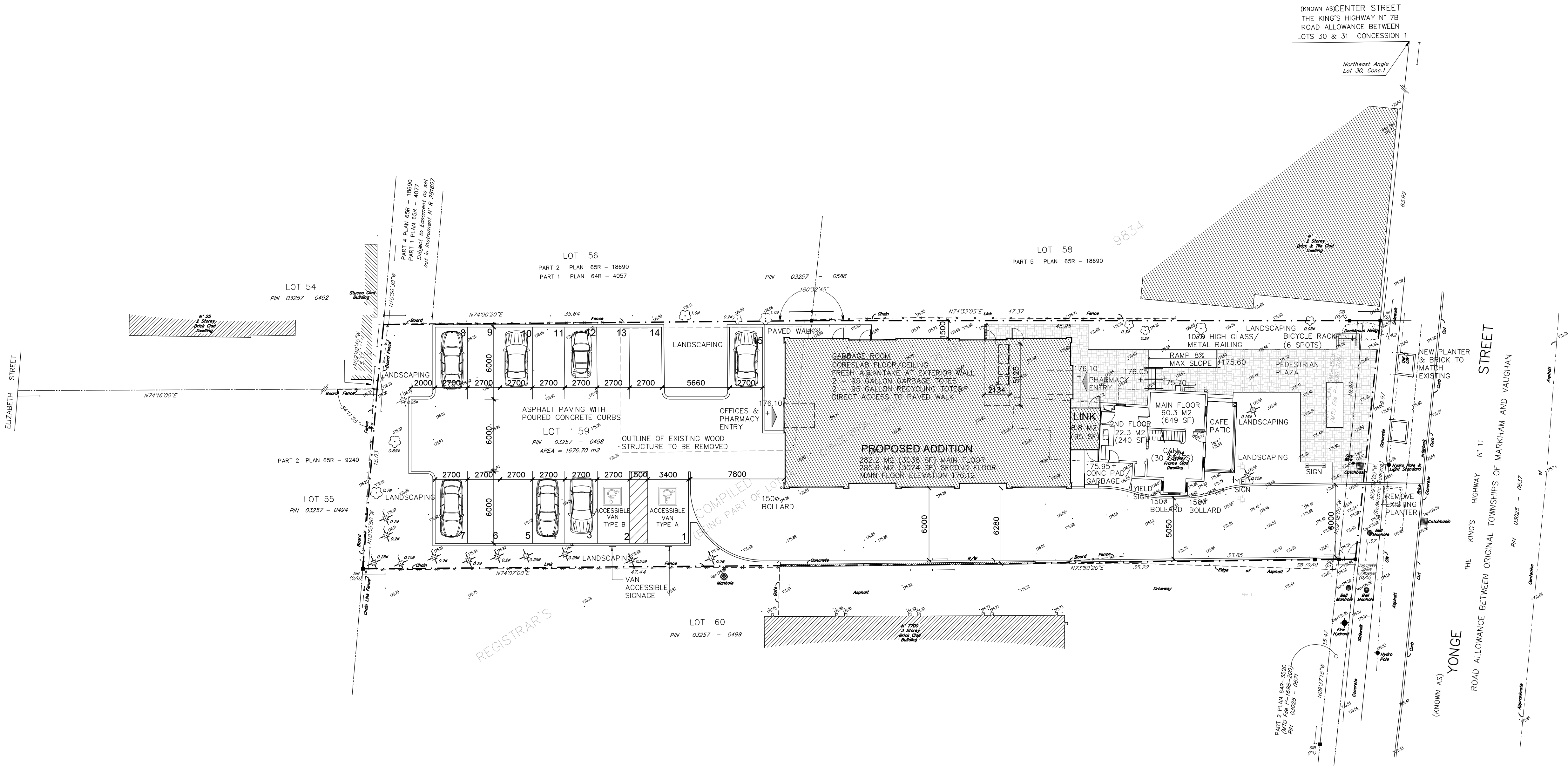
Sincerely,



Katrina Guy
Cultural Heritage Coordinator

Tel: (905) 832-8585, Ext. 8115
E-mail: katrina.guy@vaughan.ca
Copy: Nick Borcescu/ Senior Heritage Planner/ nick.borcescu@vaughan.ca

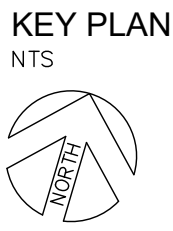
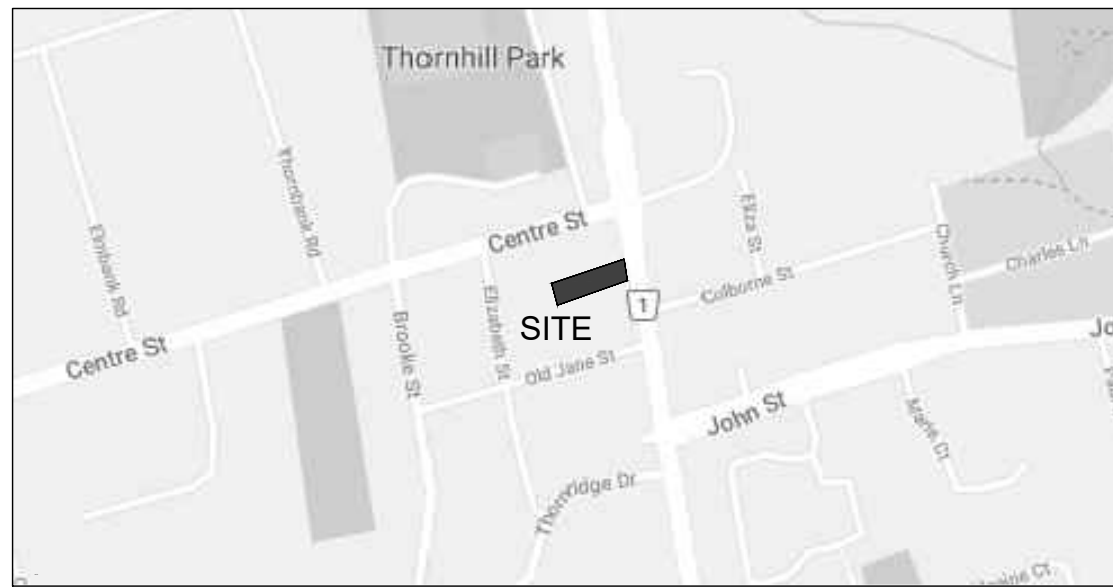
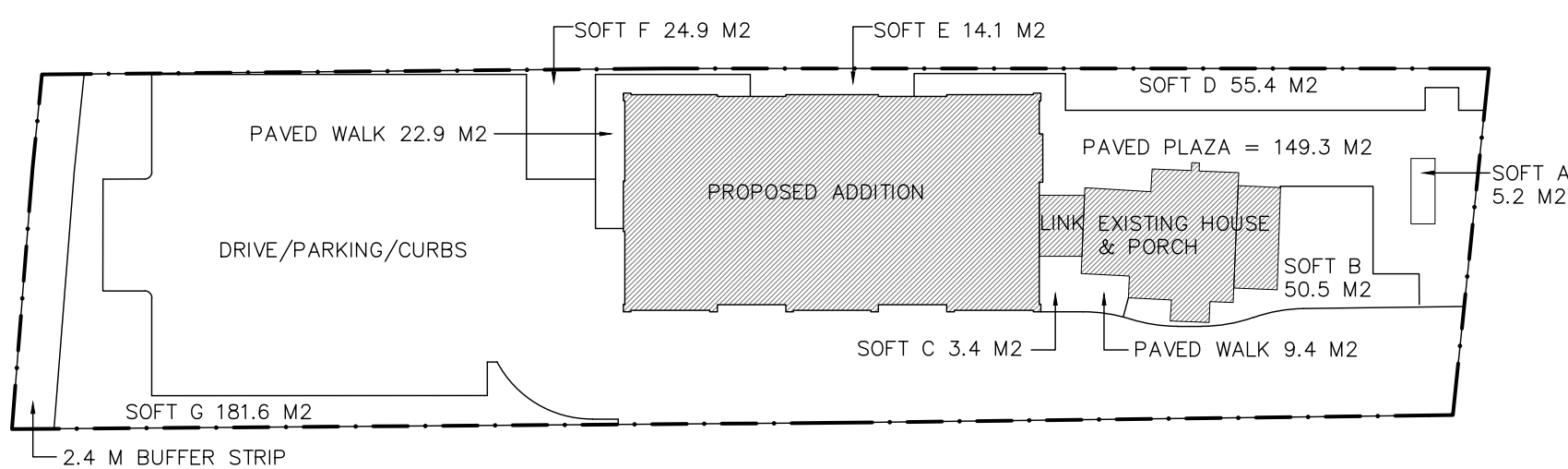
DRAWING NOTES
SITE PLAN AND GRADING TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT OF PART 1 PLAN OF LOT 59, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, BY R.G. MCKIBBON, ONTARIO LAND SURVEYOR, DATED 25 JULY 2011.



SITE STATISTICS	
LOT AREA	1676.7 M ²
SITE COVERAGE	
EXISTING BUILDING	60.3 M ²
PROPOSED LINK	8.8 M ²
PROPOSED ADDITION	291.8 M ²
TOTAL	360.9 M ²
	21.5%
FLOOR AREAS	
FIRST FLOOR EXISTING	60.3 M ²
SECOND FLOOR RENOVATED	22.3 M ²
LINK NEW	8.8 M ²
FIRST FLOOR NEW	282.2 M ²
SECOND FLOOR NEW	285.6 M ²
TOTAL	659.2 M ²
FLOOR SPACE INDEX	0.39
NEW BASEMENT	282.2 M ²
BUILDING HEIGHT	8.1 M

PARKING CALCULATIONS	
RETAIL (NEW MAIN FLOOR & LINK)	282.2 M ² + 8.8 M ²
+ (2 FLOORS EXISTING HOUSE)	60.3 + 22.3 M ²
=	373.6 M ² / 100 X 2.0 = 7.5 SPACES
MEDICAL (SECOND FLOOR)	
285.6 M ² / 100 X 2.5 =	7.2 SPACES
TOTAL PARKING REQUIRED	=14.7 OR 15 SPACES
PARKING PROVIDED	15 SPACES
CAFE AREA	
FIRST FLOOR EXISTING BUILDING	60.3 M ²
FIRST FLOOR LINK	8.8 M ²
SECOND FLOOR EXISTING BUILDING	22.3 M ²
TOTAL CAFE AREA	91.4 M ²

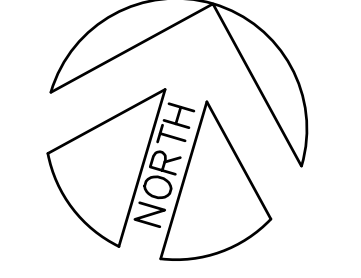
LANDSCAPING CALCULATIONS	
2.4M LANDSCAPE BUFFER	49.0 M ²
EXISTING HOUSE/PORCH	74.8 M ²
LINK	8.8 M ²
PROPOSED ADDITION	291.8 M ²
DRIVE/PARKING/CURBS	783.6 M ²
PLAZA/WALKS (FRONT & REAR)	181.6 M ² = 10.8% OF SITE
SOFT LANDSCAPING (SOFT AREAS A TO G)	378.1 M ² = 22.6% OF SITE



No	Date	Description	By
8	15 FEB/21	ISSUED FOR SPA	BA
7	09 DEC/20	ADDED YIELD SIGNS	BA
6	08 DEC/20	REISSUED FOR SPA	BA
5	11 APR/17	ISSUED FOR SPA	BA
4	17 FEB/17	ISSUED TO CONSULTANTS	BA
3	13 FEB/17	ISSUED FOR REVIEW	BA
2	10 FEB/17	ISSUED FOR REVIEW	BA
1	03 FEB/17	ISSUED FOR REVIEW	BA



This drawing is not to be used for construction until signed by the Architect.



Date JANUARY 2017
Drawn BA
Checked
Approved
CAD Version AUTOCAD 2016

These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's permission.

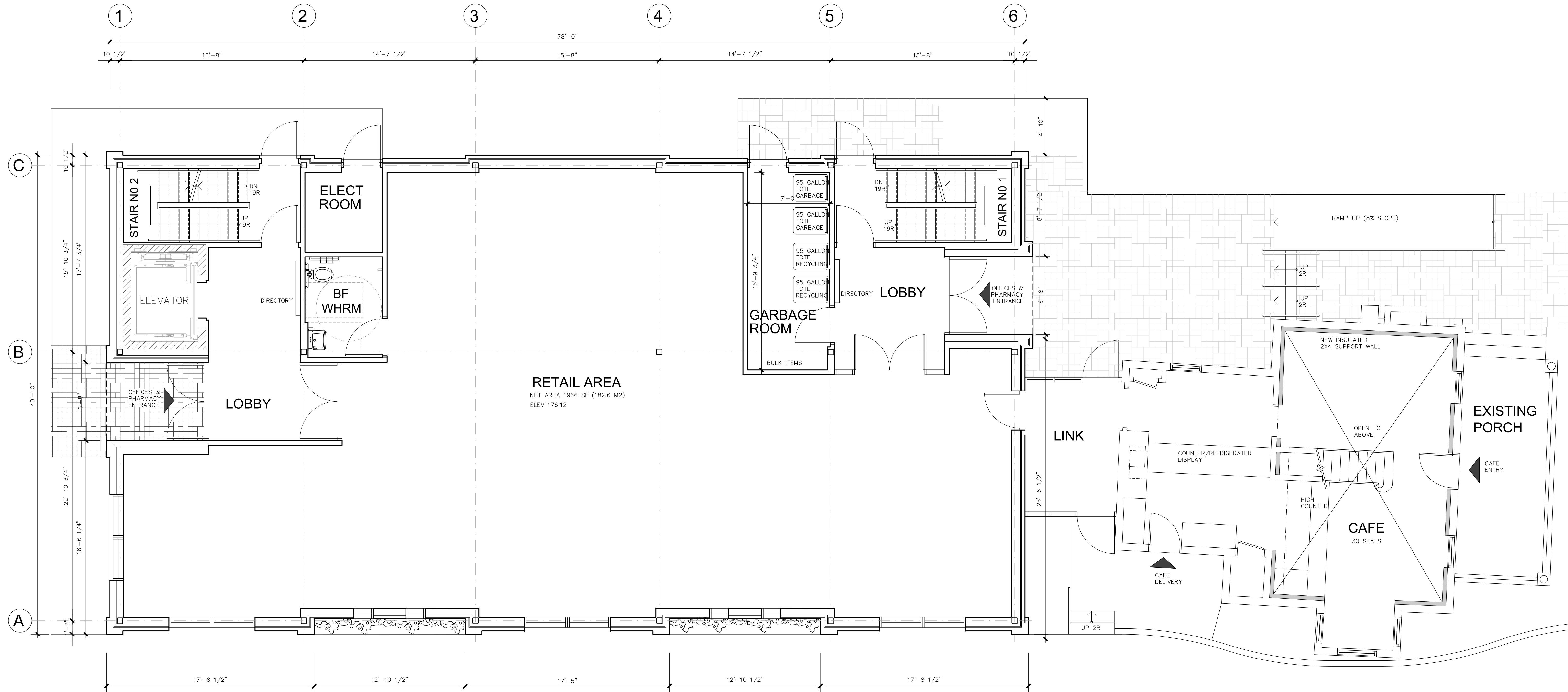


47 Loweswater Ave.
Unionville, Ontario, L3R 7W8
napadesign@rogers.com
416 930-6337

Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

Project:
7714 YONGE STREET
VAUGHAN ONTARIO

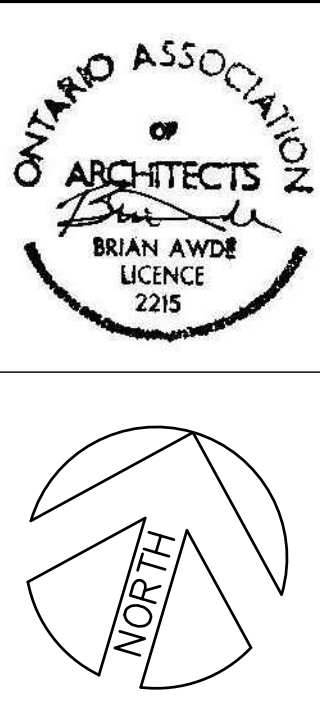
Drawing Name: PRELIMINARY SITE PLAN	
Scale 1:200	Revision No 8
Project No 16.17	Drawing No SK-1



FIRST FLOOR PLAN
282.2 M2 (3038 SF) ADDITION
8.8 M2 (95 SF) LINK
60.3 M2 (649 SF) HERITAGE HOUSE

DRAWING NOTES

No	Date	Description	By
REVISIONS			
These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's permission.			
7	15 FEB/21	ISSUED FOR SPA	BA
6	08 DEC/20	ISSUED FOR SPA	BA
5	06 FEB/19	RAMP LOCATION REVISED	BA
4	02 MAY/18	ISSUED FOR REVIEW	BA
3	27 APR/18	ISSUED FOR REVIEW	BA
2	22 JAN/18	ISSUED FOR REVIEW	BA
1	19 OCT/17	ISSUED FOR REVIEW	BA



This drawing is not to be used for construction until signed by the Architect.	
Date	OCTOBER 2017
Drawn	BA
Checked	
Approved	
CAD Version	AUTOCAD 2018

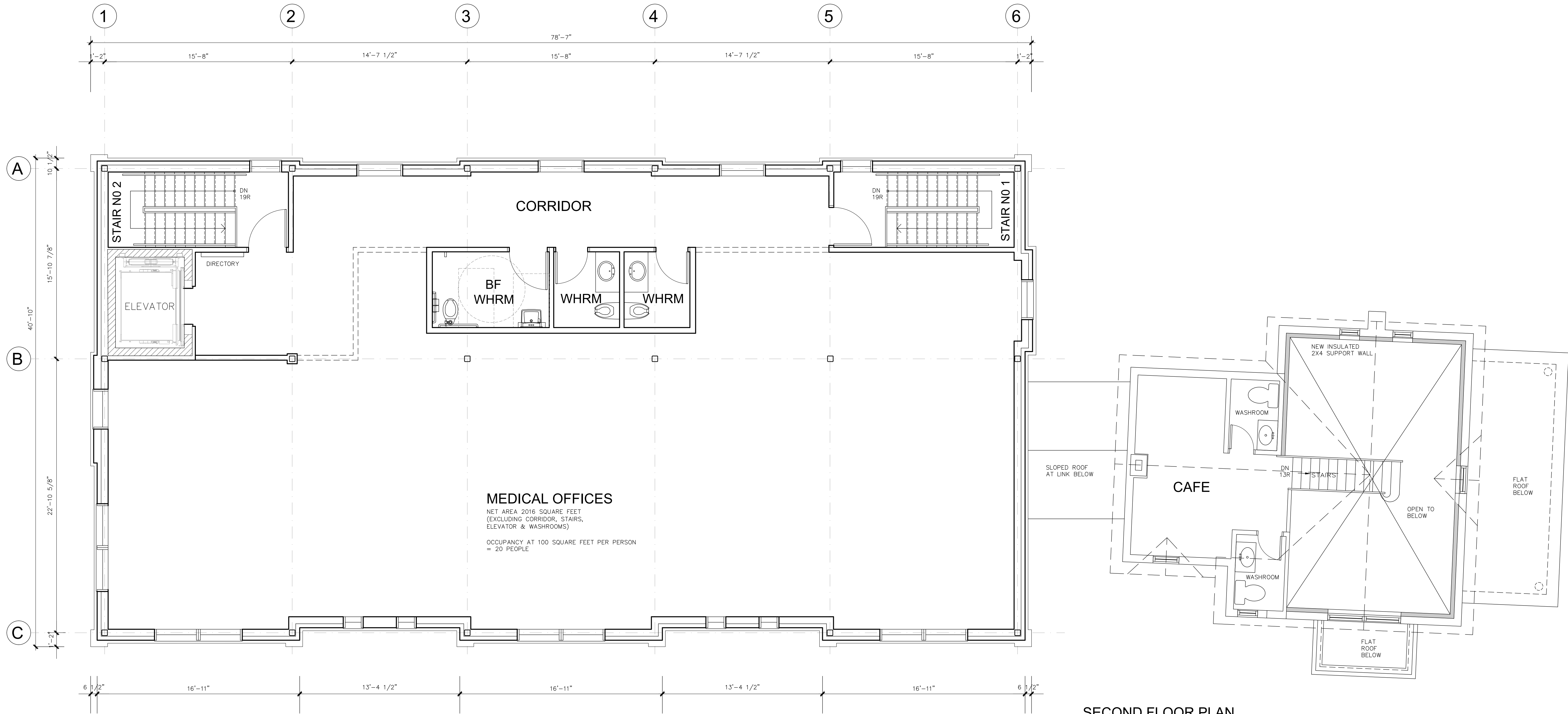
Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

napa designgroup
47 Loweswater Ave.
Unionville, Ontario, L3R 7W8
napadesign@rogers.com
416 930-6337

Project
7714 YONGE STREET
VAUGHAN ONTARIO

Drawing Name
PRELIMINARY MAIN FLOOR PLAN

Scale 1/4" = 1'-0"	Revision No 7
Project No 16.17	Drawing No SK-2



SECOND FLOOR PLAN
285.6 M2 (3074 SF) ADDITION
22.3 M2 (240 SF) HERITAGE HOUSE

DRAWING NOTES

No	Date	Description	By
REVISIONS			
These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's permission.			
5	15 FEB/21	ISSUED FOR SPA	BA
4	08 DEC/20	ISSUED FOR SPA	BA
3	02 MAY/18	ISSUED FOR REVIEW	BA
2	22 JAN/18	ISSUED FOR REVIEW	BA
1	19 OCT/17	ISSUED FOR REVIEW	BA



This drawing is not to be used for construction until signed by the Architect.

Date
OCTOBER 2017

Drawn
BA

Checked

Approved

CAD Version
AUTOCAD 2018

Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

napa designgroup
47 Loweswater Ave.
Unionville, Ontario, L3R 7W8
napadesign@rogers.com
416 930-6337

Project
7714 YONGE STREET
VAUGHAN ONTARIO

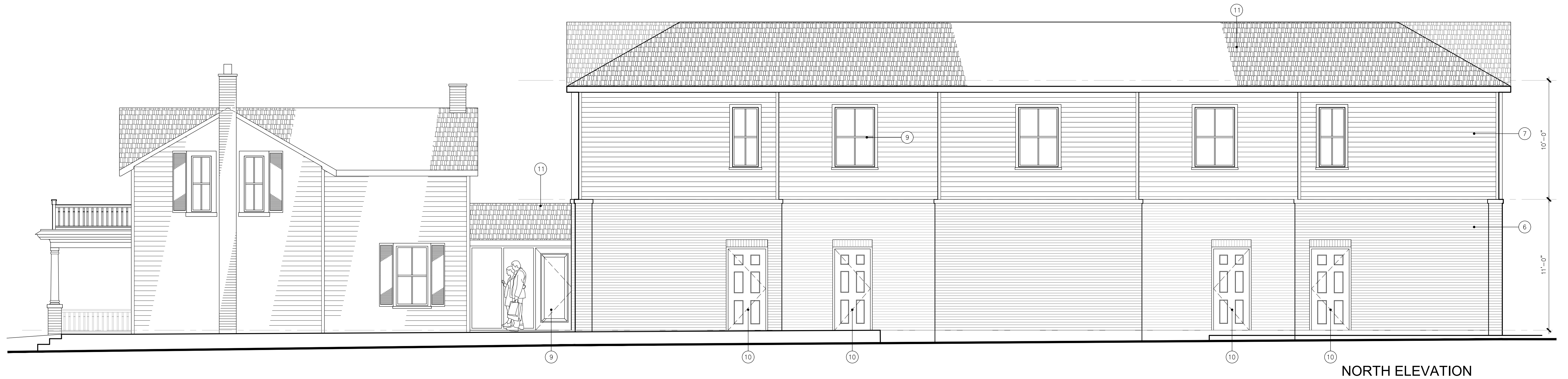
Drawing Name
**PRELIMINARY
2ND FLOOR PLAN**

Scale
1/4" = 1'-0"

Project No
16.17

Revision No
5

Drawing No
SK-3



DRAWING NOTES

OPTION B

No	Date	Description	By
REVISIONS			
6	15 FEB/21	ISSUED FOR SPA	BA
5	12 FEB/21	ISSUED FOR REVIEW	BA
4	08 DEC/20	ISSUED FOR SPA	BA
3	02 MAY/18	ISSUED FOR REVIEW	BA
2	22 JAN/18	ISSUED FOR REVIEW	BA
1	19 OCT/17	ISSUED FOR REVIEW	BA

These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's permission.



