CITY OF VAUGHAN
HERITAGE VAUGHAN COMMITTEE
AGENDA

This is an Electronic Meeting. Vaughan City Hall will not be open to the public. Public comments can be submitted by email to clerks@vaughan.ca

Wednesday, February 17, 2021
7:00 p.m.
Electronic Meeting
Vaughan City Hall

Pages

1. CONFIRMATION OF AGENDA

2. DISCLOSURE OF INTEREST

3. COMMUNICATIONS

4. DETERMINATION OF ITEMS REQUIRING SEPARATE DISCUSSION

1. REDEVELOPMENT OF HERITAGE PROPERTY AND NEW INFILL DEVELOPMENT LOCATED AT 2291 MAJOR MACKENZIE DRIVE, MAPLE HERITAGE CONSERVATION DISTRICT — 3
   Report of the City Manager with respect to the above.

2. DEMOLITION AND NEW CONSTRUCTION – SINGLE DETACHED DWELLING WITH ATTACHED GARAGE LOCATED AT 10432 ISLINGTON AVENUE, KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT — 147
   Report of the City Manager with respect to the above.

3. MAPLE HERITAGE CONSERVATION DISTRICT PLAN UPDATE – DRAFT STUDY PRESENTATION OF THE FIRST PHASE — 235
   Report of the City Manager with respect to the above.

4. MEMBER'S UPDATE
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7. NEW BUSINESS

8. ADJOURNMENT

Revised

Heritage Vaughan Committee Report

DATE: Wednesday, February 17, 2021 **WARD(S):** 1

TITLE: REDEVELOPMENT OF HERITAGE PROPERTY AND NEW INFILL DEVELOPMENT LOCATED AT 2291 MAJOR MACKENZIE DRIVE, MAPLE HERITAGE CONSERVATION DISTRICT

FROM:
Jim Harnum, City Manager

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for the proposed adaptive reuse of the existing Heritage house and the construction of an attached 3-storey ~~four~~ three townhouse development with garages. The property is located at 2291 Major Mackenzie Drive, in the Maple Heritage Conservation District and designated under Part V of the *Ontario Heritage Act,* as shown on Attachments 1 and 2.

Report Highlights

- The Owner seeks approval to renovate the existing dwelling for adaptive reuse, and to construct an attached 3-storey ~~four~~ three -unit townhouse development with garages located at 2291 Major Mackenzie Drive
- The existing main dwelling is identified as a contributing property in the Maple Heritage Conservation District Plan
- The proposal is consistent with the relevant policies and objectives of the Maple Heritage Conservation District Plan
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff supports approval of the proposal as it conforms with the policies and objectives of the Maple Heritage Conservation District Plan

Recommendations

THAT Heritage Vaughan Committee recommend Council approve the proposed redevelopment of the existing dwelling, and the new construction of an attached 3-storey ~~four~~ three-unit townhouse development with garages located at 2291 Major

Mackenzie Drive under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Deputy City Manager, Planning & Growth Management;

b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and

c) That the Applicant submit Building Permit stage architectural drawings and building material specifications to the satisfaction of Urban Design and Cultural Heritage Division and Chief Building Official.

Revised

Background

The existing designated heritage house is a wood frame Victorian style 2-storey house with a full basement, and rear addition constructed in part from field stone. The house was originally clad with yellow painted lapstrake wood siding; subsequently wire-backed faux yellow brick siding was nailed over the wood siding. None of the original windows, doors, or original interior wood trims or finishes remain. While some original construction materials exist under the new siding, substantial restoration/repair work will be required.

A proposed attached garage will be constructed as part of the adaptive reuse of the building. Planned retention and adaptive reuse of the existing heritage house, combined with new infill development connected to the rear of the heritage house is fully compatible with the heritage district objectives and supporting guidelines.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies, objectives and supporting guidelines within the Maple Heritage Conservation District Plan.

The following is an analysis of the proposed adaptive reuse of the existing Heritage building and the construction of an attached 3-storey ~~four~~ three -unit townhouse with garages located at 2291 Major Mackenzie Drive according to the Maple Heritage Conservation District Plan guidelines.