Date	OCTOBER 2017
Drawn	BA
Checked	
Approved	
CAD Version	AUTOCAD 2018

Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

napa designgroup
47 Loweswater Ave.
Unionville, Ontario, L3R 7W8
napadesign@rogers.com
416 930-6337

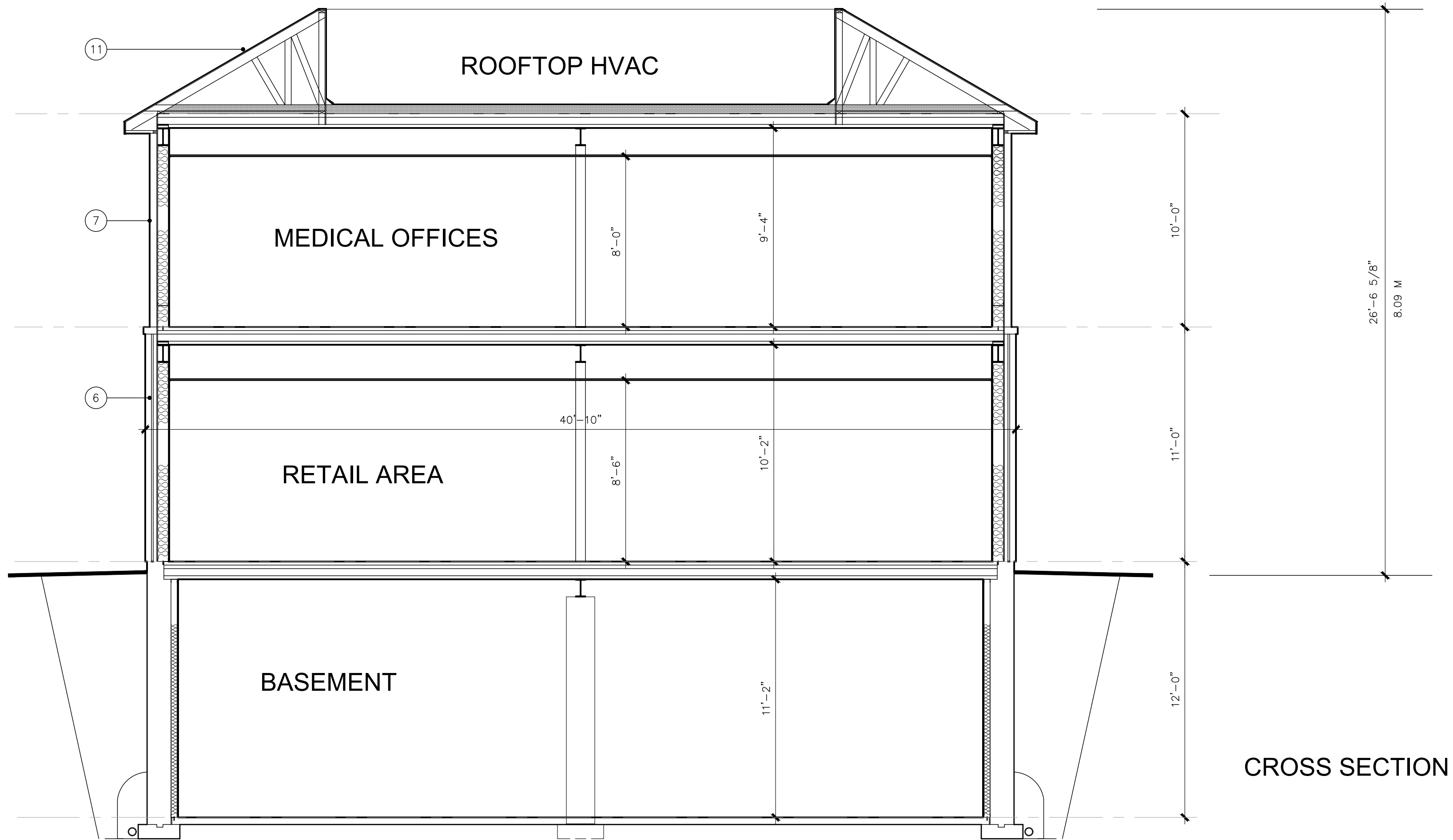
Project	7714 YONGE STREET VAUGHAN ONTARIO
Drawing Name	NORTH & SOUTH ELEVATIONS
Scale	1/4" = 1'-0"
Revision No	6
Project No	16.17
Drawing No	SK-4



EAST ELEVATION



WEST ELEVATION



CROSS SECTION

MATERIALS

- 1 HISTORIC HOUSE SIDING
EXISTING WOOD SIDING
COLOUR: BENJAMIN MOORE ASHLEY GRAY HC 87

2 HOUSE NEW RAILINGS/BALUSTERS
FAIRBANKS LUMBER - HANDRAILS #448, BOTTOM PLATE #246 & SQUARE SHAPE BALUSTERS
COLOUR: BENJAMIN MOORE ASHLEY GRAY HC 87

3 HOUSE NEW PORCH FLOOR/CEILING
FAIRBANKS LUMBER 1X4 KNOTTY PINE T&G FLOORING, 1X4 KNOTTY PINE T&G V-JOINT SIDING AT SOFFIT
COLOUR: BENJAMIN MOORE ASHLEY GRAY HC 87

4 HOUSE POSTS, CROWN MOULDING & BASEBOARDS
COLOUR: BENJAMIN MOORE WHITE QC 117

5 HOUSE FRONT DOOR/SHUTTERS
COLOUR: BENJAMIN MOORE RAPHAEL CC2

7 NEW BUILDING SIDING
HORIZONTAL COMPOSITE SIDING
COLOUR & SIZE TO MATCH EXISTING HOUSE SIDING

6 NEW BUILDING MASONRY
RED ONTARIO CLAY BRICK TO MATCH HOUSE PIERS & CHIMNEY
- 8 NEW GLAZED WINDOWS
CLEAR LOW E GLAZING IN WHITE THERMALLY-BROKEN FIBERGLASS FRAMES

9 GLAZED DOORS & SCREENS
CLEAR LOW E GLAZING IN WHITE THERMALLY-BROKEN ALUM FRAMES

10 HM INSULATED DOOR & FRAMES
PAINTED TO MATCH BENJAMIN MOORE RAPHAEL CC2

11 NEW ROOF SHINGLES
ASPHALT SHINGLES - STYLE & COLOUR TO BE SYMPATHETIC TO EXISTING HOUSE SHINGLES

12 PHARMACY SIGN
PHARMACY SIGN BACK PAINTED ON FAUX WINDOW & FRAME TO MATCH OTHER NEW WINDOWS (LETTERING TO BE CONSISTENT WITH FONT AT STREET SIGN)

13 NEW FAUX WINDOWS
FAUX WINDOW & FRAME TO MATCH OTHER NEW WINDOWS

DRAWING NOTES

OPTION B

8	15 FEB/21	ISSUED FOR SPA	BA
7	12 FEB/21	ISSUED FOR REVIEW	BA
6	08 DEC/20	ISSUED FOR SPA	BA
5	10 MAR/20	REVISED ELEVATIONS	BA
4	06 FEB/19	RAMP LOCATION REVISED	BA
3	02 MAY/18	ISSUED FOR REVIEW	BA
2	22 JAN/18	ISSUED FOR REVIEW	BA
1	19 OCT/17	ISSUED FOR REVIEW	BA
No	Date	Description	By
REVISIONS			
These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's permission.			



This drawing is not to be used for construction until signed by the Architect.

Date: OCTOBER 2017

Drawn: BA

Checked:

Approved:

CAD Version: AUTOCAD 2018

Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca



Project: 7714 YONGE STREET VAUGHAN ONTARIO

Drawing Name: EAST & WEST ELEVATIONS

Scale: 1/4" = 1'-0"

Project No: 16.17

Revision No: 8

Drawing No: SK-5



VIEW FROM YONGE STREET NORTH



VIEW FROM REAR PARKING LOT



VIEW FROM YONGE STREET SOUTH



AERIAL VIEW

DRAWING NOTES

[illegible]

This drawing
is not to be
used for
construction
until signed
by the
Architect.


Date	OCTOBER 2017
Drawn	BA
Checked	
Approved	
CAD Version	AUTOCAD 2018

Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca



Project

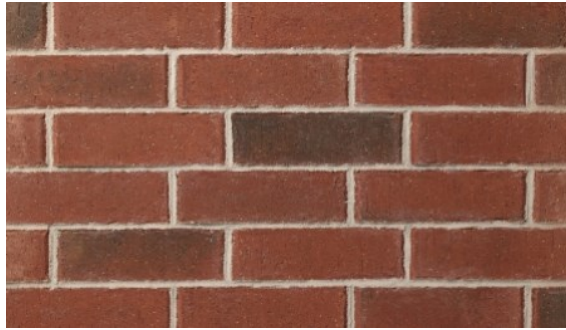
7714 YONGE STREET
VAUGHAN ONTARIO

Drawing Name	
<h1>RENDERINGS</h1>	
Scale	Revision No 
Project No	Drawing No
16.17	SK-6

7714 Yonge Street - Rear Expansion Finishes List

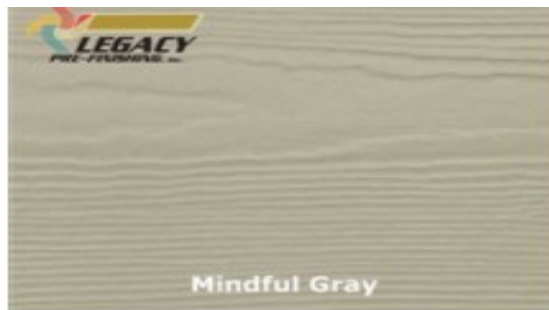
Brick

Brampton Brick Old Chicago
Modular Size



Siding

Hardie Board Plank Lap Siding
Smooth Finish in Mindful Gray
With Antic White Window & Corner Trim, Fascias & Soffits



Roofing

IKO Asphalt Shingles
Heavy Duty
Driftwood



Windows & Entrance Doors

Fiberglass Double Glazed Units
White Finish

Stair Exit & Service Doors

Painted Hollow Metal
Benjamin Moore Raphael CC2





ENVIRO TREE CARE
1048 Broadview Ave Unit 1008
Toronto, Ontario M4K 2B8
Phone: 647-393-8733 Fax: 905-707-8734
E-mail: envirotreecare@yahoo.ca
Website: www.envirotreecare.ca

Forestry, Private Tree Bylaw,
Parks and Recreation
City of Vaughan
2800 Rutherford Rd.
Vaughan, ON.
L4K 2N9

January 13, 2014

Introduction

This arborist report is written to supplement the Town of Vaughan Private Tree By-Law application for Development.

The property is located at 7714 Yonge Street, Thornhill.

This is a non-ravine application

Observations

The site was visited January 3, 2014. An inventory was completed and included all the trees on the site and within 6 meters of the site that were 20 cm and larger. Any city trees of any diameter would have also been included.

The following table lists species, diameter at breast height, tree protection zone, condition, ownership category, prescription for the tree, and any comments if applicable.

Andrew Wood-Gaines B.Sc. Forestry
Certified Arborist ON – 0226

Tree Inventory for Arborist Report for Development Application
7414 Yonge Street

#	Species	DBH cm	TPZ*m	Cdn	C*1	PN*2	Comments
1	Norway Maple	59	3.6	F	1	R	root crown decay
2	Norway Maple	43	3.0	F	1	P	stressed
3	White Cedar	21	2.4	F	1	P	
4	White Cedar	24	2.4	F	1	P	
5	White Cedar	22	2.4	F	1	P	
6	Sugar Maple	78	4.8	F	1	P	two codominant split to ground
7	Black Walnut	73	4.8	F	1	P	
8	Black Walnut	69	4.2	F	1	P	
9	White Spruce	21	2.4	F	1	P	
10	Black Locust	43	3.0	F	1	P	
11	Horse Chestnut	23	2.4	P	2	P	
12	Horse Chestnut	23	2.4	P	2	P	
13	Manitoba Maple	25	2.4	F	2	P	
14	Manitoba Maple	22	2.4	F	2	P	
15	Black Locust	23	2.4	F	2	P	
16	White Spruce	26	2.4	F	1	P	
17	Black Walnut	34	2.4	P	2	P	suppressed by larger trees
18	Black Walnut	104	6.6	P	2	P	Poor structure, open wounds
19	Black Walnut	79	4.8	P	2	P	Poor structure, open wounds
20	Manitoba Maple	57	3.6	P	1	R	severely topped, Hazard
21	Black Locust	36	2.4	F	2	P	
22	Norway Maple	29	2.4	F	1	P	
23	Manitoba Maple	74	4.8	F	1	P	ice storm damage
24	Norway Maple	56	3.6	F	2	P	
25	Sugar Maple	33	2.4	P	1	R	severely topped, hazardous
26	Sugar Maple	39	2.4	P	1	R	severely topped, hazardous
27	Black Walnut	43	3.0	F	1	P	
28	Black Walnut	53	3.6	F	1	P	
29	Black Walnut	57	3.6	F	1	P	

DBH cm

TPZ

C*1 =

Categories

Diameter at Breast Height = diameter in centimeters, 1.4 meters above grade
Tree Protection Zone. The radial distance from the side of the tree at the base.

1. Trees with diameters of 30 cm or more, situated on private property on the subject site.
2. Trees with diameters of 30 cm or more, situated on private property, within 6 m of the subject site.
3. Trees of all diameters situated on City owned parkland within 6 m of the subject site.
4. On lands designated under City of Toronto Municipal Code, Chapter 658, Ravine and Natural Feature

Protection, trees of all diameters situated within 10 meters of any construction activity.

5. City Trees on Road Allowance

PN*2 = Prescription

R = Remove

tree

P = Preserve

tree

I = Injury

Cdn =

Condition

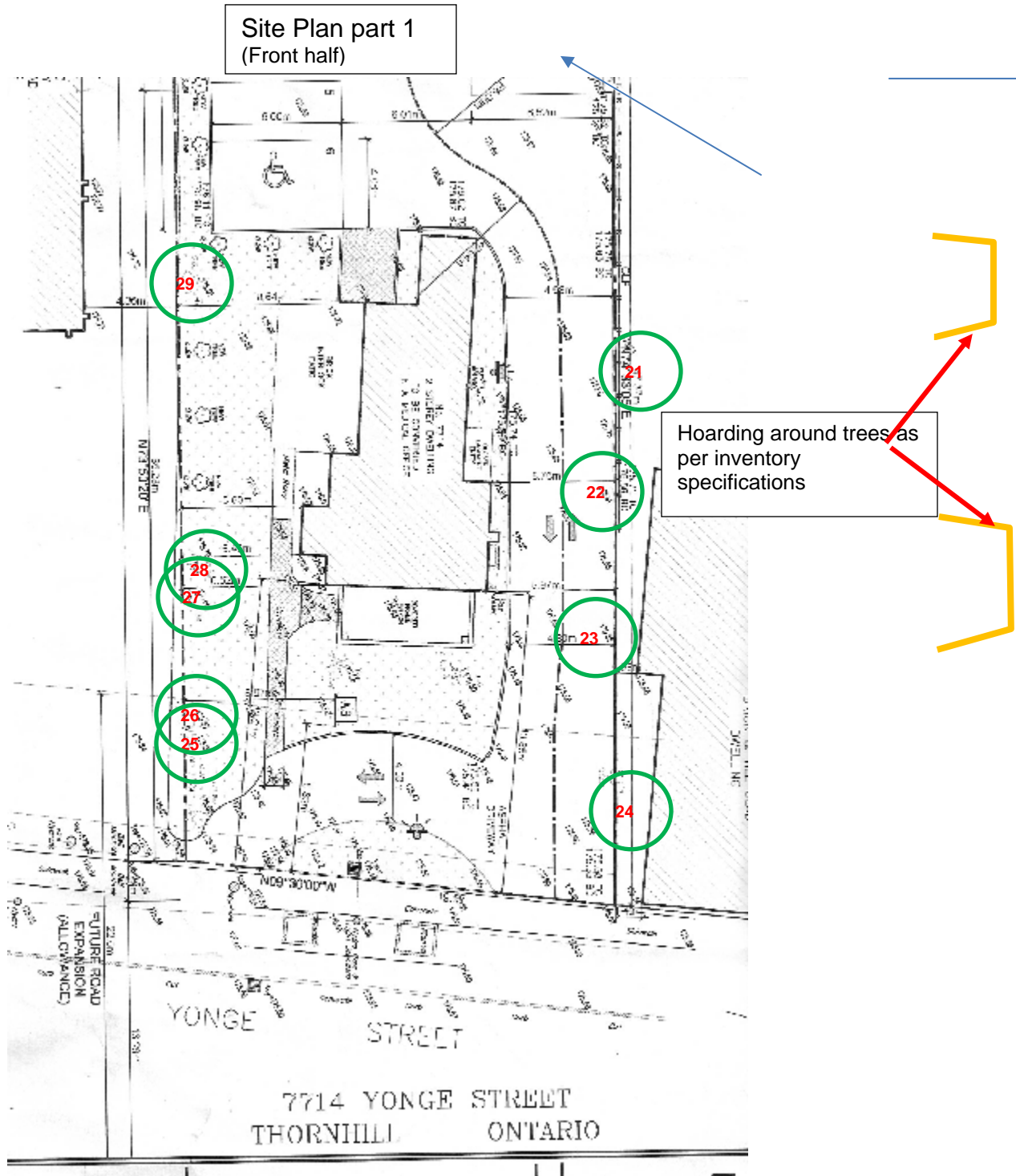
Good: Is in good condition and viable. May need arboriculture work

Fair: Condition is worsening , requires amelioration, consider expense

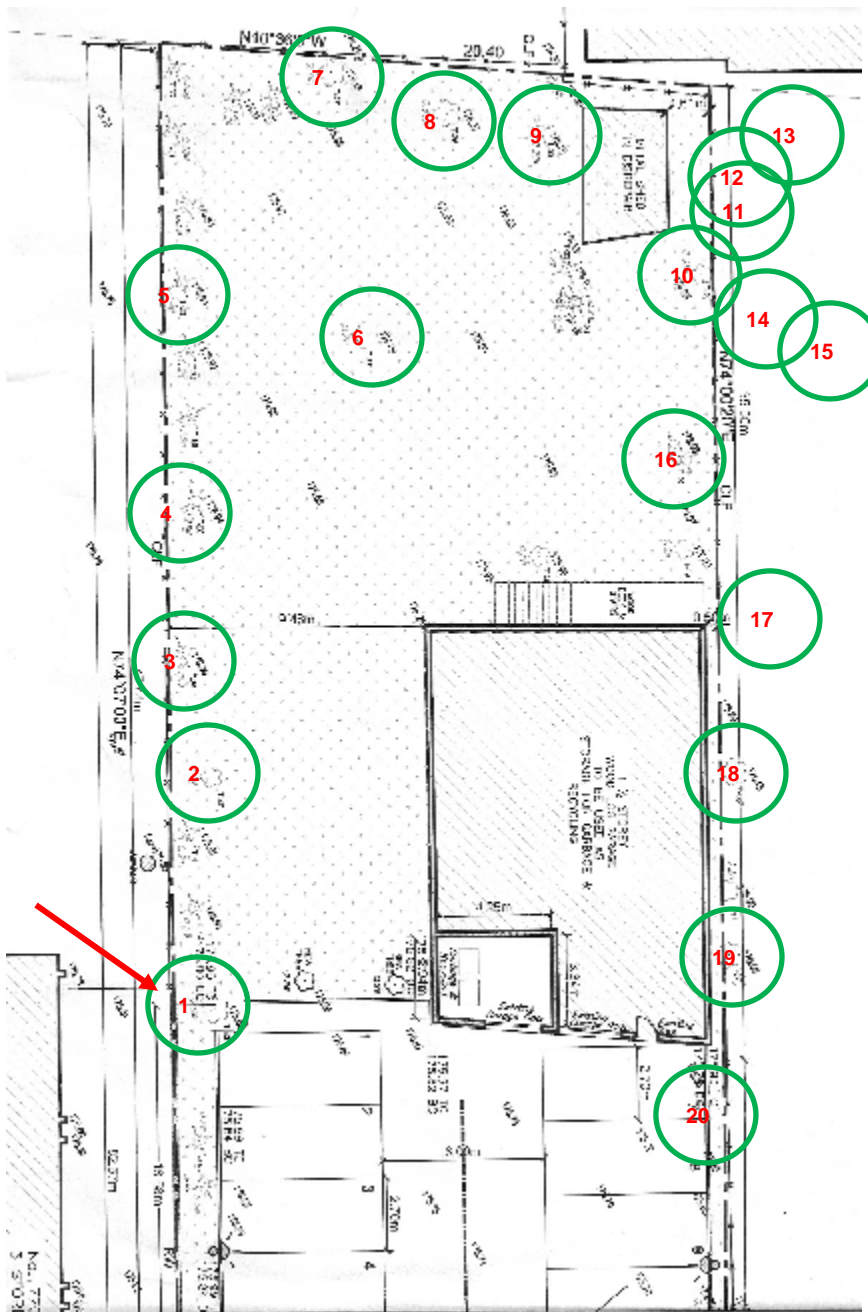
Poor: Is in bad shape and little chance of recovery, possible hazard

Dead: Remove if hazard, may have value as wildlife habitat.

Please Note: If trees in neighbour's yards are inaccessible, the diameters are estimated.



Site Plan Part 2
(back half)



Tree #1 is a Norway Maple. It will require a 3.6 m Tree protection zone. This will reduce the number of parking spaces.



Part 1

Scope of Work

The proposal is to enlarge the parking lot behind the main structure. This may involve the removal of one tree. The work on the main building will not require further excavations and the outside work will be cosmetic. The footprint will remain the same. There will be no new excavations for hydro, telephone, cable, and water.

Discussion and Tree Protection

General Tree Protection: Tree protection is necessary to protect the critical tree root zone from compaction by equipment, storage of supplies, and to prevent damage to trunk caused by equipment, and piling up supplies against the trunk.

Protection can be provided by a number of materials. Typically hoarding is constructed of two by four lumber sheathed with half inch plywood or similar material with a minimum height of 1.2 meters. This minimum protection provides a rigid support to restrict movement of vehicles and pedestrians and the storage of supplies and excavation material in the tree protection area.

The modular metal fencing provides extra protection and visibility for pedestrian and vehicular traffic. The metal screen is supported by flat shoe bar that sit on the ground. This is ideal where the ground cannot be disturbed. It is a requirement that each section of the fencing be anchored to the ground with wooden stakes.

Frost fencing is used also where visibility for drivers and pedestrians is important. A top rail of 2 by 4 lumber or equivalent is necessary to provide support.

The Tree Protection Zone (TPZ), for each tree is indicated in the inventory table.

If the entire TPZ cannot be protected by vertical hoarding, ground hoarding can be used. The type of ground protection depends on the purpose for the access. Large equipment will require substantial ground protection techniques. This includes Geotextile materials, steel plates, Mudd Matts, plywood and other similar materials.

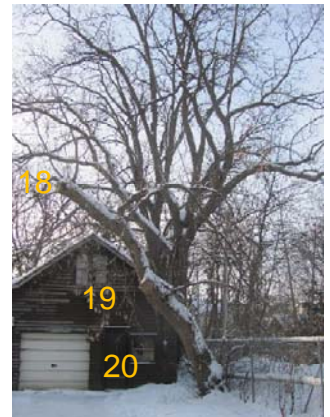
Hard surfaces, i.e., driveways, sidewalks, patios, etc., that are already present can be used as ground protection providing there is a good and adequate foundation.

On this site



Tree numbered one has a diameter of 59cm lost a few branches in the ice storm. The root crown has a large area of exposed decay. The tree cannot be adequately protected with the extension of the proposed parking lot. It is recommended that the tree be removed unless the required TPZ can be totally protected.

The remainder of the trees that are in can be sufficiently protected.





Tree number 25 and 26 are not in good shape. Their removal would be prudent.



Discussion

Although the request for the removal has been initiated by the proposed parking lot construction, it would be prudent to remove those recommended in any event.

There are a number of trees that are proposed to be planted on the site at the completion of the parking lot. We will provide a replanting plan once the Town has decided how many trees will be required.

Conclusion

Based on the above observations, this is not an unreasonable request considering the present location, species of tree, and the landscape plan that is proposed.

The replacement with large growing native species will contribute to the urban forest growing into the future.

February 12, 2021

Nick Borcescu
Senior Heritage Planner
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

via e-mail: Nick.Borcescu@vaughan.ca

Dear Mr. Borcescu:

**Re: 7714 Yonge Street, Summary of Update to Plans
Site Development Approval Application DA.14.009**

Alexander Planning Inc. represents 2298118 Ontario Inc. with regard to planning matters associated with their property located at 7714 Yonge Street, which contains the W.D. Stark House. In response to a request from staff, Alexander Planning is pleased to submit this summary of modifications to the proposed development which have been made subsequent to the Cultural Heritage Impact Assessment (CHIA) prepared by Golder Associates in February 2019. This summary also includes an overview of the intent of the changes in order to assist Heritage staff in their review of this proposed development.

The February 2019 CHIA was prepared by Golder in support of a proposal to redevelop the W.D. Stark House as a café with a future retail and medical building connected to the rear of the existing heritage structure. To facilitate the redevelopment, the removal of portions of the house and the complete removal of the outbuilding were proposed. The report examined the existing structures on the property and identified future conservation actions, concluding that the main house was of cultural heritage value or interest as a representative example of a mid-19th century Gothic Revival Style house; and that the outbuilding was not a heritage attribute of the property.

The CHIA also concluded that the conservation or mitigation measures recommended in the report would not result in adverse impacts to the property's identified heritage attributes nor to the cultural heritage attributes of the Thornhill HCD. The report recommended that the shed wing and west wing extension of the W.D. Stark House be preserved by record through written notes, measured drawings and photographic records prior to partial demolition. In addition, an interpretive panel or display within the new development was to be installed to outline the history of the W.D. Stark House and its architecture.

The CHIA was prepared and its findings used to inform the creation of plans which depict the retention of the original house, its porch, bay window and original west wing; and the removal of the shed wing and west wing extension of the house and the outbuilding. The house is intended to be renovated to provide for the creation of a café with an historic theme. New construction on the site includes a two storey medical office and pharmacy located to the rear and linked to the main house through a glass breezeway intended to clearly separate the heritage portion of the building from the new construction. The site plan also features a large landscaped pedestrian

plaza which will include seating areas and provide a gathering place for the public. All parking is located to the rear and is to be accessed by a two-way driveway located beside the house.

The site plan which is included in the CHIA depicts the retention of the existing driveway along the north side of the house to access a rear parking area. The existing driveway has a width of less than three metres as it passes the chimney on the north side of the house, and would have been required to be widened to accommodate two way traffic. Widening of the driveway would result in the removal of significant trees along the north property line. In response to comments from staff and issues related to tree removals on the north property line, the plans were subsequently “flipped” to relocate the driveway to the south side of the house, where existing setbacks allow for a minimum driveway width of 5 metres where the driveway passes the bay window. The plans have also been revised to depict a pair of bollards placed to protect the bay window from passing vehicles.

In terms of material change to the plans from those depicted in the 2019 CHIA to the plans proposed today, only the new construction is impacted. The house and breezeway link remain exactly as depicted in the 2019 plans. The driveway is moved from its current location along the north side of the house to its proposed location along the south side of the house, adjacent to the Bell driveway. Corresponding relocation of the two storey addition from the south to the north is also shown and minor changes to the proposed elevations of the new addition as proposed by staff are also included. The glass breezeway link and house remain completely unchanged between the two versions and the only changes are to the new construction and the driveway location. As such, we are confident that the findings of the 2019 CHIA remain unchanged.

We trust this is the information you require and will assist the City in its review of the proposed development. Should you have any questions, or require anything further, please do not hesitate to contact the undersigned at (905) 716-7430.

Yours sincerely,
Alexander Planning Inc.

DRAFT

Deborah Alexander, MES, MCIP, RPP
Principal, Alexander Planning Inc.

C: Mr. Roman Vorotynskiy

7714 YONGE STREET, THORNHILL HERITAGE CONSERVATION DISTRICT

RENOVATION OF EXISTING HERITAGE HOUSE, AND REAR
ADDITION AT 7714 YONGE STREET, THORNHILL HERITAGE
CONSERVATION DISTRICT



Azam Khan, PhD
7716-7724 Yonge St.
(owner)

To the Members of Heritage Vaughan

My name is Azam Khan and I am the owner of the historic Francis Block building at 7716-7724 Yonge St., the neighbour to the north of 7714 Yonge St. I appreciate having this opportunity to speak to you this evening regarding the redevelopment application for 7714 Yonge Street.

I'm very happy to see the driveway for the proposed project to be moving to the south side of 7714 Yonge to help preserve the mature and historic trees along our shared property line, as you can see here in the middle of the photo.

7714 YONGE STREET, THORNHILL HERITAGE CONSERVATION DISTRICT

CONTENT

- Very happy to see driveway on South side of 7714 Yonge.
- Very happy to have majority of trees preserved.
- Happy about the design direction.

CONCERNS

Trees

- Inaccurate drawings omit some trees that are stated as being preserved.
- Inaccurate statement of trees listed as preserved but clearly cannot be, given the design.

Construction

- Vibration and other potential damage to my building and trees.

Design

- Massing very large.
- Inaccurate drawing encroach over my property line.

I'm also happy to see the majority of the trees preserved and the general direction.

However, I am concerned about some errors and inaccuracies in the proposal that do not show trees that are supposed to be preserved. I am also concerned about the potential damage to my building and trees due to construction activities. And finally, I am concerned about errors in some drawings that encroach significantly on my property.



The proposal was also missing any statement about Green Building, relating to the Green Directions Vaughan report, or other sustainability best practices. Nor does the proposal mention any permits relating to Bylaw 185-2007 for the protection of the trees.



While I am happy to see the driveway moved to the south side of the lot next to the Bell building, I am concerned about the trees on that side as well.



In particular, the 3 mature trees in good condition shown here are to be preserved but are not show on the 3D models.



In overlaying the 3D model, you can see the trees are not shown and the driveway area is fully paved.



If these large trees are damaged or killed, this would fundamentally alter the historic feel of the area.



From this higher angle, again the trees are not shown.



If we add in the trees that are labelled as being preserved in the arborist report, trees 27, 28, and 29, we can see that they would not have permeable ground around them which would make it unlikely that they would survive.

Also, the very large paved area is unsightly, redundant, and unsustainable.



Instead, I would like to propose that the existing driveway be shared between Bell Canada and 7714 Yonge St.

This would help preserve the trees in good health, have significant water retention of the ground to mitigate runoff and wastewater treatment, and reduce snow shovelling and salt.

4.6.4 Commercial Parking Lots

District are supported. Parking will not be located in front of buildings.

- *Parking lots will be appropriately screened. Features such as lighting, signage, and amenities used in parking lots will be consistent in design terms with those selected for use throughout the District.*
- *The consolidation and connection of commercial parking lots, to improve the efficiency and appearance of the parking facilities, is supported due to the collaborative nature and interdependence of the various commercial enterprises on Yonge Street and Centre Street.*
- *The development of underground parking facilities, appropriately located and accessed, is supported.*

Page 178

In fact, on page 178 of the proposal, in Section 4.6.4, the City of Vaughan states that the consolidation and connection of commercial parking lots, to improve the efficiency and appearance of the parking facilities, is supported due to the collaborative nature and interdependence of the various commercial enterprises on Yonge and Center Street.



As you can see looking toward Yonge Street along the southern property line, there is already a perfectly good driveway here that is rarely used by Bell, as far as we have seen.

It does not seem necessary to pave another driveway covering this entire area in asphalt.



This would promote pedestrian use of this side of the building, increasing pedestrian safety as well as preserving trees 27, 28, and 29.



And 29....

Tree Inventory for Arborist Report for Development Application						
#	Species	DBH cm	TPZ ¹ m	Con	C ¹	PN ² Comments
1	Norway Maple	55	3.6	F	1	R root crown decay
2	Norway Maple	43	3.0	F	1	P stressed
3	White Cedar	21	2.4	F	1	P
4	White Cedar	24	2.4	F	1	P
5	White Cedar	22	2.4	F	1	P
6	Sugar Maple	78	4.8	F	1	P two codominant split to ground
7	Black Walnut	73	4.8	F	1	P
8	Black Walnut	69	4.2	F	1	P
9	White Spruce	21	2.4	F	1	P
10	Black Locust	43	3.0	F	1	P
11	Horse Chestnut	23	2.4	P	2	P
12	Horse Chestnut	23	2.4	P	2	P
13	Manitoba Maple	25	2.4	F	2	P
14	Maple	22	2.4	F	2	P
15	Black Locust	23	2.4	F	2	P
16	White Spruce	26	2.4	F	1	P
17	Black Walnut	34	2.4	P	2	P suppressed by larger trees
18	Black Walnut	104	6.6	P	2	P poor structure, open wounds
19	Black Walnut	79	6.6	P	2	P poor structure, open wounds
20	Maple	57	3.6	P	1	R severely topped, Hazard
21	Black Locust	36	2.4	F	2	P
22	Norway Maple	29	2.4	F	1	P
23	Manitoba Maple	74	4.8	F	1	P ice storm damage
24	Norway Maple	56	3.6	F	2	P
25	Sugar Maple	33	2.4	P	1	R severely topped, hazardous
26	Sugar Maple	39	2.4	P	1	R severely topped, hazardous
27	Black Walnut	43	3.0	F	1	P
28	Black Walnut	63	3.6	F	1	P
29	Black Walnut	57	3.6	F	1	P

DBH cm Diameter at Breast Height = diameter in centimeters, 1.4 meters above grade
TPZ Tree Protection Zone. The radial distance from the side of the tree at the base.

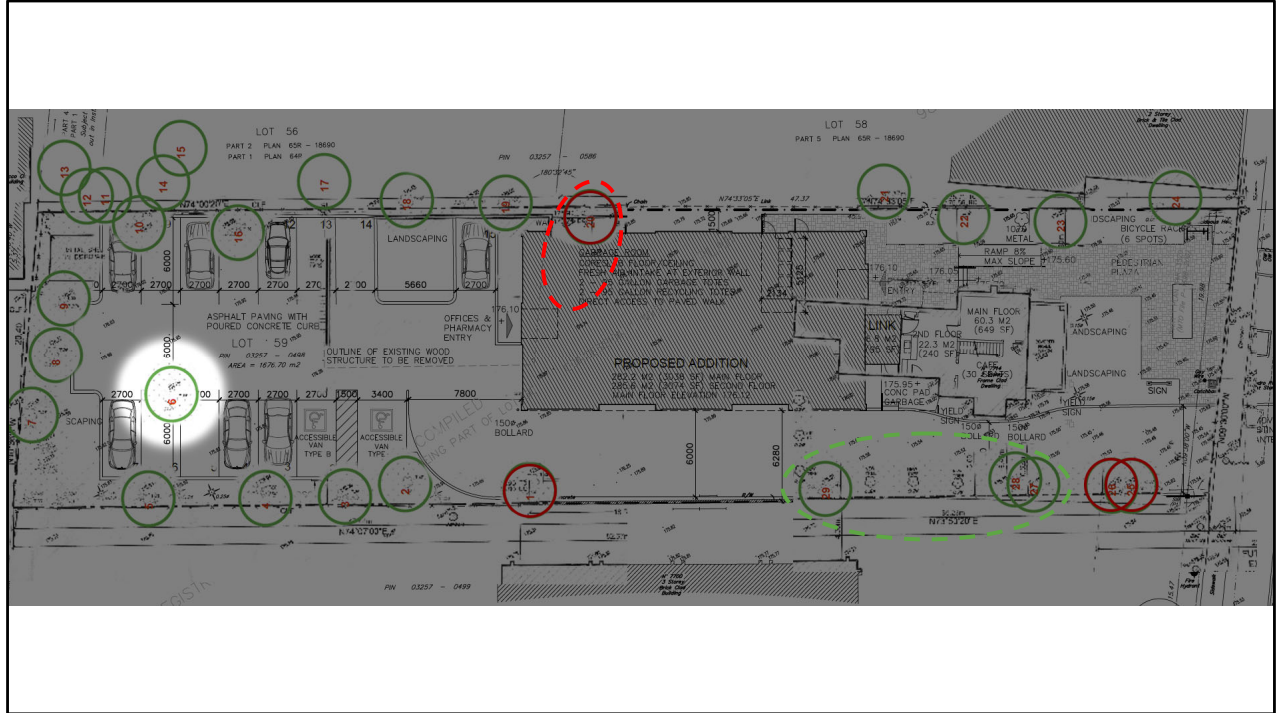
C¹ s Categories

1. Trees with diameters of 30 cm or more, situated on private property on the subject site.
2. Trees with diameters of 30 cm or more, situated on private property, within 6 m of the subject site.
3. Trees of all diameters situated on City owned parkland within 6 m of the subject site.
4. On lands designated under City of Toronto Municipal Code, Chapter 626, Ravine and Natural Feature

Andrew Woods-Gaines B.Sc. Forestry
Certified Arborist (OM) - 10229

And, as shown here in the arborist report, 27, 28, and 29 are to be preserved.

There are 4 trees to be removed, highlighted here as 1, 20, 25, and 26.



However, I would like to point out the inconsistency in the middle of the parking lot showing tree #6 as preserved. While I hope this is true, It was not shown on the proposal.

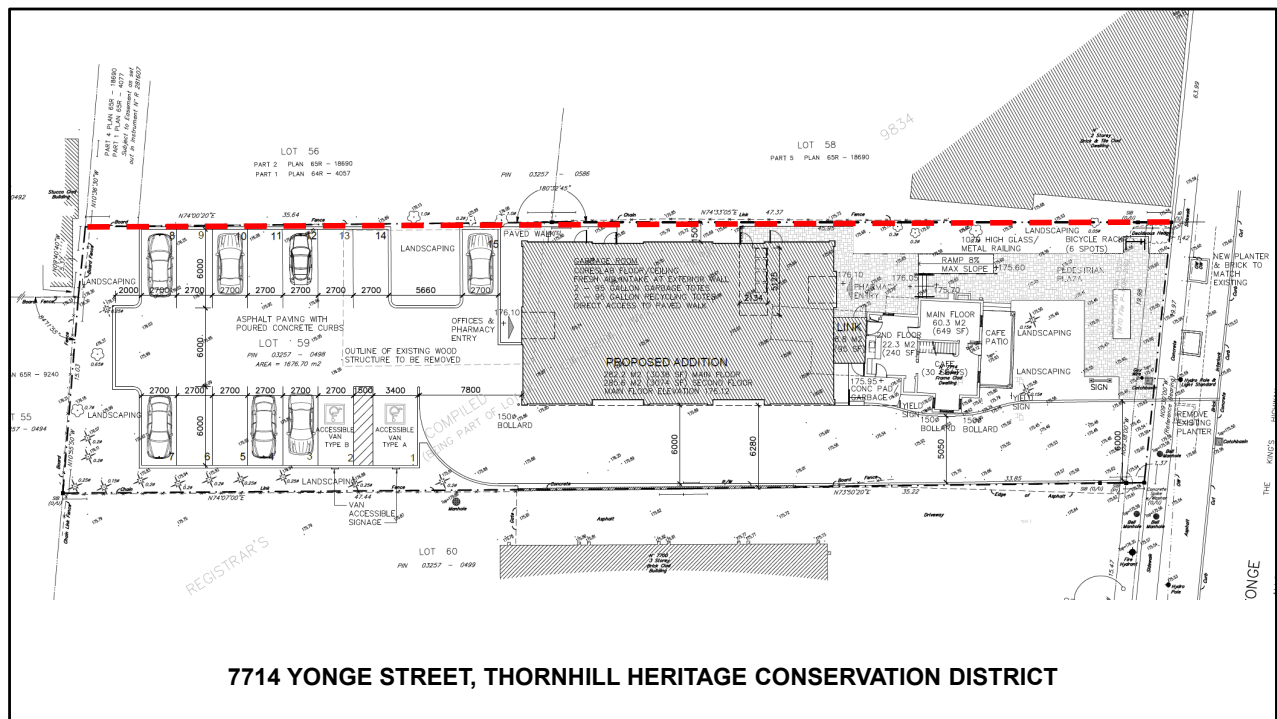


Going back to the high-angle view, please note the error marked with a red X to the right. It shows a fence attached to my building.



This cannot be allowed as it would heavily encroach on to my property and I already have a path there, not to mention the large historic trees.

As the property line extends linearly from the corner of their proposed parking lot, many part of this drawing encroach and I will not allow on my property.



I think we can all agree that the property line is a completely straight line and that the 3D visualization is incorrect.



This mean that this image should be corrected or marked as being incorrect.



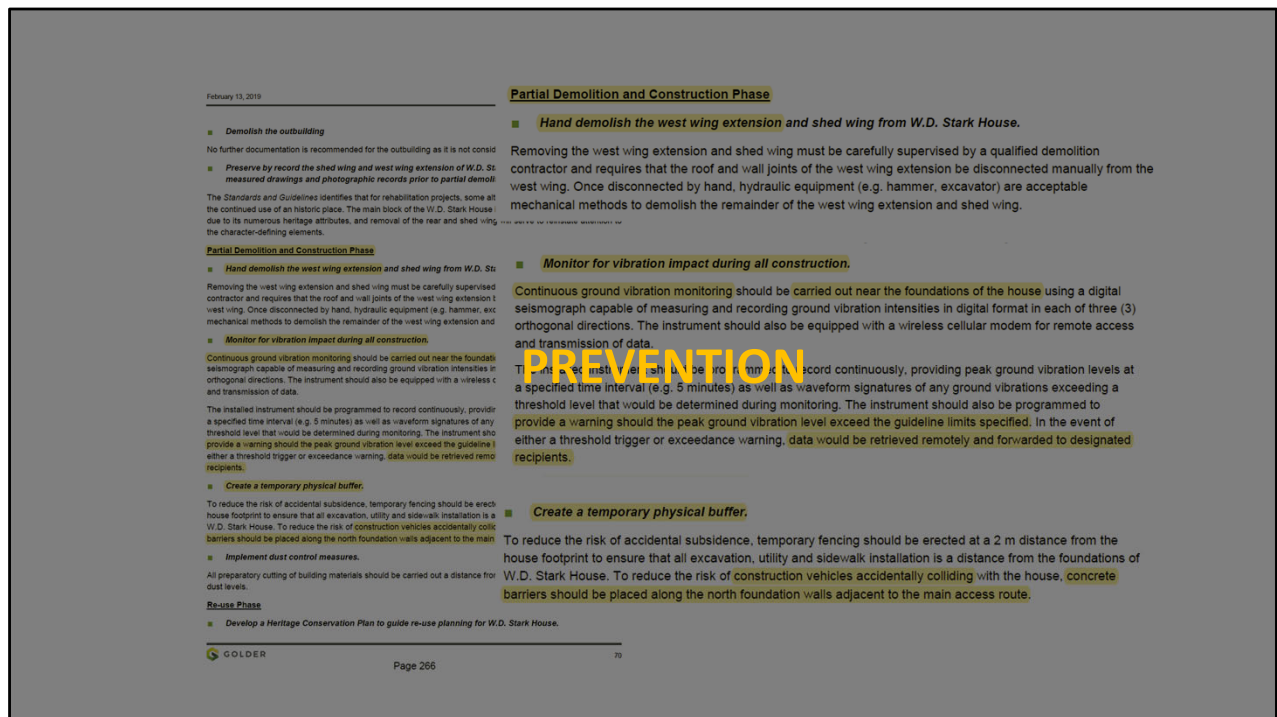
As shown in this photo of the south side of my property, I already have a pedestrian path here and nothing can connect to my building.

<p>February 15, 2019</p> <p>■ Demolish the outbuilding</p> <p>No further documentation is recommended for the outbuilding as it is not considered a heritage asset.</p> <p>■ Preserve by record the shed wing and west wing extension of W.D. Stark House</p> <p>The Standards and Guidelines identifies that for rehabilitation projects, some at the continued use of an historic place. The main block of the W.D. Stark House due to its numerous heritage attributes, and removal of the rear and shed wing, the character-defining elements.</p> <p>■ Partial Demolition and Construction Phase</p> <p>■ Hand demolish the west wing extension and shed wing from W.D. Stark House</p> <p>Removing the west wing extension and shed wing must be carefully supervised by a qualified demolition contractor and requires that the roof and wall joints of the west wing extension be disconnected manually from the west wing. Once disconnected by hand, hydraulic equipment (e.g. hammer, excavator) are acceptable mechanical methods to demolish the remainder of the west wing extension and shed wing.</p> <p>■ Monitor for vibration impact during all construction.</p> <p>Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.</p> <p>The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.</p> <p>■ Create a temporary physical buffer.</p> <p>To reduce the risk of accidental subsidence, temporary fencing should be erected around the house footprint to ensure that all excavation, utility and sidewalk installation is a distance from the foundations of W.D. Stark House. To reduce the risk of construction vehicles accidentally colliding with the house, concrete barriers should be placed along the north foundation walls adjacent to the main access route.</p> <p>■ Implement dust control measures.</p> <p>All preparatory cutting of building materials should be carried out a distance from dust levels.</p> <p>■ Re-use Phase</p> <p>■ Develop a Heritage Conservation Plan to guide re-use planning for W.D. Stark House.</p>	<p>■ Partial Demolition and Construction Phase</p> <p>■ Hand demolish the west wing extension and shed wing from W.D. Stark House.</p> <p>Removing the west wing extension and shed wing must be carefully supervised by a qualified demolition contractor and requires that the roof and wall joints of the west wing extension be disconnected manually from the west wing. Once disconnected by hand, hydraulic equipment (e.g. hammer, excavator) are acceptable mechanical methods to demolish the remainder of the west wing extension and shed wing.</p> <p>■ Monitor for vibration impact during all construction.</p> <p>Continuous ground vibration monitoring should be carried out near the foundations of the house using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.</p> <p>The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.</p> <p>■ Create a temporary physical buffer.</p> <p>To reduce the risk of accidental subsidence, temporary fencing should be erected at a 2 m distance from the house footprint to ensure that all excavation, utility and sidewalk installation is a distance from the foundations of W.D. Stark House. To reduce the risk of construction vehicles accidentally colliding with the house, concrete barriers should be placed along the north foundation walls adjacent to the main access route.</p>
--	--

Finally, the demolition and construction phase is concerning. While I’m happy to see “hand demolish” for some parts, the allowance of hydraulic equipment requiring vibration monitoring with danger to the foundation, is concerning especially as my building is so close.

As stated here, the vibration monitoring is unacceptable as it only notifies designated recipients after it is too late.