2.4.2 OBJECTIVES FOR HERITAGE BUILDINGS

- *To retain and conserve the heritage buildings identified in the District Plan.*
- *To conserve heritage attributes, distinguishing qualities or character of heritage buildings and avoid the removal or alteration of any historic or distinctive architectural feature.*

- *To correct unsympathetic alterations to heritage buildings.*
- *To undertake the restoration of heritage buildings based on a thorough examination of archival and pictorial evidence, physical evidence, and an understanding of the history of the local community.*

The proposed adaptive reuse renovations of the existing heritage building address all the objectives set out in the MHCD Plan guidelines: the unsympathetic cladding and alterations are proposed to be removed, and the building's cladding will be restored. The Cultural Heritage Impact Assessment report (see Attachment 2) identifies how the existing brick, wood, and stucco cladding will be repaired or replaced, to return the building to its original look.

4.2.2 ALTERATIONS AND ADDITIONS TO HERITAGE BUILDINGS

- *Conserve the heritage value and heritage attributes of a heritage resource when creating any new addition or any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the heritage resource.*
- *Ensure that any new addition, alteration, or related new construction will not detrimentally impact the heritage resource if the new work is removed in future.*
- *Alterations and additions to the heritage resource shall conform with the Guidelines found in Section 9.3.*

The proposed street elevation shows a full-height masonry firewall between the existing heritage structure and the new construction attached to the south wall. This vertical differentiation between the heritage house and the new construction is a strong statement, both visually as well as architecturally/functionally. It ensures that future alterations to the new addition do not impact the heritage resource. In addition, the new proposed garage door at the heritage house uses a more historic style, whereas the new development garage doors have a more modern look, reinforcing that definition.

4.4.1 DESIGN APPROACH

- *The design of new buildings will be products of their own time but should reflect one of the historic architectural styles traditionally found in the District.*
- *New residential buildings will complement the immediate physical context and streetscape by being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.*
- *New residential building construction will respect natural landforms, drainage, and existing mature vegetation.*
- *Larger new residential buildings will have varied massing, to reflect the varied scale of built environment of the historical village.*
- *Historically appropriate façade heights for residential buildings have been 1 -1/2 or 2 storeys. The façade height of new residential buildings should be consistent with the façade height of existing buildings. Differences in façade heights between buildings on adjacent properties within the district should be*

no more than 1 storey. In all instances the height of new buildings shall conform to the provisions of the City's Zoning By-law.

New residential building construction in the District will conform with the Guidelines found in Section 9.5.2.

The proposed townhouse block addition respects and complements the existing heritage building, by remaining consistent in architectural style and proportions- but presenting a look that is a product of its time in height and volume. The complete building complex is complimentary to the existing streetscape, by providing a subtle visual and architectural infill block between the existing heritage structure and the adjacent mansard-roof development, thus mitigating the height difference between heritage and modern structures on this street block.

9.3.7 NEW ADDITIONS TO HERITAGE BUILDINGS ARCHITECTURAL STYLE

New attached additions to heritage buildings should be designed to complement the design of the original building.

Guidelines:

- *Design additions to maintain the original architectural style of the building.*
- *Use authentic detail.*
- *Research the architectural style of the original building.*
- *Follow the relevant guidelines for new construction in Section 9.5.*

The architectural integration of the existing heritage house to the proposed "rear" townhouse addition is achieved by carefully inserting architectural features that connect the new and old elements with functional components. Specifically the strong firewall separation that is full-height creates the visual disconnect while the incorporation of a new garage door and functional garage within the existing heritage building creates the common architectural link to the repetitive garage door pattern of the proposed townhouse addition. As such, the existing heritage building appears to be a continuous member of the architectural design of the building complex, which retains a strong architectural style but is made up of complementary components of new architecture (the townhouse) and functional program (the new garage).

9.3.7 NEW ADDITIONS TO HERITAGE BUILDINGS SCALE

New additions to heritage buildings should respect the scale of the original building.