As both the Stark house and my building. Francis Block, are very old, we need a strategy of prevention, not monitoring and later repair or destruction. Therefore, I request that the concrete barrier proposed on Page 266, be extended to both sides of the existing driveway.



Please consider methods for PREVENTION as it may be impossible to recover lost historic aspects of these properties.



This is because, as you can see, any construction vehicle coming to the site will believe this is the access pathway to the new construction at the rear of the property. This will certainly damage the trees and vibrations could damage both our foundations.

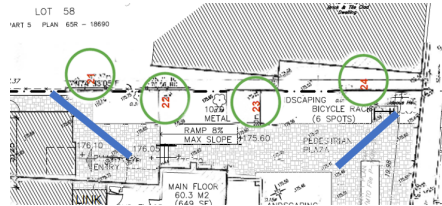


By placing concrete barriers at both ends of the current driveway, the accidents can be prevented entirely.

7714 YONGE STREET, THORNHILL HERITAGE CONSERVATION DISTRICT

PROPOSAL

1. Concrete barriers on both end of current (north side driveway)



2. Shared driveway with Bell Building 7700 Yonge St.



Azam Khan, PhD
7716-7724 Yonge St.
(owner)

Members of Heritage Vaughan, I greatly appreciate the time to speak with you today. In summary, I propose concrete barriers as shown during the demolition and construction period, and a shared driveway on the south side of the property.

Thank you.

Heritage Vaughan Committee
Wednesday, March 24, 2021
7 pm

**Item 3. Renovation of Existing Heritage House, and Rear Addition at 7714 Yonge Street, Thornhill
Heritage Conservation District**

To the Members of Heritage Vaughan

My name is Valerie Burke and I am a Thornhill resident. I appreciate having this opportunity to speak to you this evening regarding the redevelopment application for 7714 Yonge Street.

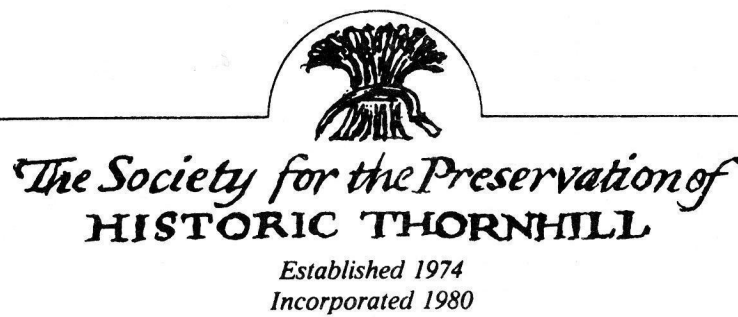
Overall I feel that the proposal has many positive attributes, but I have some specific concerns and recommendations as follows:

- **Protection of Mature Trees** - I am very concerned about the impact of construction, and eventual paving beside the 3 black locusts, Trees 27, 28 and 29. These trees will be surrounded by impermeability and their root systems could be damaged by construction vehicles. How will all the mature trees and vegetation be protected from excessive salt applications once the property is occupied?
- **Too much hard surface** - I am concerned with the significant increase in hard surface and recommend that the applicant examine ways to reduce it. For example, some of the hard surface in the pedestrian plaza could be reduced and replaced with soft landscaping. Also, the landscaping buffers around the parking lot could be increased to help protect the trees and provide ample vegetation screening to act as a buffer between abutting neighbours' properties.
- **Snow storage** - I would like clarification regarding the location for snow storage. Snow needs to be stored in an area that will not impact mature trees and vegetation negatively.
- **Glass Breezeway** - The separation of the historic building and the new addition is to be commended; however, glass breezeways are extremely dangerous and deceptive to birds causing bird deaths/injuries through collisions. I recommend that mullions be installed on the first surface of the glass. Etched glass could also be considered as an option. It provides an opportunity to add artistic design and improve aesthetics.
- **Glass Railings** - I am concerned about the modern appearance of these railings and potential deaths/injuries to birds colliding with the glass. I recommend that the glass railings be replaced with a white picket fence. Also, a white picket fence should be installed along the Yonge Street frontage to enhance the historic ambiance. A white picket fence did exist along the Yonge Street frontage as per the attached Figure 6 illustration.

Thank you.



Figure 6: A circa 1900 street view with the fence, ditch, and boardwalk of the property at far left (courtesy City of Vaughan Archives).



C4
Communication
Heritage Vaughan – March 24, 2021
Item # 3

March 24, 2021

Re: Renovation of existing heritage house, and rear addition At 7714 Yonge Street, Thornhill Heritage Conservation District

To the members of Heritage Vaughan Committee;

The Society for the Preservation of Historic Thornhill (SPOHT) is generally in favour of the application, and generally supports the staff recommendations, with a couple of exceptions.

The site plan drawings submitted for the renovation of the original house at 7714 Yonge St. (p.295) suggest that the second floor structure is to be removed or partially-removed to be “open to above”. SPOHT objects to the proposal to remove the second floor structure in the original house, as this feature is integral to the historical fabric of this house and the understanding of this building’s former function as a home, and such an action would limit future adaptive re-use.

Certain trees on the south property line - specifically trees 27, 28 and 29 - look like they could be put at risk by the addition of driveway access on the south side of the property. What measures will be taken to ensure these trees survive against increased salt application and the addition of an impermeable paving surface on their north side?

We are pleased to see that the later additions to the house will be documented prior to their careful removal. However, we would like to see similar documentation created for the outbuilding prior to its demolition, given certain evidence of its date and prior use that may not have been available to Golder Associates Ltd.

An article in [The Liberal, Jan. 12, 1928](#), states that Austin A. Brilinger had opened a blacksmith shop behind his home that week. This should provide some further clarification, and possibly an earlier confirmed date, to the “pre-1949” date provided for the outbuilding on p.240 of the report.

Figure 6 on p.216 shows the beautiful picket fence that once graced the front of this property in the early 20th century. If the applicant is willing, returning a similar fence to the front of this property would enhance the village atmosphere of this site.

Finally, we were pleased to see that there is a plan to include an interpretive panel on the site. It would be great if this panel could be placed close to the Yonge St. frontage so that it is visible to those passing the property.

Sincerely,

Adam Birrell

President,
The Society for the Preservation of Historic Thornhill (SPOHT)
416-985-1380
president@thornhillhistoric.org
www.thornhillhistoric.org

Heritage Vaughan Committee Report

DATE: Wednesday, April 21, 2021

WARD(S): 3

TITLE: DE-LISTING FOR 11110 JANE STREET

FROM:

Jim Harnum, City Manager

ACTION: DECISION

Purpose

To seek Heritage Vaughan Committee support and recommendation to Committee of the Whole to approve the de-listing of the subject property located at 11110 Jane Street (shown in Attachment 1) from the Listing of Property of Architectural and Historical Significance. The subject property previously contained the McKinnon/Armstrong farmhouse which was been demolished.

Report Highlights

- Cultural Heritage staff are requesting the subject property be removed from the Listing of Property of Architectural and Historical Significance
- The property previously contained the McKinnon/Armstrong farmhouse which has been demolished
- Given the built heritage resource was the only contributing cultural heritage feature on the property, which was demolished, the property no longer has cultural heritage value

Recommendations

1. THAT Heritage Vaughan recommend Council approve the proposed removal of the subject property from the Listing of Property of Architectural and Historical Significance, under Section 27(1.3) of the *Ontario Heritage Act*.

Background

The subject property located at 11110 Jane Street is Listed in the Municipal Registrar ('Registrar') under Section 27 of the *Ontario Heritage Act*. The previous two-storey, nineteenth-century Victorian farmhouse, with a rear one-storey addition, as well as a barn located on the property comprised a remnant of the rural cultural heritage landscape of the Hamlet of Teston. The demolition of the structures was proposed as part of the development applications (Z.19.007, 19T-19V002, DA.19.072) submitted to permit the new construction of a 51,000 square metre warehouse and distribution centre and requisite parking lot.

The applicant submitted a Cultural Heritage Impact Assessment (CHIA), dated July 2019 in support of the above referenced development applications to evaluate the existing Cultural Heritage value and its potential impact of demolition. The CHIA report was conducted using the criteria outlined in Ontario Regulation 9/06. It was determined the existing property retained some cultural heritage value, including physical and contextual value. However, the existing farmhouse and barn situated on the subject property was in a significantly deteriorated condition, and a structural assessment conducted by Zaretsky Consulting Engineers Inc., dated May 23, 2019 found the building was beyond repair and should be demolished. The full CHIA report is available as Attachment #2.

Due to the extensive deterioration of the buildings, which was confirmed in the structural assessment, a Heritage Clearance was issued in September 2019 and the main farmhouse building and associated barn were demolished. The property remains included on the municipal heritage register (i.e., listed under Section 27 of the *Ontario Heritage Act*) and must be de-listed as the property no longer retains its previously identified cultural heritage value. As a condition of final Site Plan approval for the new construction on the subject lands, the Owner must submit an application to de-list the property to be considered by the Heritage Vaughan Committee and Council, as specified by Section 27 of the *Ontario Heritage Act*. This request was submitted on March 19, 2021.

The CHIA contained a recommendation that one of the new municipal roads proposed in the development be named after its historical property owners as partial commemoration. Development Planning Department staff concurred with the recommendation of the CHIA and included this matter as a condition of subdivision approval. Although the initially proposed names were not available at that time, a review of the family history resulted in the suggestion of the name "McGown". This name references Jane McGown, the wife of Charles McKinnon and their family, who were the earliest settlers on the subject property, until just before 1878. The selection of the street name was done in consultation with the

Development Planning GIS Division, who determined that it met the street naming policies of the City of Vaughan and was vetted by the Fire Department and York Region.

Previous Reports/Authority

There are no previous reports.

Analysis and Options

The property municipally known as 11110 Jane Street is Listed under Section 27 of the *Ontario Heritage Act*. As the subject property no longer retains any of its previously identified cultural heritage value, it should be removed from the City of Vaughan's list of municipal heritage properties. The de-Listing of this property was a condition of approval of the related Site Plan application DA.19.072 that the Owner must submit an application to de-list the property as specified by Section 27 of the *Ontario Heritage Act*.

The City of Vaughan Standards for Heritage Commemoration Plaques policy, Section 6.1.3.4 states, *"naming roads and City infrastructure and facilities after persons, events or places important to the City's cultural heritage, consistent with the City's naming policy."* To commemorate the lost cultural heritage resource, a street within the development will be named "*McGown*" after Jane McGown, who along with her husband Charles McKinnon, were the earliest settler family to live on the subject property.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The built heritage resource located at 11110 Jane Street was destroyed through exposure and neglect. There are no other remaining cultural heritage resources and subsequently, the property no longer retains cultural heritage value. The subsequent site development will include a street named after one of the historic property owners, in accordance with City of Vaughan policies of Section 6.1.3.4 (Promoting Vaughan's Cultural Heritage).

Accordingly, Cultural Heritage staff can support the Heritage Vaughan Committee recommendation to Committee of the Whole that the subject property be removed from

the Listing of Property of Architectural and Historical Significance register, as it no longer maintains the criteria for the listing as a property of architectural, cultural heritage, or contextual significance.

For more information, please contact: Katrina Guy, Cultural Heritage Coordinator, Development Planning, ext. 8115

Attachments

1. Attachment 1 – Location Map
2. Attachment 2 – CHIA Addendum

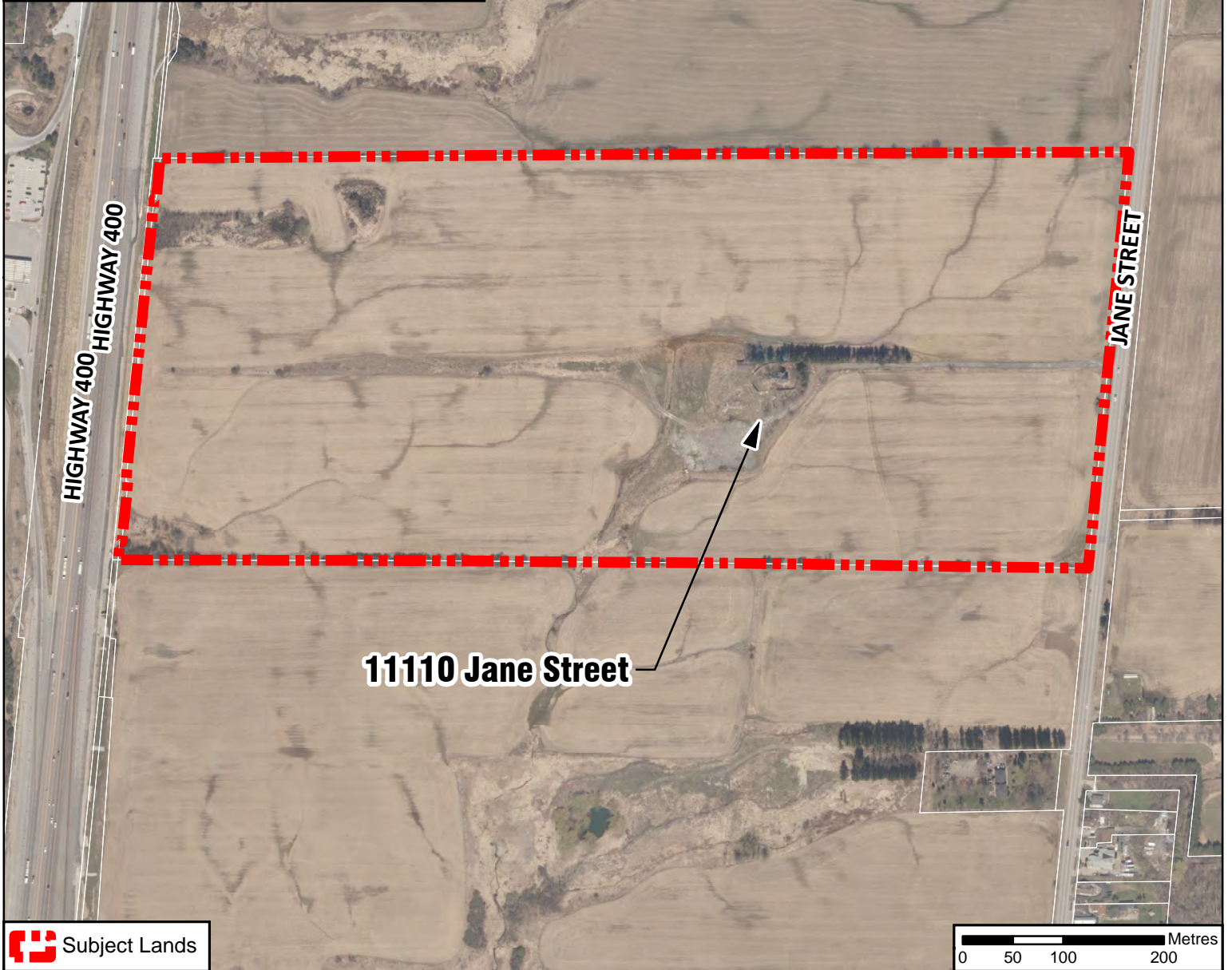
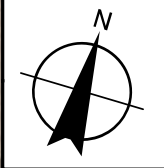
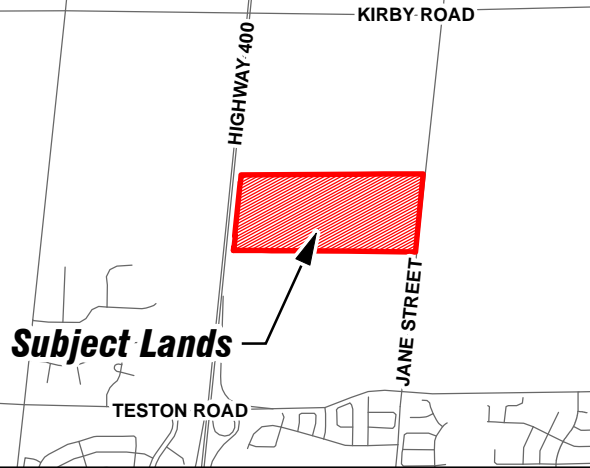
Prepared by

Nick R. Borcescu, Senior Cultural Planner, Development Planning, ext. 8191

Rob Bayley, Manager of Urban Design and Cultural Services, Development Planning, ext. 8254

Bill Kiru, Acting Director of Development Planning, ext. 8633

CONTEXT MAP



Location Map

LOCATION:
11110 Jane Street, Maple
Part of Lot 28, Concession 5



Attachment

1

DATE:
March 24, 2021

CULTURAL HERITAGE IMPACT ASSESSMENT
11110 JANE STREET,
COMMUNITY OF MAPLE, CITY OF VAUGHAN, ONTARIO

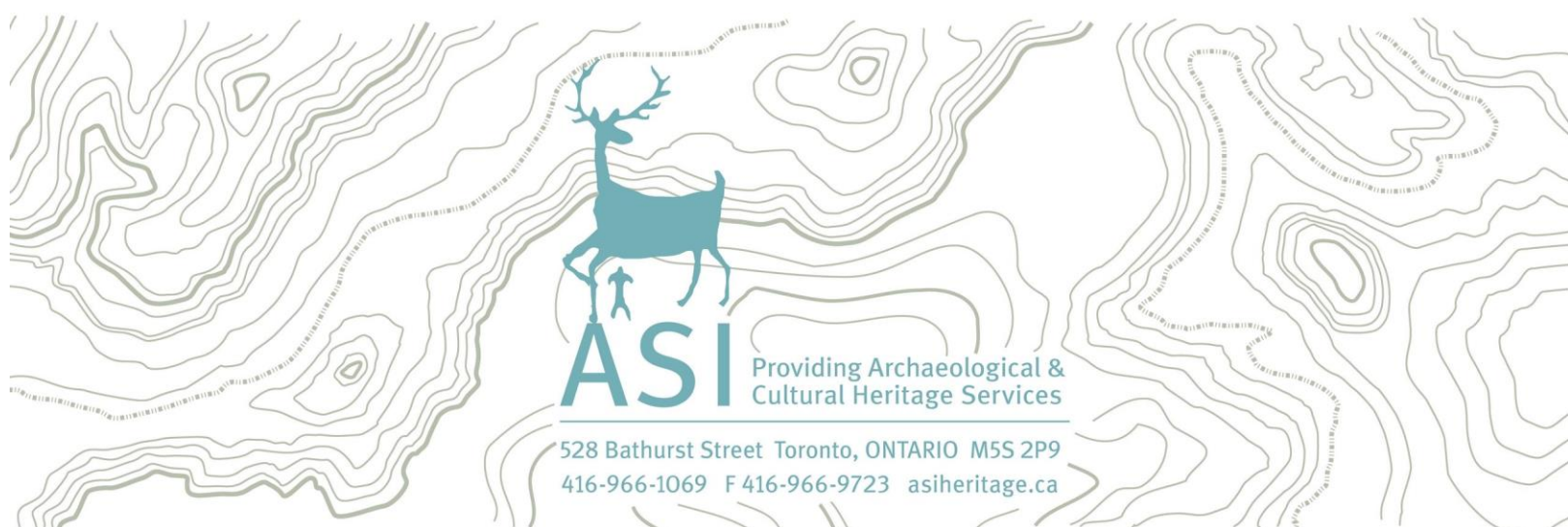
Prepared for:

Conmar Developments Inc. & Fenlands Vaughan Inc.
1500 Highway 7
Concord, Ontario L4K 5Y4

ASI File: 19CH-066

ATTACHMENT 2

July 2019
Updated September 2019



CULTURAL HERITAGE IMPACT ASSESSMENT

11110 Jane Street
COMMUNITY OF MAPLE, CITY OF VAUGHAN, ONTARIO

EXECUTIVE SUMMARY

ASI was contracted by Conmar Developments Inc. & Fenlands Vaughan Inc. to prepare a Cultural Heritage Impact Assessment (CHIA) for the proposed development within the subject property at 11110 Jane Street within the City of Vaughan. This CHIA is structured to evaluate the cultural heritage value of the subject property and to provide an assessment of the proposed impacts of the proposed development to any identified cultural heritage value within the subject property as well as adjacent listed heritage properties. The property at 11110 Jane Street in the City of Vaughan contains a two-storey, nineteenth-century Victorian farmhouse with a rear one-storey addition. The property at 11110 Jane Street is listed on the City of Vaughan's *Register of Property of Cultural Heritage Value*. The subject property is adjacent to two properties that are also identified on the City of Vaughan's *Register of Property of Cultural Heritage Value*, including 10980 Jane Street and 11273 Jane Street.

The proposed development involves the demolition of the existing farmhouse and removal of all existing landscape features, and the construction of an approximately 51,000 square metre warehouse and distribution centre with a parking lot.

An evaluation of the cultural heritage value of the existing property at 11110 Jane Street was conducted using the criteria outlined in Ontario Regulation 9/06. It was determined that the existing property retains some cultural heritage value, including physical and contextual value. However, the existing residential building within the subject property is in significantly deteriorated condition, and a structural assessment conducted by Zaretsky Consulting Engineers Inc. dated 23 May 2019 finds that the building is beyond repair and should be demolished.

While the demolition of a structure found to retain cultural heritage value is not a desirable outcome, restoration and retention of the structure has been determined not to be feasible based on Zaretsky Consulting Engineers Inc.'s structural assessment. Historical commemoration of the subject property through the introduction of historical street names for proposed new streets will provide interpretation of the site while allowing the re-development of the subject property with its proposed new use. Additionally, the proposed development should not have a significant impact on the adjacent listed heritage properties at 10980 Jane Street and 11273 Jane Street.

The following recommendations follow from an assessment of the proposed development's impacts on identified heritage attributes. These recommendations include:

1. This report should be submitted to Heritage Staff at the City of Vaughan for review, and upon approval, filed and archived with the Vaughan Public Library and the City of Vaughan Archives;
2. The proposed development plan should include soft landscaping along the south and east lot lines to ensure a continuation of a visual buffer between the proposed warehouse building and adjacent listed heritage property at 10980 Jane Street and to improve the relationship of the proposed development with the existing streetscape along Jane Street; and,

3. The proposed new municipal street within the subject property should be named after its historical property owners.



PROJECT PERSONNEL

<i>Senior Project Manager:</i>	Dr. Katherine Hull <i>Partner and Director, Cultural Heritage Division</i>
<i>Project Manager:</i>	Laura Loney, MPlan, CAHP <i>Cultural Heritage Specialist, Cultural Heritage Division</i>
<i>Project Administrator</i>	Carol Bella, Hon. BA <i>Executive Assistant, Operations Division</i>
<i>Historical Research:</i>	Laura Loney
<i>Field Review</i>	Laura Loney
<i>Report Preparation:</i>	Laura Loney
<i>Graphics Preparation:</i>	Jonas Fernandez, MSc <i>Geomatics Specialist Operations Division</i>
<i>Report Reviewers:</i>	James Neilson, MES (Planning) <i>Cultural Heritage Specialist, Cultural Heritage Division</i> Annie Veilleux, MA, CAHP <i>Senior Cultural Heritage Specialist, Manager, Cultural Heritage Division</i>

TABLE OF CONTENTS

EXECUTIVE SUMMARY	ii
PROJECT PERSONNEL	ii
TABLE OF CONTENTS.....	iii
1.0 INTRODUCTION	1
1.1 Location and Study Area Description	2
1.2 Property Ownership	3
1.3 Policy Framework	3
1.3.1 Ontario Heritage Act	3
1.3.2 Planning Act (1990) and Provincial Policy Statement (PPS 2014)	4
1.3.3 City of Vaughan Official Plan (2010)	5
1.3.4 The Growth Plan for the Greater Golden Horseshoe (2017)	7
1.4 Project Consultation	8
2.0 HISTORICAL RESEARCH	8
2.1 Township and Settlement History	8
2.1.1 Overview of Indigenous Land Use.....	8
2.1.2 Vaughan Township.....	9
2.1.3 Villages of Maple and Teston.....	10
2.2 Land Use History: 11110 Jane Street	11
3.0 EXISTING CONDITIONS	16
3.1 Introduction.....	16
3.2 Existing Conditions	17
3.2.1 11110 Jane Street – Landscape.....	17
3.2.2 11110 Jane Street – Exterior	20
3.2.2 11110 Jane Street - Interior	27
3.2.3 10980 Jane Street and 11273 Jane Street.....	33
4.0 CULTURAL HERITAGE VALUE	34
4.1 Existing Cultural Heritage Value – 11110 Jane Street	34
4.2 Ontario Regulation 9/06 Evaluation	34
4.3 Proposed Statement of Significance.....	37
5.0 PROPOSED DEVELOPMENT	37
5.1 Description of Proposed Development	37
5.2 Impact Assessment – 11100 Jane Street	38
5.3 Impact Assessment – 10980 and 11273 Jane Street	39
6.0 ALTERNATIVES, MITIGATION AND RECOMMENDATIONS.....	40
6.1 Alternatives.....	40
6.2 Mitigation	40
6.2.1 Historical Commemoration.....	40
7.0 CONCLUSION	41
7.1 Recommendations.....	41
8.0 REFERENCES	43
APPENDIX A: CITY OF VAUGHAN'S <i>GUIDELINES FOR CULTURAL HERITAGE IMPACT ASSESSMENTS</i>	47
APPENDIX B: PROPOSED SITE PLAN	53
APPENDIX C: STRUCTURAL ASSESSMENT	55

LIST OF FIGURES

Figure 1: Location of the subject property at 11110 Jane Street in Vaughan, Ontario and adjacent heritage properties at 10980 Jane Street and 11273 Jane Street	1
Figure 2: Aerial Photograph of the Subject Property at 11110 Jane Street and adjacent listed heritage properties at 10980 Jane Street and 11273 Jane Street, City of Vaughan	2
Figure 3: Subject property at 11110 Jane Street, looking west into the property from Jane Street	3
Figure 4: Existing residential building at 11110 Jane Street	3
Figure 5: Post Office in Teston, Ontario, c. 1900	10
Figure 6: 1798 Patent Plan for Vaughan Township.....	11
Figure 7: 1860 Tremaine's Map of the County of York.....	12
Figure 8: Illustrated Historical Atlas of the County of York and the Township of West Gwillimbury & Town of Bradford in the County of Simcoe, Ont.	13
Figure 9: 1909 National Topographic Map	13
Figure 10: 1914 National Topographic Map	13
Figure 11: 1926 National Topographic Map	14
Figure 12: 1934 National Topographic Map	14
Figure 13: 1940 National Topographic Map	14
Figure 14: 1954 Aerial Photograph of the Subject Property.....	15
Figure 15: 1970 Aerial Photograph of the Subject Property.....	15
Figure 16: Residential building at 11110 Jane Street, n.d.....	16
Figure 17: 2014 Aerial Photograph of the Subject Property.....	16
Figure 18: 2015 Aerial Photograph of the Subject Property.....	16
Figure 19: Looking southwest from the east side of Jane Street, showing the subject property to the right	17
Figure 20: Looking northwest from the west side of Jane Street, showing the subject property to the left	17
Figure 21: Looking west along the gravel driveway into the subject property, showing agricultural fields on either side	18
Figure 22: Looking west within the agricultural fields at the north end of the subject property, showing the treeline along the north lot line	18
Figure 23: Looking west from Jane Street beyond the south lot line, showing agricultural fields and treeline.....	18
Figure 24: Looking northwest from within the south field, showing the row of established spruce trees on the right and beyond the driveway	18
Figure 25: Looking northeast from the gravel driveway along the south of the existing residential building	19
Figure 26: Looking east from the gravel driveway along the south of the existing residential building....	19
Figure 27: Looking east from within the gravel driveway.....	19
Figure 28: Looking northeast towards the existing residential building, showing dense trees and vegetation	19
Figure 29: Looking east towards the existing building from the west side of the subject property	20
Figure 30: Looking west towards the rear property line from within the gravel driveway.....	20
Figure 31: Existing residential building at 11110 Jane Street, looking southwest towards the front elevation	20

Figure 32: East elevation of existing building	21
Figure 33: East elevation detail showing window openings and broken windows at the second storey ..	21
Figure 34: East elevation detail showing segmentally arched basement window openings and parged foundation	21
Figure 35: East elevation detail showing missing sill and deteriorated window	21
Figure 36: Southeast corner detail showing the brick chimney and upper-storey window openings	22
Figure 37: Southeast corner detail showing the wooden platform at grade	22
Figure 38: East elevation detail showing the first-storey porch and window openings.....	22
Figure 39: East elevation detail showing the enclosed space within the first-storey porch	22
Figure 40: East elevation detail showing the window opening beneath the porch roof and open rafters above.....	23
Figure 41: East elevation detail showing the deteriorated porch roof and dormer above the porch	23
Figure 42: North elevation of the existing building	24
Figure 43: North elevation detail, showing the first-storey window opening.....	24
Figure 44: Partial north elevation of the existing building	24
Figure 45: Partial north elevation of the existing building	24
Figure 46: North elevation detail showing deteriorated exterior wall and first-floor window opening....	25
Figure 47: North elevation detail showing deteriorated and missing exterior wall, dormer window and first-floor window opening	25
Figure 48: North elevation of the rear addition.....	26
Figure 49: Northwest corner of the rear addition and west elevation of the existing building	26
Figure 50: South elevation of the rear addition.....	26
Figure 51: South elevation of the west wing	27
Figure 52: East portion of the south elevation	27
Figure 53: South elevation wall within the existing basement.....	28
Figure 54: Looking west beyond the existing kitchen at the west end of the existing building	29
Figure 55: Looking south within the kitchen at the west end of the building, showing the existing window	29
Figure 56: Looking northeast within the open space at the east end of the first floor towards the entrance	29
Figure 57: Looking east towards the front bay windows within the first storey.....	29
Figure 58: Looking west within the first floor of the existing building	30
Figure 59: Looking south within the first floor of the existing building towards the south elevation	30
Figure 60: Looking north within the first floor of the existing building towards the north elevation.....	30
Figure 61: Deteriorated first-floor ceiling within the east end of the existing building	30
Figure 62: Looking east into the bathroom along the east elevation.....	31
Figure 63: Looking north into the northwest bedroom on the second floor	31
Figure 64: Looking north into the northeast bedroom at the second floor	31
Figure 65: Sloped ceiling within the south bedroom at the second floor	31
Figure 66: Ceiling within the east bedroom on the second floor	32
Figure 67: Bay windows within the east bedroom on the second floor.....	32
Figure 68: Looking north into a closet on the second floor, showing an opening above the existing porch	32
Figure 69: Looking east into the second-floor hallway.....	32
Figure 70: Interior of the rear wooden addition, looking east towards the existing residential building..	33
Figure 71: Existing roof of the rear wooden addition.....	33

Figure 72: Looking west into the adjacent listed heritage property at 10980 Jane Street	33
Figure 73: Looking west into the adjacent listed heritage property at 10980 Jane Street	33
Figure 74: Looking east into the adjacent listed heritage property at 11273 Jane Street	34
Figure 75: Looking east into the adjacent listed heritage property at 11273 Jane Street	34

LIST OF TABLES

Table 1: Outline of Southern Ontario Prehistory	9
Table 2: Evaluation of the property at 11110 Jane Street under Ontario Regulation 9/06 Criteria.....	34
Table 3: Impact Assessment – 11110 Jane Street.....	38



1.0 INTRODUCTION

ASI was contracted by Conmar Developments Inc. & Fenlands Vaughan Inc. to prepare a Cultural Heritage Impact Assessment (CHIA) for the proposed development at 11110 Jane Street within the Community of Maple, City of Vaughan (Figure 1). This CHIA is structured to evaluate the cultural heritage value of the subject property and to provide an assessment of the proposed impacts to any identified cultural heritage value within the subject property in accordance with the City of Vaughan's *Guidelines for Cultural Heritage Impact Assessments* (2016). The property at 11110 Jane Street in the City of Vaughan contains a two-storey red brick residential building with a one-storey frame addition. The property is listed on the City of Vaughan's *Register of Property of Cultural Heritage Value*. The subject property is adjacent to two properties that are also identified on the City of Vaughan's *Register of Property of Cultural Heritage Value*, including 10980 Jane Street to the south and 11273 Jane Street.

The proposed development involves the demolition of the existing residential building and removal of all existing landscape features, followed by the construction of an approximately 51,000 square metre warehouse and distribution centre with a parking lot.

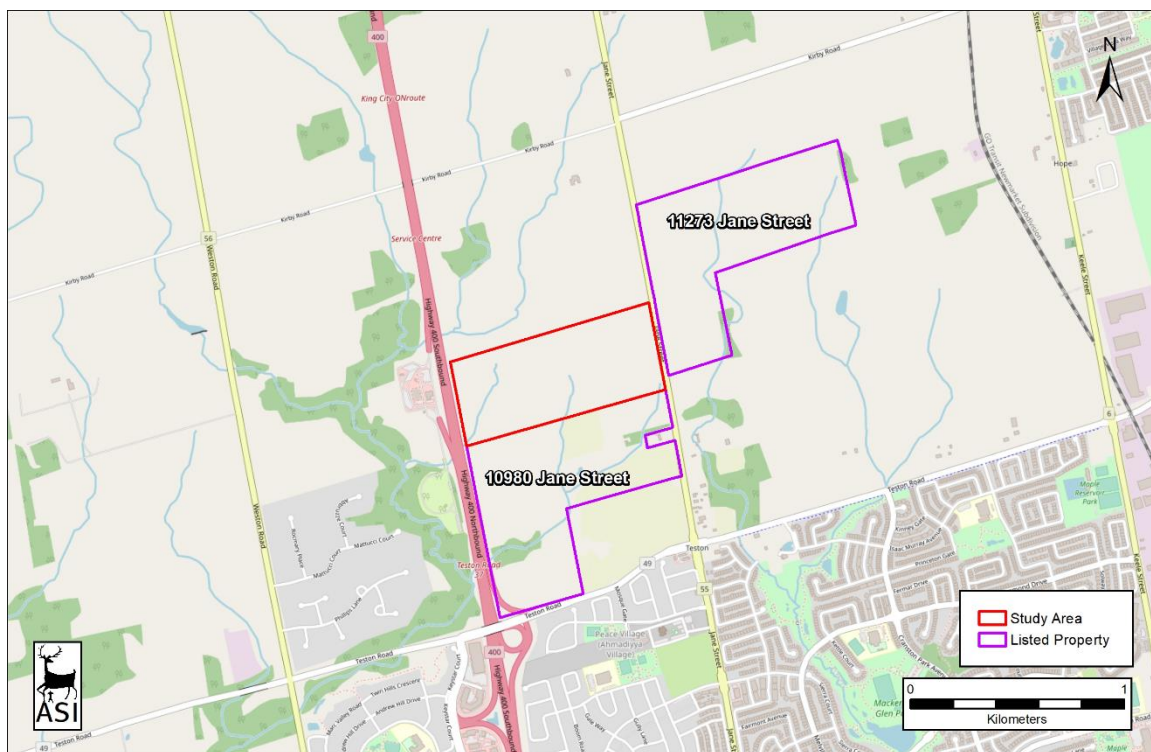


Figure 1: Location of the subject property at 11110 Jane Street in Vaughan, Ontario and adjacent heritage properties at 10980 Jane Street and 11273 Jane Street

(Open Street Maps)

The research, analysis, and fieldwork were conducted by Laura Loney, Cultural Heritage Specialist and Project Manager, under the senior project direction of Dr. Katherine Hull, Partner and Director of the Cultural Heritage Division, ASI. This CHIA follows the Ministry of Tourism, Culture and Sports' *Ontario*

Heritage Toolkit (2006), the City of Vaughan's *Guidelines for Heritage Impact Assessments* (2016); and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) (Ministry of Tourism, Culture and Sport 2006a; City of Vaughan 2016; Parks Canada 2010). Research was completed to investigate, document, and evaluate the cultural heritage resources within and adjacent to the study area.

This document will provide:

- a description of the subject property, including location, a detailed land use history of the site, and photographic documentation;
- an evaluation and description of the subject property's cultural heritage value based on archival research and site analysis, and contribution to the surrounding area;
- an assessment of impacts of the proposed undertaking; and,
- A description of potential mitigation measures and recommendations for approval by the City of Vaughan.

1.1 Location and Study Area Description

The subject property is located at 11110 Jane Street within the City of Vaughan (Figure 2). The subject property contains a two-storey, L-shaped red brick residential building with rear (west) wing and a frame one-storey addition. The residential building is centred within the lot, significantly set back from the right-of-way along the west side of Jane Street, and is accessed via a long driveway from the west side of Jane Street (Figure 3 and Figure 4). Highway 400 extends along the west property line of the subject property. The property is located in a generally agricultural area with a residential area further to the south beyond Teston Road.



Figure 2: Aerial Photograph of the Subject Property at 11110 Jane Street and adjacent listed heritage properties at 10980 Jane Street and 11273 Jane Street, City of Vaughan



Figure 3: Subject property at 11110 Jane Street, looking west into the property from Jane Street

(ASI 2019)



Figure 4: Existing residential building at 11110 Jane Street

(ASI 2019)

1.2 Property Ownership

The subject property is currently owned by Conmar Developments Inc. & Fenlands Vaughan Inc.

Conmar Developments Inc. & Fenlands Vaughan Inc.
1500 Highway 7
Concord, Ontario L4K 5Y4

1.3 Policy Framework

The authority to request this heritage assessment arises from the *Ontario Heritage Act*, Section 2(d) of the *Planning Act*, the *Provincial Policy Statement* (2014), and the City of Vaughan's *Official Plan* (2010) (Ministry of Culture 1990; MMAH 1990; Ministry of Municipal Affairs and Housing 2014; City of Vaughan 2017).

1.3.1 Ontario Heritage Act

The *Ontario Heritage Act* (OHA) (2005) enables designation of properties and districts under Part IV and Part V, Sections 26 through 46 and provides the legislative basis for applying heritage easements to real property (Ministry of Culture 1990).

1.3.2 Planning Act (1990) and Provincial Policy Statement (PPS 2014)

The *Planning Act* (1990) and related *Provincial Policy Statement* (PPS 2014) make several provisions relating to heritage conservation. One of the general purposes of the *Planning Act* is to integrate matters of provincial interest in provincial and municipal planning decisions. To inform all those involved in planning activities of the scope of these matters of provincial interest, Section 2 of the *Planning Act* provides an extensive listing. These matters of provincial interest shall be regarded when certain authorities, including the council of a municipality, carry out their responsibilities under the *Act*. One of these provincial interests is directly concerned with:

- 2 (i) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

The *PPS* indicates in Section 4 - Implementation/Interpretation, that:

- 4.7 The official plan is the most important vehicle for implementation of this Provincial Policy Statement. Comprehensive, integrated and long-term planning is best achieved through official plans.

Official plans shall identify provincial interests and set out appropriate land use designations and policies. To determine the significance of some natural heritage features and other resources, evaluation may be required.

Official plans should also coordinate cross-boundary matters to complement the actions of other planning authorities and promote mutually beneficial solutions. Official plans shall provide clear, reasonable and attainable policies to protect provincial interests and direct development to suitable areas.

In order to protect provincial interests, planning authorities shall keep their official plans up-to-date with this Provincial Policy Statement. The policies of this Provincial Policy Statement continue to apply after adoption and approval of an official plan (Ministry of Municipal Affairs and Housing 2014).

Those policies of relevance for the conservation of heritage features are contained in Section 2, *Wise Use and Management of Resources*, in which the preamble states that “Ontario’s long-term prosperity, environmental health, and social well-being depend on protecting natural heritage, water, agricultural, mineral and cultural heritage and archaeological resources for their economic, environmental and social benefits.”

Accordingly, in subsection 2.6, *Cultural Heritage and Archaeology* makes the following relative provisions:

- 2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

- 2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

This provides the context not only for discrete planning activities detailed in the *Planning Act* but also for the foundation of policy statements issued under Section 3 of the *Planning Act* (MMAH 1990).

1.3.3 City of Vaughan Official Plan (2010)

The City of Vaughan's guidelines for CHIAs are outlined in the City's *Guidelines for Cultural Heritage Impact Assessments* (2016) (Appendix A). This document draws on provincial policies, as well as those policies outlined in Chapter 6, Volume 1, of the City of Vaughan's *Official Plan* (2017 Consolidation), which states the following:

6.1.1.1 To recognize and conserve cultural heritage resources, including heritage buildings and structures, cultural heritage landscapes, and other cultural heritage resources, and to promote the maintenance and development of an appropriate setting within, around and adjacent to all such resources.

6.1.2.3. To require that identified heritage resources not yet listed in the Heritage register are evaluated and conserved, as appropriate, through any legislated planning or assessment processes, including the *Planning Act*, the *Environmental Assessment Act*, the *Ontario Heritage Act* and the *Cemeteries Act*.

6.1.2.7. Any property worthy of designation under Part IV of the *Ontario Heritage Act* that fulfills one or more of the criteria identified in policy 6.1.2.6 will be considered to possess cultural heritage value.

6.2.2.1. That, pursuant to the *Ontario Heritage Act*, the City may, through a by-law, protect cultural heritage resources by entering into heritage easement agreements or by designating:

- a. Individual properties;
- b. Heritage Conservation Districts where there is a concentration of cultural heritage resources in accordance with Policy 6.3.2.1;
- c. Cultural heritage landscapes; and
- d. archaeological sites.

6.2.2.2. That if development is proposed on any property listed in the Heritage register, that the property, or portions of the property, may be considered for heritage designation or entering into a heritage easement agreement to secure conservation of significant heritage resources.

6.2.3.1. That when development is proposed on a property that is not designated under the *Ontario Heritage Act* but is listed on the Heritage register, recognized as a Cultural heritage

character area or identified as having potential cultural heritage value, the applicant shall submit a Cultural Heritage Impact Assessment when: a. the proposal requires an Official Plan amendment, a zoning by-law amendment, a plan of subdivision, a plan of condominium, a minor variance or a site plan application; b. the proposal involves the demolition of a building or the removal of a building or part thereof or a heritage landscape feature; or c. there is potential for adverse impact to a cultural heritage resource from the proposed development activities.

6.2.3.2. That when development is proposed on a property adjacent to a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as Cultural heritage character area, or identified as having potential cultural heritage value:

- a. the proposal is compatible with the conservation of the adjacent cultural heritage resource and its streetscape context; and
- b. the applicant shall submit a Cultural heritage impact assessment if through the development approval process it is determined that there is the potential for adverse impact on the adjacent heritage resource from the proposed development.

6.2.4.1. That Cultural heritage impact assessments shall be prepared by a professional with expertise in cultural heritage resources and in accordance with the requirements of this Plan, and that:

- a. the assessment must demonstrate whether the heritage values and character of cultural heritage resources, as identified by the City, are being retained, improved, adversely impacted or lost by the proposed development;
- b. the assessment may not substitute alternate heritage values or character for those that have been approved or endorsed by the City; and
- c. where there is no designation by-law, approved heritage character statement or approved conservation plan, the assessment must document, to the City's satisfaction, the cultural heritage values of the property.

6.2.4.2. That Cultural heritage impact assessments are subject to City review. In review of Cultural heritage impact assessments, the City:

- a. will be guided by Good heritage conservation practices and heritage conservation principles as identified in policy 6.2.2.6 of this Plan, by priorities for on-site retention as identified in policy 6.2.2.7 of this Plan, and by any other relevant policies of this Plan; and
- b. may impose conditions of approval to secure the long-term conservation of the resource.

6.2.4.4. That, in the event a cultural heritage resource is to be demolished and this has been demonstrated to the City's satisfaction, the Cultural heritage impact assessment must recommend, to the City's satisfaction, mitigation measures (such as the reuse of materials or building elements in the development or in other developments) and archival documentation, as may be defined in the Vaughan Heritage Conservation Guidelines (City of Vaughan 2017).

1.3.4 The Growth Plan for the Greater Golden Horseshoe (2017)

The 2017 *Growth Plan for the Greater Golden Horseshoe (Growth Plan)* identifies several policies relating to the conservation of cultural heritage resources within the Province. Section 1.1 of the Growth Plan speaks to the challenges faced by increased growth in the Greater Golden Horseshoe, and that “[u]rban sprawl can degrade the region’s air quality; water resources; natural heritage resources, such as rivers, lakes, woodlands, and wetlands; and cultural heritage resources.

Section 4 of the *Growth Plan* speaks to the protection of valuable resources, including cultural heritage resources, in Section 4.1:

The *GGH* contains a broad array of important hydrologic and *natural heritage features and areas*, a vibrant and diverse agricultural land base, irreplaceable *cultural heritage resources*, and valuable renewable and non-renewable resources. These lands, features and resources are essential for the long-term quality of life, economic prosperity, environmental health, and *ecological integrity* of the region. They collectively provide essential ecosystem services, including water storage and filtration, cleaner air and habitats, and support pollinators, carbon storage, adaptation and resilience to climate change.

Through their historic relationship with the lands and resources in this region, Indigenous communities have gained traditional knowledge that is of value to the planning decisions being made today. A balanced approach to the wise use and management of all resources, including those related to water, natural heritage, agriculture, cultural heritage, and mineral aggregates, will be implemented in the *GGH*.

The *GGH* also contains important *cultural heritage resources* that contribute to a sense of identity, support a vibrant tourism industry, and attract investment based on cultural amenities. Accommodating growth can put pressure on these resources through *development* and *site alteration*. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.

Section 4.27 of the *Growth Plan* provides specific policy guidance relating to cultural heritage resources:

4.2.7 Cultural Heritage Resources

Cultural heritage resources will be *conserved* in order to foster a sense of place and benefit communities, particularly in *strategic growth areas*.

Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of *cultural heritage resources*.

Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making (Ministry of Municipal Affairs and Housing 2016).

1.4 Project Consultation

The following organizations, websites, online heritage documents, and online heritage mapping tools were reviewed to confirm the level of significance of the subject property, the location of additional previously identified cultural heritage resources adjacent to the study area, and to request additional information generally:

- City of Vaughan *Register of Property of Cultural Heritage Value* (City of Vaughan 2005) [Accessed 29 May 2019];
- Canadian Register of Historic Places (Parks Canada) [Accessed 29 May 2019];
- Parks Canada website (national historic sites) (Parks Canada 2017) [Accessed 29 May 2019];
- Ontario Heritage Trust *Ontario Heritage Plaque Guide*, an online, searchable database of Ontario Heritage Plaques (Ontario Heritage Trust n.d.) [Accessed 29 May 2019];
- Email correspondence with the Archives of Ontario [6 June 2019];
- Email correspondence with Courtney Scott, Archival Records Analyst, Archives and Records Management Services, City of Vaughan [31 May 2019; 4 June 2019];
- Email correspondence with Katrina Guy, Heritage Coordinator, City of Vaughan [22 May 2019, 28 May 2019; response received 3 June 2019]; and,
- Historical and genealogical records at Ancestry.com.

2.0 HISTORICAL RESEARCH

A review of available primary and secondary source material was undertaken to produce a contextual overview of the study area, including a general description of Euro-Canadian settlement and land-use. The following section provides the results of this research.

2.1 Township and Settlement History

2.1.1 Overview of Indigenous Land Use

Southern Ontario has a cultural history that begins approximately 11,000 years ago. The land now encompassed by the former Township of Vaughan has a cultural history which begins approximately 10,000 years ago and continues to the present. Table 1 provides a general summary of the history of Indigenous land use and settlement of the area.¹

¹ While many types of information can inform the precontact settlement of the City of Vaughan, this summary table provides information drawn from archaeological research conducted in southern Ontario over the last century. As such, the terminology used in this review related to standard archaeological terminology for the province rather than relating to specific historical events within the region. The chronological ordering of this summary is made with respect to two temporal referents: BCE – before Common Era and CE – Common Era.