Guidelines:

- *Don't design additions to a greater height or scale than the original building.*
- *Don't design additions to predominate over the original building. Usually, additions should be located at the rear of the original building or, if located to the side, be set back from the street frontage of the original building.*
- *Use appropriate materials. See Section 9.8.*
- *Avoid destruction of existing mature trees.*

Further to the above “Architectural Style” paragraph: the architectural composition of the new townhouse addition respects the contextual proportions of the existing heritage house but displays heights and volumes addressing current new construction industry standards (interior floor heights and room dimensions). It creates a building complex that is proportionally representative of the architectural style of the heritage building. Although the addition is significantly taller than the heritage structure, this height difference does not dominate or create the perception of dwarfing the heritage building- but rather it creates a hierarchical height connection between the heritage building and the adjacent development to the south, as shown on Attachment 5 (Elevations) and Attachment 6 (Renderings).

9.5.2 RESIDENTIAL AREA
9.5.2.3 SCALE AND MASSING
New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacement houses on existing built lots. Note: It is recommended in Section 7 that the zoning by-law be amended to recognize the smaller scale of historic village development as contrasted with modern suburban development.

Guidelines:

- *New buildings should be designed to preserve the scale and pattern of the historic District.*
- *New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block.*
- *As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape.*
- *Follow the policies in Section 4.4 of this Plan concerning height and depth of buildings and garages.*

Conforming to Section 7 but also addressing this section, the proposed finished complex is an amalgamation of heritage and current architecture of different heights but comprehensive massing and volume. The proposed townhouse addition maintains the architectural style and scale of the heritage building, and the proposed garage attached to the heritage building addresses the modern architectural function of the new townhouse addition.

9.5.3.2 OBJECTIVES FOR GUIDELINES FOR NEW DEVELOPMENT
Overall Objectives

- *Preserve existing heritage buildings.*
- *Ensure that new development respects and enhances existing heritage character and resources.*
- *Respect the historic residential areas.*
- *Develop a pedestrian-friendly commercial environment.*

- *The polices and guidelines for new development in the Commercial Core are suitable for all commercial sites within the district.*

Building/Street Relationship
In order to create a commercially viable pedestrian environment, it should be the aim of new development to enhance the sense of security for pedestrians.

Guidelines:

- *The use of on-street parking, grassed boulevards, co-operative connected parking arrangements and access, and connected pathways and open spaces between and at the rear of buildings are all supported in site planning of new developments.*
- *Entrances shall face the principal street. Corner entrances are encouraged for corner lots. Principal entrances will be flush with the sidewalk and will comply with the Ontario Building Code and the Ontarians with Disabilities Act in their design.*

The planned redevelopment respects and preserves the heritage character of the village by returning a portion of the streetscape to pedestrian friendly and contextually integrating this development with the new housing development underway to the east and south of this parcel. The proposal provides a modern development that meets demand for intensification within the Maple Heritage Conservation District without demolition, removal or relocation of an existing heritage resource (building) and enhances the view of the original heritage building from the street and public walkways in the neighbourhood.

9.8.1 HERITAGE BUILDINGS APPROPRIATE MATERIALS
All construction visible from the exterior requires a Heritage Permit. Visible materials should conform to the following standards:

Exterior Finish: Concrete block; calcite or concrete brick. Textured, clinker, or wire cut brick, except where their use is consistent with existing conditions. Precast concrete panels or cast-in-place concrete. Prefabricated metal or plastic siding. Stone or ceramic tile facing. "Rustic" clapboard or "rustic" board and batten siding; wood shake siding.

Exterior Detail: Prefinished metal fascias and soffits. "Stock" suburban pre-manufactured shutters, railings, and trims. Unfinished pressure-treated wood decks, porches, railings, and trim. Shopfronts: Standard metal shopfronts and pre-finished metal spandrel material. Frameless tempered glass shopfronts.

Roofs: Slopes or layouts not suitable to the architectural style. Non-traditional metal roofing such as pre-finished or corrugated metal. Modern skylights, when facing the street.

Doors: "Stock" suburban door assemblies. Flush doors. Sidelites on one side only. Aluminum storm and screen doors. Sliding patio doors. Double-bay, slab, or metal garage doors. Generic or Stock stained glass window assemblies for doorlites and sidelites.