Table 1: Outline of Southern Ontario Prehistory

Period	Archaeological/ Material Culture	Date Range	Lifeways/ Attributes
PALEO-INDIAN PERIOD			
Early	Gainey, Barnes, Crowfield	9000-8500 BCE	Big game hunters
Late	Holcombe, Hi-Lo, lanceolate	8500-7500 BCE	Small nomadic groups
ARCHAIC			
Early	Nettling, Bifurcate-base	7800-6000 BCE	Nomadic hunters and gatherers
Middle	Kirk, Stanley, Brewerton, Laurentian	6000-2000 BCE	Transition to territorial settlements
Late	Lamoka, Genesee, Crawford Knoll, Innes	2500-500 BCE	Polished/ground stone tools (small stemmed)
WOODLAND PERIOD			
Early	Meadowood	800-400 BCE	Introduction of pottery
Middle	Point Peninsula, Saugeen	400 BCE-CE 800	Incipient horticulture
Late	Algonkian, Iroquoian	CE 800-1300	Transition to village life and agriculture
	Algonkian, Iroquoian	CE 1300-1400	Establishment of large palisaded villages
	Algonkian, Iroquoian	CE 1400-1600	Tribal differentiation and warfare
POST-CONTACT PERIOD			
Early	Huron, Neutral, Petun, Odawa, Ojibwa	CE 1600-1650	Tribal displacements
Late	Six Nations Iroquois, Ojibwa	CE 1650-1800's	
	Euro-Canadian	CE 1800-present	European settlement

The land in which the subject property is located was included in the Toronto Purchase, Treaty No. 13, signed on August 2, 1805 by the Mississaugas and the British Crown in Port Credit at the Government Inn. A provisional agreement was reached with the Crown on August 2, 1805, in which the Mississaugas ceded 70,784 acres of land bounded by the Toronto Purchase of 1787 in the east, the Brant Tract in the west, and a northern boundary that ran six miles back from the shoreline of Lake Ontario (Mississaugas of the Credit First Nation 2017).

2.1.2 Vaughan Township

The first township survey was undertaken in 1793, and the first legal settlers occupied their land holdings in 1796. The township was named in honour of Benjamin Vaughan, who was one of the negotiators for the Treaty of Paris which ended the American Revolutionary War in 1783. In 1805, Boulton noted that the soil in Vaughan was “much improved,” and due to its proximity to York “may be expected to form an early and flourishing settlement.” Vaughan was initially settled by Loyalists, the children of Loyalists, disbanded soldiers, and by Americans including the Pennsylvania Dutch, French Huguenots, and Quakers. By the 1840s, the township was noted for its excellent land and “well cleared and highly cultivated farms” (Boulton 1805:89; Smith 1846:199; Reaman 1971:19; Armstrong 1985:148; Rayburn 1997:355)

2.1.3 Villages of Maple and Teston

The subject property is located to the northwest of the historic villages of Teston and Maple in the former Township of Vaughan.

The community of Teston, which extended north of Teston Road to Lot 27 along the east side of Concession 4, was named Thanesville after an English settler by the name of Thane who settled in the area between 1847 and 1852. Thanesville was soon an established community, including two stores, a blacksmith, woodworking shop, a hotel, and a school (Reaman 1971). After Confederation, the village was renamed Teston after an early settler, T. Chapman, who had immigrated to the area from a place called Teston in England (Reaman 1971:121). The community appeared on the 1860 Tremaine's Map of the County of York, following the establishment of a post office within the community (Figure 5). However, as the community was bypassed by main roads and rail routes, the community did not grow beyond a population of about 100 people (Regional Municipality of York 1973).



Figure 5: Post Office in Teston, Ontario, c. 1900
(City of Vaughan Archives 1900)

The village of Maple was first established around the intersection of Major Mackenzie Drive and Keele Street intersection in the early 1800s (City of Vaughan 2019). The first settlers were mainly German Lutherans from Pennsylvania, followed by British immigrants in the mid-1820s. It was first known as Noble's Corner, after the first Postmaster, Joseph Noble, and then later renamed Rupertsville after a highly respected local doctor, Dr. Rupert (City of Vaughan 2019). In 1855, Noble's Corner was renamed Maple after the numerous Maple trees once located along Keele Street, according to local folklore. The first church was established in Maple in the 1830s was St. Andrew's Presbyterian Church (City of Vaughan 2019). Methodist meetings were held as early as 1835 but a church not constructed until 1870. St. Stephen's Anglican Church was established in 1838 (City of Vaughan 2019). The boggy terrain surrounding the road south from the community (now Keele Street) meant that travelers often avoided the route and so the village was overshadowed by the more prosperous settlements of Teston and Sherwood. This changed when the Ontario, Huron and Simcoe Railway arrived. A hotel was built during

the 1850s to accommodate travelers through the area. By the late nineteenth century, Maple boasted a sawmill, rope factory, funeral parlour, hotel, hardware store, pump factory and harness shop. Maple became a Police Village in 1928 after reaching a population of 2000. Soon after the number of businesses decreased but the village remained fairly large, with a population of over 1000 when it became part of the Town of Vaughan in 1971 (Mika and Mika 1981; Rayburn 1997).

2.2 Land Use History: 11110 Jane Street

The following land use history is based on a combination of land registry records, historical mapping, census records, assessment/collector rolls, newspapers, and secondary sources. The subject property at 11110 Jane Street is located within Lot 28, Concession 5 within the community of Maple in the City of Vaughan, Ontario.

The inscription within Lot 28, Concession 5 within the 1798 Patent Plan for Vaughan Township Land is illegible (Figure 6), however land registry abstracts indicate that Lot 28, Concession 5 was purchased by Charles McKinnon in 1829 (Reaman 1971). The 1860 *Tremaine's Map of the County of York* identifies the owners of Lot 28, Concession 5 as James McNair (west half) and the estate of Charles McKinnon (east half) (Figure 7) (Tremaine 1860). Land abstracts indicate that the patent for the east half of Lot 28, Concession 5, totaling 98 acres, was given to Neil McKinnon and Alexander McKinnon in 1872.

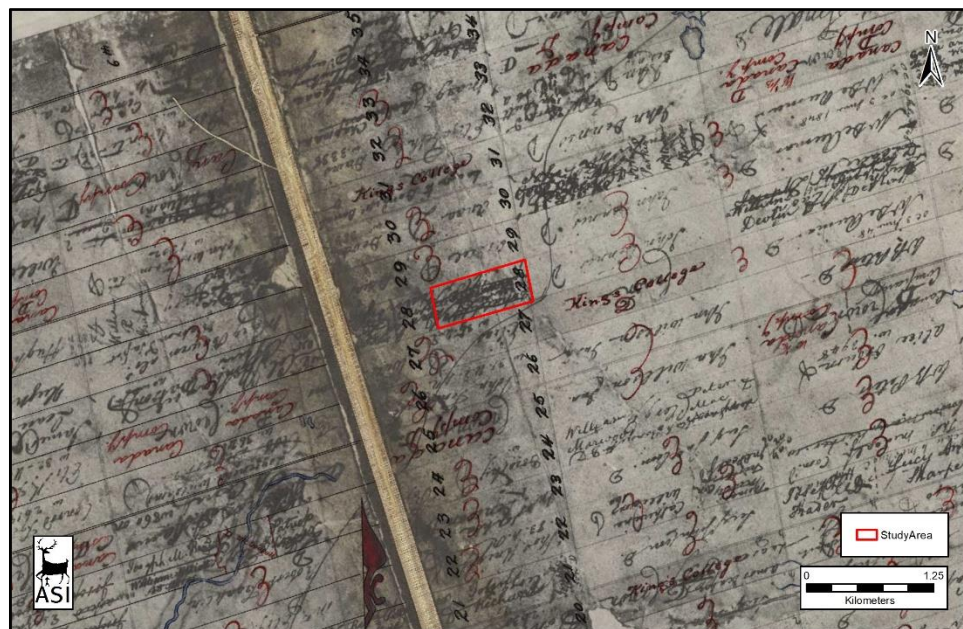


Figure 6: 1798 Patent Plan for Vaughan Township

(Anon 1798)

According to the 1861 Census, Alexander McKinnon was born in 1838 and was a labourer, while he is later identified in the 1871 Census as a carpenter (Ancestry 1861; Ancestry 1871). The 1871 *Nason's East and West Ridings of the County of York or Townships of Etobicoke, Markham, Scarboro', Vaughan & York Directory* identifies Alexander McKinnon as a freeholder and farmer on Lot 28, Concession 5, in Teston

(Nason 1871:59). Neil McKinnon is identified in the 1871 Census as Alexander McKinnon's brother, five years his senior, and is also identified as a farmer (Ancestry 1871). No information relating to the significance of these brothers within the community was identified through ASI's research.

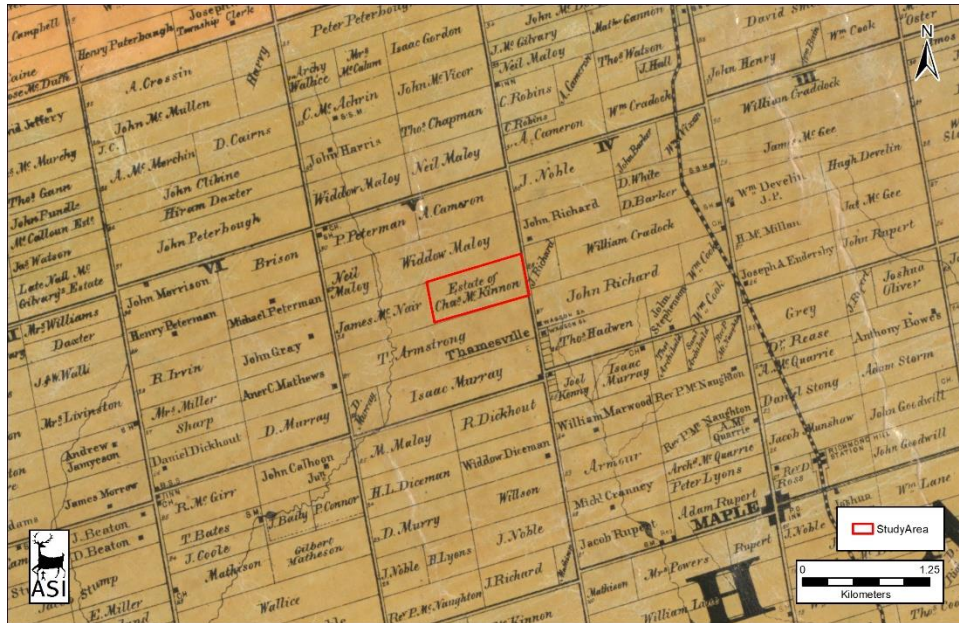


Figure 7: 1860 Tremaine's Map of the County of York

(Tremaine 1860)

Assessment rolls for Vaughan Township prior to 1891 were not available at local or provincial archives to help determine a more specific construction date for the existing building. However, historic mapping indicates that the existing building was constructed prior to 1878 as the structure is first identified in the 1878 *Illustrated Historical Atlas* (Figure 8). Additionally, historic land abstracts indicate that the property was sold in 1869 for \$550 to Alexander McKinnon and then sold by Neil McKinnon to Thomas Armstrong in 1872 for \$4321, suggesting an increase in property value due to the construction of the existing farmhouse. It can be assumed, then, that the existing structure was constructed between 1869 and 1872, during which time the McKinnon family owned the subject property.

The 1870 *County of York Gazetteer and Directory* identifies James Armstrong, Alex McKinnon and Neil McKinnon on Lot 28, Concession 5, while Thomas Armstrong is identified on Lot 27, Concession 5 (McEvoy & Co., Publishers 1870). Thomas Armstrong is identified in the 1871 Census as a farmer from Ireland, with wife Mary and sons James and Betty (Ancestry 1871). The 1878 *Illustrated Historical Atlas* identifies the owner of the east half of Lot 28, Concession 5 as Thomas Armstrong's son, James, and identifies a structure in the same location as the existing residential building, while Thomas Armstrong is shown as the owner of Lot 27 to the south (Miles & Co. 1878) (Figure 8). James Armstrong is identified in a farmer's directory in 1890 as a freeholder in Lot 28, Concession 5 (Reaman 1971).

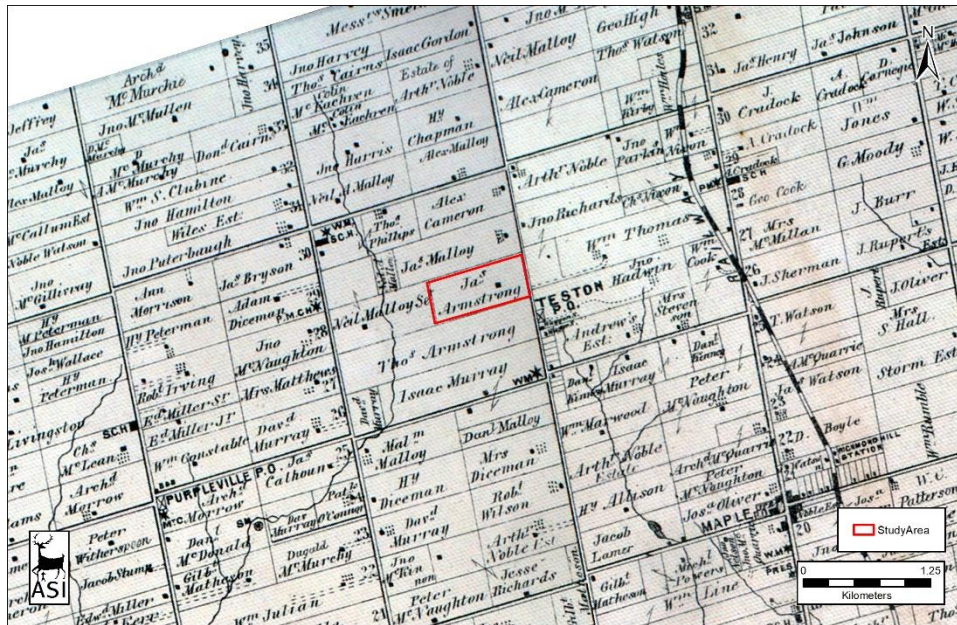


Figure 8: Illustrated Historical Atlas of the County of York and the Township of West Gwillimbury & Town of Bradford in the County of Simcoe, Ont.

(Miles & Co. 1878)

National Topographic maps from 1909 to 1940 show no changes within the subject property. The existing brick structure is identified in the 1909 mapping and is shown in mapping through 1940, with no other structures nor vegetation shown within the property (Figure 9 through Figure 13).

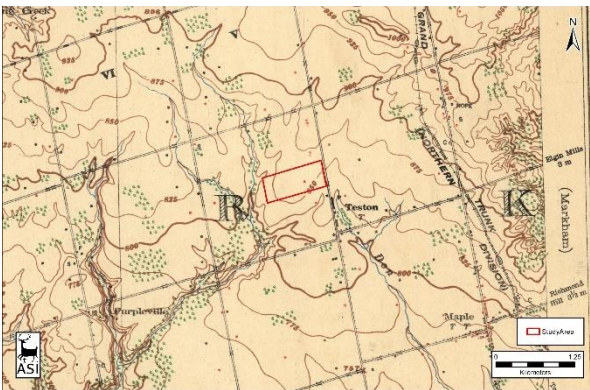


Figure 9: 1909 National Topographic Map
(Department of Militia and Defence 1909)

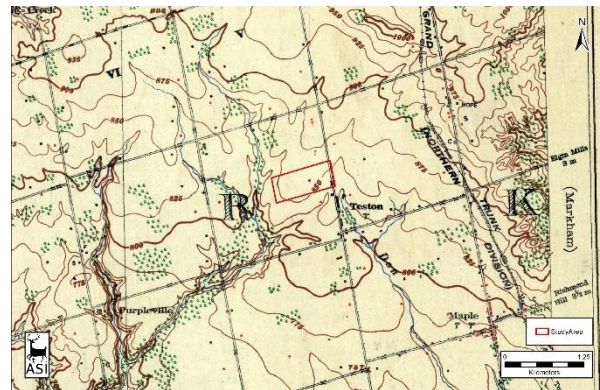


Figure 10: 1914 National Topographic Map
(Department of Militia and Defence 1914)

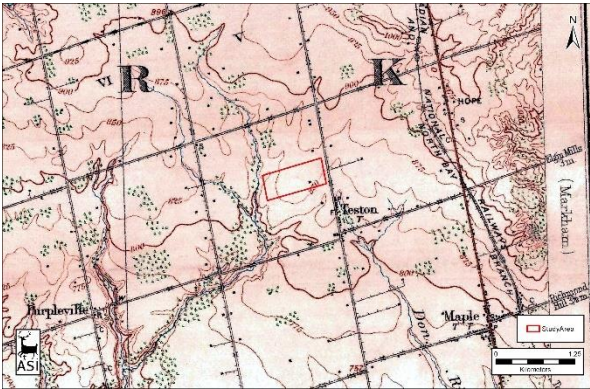


Figure 11: 1926 National Topographic Map
(Department of National Defence 1926)

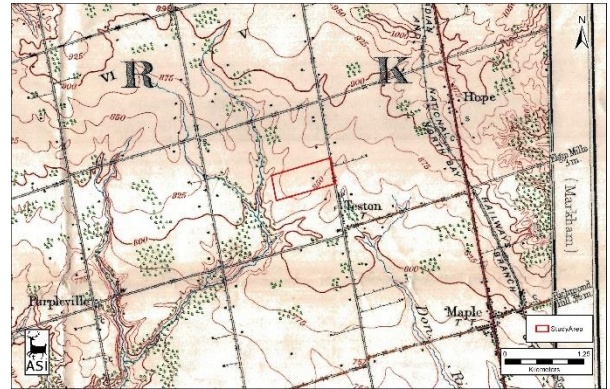


Figure 12: 1934 National Topographic Map
(Department of National Defence 1934)

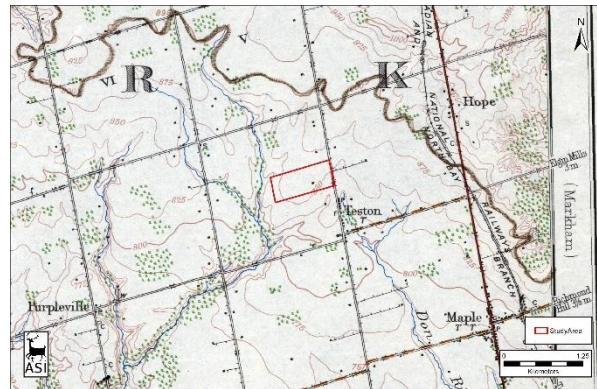


Figure 13: 1940 National Topographic Map
(Department of National Defence 1940)

The property remained in the Armstrong family until 1942 when it was sold to Mervil Hare, who owned the property until 1954 when it was then sold to Percy J. Leatherdale. A corridor through the centre of Lot 28, Concession 5 was expropriated by the Provincial Government in the mid-1940s in anticipation of the construction of Highway 400, all lanes of which were opened between North York and Barrie on June 30, 1952 (Bever 2019).

1954 aerial photography shows Highway 400 extending along the west (rear) property line of the subject property. Trees are shown along the south and north lot lines and through the centre of the fields. The existing residence is shown with some trees between the residence and Jane Street and the existing driveway is somewhat legible, however the existing dense trees and vegetation along the existing driveway are not visible in the 1954 aerial photograph (Figure 14). Trees along the driveway are visible in aerial photography from 1970 (Figure 15).

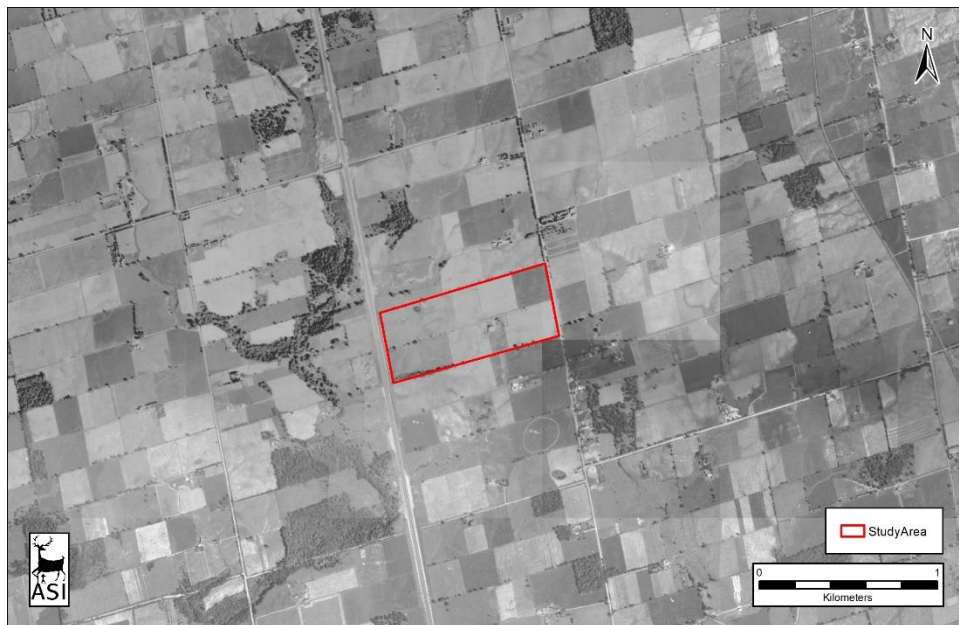


Figure 14: 1954 Aerial Photograph of the Subject Property
(Hunting Survey Corporation Limited 1954)



Figure 15: 1970 Aerial Photograph of the Subject Property
(Region of Peel)

In 1970, the property was purchased by 226603 Investments Ltd and then sold to 121763 Ontario Ltd. in 1996. In 2016, Conmar Developments Inc. and Fenlands Vaughan Inc. purchased the property.

It is unclear how long the subject property has been in its existing condition, however a photograph from the City of Vaughan's *2005 Register of Property of Cultural Heritage Value* appears to show the building generally intact (Figure 16). Aerial photography between 2014 and 2015 appear to show the removal of buildings to the west of the residential building (Figure 17, Figure 18).



Figure 16: Residential building at 11110 Jane Street, n.d.
(City of Vaughan 2005)



Figure 17: 2014 Aerial Photograph of the Subject
Property

(Region of Peel)



Figure 18: 2015 Aerial Photograph of the Subject
Property

(Region of Peel)

3.0 EXISTING CONDITIONS

3.1 Introduction

A field review was conducted by Laura Loney of ASI on 5 June 2019 to survey and document the study area and its environs. As the residence was unoccupied, the existing residential building was evaluated

from the exterior and interior to gain further information on the property's heritage attributes. However, due to the existing condition of the residential building and safety concerns, it was not feasible to document all interiors at the time of ASI's site visit.

3.2 Existing Conditions

3.2.1 11110 Jane Street – Landscape

The subject property is located along the west side of Jane Street, north of Teston Road, in a generally agricultural area. The property is divided into a north half and a south half by the central gravel driveway providing access from Jane Street and extending through two agricultural fields (Figure 19 through Figure 23). Established spruce trees line a portion of the existing gravel driveway along the north side. The existing residential building is surrounded by overgrown vegetation and several mature trees, screening the building from view from Jane Street (Figure 21, Figure 24, Figure 25 through Figure 28). The gravel driveway extends around the south side of the existing residential building and expands into a large gravel parking area (Figure 25, Figure 27 and Figure 28). Agricultural fields are located to the north and south of the central driveway, with naturalized vegetation along the west side of the property between the fields (Figure 26, Figure 29 and Figure 30).



Figure 19: Looking southwest from the east side of Jane Street, showing the subject property to the right (ASI 2019)



Figure 20: Looking northwest from the west side of Jane Street, showing the subject property to the left (ASI 2019)



Figure 21: Looking west along the gravel driveway into the subject property, showing agricultural fields on either side

(ASI 2019)



Figure 22: Looking west within the agricultural fields at the north end of the subject property, showing the treeline along the north lot line

(ASI 2019)



Figure 23: Looking west from Jane Street beyond the south lot line, showing agricultural fields and treeline

(ASI 2019)



Figure 24: Looking northwest from within the south field, showing the row of established spruce trees on the right and beyond the driveway

(ASI 2019)



Figure 25: Looking northeast from the gravel driveway along the south of the existing residential building
(ASI 2019)



Figure 26: Looking east from the gravel driveway along the south of the existing residential building
(ASI 2019)



Figure 27: Looking east from within the gravel driveway
(ASI 2019)



Figure 28: Looking northeast towards the existing residential building, showing dense trees and vegetation
(ASI 2019)



Figure 29: Looking east towards the existing building from the west side of the subject property
(ASI 2019)



Figure 30: Looking west towards the rear property line from within the gravel driveway
(ASI 2019)

3.2.2 11110 Jane Street – Exterior

The existing residential building at 11110 Jane Street is a two-storey, L-shaped, common-bond red-brick residential building with a rear (west) wing, cross-gable shingle-clad roof, and stone foundation that is parged in some areas. The existing building and property have been vacant for several years. The building is in significantly deteriorated condition, and in many areas is open to the elements and unsecured. The building is also surrounded by overgrown vegetation (Figure 31).



Figure 31: Existing residential building at 11110 Jane Street, looking southwest towards the front elevation

(ASI 2019)

The front elevation of the existing structure is dominated by a gable-roofed projecting bay with asphalt shingles beneath the gable. At the first and second storeys of the projecting bay are three symmetrically placed windows at both storeys, with brick voissours above segmentally arched window openings at the first storey, and flat-headed window openings at the upper storeys (Figure 32). Multi-pane windows are extant within the window openings within the projecting bay, however many window panes are broken, and the central window in the second storey of the bay is no longer intact (Figure 32, Figure 33, and Figure 36). Window sills are no longer extant on one first-floor windows within the first storey of the bay while two are missing from the upper storey (Figure 35). A segmentally arched window opening is also located at basement level within the stone foundation (Figure 34), and a brick chimney is located above the projecting bay (Figure 36). A wooden platform extends along the south elevation and extends beyond the front elevation (Figure 37).



Figure 32: East elevation of existing building
(ASI 2019)



Figure 33: East elevation detail showing window openings and broken windows at the second storey
(ASI 2019)



Figure 34: East elevation detail showing segmentally arched basement window openings and parged foundation
(ASI 2019)



Figure 35: East elevation detail showing missing sill and deteriorated window
(ASI 2019)



Figure 36: Southeast corner detail showing the brick chimney and upper-storey window openings
(ASI 2019)



Figure 37: Southeast corner detail showing the wooden platform at grade
(ASI 2019)

A covered porch that is supported by three columns is located to the north of the projecting bay beneath the projecting eaves on the front (east) elevation (Figure 38). However, access to the interior through the front porch was not feasible due to significant disrepair (Figure 39). The front entrance and a flat-headed window opening are located beneath the porch (Figure 38, Figure 40). Two small segmentally arched window openings are located adjacent to the porch on the front elevation, and above at the second storey is a small hip-roofed dormer clad in shingles (Figure 38, Figure 41).



Figure 38: East elevation detail showing the first-storey porch and window openings
(ASI 2019)



Figure 39: East elevation detail showing the enclosed space within the first-storey porch
(ASI 2019)



Figure 40: East elevation detail showing the window opening beneath the porch roof and open rafters above

(ASI 2019)



Figure 41: East elevation detail showing the deteriorated porch roof and dormer above the porch

(ASI 2019)

At the north (side) elevation of the north wing of the house, beneath the steeply pitched gable roof with eave returns, are two segmentally arched window openings at the first and second storeys. The first storey window contains a multi-pane window with a painted wooden sill, while the windowsill beneath the second storey window is no longer extant. An exhaust pipe extends from the first storey upwards and a segmentally arched window opening is located within the rubblestone foundation at the basement level. A segmentally arched window opening is located on the rear (west) elevation of this section (Figure 42, Figure 43).



Figure 42: North elevation of the existing building
(ASI 2019)



Figure 43: North elevation detail, showing the first-storey window opening

(ASI 2019)

The west elevation of the north wing contains a single window opening at the first storey (Figure 44). The north elevation of the rear (west) wing contains two window openings at the first storey and a four-over-two dormer window at the second storey. A significant portion of the existing brick on this elevation is no longer extant, exposing the lath within the interior of the house. The rear wing appears to abut the east portion of the house as the brick does not appear to tie in to the original structure, suggesting it was constructed at some point after the original L-shaped residential building (Figure 44 through Figure 47).



Figure 44: Partial north elevation of the existing building

(ASI 2019)



Figure 45: Partial north elevation of the existing building

(ASI 2019)



Figure 46: North elevation detail showing deteriorated exterior wall and first-floor window opening
(ASI 2019)



Figure 47: North elevation detail showing deteriorated and missing exterior wall, dormer window and first-floor window opening
(ASI 2019)

A one-storey, gable-roofed wooden addition is located at the west (rear elevation). A segmentally arched window opening is located beneath the gable above the rear addition (Figure 48 through Figure 50).



Figure 48: North elevation of the rear addition
(ASI 2019)



Figure 49: Northwest corner of the rear addition and
west elevation of the existing building
(ASI 2019)



Figure 50: South elevation of the rear addition
(ASI 2019)

The east portion of the south elevation contains three segmentally arched window openings beneath the gable with returning eaves. The west portion of the south elevation is recessed and includes a wooden shed-roofed porch with asphalt shingles, supported by bracketed columns. However, like the front porch, it is inaccessible due to deteriorated condition. An entry door and flat-headed window openings are located beneath the existing porch, while a flat-headed dormer window is centered above the porch at the second storey (Figure 51, Figure 52).



Figure 51: South elevation of the west wing
(ASI 2019)



Figure 52: East portion of the south elevation
(ASI 2019)

3.2.2 11110 Jane Street - Interior

The interior of the existing residential building is in significant disrepair throughout, and as a result a full review and documentation was not feasible. The building appears to have been open to the elements through openings in the existing roof and walls, and through broken and missing windows throughout (Figure 53 through Figure 69).

Basement

The basement of the existing building was only partially accessible due to its deteriorated condition and accumulated debris, however the stone foundation was visible at the bottom of the existing stairs along the south elevation (Figure 53).



Figure 53: South elevation wall within the existing basement

(ASI 2019)

First Floor

The first floor of the existing building includes two large main rooms at the front (east) end of the building, a small bathroom along the south elevation, and a kitchen within the rear (west) wing of the building, connecting into the one-storey wooden addition on the west elevation. Access to the one-storey addition from the interior of the existing building was not feasible. Finishings throughout the first floor are significantly deteriorated, including windows, ceilings, walls, and flooring. Many original door and window trim were extant throughout the first floor (Figure 54 through Figure 61).



Figure 54: Looking west beyond the existing kitchen at the west end of the existing building
(ASI 2019)



Figure 55: Looking south within the kitchen at the west end of the building, showing the existing window
(ASI 2019)



Figure 56: Looking northeast within the open space at the east end of the first floor towards the entrance
(ASI 2019)



Figure 57: Looking east towards the front bay windows within the first storey
(ASI 2019)



Figure 58: Looking west within the first floor of the existing building

(ASI 2019)



Figure 59: Looking south within the first floor of the existing building towards the south elevation

(ASI 2019)



Figure 60: Looking north within the first floor of the existing building towards the north elevation

(ASI 2019)



Figure 61: Deteriorated first-floor ceiling within the east end of the existing building

(ASI 2019)

Second Floor

The second floor of the building contains several smaller bedrooms. The bedroom within the second floor of the rear (west) wing was not accessible due to safety concerns. Similar to the first floor, windows, ceilings, walls, and flooring are deteriorated throughout with several areas open to the exterior (Figure 62 through Figure 69).



Figure 62: Looking east into the bathroom along the east elevation

(ASI 2019)



Figure 63: Looking north into the northwest bedroom on the second floor

(ASI 2019)



Figure 64: Looking north into the northeast bedroom at the second floor

(ASI 2019)



Figure 65: Sloped ceiling within the south bedroom at the second floor

(ASI 2019)



Figure 66: Ceiling within the east bedroom on the second floor

(ASI 2019)



Figure 67: Bay windows within the east bedroom on the second floor

(ASI 2019)



Figure 68: Looking north into a closet on the second floor, showing an opening above the existing porch

(ASI 2019)



Figure 69: Looking east into the second-floor hallway

(ASI 2019)

The rear (west) elevation of the existing building is visible from the interior of the rear wooden addition and includes two door openings with wooden doors. A raised wooden platform is extant within the addition, which is missing significant portions of the existing roof (Figure 70, Figure 71).



Figure 70: Interior of the rear wooden addition, looking east towards the existing residential building (ASI 2019)



Figure 71: Existing roof of the rear wooden addition (ASI 2019)

3.2.3 10980 Jane Street and 11273 Jane Street

The subject property is adjacent to two properties that are also identified on the City of Vaughan's *Register of Property of Cultural Heritage Value*, including 10980 Jane Street and 11273 Jane Street.

10980 Jane Street is located to the south of the subject property (Figure 72 and Figure 73). From the public right-of-way, a residential structure is partially visible, however established trees located along Jane Street shield any existing buildings from view. A row of established spruce trees is located along the driveway along the north lot line of the property, while agricultural fields are located within the south half of the property.



Figure 72: Looking west into the adjacent listed heritage property at 10980 Jane Street (ASI 2019)



Figure 73: Looking west into the adjacent listed heritage property at 10980 Jane Street (ASI 2019)

11273 Jane Street is located directly across and to the northeast of the subject property along the opposite (east) side of Jane Street (Figure 74 and Figure 75). Like 10980 Jane Street, no existing structures are visible from the right-of-way, and the property is made up of agricultural fields with a driveway accessed from Jane Street, partially lined with established spruce trees along the north side.



Figure 74: Looking east into the adjacent listed heritage property at 11273 Jane Street

(ASI 2019))



Figure 75: Looking east into the adjacent listed heritage property at 11273 Jane Street

(ASI 2019)

4.0 CULTURAL HERITAGE VALUE

4.1 Existing Cultural Heritage Value – 11110 Jane Street

The property at 11110 Jane Street is listed on the City of Vaughan's *Register of Property of Cultural Heritage Value*, which identifies the existing building as Edwardian. Edwardian architecture in Ontario was predominant between 1890-1916. However, an evaluation of the building through background research has determined that the building was likely constructed between 1869 and 1872 and can be classified as Victorian architecture. Additionally, the existing residential building retains characteristics more typically associated with Victorian residential architecture, including an L-shaped plan, two-storey projecting bay, segmentally arched window openings, and wooden porch with decorative bracketed columns.

4.2 Ontario Regulation 9/06 Evaluation

Table 2: Evaluation of the property at 11110 Jane Street under Ontario Regulation 9/06 Criteria

1. The property has design value or physical value because it:		
<i>Ontario Heritage Act</i> Criteria	Yes/No	Analysis
i. is a rare, unique, representative or early example of a style, type,	Yes	The property at 11110 Jane Street meets this criterion, despite its significantly deteriorated condition. Constructed between 1869 and 1872, the two-storey, red-brick building is an early example of a late nineteenth-century Victorian farmhouse in

expression, material or construction method;		the former Township of Vaughan, including elements such as the original L-shaped plan, brick construction, stone foundation, and two-storey projecting bay on the front elevation. The City of Vaughan's Heritage Register identifies 45 properties that are characterized as Victorian, and only two of those properties are identified as constructed before 1872. Additionally, the agricultural fields within the property and location of the existing farmhouse at the terminus of a long driveway along the west side of Jane Street are representative of a typical nineteenth-century agricultural landscape.
ii. displays a high degree of craftsmanship or artistic merit, or;	No	The property at 11110 Jane Street does not meet this criterion.
iii. demonstrates a high degree of technical or scientific achievement.	No	The property at 11110 Jane Street does not meet this criterion.

2. The property has historical value or associative value because it:

<i>Ontario Heritage Act Criteria</i>	<i>Yes/No</i>	<i>Analysis</i>
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The existing residential building and landscape are part of the agricultural history of the area within the former township of Vaughan. However, archival research has not uncovered information that substantially associates the McKinnon or Armstrong families with a theme, event, belief, activity, organization or institution that is significant to the community. Therefore, the property at 11110 Jane Street is not known to meet this criterion.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or;	No	The property at 11110 Jane Street is not known to meet this criterion. There is no indication that the property yields or has the potential to yield information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No	The property at 11110 Jane Street is not known to meet this criterion.

3. The property has contextual value because it:

<i>Ontario Heritage Act</i> Criteria	Yes/No	Analysis
i. is important in defining, maintaining or supporting the character of an area;	No	Though the existing property is a former agricultural landscape with extant fields within a generally agricultural area, the existing residential building is not visible from the public right-of-way. Therefore, the property at 11110 Jane Street is not known to meet this criterion.
ii. is physically, functionally, visually or historically linked to its surroundings, or;	Yes	The subject property is a remnant agricultural landscape including late nineteenth-century residential building within the former Township of Vaughan and is physically and historically linked to its surroundings within the City of Vaughan with agricultural properties to the east, north, and south of the subject property.
iii. is a landmark.	No	The property at 11110 Jane Street is not known to meet this criterion. The existing residential building is not visible from the public right-of-way.

The existing condition of the residential building at 11110 Jane Street is important to consider as part of its evaluation for cultural heritage value. The *Ontario Heritage Toolkit* (OHT) provides the following guidance relating to the integrity of heritage properties as part of the *Heritage Property Evaluation* guide:

A cultural heritage property does not need to be in original condition. Few survive without alterations on the long journey between their date of origin and today. Integrity is a question of whether the surviving physical features (heritage attributes) continue to represent or support the cultural heritage value or interest of the property (Ministry of Tourism, Culture and Sport 2006b:26).

The OHT also provides guidance relating to physical condition:

The ability of the structure to exist for the long term, and determining at what point repair and reconstruction erode the integrity of the heritage attributes, must be weighed against the cultural heritage value or interest held by the property (Ministry of Tourism, Culture and Sport 2006b:28).

While the existing residential building does retain some cultural heritage value due to several surviving physical features, the findings of the structural assessment prepared by Zaretsky Consulting Engineers Inc., dated 23 May 2019 (Appendix C) indicate that the structure is beyond repair. As such, while a proposed Statement of Significance is included for the subject property in Section 4.3 of this report due to the extant cultural heritage value within the property, designation of this property under Part IV of the *Ontario Heritage Act* is not recommended due to its physical condition.

4.3 Proposed Statement of Significance

The property at 11110 Jane Street is located on the west side of Jane Street in the community of Maple, City of Vaughan. The property contains a two-storey, L-shaped red brick late nineteenth-century Victorian farmhouse with rear wing and a tree-lined driveway, surrounded by agricultural fields.

The property at 11110 Jane Street has physical value as a remnant agricultural property within the City of Vaughan, and design value as an early example of a late nineteenth-century Victorian farmhouse in the former Township of Vaughan. Although significantly deteriorated, the existing L-shaped structure with rear wing retains architectural features such as a cross-gable roof, red brick in common bond, two-storey projecting bay with gable roof, segmentally arched and flat-headed window openings, brick chimney and wooden porch with bracketed wooden columns at the front elevation. The extant farmhouse surrounded by agricultural fields at the terminus of a long driveway along the west side of Jane Street is representative of a typical nineteenth-century agricultural landscape within the City of Vaughan and demonstrates a historical, and maintained, association with the public right-of-way.

The property at 11110 Jane Street has contextual value due to its physical and historical relationship to its surroundings as a remnant agricultural landscape within a primarily agricultural area north of Teston Road in the City of Vaughan and is bordered by existing agricultural properties to the north, south, and east.

Heritage Attributes:

- The setback, placement, and orientation of the existing two-storey, L-shaped, red brick Victorian farmhouse with two-storey rear wing on the west side of Jane Street
- The scale, form, and massing of the existing farmhouse
- The materials, including brick construction and stone foundation
- The main cross-gable roof with a brick chimney above the east elevation and returning eaves on the north and south elevations
- The one-storey porch on the east elevation with bracketed wooden columns and side entrance
- Flat-headed and segmentally arched window openings with extant wooden sills on all four elevations
- The two-storey projecting bay with gable roof on the east elevation

5.0 PROPOSED DEVELOPMENT

5.1 Description of Proposed Development

The proposed development involves the demolition of the existing residential building within the subject property and the construction of an approximately 51,000 square metre warehouse and distribution centre with a parking lot (Appendix B).

5.2 Impact Assessment – 11100 Jane Street

To assess the potential impacts of the undertaking, the cultural heritage resource and identified cultural heritage attributes were considered against a range of possible impacts as outlined in the *Ontario Heritage Toolkit*, which include:

- Destruction of any, or part of any, significant heritage attributes or features
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources.

Table 3: Impact Assessment – 11110 Jane Street	
Impact	
Destruction, removal or relocation	The proposed development at 11110 Jane Street will remove all identified attributes through the demolition of the existing farmhouse. Although the existing landscape features have not been identified as cultural heritage attributes, it is worth noting that the entire subject property will be re-landscaped through the proposed development.
Alteration	The proposed development at 11110 Jane Street will remove all identified attributes through the demolition of the existing farmhouse and re-landscaping of the subject property.
Shadows	It is not anticipated that the proposed development at 11110 Jane Street will result in significant shadow impacts as all attributes are proposed to be removed through demolition.
Isolation	The proposed development at 11110 Jane Street will remove all identified attributes through the demolition of the existing farmhouse and re-landscaping of the subject property, and as such no attributes will be isolated.
Direct or indirect obstruction of significant views	No significant views to, from, or within the subject property have been identified.
A change in land use	The proposed development at 11110 Jane Street will result in a change of land use from agricultural and residential to commercial.

Table 3: Impact Assessment – 11110 Jane Street	
Impact	
Soil disturbance	The proposed development will result in soil disturbances throughout the subject property as the existing residential building will be demolished, a new warehouse structure will be constructed, and a paved parking lot is to be introduced.

Section 6.2.4.4 of the City of Vaughan's *Official Plan* provides the following direction related to the demolition of cultural heritage resources:

6.2.4.4. That, in the event a cultural heritage resource is to be demolished and this has been demonstrated to the City's satisfaction, the Cultural heritage impact assessment must recommend, to the City's satisfaction, mitigation measures (such as the reuse of materials or building elements in the development or in other developments) and archival documentation, as may be defined in the Vaughan Heritage Conservation Guidelines.

A report prepared by Zaretsky Consulting Engineers Inc., dated 23 May 2019 (Appendix C), outlines the findings of a visual assessment of the existing structure at 11110 Jane Street. The report finds that the existing structure has been neglected since its previous occupancy and as such is badly deteriorated. Several structural elements of the existing building are identified as significantly compromised, and the report concludes that the house is beyond repair and should be demolished. As such, Section 6.0 of this report identifies potential alternatives, mitigation, and recommendations relating to the subject property as part of the proposed development.

5.3 Impact Assessment – 10980 and 11273 Jane Street

The City of Vaughan's *Official Plan* identifies the following policy related to development adjacent to properties that are listed on the *Register of Properties of Cultural Heritage Value*:

6.2.3.2. That when development is proposed on a property adjacent to a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as Cultural heritage character area, or identified as having potential cultural heritage value:

- a. the proposal is compatible with the conservation of the adjacent cultural heritage resource and its streetscape context; and
- b. the applicant shall submit a Cultural heritage impact assessment if through the development approval process it is determined that there is the potential for adverse impact on the adjacent heritage resource from the proposed development.

The proposed development will introduce a new warehouse building and parking lot to the subject property, which will alter the existing agricultural context to the north of the property at 10980 Jane Street and to the west of the property at 11273 Jane Street. The impact of this change should be mitigated with the introduction of soft landscaping along the south and east lot lines of the subject

property to provide a visual landscape buffer and better integrate the proposed development into the existing agricultural context.

6.0 ALTERNATIVES, MITIGATION AND RECOMMENDATIONS

The following section identifies alternatives to the proposed development, along with proposed measures for mitigation and recommendations as part of the approval of the proposed development.

6.1 Alternatives

There are a vast range of alternatives that could be put forward as part of the future of the subject property. Three options are put forward as part of this exercise:

1. A “Do Nothing” approach
 - A “Do Nothing” approach retains the existing property and residential building unchanged with all buildings, circulation, and landscape features retained. Without intervention, the existing residential building and vegetation on the property would continue to be unmaintained, with additional elements contributing to the cultural heritage value of the property lost over time. No historical commemoration would occur.
2. Redevelopment of the entire property without heritage considerations
 - The full redevelopment of the property without heritage considerations would result in the demolition of all features contributing to the cultural heritage value of the property without any historical commemoration of the site.
3. Development of the property with mitigation measures
 - As currently proposed, the development proposes to remove all existing heritage attributes within the subject property. The existing building and landscape have been documented through photographs through this Cultural Heritage Impact Assessment, which provides recommendations for the historical commemoration of the property within Section 6.2.1 and 7.1.

6.2 Mitigation

6.2.1 Historical Commemoration

The evaluation of the subject property against Ontario Regulation 9/06 criteria has determined that the property retains cultural heritage value, including physical/design value and contextual value. However, the existing condition of the residential building within the site, which is not visible from the public right-of-way, is significantly deteriorated. The report prepared by Zaretsky Consulting Engineers Inc., dated 23 May 2019, finds that the existing building is beyond repair and should be demolished. The City of Vaughan’s *Guidelines for Cultural Heritage Impact Assessments* (2017) provides the following direction relating to the demolition of structures that have been found to retain cultural heritage value:

Historical Commemoration

While this option does not conserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered. This option may be accompanied by the recording of the structure through photographs and measured drawings (City of Vaughan 2016).

While the subject property has been determined to retain some cultural heritage value, given that the existing building within the subject property is not visible from the street, it is unlikely that the provision of interpretive plaques, reproduced architectural features, or monuments would provide significant added value in the public interest. Additionally, as the condition of the existing building is significantly deteriorated, salvage of existing materials from the farmhouse is not likely feasible. It is recommended that a suitable form of historical commemoration for the subject property would include the naming of the new municipal street identified in the proposed site plan along the north lot line (Appendix B) after the McKinnon family who owned the subject property during which time the existing farmhouse was likely constructed.

7.0 CONCLUSION

The property at 11110 Jane Street is listed on the City of Vaughan's *Register of Properties of Cultural Heritage Value*. As part of this report, an evaluation of the cultural heritage value of the property was conducted using the criteria outlined in Ontario Regulation 9/06. It was determined that the existing property retains some cultural heritage value. However, the existing residential building within the subject property is in significantly deteriorated condition, and a structural assessment conducted by Zaretsky Consulting Engineers Inc., dated 23 May 2019, finds that the building is beyond repair and should be demolished.

While the demolition of a structure found to retain cultural heritage value is not typically a desirable outcome, the naming of proposed municipal streets within or adjacent to the subject property after historical owners will provide for the public interest through historical commemoration while allowing the re-development of the subject property with its proposed new use.

7.1 Recommendations

The following recommendations follow from an assessment of the proposed development's impacts on identified heritage attributes. These recommendations include:

1. This report should be submitted to Heritage Staff at the City of Vaughan for review, and upon approval, filed and archived with the Vaughan Public Library and the City of Vaughan Archives;

2. The proposed development plan should include soft landscaping along the south and east lot lines to ensure a continuation of a visual buffer between the proposed warehouse building and adjacent listed heritage property at 10980 Jane Street and to improve the relationship of the proposed development with the existing streetscape along Jane Street; and,
3. The proposed new municipal street within the subject property should be named after its historical property owners.