Staff supports the material palette of the proposed building complex, which is accurately representative of the architectural style of the heritage building. By combining brick,

stucco, wood, and stone in the proposed townhouse addition, the connection between existing and new construction is strengthened while maintaining an aspect of continuity in function and design. However, the material colours and style of the two construction eras reinforce that age distinction despite maintaining the architectural style language.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed heritage site redevelopment and related works conform to the policies and guidelines within the MHCD Plan. Accordingly, staff can support Council approval of the proposed adaptive reuse of the existing Heritage building and the construction of an attached 3-storey ~~four~~ three-unit townhouse development with garages located at 2291 Major Mackenzie Drive under the *Ontario Heritage Act*.

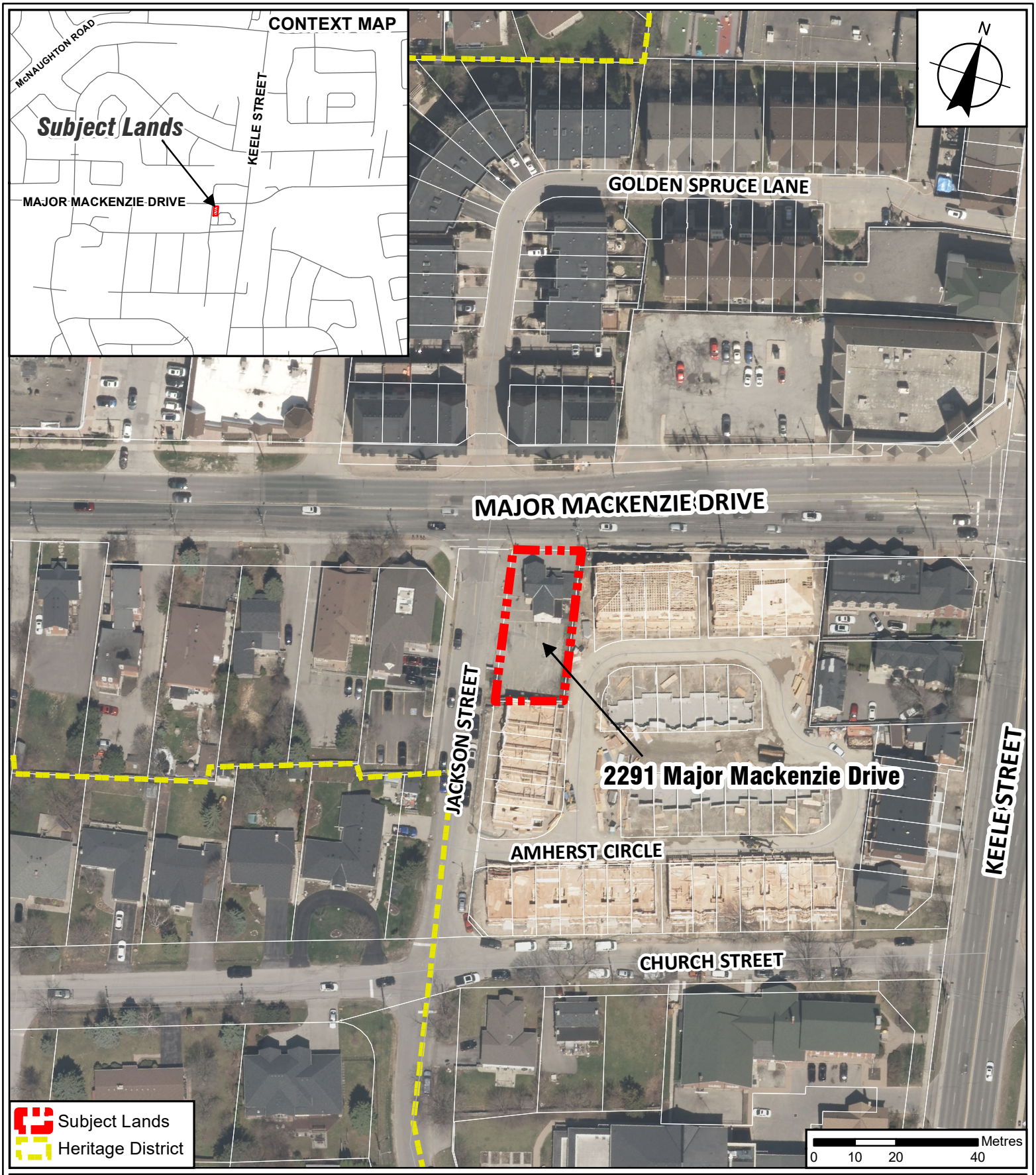
For more information, please contact: Katrina Guy, Heritage Coordinator, ext. 8115

Attachments

Attachment 1 – 2291MajorMac_Location Map
Attachment 2 – 2291MajorMac_Cultural Heritage Impact Assessment
Attachment 3 – 2291MajorMac_Site Plan
Attachment 4 – 2291MajorMac_Floor Plans
Attachment 5 – 2291MajorMac_Elevations
Attachment 6 – 2291MajorMac_Renderings
Attachment 7 – 2291MajorMac_materials
Attachment 8 – 2291MajorMac_Landscape Plans

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191
Rob Bayley, Manager of Urban Design/Cultural Services, ext. 8254
Bill Kiru, Acting Director of Development Planning, ext. 8633



Location Map

Attachment 1

Location:
2291 Major Mackenzie Drive, Maple
Part of Lot 20, Concession 4

VAUGHAN
Development Planning

Date:
January 28, 2021

Document Path: N:\GIS_Archive\Attachments\Heritage\2021\2291 Major Mackenzie Drive\2291MajorMacDr_LocationMap.mxd

Created on: 1/28/2021

CULTURAL HERITAGE IMPACT ASSESSMENT And HERITAGE DISTRICT CONFORMITY REPORT

2291 Major Mackenzie Drive West Maple Heritage District, Vaughan, Ontario, Canada

19 October 2020

prepared by

MW HALL CORPORATION

architecture + planning + urban design
+
heritage conservation
+
real estate development

21 Scollard St., #103
Toronto, ON M5R 1G1
CANADA
416.920.8105
mark@mwhallcorp.com
www.mwhallcorp.com

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3.0 RECOMMENDATIONS

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1.0 INTRODUCTION TO THE PROPERTY

This Assessment addresses City of Vaughan Guidelines for Cultural Heritage Impact Assessments.

The Village of Maple is consolidated as part of the City of Vaughan. The property at 2291 Major Mackenzie Drive, West is located within the central core of the Maple Heritage District, west of Keele Street and is now a designated heritage district within Vaughan under Part V of the Ontario Heritage Act since 1970. The property at 2191 Major Mackenzie Drive West is an existing relatively flat rectangular parcel at the corner of Jackson Street and with some slope southward from Major Mackenzie Road

The residential building presently located on 2291 Major Mackenzie East is a Designated Heritage building under Part IV of the Ontario Heritage Act per direction of Vaughan City Council. This property is located within the Maple Heritage District which is also designated under Part V of the Ontario Heritage Act also per direction of Vaughan City Council. The building was developed/constructed by Mennonite father/son owners of the parcel of land circa 1880. Jacob Henry Shunk and son Nathaniel Shunk were settlers who migrated from the US to settle in Canada, and settled in Edgeley, Ontario, which was a hamlet located immediately south of what is now Vaughan. 2291 Major Mackenzie Drive West was likely a speculative development at the time, in the heyday of early development of the settlement of Maple. The building, presently vacant, has recently been a commercial establishment at the ground floor, residential on the second floor in what was historically the commercial/trades core of Maple, and one of the few original remaining buildings in this core area.

Present owner of the property is planning to construct three new townhouses on this property south of the existing heritage residential building, and to renovate/restore the heritage building for residential / Home Occupation use. East of the property there is substantial new residential townhouse redevelopment nearing construction completion, with internal service road and pedestrian circulation network abutting the subject property. Major Mackenzie Drive West and utility infrastructure are under reconstruction to accommodate the substantial new development growth in this area.

City of Vaughan has experienced, and continues to experience rapid change and growth, as does the Village of Maple. There are multiple new townhouse and mixed use projects in various stages of development or in application for development within Maple.