8.0 REFERENCES

Ancestry

1861 Census Rolls, Vaughan Township. ancestry.ca.

1871 Census Rolls, Vaughan Township, Roll: C-9967. https://search.ancestry.ca/cgi-bin/sse.dll?indiv=1&dbid=1578&h=3023758&usePUB=true&_phsrc=Puz2&_phstart=successSource&requr=11540474061946880&ur=0&lang=en-CA.

Armstrong, F. H.

1985 *Handbook of Upper Canadian Chronology*. Dundurn Press, Toronto.

Bevers, Cameron

2019 History of King's Highway 400. *The King's Highway 400*.
<http://www.thekingshighway.ca/Highway400.htm>.

Boulton, D.

1805 *Sketch of His Majesty's Province of Upper Canada*. Reprinted in Toronto by the Baxter Publishing Company, 1961. C. Rickaby, London.

City of Vaughan

2005 *Register of Property of Cultural Heritage Value*. Vaughan, Ontario, October.
https://www.vaughan.ca/services/business/heritage_preservation/General%20Documents/Register%20of%20Property%20of%20Cultural%20Heritage%20Value.pdf.

2016 Guidelines for Cultural Heritage Impact Assessments. February.
https://www.vaughan.ca/services/business/heritage_preservation/Documents/CHIA_2016%20update.pdf.

2017 Vaughan Official Plan.
https://www.vaughan.ca/projects/policy_planning_projects/General%20Documents/Official%20Plan%20Vol%201/VOP%202010%20Modifications%20May%202019%20updates/VOP%20Volume%201%20March%2018%202019.pdf.

2019 History of Maple. *City of Vaughan*.
https://www.vaughan.ca/services/vaughan_archives/historyofvaughan/Pages/History-of-Maple.aspx.

City of Vaughan Archives

1900 Post Office in Teston, Ontario c. 1900. Archaeion. <https://www.archeion.ca/post-office->

in-teston-ontario-1.

Department of Militia and Defence

1909 Bolton Sheet. National Topographic System.

1914 Bolton Sheet. National Topographic System.

Department of National Defence

1926 Bolton Sheet.

1934 Bolton Sheet. National Topographic System.

1940 Bolton Sheet. National Topographic System.

Hunting Survey Corporation Limited

1954 Digital Aerial Photographs. Southern Ontario 1954. University of Toronto Map & Data Library. maps.library.utoronto.ca/data/on/AP_1954/index.html.

McEvoy & Co., Publishers

1870 County of York Gazetteer and Directory.
<https://static.torontopubliclibrary.ca/da/pdfs/37131055373351d.pdf>.

Miles & Co.

1878 Illustrated Historical Atlas of the County of York and the Township of West Gwillimbury & Town of Bradford in the County of Simcoe Ontario. Miles & Co., Toronto.

Ministry of Culture

1990 Ontario Heritage Act, R.S.O. 1990, c. O.18 [as Amended in 2017]. Province of Ontario.

Ministry of Municipal Affairs and Housing

2014 *Provincial Policy Statement, 2014*. Ministry of Municipal Affairs and Housing, Toronto, Ontario.

2016 *Growth Plan for the Greater Golden Horseshoe*.

Ministry of Tourism, Culture and Sport

2006a Ontario Heritage Tool Kit. *Ontario Heritage Tool Kit*.
http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml.

2006b Ontario Heritage Toolkit: Heritage Property Evaluation.

http://www.mtc.gov.on.ca/en/publications/Heritage_Tool_Kit_HPE_Eng.pdf.

Mississaugas of the Credit First Nation

2017 The Toronto Purchase Treaty No. 13 (1805). *Mississaugas of the Credit First Nation*.
<http://mncfn.ca/torontopurchase/>.

MMAH, (Ministry of Municipal Affairs and Housing)

1990 Planning Act, R.O.O {as Amended in 2017}. Province of Ontario.

Nason, J.R.

1871 *Nason's East and West Ridings of the County of York, or, Townships of Etobicoke, Markham, Scarboro, Vaughan and York Directory*. Dudley & Burns, Toronto.

Ontario Heritage Trust

n.d. Provincial Plaque Program. *Ontario Heritage Trust*.
<https://www.heritagetrust.on.ca/en/pages/programs/provincial-plaque-program>.

Parks Canada

2010 Standards and Guidelines for the Conservation of Historic Places in Canada. Canada's Historic Places. <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>.

2017 National Historic Sites. *Parks Canada*. <https://www.pc.gc.ca/en/lhn-nhs/recherche-search>.

Canadian Register of Historic Places. <https://www.historicplaces.ca/en/home-accueil.aspx>.

Rayburn, A.

1997 *Place Names of Ontario*. University of Toronto Press, Toronto.

Reaman, G.E.

1971 *A History of Vaughan Township: Two Centuries of Life in the Township*. University of Toronto Press, Toronto, Ontario.

Regional Municipality of York

1973 *A Summary of the Historical Development of York Region*. York Region.

Smith, W.H.

1846 *Smith's Canadian Gazetteer, Comprising Statistical and General Information Respecting All Parts of the Upper Province, or Canada West*. H. & W. Rowsell, Toronto.

Tremaine, G.C.

1860 Tremaine's Map of the County of York, Canada West. George C. Tremaine, Toronto.

1798 Patent Plan for Vaughan Township.

APPENDIX A: CITY OF VAUGHAN'S *GUIDELINES FOR CULTURAL HERITAGE IMPACT ASSESSMENTS*



GUIDELINES FOR CULTURAL HERITAGE IMPACT ASSESSMENTS

Purpose

A Cultural Heritage Impact Assessment (CHIA) is a study to identify and evaluate built heritage resources and cultural landscapes in a given area (i.e. subject property) and to assess the impacts that may result from a proposed development or alteration on the cultural heritage value of a property. The Cultural Heritage Impact Assessment assists staff in the evaluation of development and heritage permit applications, including the determination of compliance with cultural heritage policies. A CHIA should:

1. Assess and describe the significance of a heritage resource and its heritage attributes. If the building or landscape is not considered significant, a rationale is outlined in the report by the qualified heritage specialist.
2. Identify the impacts of the proposed development or alteration on the heritage resource.
3. Recommended a conservation approach to best conserve the heritage resource and to avoid or mitigate negative impacts to the heritage resource within the context of the proposed development. This will be further developed through a Conservation Plan.



Provincial and Municipal Heritage Policies

Planning Act

2. (d) *the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;*

Ontario Heritage Act

An application to alter or demolish a heritage resource shall be accompanied by the required plans as per Section 27 (5), Section 33 (2), Section 34 (1.1), and Section 42 (2.2)

Provincial Policy Statement 2014

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

The Vaughan Official Plan 2010 (VOP2010)

Chapter 6, Volume 1 of VOP2010 requires that a Cultural Heritage Impact Assessment be provided when there is potential for new development to affect a heritage resource.

Section 6.2.2.5

To require that, for an alteration, addition, demolition or removal of a designated heritage property, the applicant shall submit a Cultural Heritage Impact Assessment, as set out in this Plan and in the Vaughan Heritage Conservation Guidelines when:

- a. *the proposed alteration or addition requires:*
 - i. *an Official Plan amendment;*
 - ii. *a Zoning By-law Amendment;*
 - iii. *a Block Plan approval;*
 - iv. *a Plan of Subdivision;*
 - v. *a minor variance;*
 - vi. *a Site Plan application; or*
- b. *the proposed demolition involves the demolition of a building in whole or part or the removal of a building or designated landscape feature.*

Section 6.2.3.1

That when development is proposed on a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as a Cultural heritage character area or identified as having potential cultural heritage value, the applicant shall submit a Cultural heritage impact assessment when:

- a. *the proposal requires an Official Plan amendment, a zoning by-law amendment, a plan of subdivision, a plan of condominium, a minor variance or a site plan application;*
- b. *the proposal involves the demolition of a building or the removal of a building or part thereof or a heritage landscape feature; or*
- c. *there is potential for adverse impact to a cultural heritage resource from the proposed*

Section 6.2.3.2

That when development is proposed on a property adjacent to a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as Cultural heritage character area, or identified as having potential cultural heritage value:

- b. the applicant shall submit a Cultural heritage impact assessment if through the development approval process it is determined that there is the potential for adverse impact on the adjacent heritage resource from the proposed development.*

Section 6.2.4

Cultural heritage impact assessments may be required for many development activities on or adjacent to heritage resources.

Strategy for the Maintenance & Preservation of Significant Heritage Buildings

Approved by Council on June 27, 2005, Section 1.4 of the “Strategy” has the following provision as it relates to Cultural Heritage Impact Assessment requirements:

Policy provisions requiring Cultural Heritage Resource Impact Assessment reports by heritage property owners shall be included in the City’s Official Plan and Official Plan Amendments. Cultural Heritage Resource Impact Assessment (CHRIA) reports will provide an assessment of the heritage site or property and the impact the proposed development will have on the heritage structure. CHRIA reports will also include preservation and mitigation measures for the heritage property.

A Cultural Heritage Impact Assessment should not be confused with an Archaeological Resource Assessment. A Cultural Heritage Impact Assessment will identify, evaluate and make recommendations on **built heritage resources and cultural landscapes**. An Archaeological Resource Assessment identifies, evaluates and makes recommendations on **archaeological resources**.

Good Heritage Conservation Practice

The Cultural Heritage Impact Assessment shall be conducted and based on good heritage conservation practice as per international, federal, provincial, and municipal statutes and guidelines. This includes (but is not limited to):

- Venice Charter 1964
- Appleton Charter 1983
- Burra Charter 1999
- ICOMOS Charter 2003
- Park Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada 2010
- Ministry of Tourism, Culture and Sport’s Ontario Heritage Toolkit - Heritage Property Evaluation section
- Ministry of Tourism, Culture and Sport’s Eight Guiding Principles in the Conservation of Built Heritage Properties 2007
- Applicable Heritage Conservation District Guidelines

Requirements of a Cultural Heritage Impact Assessment

The requirement of a Cultural Heritage Impact Assessment shall be identified and requested by Cultural Heritage staff in its review of development applications as circulated by the Vaughan Planning Department for comment. Notification of the requirement to undertake a Cultural Heritage Impact Assessment shall be given to a property owner and/or his/her representative as early in the development process as possible. Cultural Heritage staff will identify the known cultural heritage resources on a property that are of interest or concern.

The following items are considered the minimum required components of a Cultural Heritage Impact Assessment:

1. The hiring of a **qualified heritage specialist** to prepare the Cultural Heritage Impact Assessment. Refer to the Canadian Association of Heritage Professionals (CAHP) which lists members by their specialization (<http://www.caphc.ca>).
2. Applicant and owner **contact information**.
3. A **description of the property**, both built form and landscape features, and its context including nearby cultural heritage resources.
4. A **statement of cultural heritage value** if one does not already exist. Part IV individually designated properties will have statements provided in the existing City by-law. This statement shall be based on Ontario Regulation 9/06 – Criteria for Determining Cultural Heritage Value or Interest.
5. A chronological description of the **history of the property** to date and past owners, supported by archival and historical material.
6. A **development history** and **architectural evaluation** of the built cultural heritage resources found on the property, the site's physical features, and their heritage significance within the local context.
7. A **condition assessment** of the cultural heritage resources found on the property.
8. The **documentation** of all cultural heritage resources on the property by way of photographs (interior & exterior) and /or measured drawings, and by mapping the context and setting of the built heritage.
9. An **outline of the development proposal** for the lands in question and the potential impact, both adverse and beneficial, the proposed development will have on identified cultural heritage resources. A site plan drawing and tree inventory is required for this section.
10. A comprehensive examination of the following **conservation/ mitigation options** for cultural heritage resources. Each option should be explored with an explanation of its appropriateness. Recommendations that result from this examination should be based on the architectural and historical significance of the resources and their importance to the City of Vaughan's history, community, cultural landscape or streetscape. Options to be explored include (but are not limited to):

a) Avoidance Mitigation

Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive re-use of built heritage structure or cultural heritage resources should be clearly outlined.

Where conservation of the entire structure is not feasible, consideration may be given to the conservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition.

b) Salvage Mitigation

In situations where cultural heritage resources are evaluated as being of minor significance or the conservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered. This option is often accompanied by the recording of the structure through photographs and measured drawings.

c) Historical Commemoration

While this option does not conserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered. This option may be accompanied by the recording of the structure through photographs and measured drawings.

Review/Approval Process

Two (2) hard copies and two (2) digital copies of the Cultural Heritage Impact Assessment shall be distributed to the City of Vaughan: One hard copy and one digital copy to the Development Planning Department and one hard copy and one digital copy to the Urban Design and Cultural Heritage Division within the Development Planning Department.

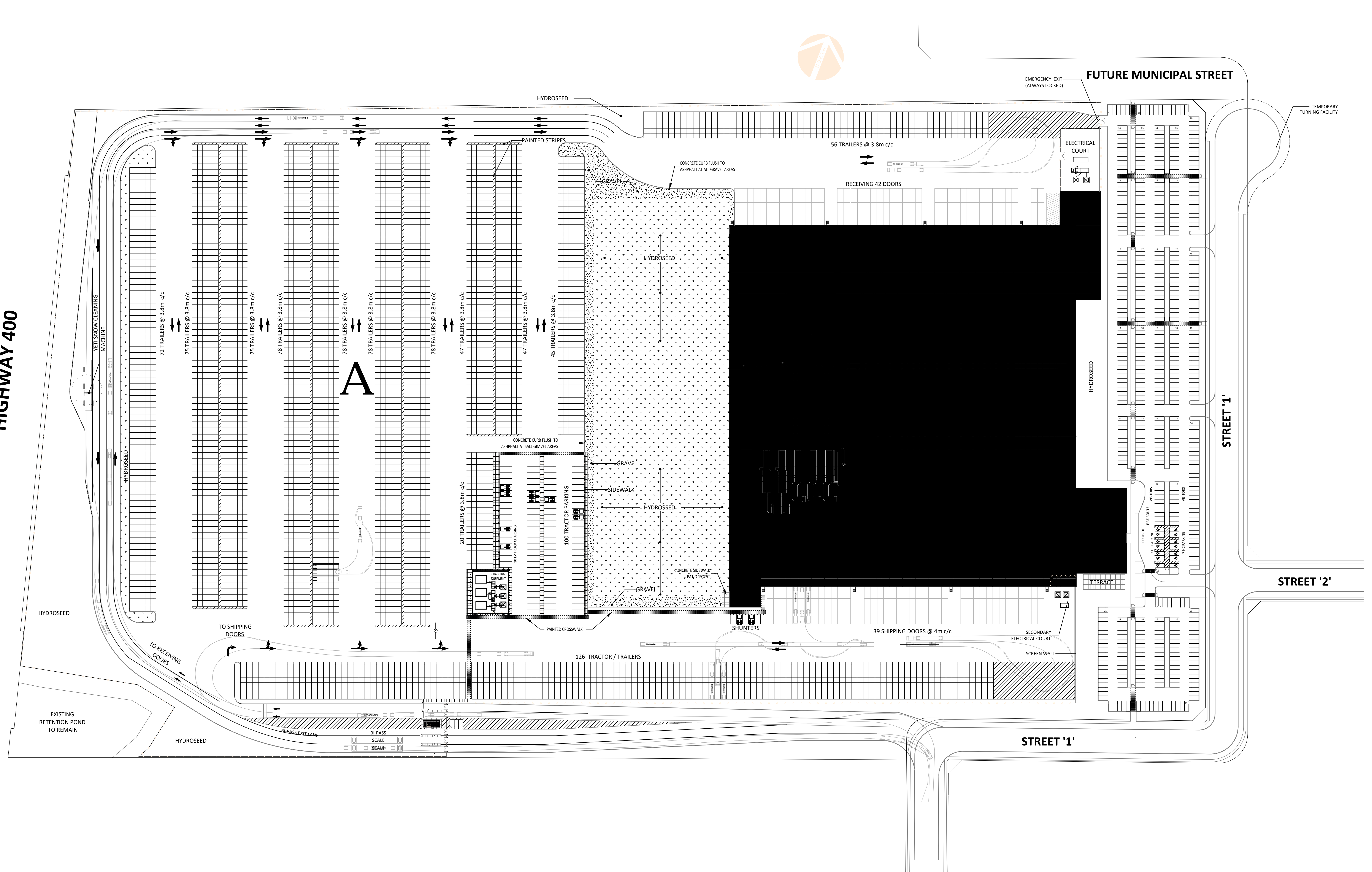
Staff will determine whether the minimum requirements of the Cultural Heritage Impact Assessment have been met and review the conclusions and recommendations outlined in the subject report. Revisions and amendments to the Cultural Heritage Impact Assessment will be required if the guidelines are not met. City staff will meet with the owner/applicant to discuss the Cultural Heritage Impact Assessment and recommendations contained therein.

The preparation and submission of a Cultural Heritage Impact Assessment may be a required condition of approval for development applications and draft plan of subdivision applications.

Any questions or comments relating to these guidelines may be directed to the Urban Design and Cultural Heritage Division, Development Planning Department, City of Vaughan.

APPENDIX B: PROPOSED SITE PLAN

HIGHWAY 400



APPENDIX C: STRUCTURAL ASSESSMENT

ZARETSKY CONSULTING ENGINEERS INC.

25 VALLEYWOOD DRIVE, UNIT #1
MARKHAM, ONTARIO L3R 5L9
(905) 470-1080 [TEL]
(905) 470-0598 [FAX]
email: zaretskyeng@rogers.com

REF.#19-053

SITE REVIEW	
PROJECT ADDRESS	FARM HOUSE 11110 JANE STREET VAUGHAN, ONTARIO
DATE	MAY 23, 2019
REGARDING	ASSESSMENT OF EXISTING RESIDENTIAL BUILDING
REPORTED TO	CONDOR PROPERTIES ATTN: PAT PERCIASEPE

As requested and in your company, we examined the present structural condition of this (±)150 year old 2 storey brick clad farm house in order to determine its existing structural condition.

Visually Appraised Areas

- Perimeter rubble stone basement foundation walls
- Exterior 8" brick bearing walls above grade
- Ground and 2nd floor framing
- Roof framing

FINDINGS

- 1) Because the house has been neglected since its previous occupancy, it is badly deteriorated (such as porches, dormers, exterior brick walls) which has resulted in a partial collapse of the 8" bearing walls and the roof framing on the northwest side.
- 2) The visible saddle of the roof suggests inadequate framing originally.
- 3) The western section, running in a west direction from the main farm house, was an add on. It was not properly integrated into the walls of the original farm house, but abutted to the walls of the original. Thus this section cannot be moved or relocated as will collapse in an attempt to do so.
- 4) Some of the existing interior bearing brick under the window on the east side on the 2nd floor has disintegrated. The brick turned to dust when touched with a sharp object such as a screwdriver. This suggests prolonged exposure to unwanted damaging elements such as moisture. One would suspect a typical failure is occurring in an outward direction, compromising the entire load bearing wall.
- 5) Some of the wood sills under the window on the northeast side on the ground floor have turned to dust due to termite damage.
- 6) The interior joist and beam framing have been exposed to water penetration and the support members have been structurally weakened.
- 7) Some 2nd floor joists have badly deteriorated as a result of water ingress through the unprotected roof shingles.

- 8) The ground floor joists were cut and notched in several areas for passage of ducts and have been structurally weakened.
- 9) The ends of the ground floor joists were buried in and supported by rubble stone walls. They were not moisture protected and are more than likely structurally compromised from many years of water ingress.
- 10) The ends of the 2nd floor joists were buried and supported by the 8" brick veneer walls. They were also not moisture protected and are more than likely structurally compromised due to many years of water ingress.
- 11) The ground and 2nd floor joists and beams are not structurally adequate to carry the present superimposed loads as prescribed by Code.
- 12) The floors on the ground & 2nd floors are not level suggesting poor construction or inadequate strength of support members.

PHOTOGRAPHS

Enclosed are the photographs that document the condition during this examination.

COMMENT

Based on our visual assessment, this house is past repair and we recommend it be demolished.

per: ZARETSKY CONSULTING ENGINEERS INC.,

















Heritage Vaughan Committee Report

DATE: Wednesday, April 21, 2021

WARD(S): 1

TITLE: KLEINBURG-NASHVILLE HERITAGE CONSERVATION
DISTRICT PLAN PHASE 2 UPDATE – PRESENTATION OF THE
DRAFT PLAN

FROM:

Jim Harnum, City Manager

ACTION: FOR INFORMATION

Purpose

To provide the current status and information to Heritage Vaughan Committee regarding the Kleinburg-Nashville Heritage Conservation District Plan Update as the second phase of the Study nears completion.

Report Highlights

- The current Kleinburg-Nashville Heritage Conservation District Plan was adopted and implemented in 2003
- The current Kleinburg-Nashville Heritage Conservation District Plan is being updated to respond to policy and legislative changes since its original adoption
- The Kleinburg-Nashville Heritage Conservation District Plan Update project is comprised of two phases- the first being the Study and the second being the Plan.

Recommendations

1. That the information outlined in this report and the consultant presentation on the proposed draft Plan of the Kleinburg-Nashville Heritage Conservation District Plan Update, set out in Attachment 1, be RECEIVED.

Background

A Heritage Conservation District Study and Plan for Kleinburg-Nashville were prepared in 2003 by Philip Carter and Paul Oberst. Since that time there have been a number of policy and legislative changes which have and continue to have influence on planning decisions.

In November 2019, the City of Vaughan commenced a comprehensive update to the 2003 Kleinburg-Nashville Conservation District ('KNHCD') Plan. The project is being undertaken in two phases. The first phase was an update to the KNHCD Study, and the second phase is comprised of the update to the 2003 KNHCD Plan, including the design guidelines. This report provides an update of the second phase of work.

Previous Reports/Authority

There are no previous reports.

Analysis and Options

The 2003 KNHCD Plan has provided high-level guidance for development activity in the Kleinburg-Nashville Heritage District for the last 18 years to protect and conserve the KNHCD's heritage and character, amidst the many regulatory and policy changes introduced by the Province of Ontario.

The first phase of the KNHCD Plan Update is the update to the Study. The KNHCD Study process commenced in Q4 2019, with the review and mapping of the heritage resources inventory, site walks, Townscape survey, background study and policy review, and the Strengths, Weaknesses, Opportunities and Threats ('SWOT') analysis of the 2003 KNHCD Plan.

Two public and stakeholder meetings were hosted in February 2020. The input received, along with the evaluation and gap analysis of the 2003 KNHCD Plan, will guide the updated KNHCD Study. The updated Study draft was made available online for digital engagement with the community. The comments received from all stakeholders contributed to the compilation of the draft KNHCD Plan document being presented to the Heritage Vaughan Committee.

The purpose of the KHCD Plan Update is to build upon the existing KHCD Plan's past successes and respond to a changing legislative environment, strengthen the heritage policies and conservation tools based on the community's long-term vision. Key objectives of the KHCD Study update include the following:

- update the maps of existing cultural heritage resources
- address the findings of the SWOT analysis of the 2003 KHCD Plan
- update the list of heritage attributes
- integrate new and updated context for the Plan, including policy frameworks, performance-based design guidelines and policies

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The KNHCD Plan is being updated to build upon the existing KNHCD Plan's past successes and respond to a changing legislative environment, strengthen the heritage policies and conservation tools based on the community's long-term vision. Cultural Heritage staff recommend that the Heritage Vaughan Committee receive the draft Plan document and presentation regarding the KNHCD Plan update.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, Development Planning, ext. 8191

Attachments

Web link to draft Study Report provided by consultants:

<https://drive.google.com/file/d/1s1rYFZDTbmpVAXAz6u949OkNaGExhdzT>

Prepared by

Nick R. Borcescu, Senior Heritage Planner, Development Planning, ext. 8191

Rob Bayley, Manager of Urban Design and Cultural Services, Development Planning, ext. 8254

Bill Kiru, Acting Director of Development Planning, ext. 8633