The core area of the former Village of Maple, along both Major Mackenzie Drive West and Keele Street, has been designated as a Heritage Conservation District under Part V of the Ontario Heritage Act. The subject property is within the Heritage Conservation District and is individually designated under Part IV of the Ontario Heritage Act.

There is significant increased vehicular traffic along both Major Mackenzie Drive and Keele Street, the main streets in the Maple Heritage District. The Ontario Ministry of Transportation has called for widening of these thoroughfares and is requiring land taking from new development parcels as part of approval for new development. This conflict with the smaller scaled historic Village of Maple will have a significant impact on the character of the Heritage Conservation District. Urban design guidelines prepared for Vaughan propose measures to mitigate the potential for conflict between pedestrian and vehicular traffic.

Owner of the property, working with Brutto Consulting retained MW HALL CORPORATION as architects, heritage conservation and urban design consultants to prepare this Cultural Heritage Impact Assessment (CHIA) of the property, the Conformity Report for the redevelopment/adaptive reuse, Urban Design conformity and architectural design of the improvements.

The subject property is owned by:

Dr. Carlo Ammendolia and Mary Ammendolia
2301 Major Mackenzie Drive West
Vaughan, Ontario L6A 3Z3

Contact information is as follows:

Claudio Brutto, MCIP, RPP, President
Brutto Consulting
999 Edgeley Boulevard, Unit 6
Vaughan, Ontario L4K 5Z4
Tel: 905 761 5497
Email: cbrutto@bruttoconsulting.ca

2.0 CULTURAL HERITAGE IMPACT ASSESSMENT AND HERITAGE DISTRICT CONFORMITY REPORT

2.1 History of the property and evolution to date

According to a report by ASI archeological prepared for a redevelopment project to the west of 2291 Major Mackenzie West [see Reference (b)]

"…The survey of Vaughan Township began in 1795, but was not completed until 1851. The community of Maple is in the south part of the township…at the intersection of Major Mackenzie Drive and Keele Street.
…Maple was originally called Noble's Corners early in the 19th Century. The settlement was small initially, but the arrival of the Ontario, Huron and Simcoe Railway in the 1850's led to its growth. By the late nineteenth century, businesses included a hotel, saw mill, rope factory, creamery, hardware store, shoemaker, and harness shop…

"Crown Patent for Lot 2 was granted to Samuel Street in 1799…for all 200 acres…" but no development on the land at that time, except likely a residence which was a mandate for ownership under the Crown grant.
Chain of Property Ownership [Appendix 6] shows that this larger parcel was subdivided and became under the ownership of Peter Rupert. The lands were transferred/subdivided among his family by Joseph Rupert with some likely early commercial at the southwest corner of the lands at intersection of Major Mackenzie/Keele. 1860 Tremaine Map [appendix 3] shows the land block owned by Joseph Oliver but property records show land transferred by Oliver Rupert (Physician) to Rachel Rupert because Oliver died.

"The subject property is approximately 0.4ha in size…bounded by Major Mackenzie Drive West to the south, commercial development to the east and west, and residential development to the north…currently consists of a strip mall building with associated parking lots to the east and north; an access lane is located along the west limit. The terrain is level across the property"'

The property was purchased by the present owner for purposes of redevelopment. Application is in the process of being made to City of Vaughan to redevelop the property with new townhouse additions to the Provincially designated heritage house plus restoration and adaptive reuse of the existing designated heritage building for residential / Home Occupation use.

2.2 Context and setting of the subject property

2291 Major Mackenzie Drive is located within the Maple Heritage District which was established in 1970. When initially developed in the 19th century, the now designated heritage house was constructed at the north end of the lot facing Major Mackenzie Drive West, similar to other residences to the east and west of this property. Properties to the east at the intersection toward Keele Street have been redeveloped to fit within the architectural character of the heritage district in accord with heritage district guidelines for the Maple Heritage District. Within the past decade, virtually the entire block bounded by Major Mackenzie Road, Keele Street, Church Street and Jackson Street has been undergoing

redevelopment with some existing heritage houses relocated within that block to face Keele Street, with the remainder of the block redeveloped with new attached townhouses. That project is presently under construction [see site plan in appendix 9].

2.3 Architectural evaluation of the subject property

The existing designated heritage house is a wood frame Victorian style two level house with a full basement constructed in part from field stone. The house was originally clad with yellow painted lapstrake wood siding. The original house had a rear addition added, again with a field stone foundation. The building subsequently had wire-backed faux yellow brick siding nailed over the wood siding. The building is generally plumb, but has had some structural reinforcing added at the basement level. None of the original windows or doors remain nor are there original interior wood trims or finishes. While some original construction materials exist under the new siding, substantial restoration/repair work will be required. Further, with the advent of the automobile, automobile parking will be required for today for reuse of the building.

2.4 Redevelopment proposal for the subject land and potential impacts on identified heritage resources

Architectural character and scale of the planned redevelopment is specifically designed to reinforce the architectural character of the Heritage District, building upon the architectural character of the designated heritage house district, but in contrast to the heritage house to allow the historic character of the restored heritage house to stand out from its surrounding development and includes restoration/adaptive reuse of the existing heritage house insitu on the property. Redevelopment plans include the addition of three attached townhouses to the south of the heritage house, plus some additions to the heritage house to make it useful as a present day home and Home Occupation.
Mackenzie Drive, converted to a major thoroughfare has today changed the early quiet, pedestrian environment for Maple. The planned redevelopment returns a portion of the streetscape to pedestrian friendly and integrates this development with the new housing development underway to the east and south of this parcel. Appendix 12 presents the site plan, elevation drawings and concept rendering of the redevelopment plans.

2.5 Heritage District Conformity

The decision to retain and restore the deteriorated designated heritage house on this property was carefully considered due to the condition of the house and the substantial

changes that had been made to it. In early meetings with heritage staff the decision was made to undertake the retention/restoration and adaptive reuse of the house in conjunction with the addition of new townhouses on the remainder of the lot. The return on investment from these additions would compensate the owner of the property in exchange for the substantial restoration cost of restoration of the original Victoria house. It was decided that the new townhouse construction would generally conform with the Hertiage District Design Guidelines, but of a slightly later period in the history of Maple, including changes in roof pitch, the use of brick cladding, etc. such that the new townhouse additions would be differentiated from the Victorian style of the heritage building. The heritage building itself would have some minor additions to address today's automobile use, typically more expansive size of residence and conformity with the continuing redevelopmet of the form Maple Village. The original yellow finished wood siding on this house will be either restored if feasible, or replaced with wood lapstrake siding and detailing to match the originall.

Planned retention and adaptive reuse of the existing heritage house, compbined with new infill development connected to the rear of the heritage house is fully compatible with the heritage district guidelines. It provides an example of proper development while meeting demand for intensification of the Maple Heritage District without demolition or removal or relocation of existing heritage buildings in the District. The view from the street and public walkways in the neighbourhood retain the original street view with the original heritage building without demolition or relocation. In this situation where the costs of privately owned heritage building restorations are extremely limited, intensification of the rear of the property does not require use of public funds, but does retain one of the early structures of the neighbourhood.

2.6 Examination of preservation/mitigation options for cultural heritage resources.

Recommendations in this CHIA are based upon architectural and historical research, combined with the City of Vaughan Urban Design Guidelines [reference a)] regarding the property and its importance to the City of Vaughan's history and particularly to the Maple Heritage District, community, cultural landscape, or streetscape. Options explored were:

Avoidance Mitigation

Restoration and adaptive reuse of this original designated heritage house is an important contribution to the heritage district and is sensitively designed to be compatible with the adjacent redevelopment underway to the east and south of this property.

Salvage Mitigation

Salvation mitigation is not considered applicable in this case, except that some of the original field stone in the basement foundation is planned to be reused for small retaining walls required to address the sloping grade as it relates to the planned redevelopment.

Historical commemoration

Historical commemoration should be provide via a plaque to be placed on the north elevation of the house, visible from the sidewalk, noting the owners/constructors of the existing Victorian era house on the property.

2.7 Impact of development / mitigating measures – summary

Potential Negative Impact	*Assessment*
• *destruction of any, or part of any, significant attributes or features*	*restoration/adaptive reuse will require some modification of the heritage building*
• *isolation of a heritage attribute from its surrounding environment, context, or a significant relationship*	*not applicable*
• *a change in land use where the change in use negates the property's cultural heritage value*	*not applicable*
• *siting, massing, and scale of mixed-use*	*redevelopment will provide an appropriate use of the site at a scale consistent with guidelines for development within the Heritage District*

• *quality and connectivity of the pedestrian environment*	*pedestrian environment remains intact and is enhanced with this project*
• *scale of the street, through building mass,*	*buildings are detailed to fit the heritage district and landscape is improved per suggestions in the Urban Design guidelines for Vaughan*
• *design that is sympathetic with adjacent properties*	*building design fits requirements noted to be sympathetic with structures within the heritage district utilizing brick cladding on the new adjacent townhouses which relates to the era of the original house, but in contrast to original wood cladding of the heritage house.*

2.8 Impact of Development and Mitigating Measures

As intensification within the Maple Heritage District continues to address demand for new housing and development within the heritage district there is continuing demand to redevelop properties within the Maple Heritage District. Following of Maple Heritage District Guidelines for restoration and new infill design compatible with the remaining heritage buildings could either be addressed by application of the Guidelines, or by designing new infill to be in contrast [i.e. design character of 'the day']. In this instance, the use of materials and design character for the new structures have been carefully selected to reflect the architectural character of the original house on the property while compatible with newly created infill development on nearby properties adjacent and across Major Mackenzie Drive. It is our understanding municipal intention for the Maple Heritage District is to permit address of intensification demands while retaining the original heritage character of the District via sensitive design of all restorations and adaptive reuse structures such that public understanding of the early Police District of Maple is perceived by the citizens of Vaughan and the general public.

3.0 RECOMMENDATIONS

Section 2 of the *Ontario Planning Act* indicates that the City of Vaughan shall have regard to matters of Provincial Interest such as the conservation of features of significant architectural, cultural, historical, archeological, or scientific interest. In addition, Section 3 of the *Planning Act* requires that decision of Council shall be consistent with the *Provincial Policy Statement* (PPS 2014). Policy 2.6.3 of the PPS requires that "…*Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved."*

"*Conserved" means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act."*

The project provides for restoration and adaptive reuse of built heritage resources.

This Cultural Heritage Resource Impact Assessment is respectfully submitted by

MW HALL CORPORATION

per: Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP
President

REFERENCES

a) City of Vaughan Guidelines for Cultural Heritage Impact Assessments, 2017
b) Stage 1 Archeological Assessment of 2338 Major Mackenzie Drive West, Part of Lot 21, Concession 4, Geographic Township of Vaughan, York County, City of Vaughan Regional Municipality of York, prepared by ASI, 13 December 2017
c) Ontario Planning Act, Section 2, regarding City Council responsibility for Provincial Interest heritage properties
d) Ontario Planning Act, Section 3, regarding requirement that Council decisions are consistent with Provincial Policy

APPENDICES

1a) Photographs of existing building - exterior
1b) Photographs of existing building - interior
2) Vicinity Map, 2291 Major Mackenzie Drive, west, Village of Maple, City of Vaughan
3) 1860 Tremaine Map, excerpt showing property at center of Maple
4) 1880 Illustrated Atlas Map of Vaughan, excerpt showing 2291 Major Mackenzie Dr W
5) Aerial View
6) Chain of Property Ownership, 2291 Major Mackenzie Drive West
7) Vaughan Official Plan map
8) Heritage Conservation District Map, Maple, Ontario
9) Site Plan of planned redevelopment of subject property
10) Property Inspection Report, Pillar to Post, August 2018
11) Cassavia Estates, Master Plan
12) Preliminary drawings and renderings of planned redevelopment of subject property
13) Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP

APPENDIX 1A

2291 MAJOR MACKENZIE DR W, VAUGHAN ON

PHOTOGRAPHS - EXTERIOR

Google Street View
Rear of Building

Google Street View
Front of Building

APPENDIX 1B

2291 MAJOR MACKENZIE DR W, VAUGHAN ON

PHOTOGRAPHS - INTERIOR

Lapstrake Siding

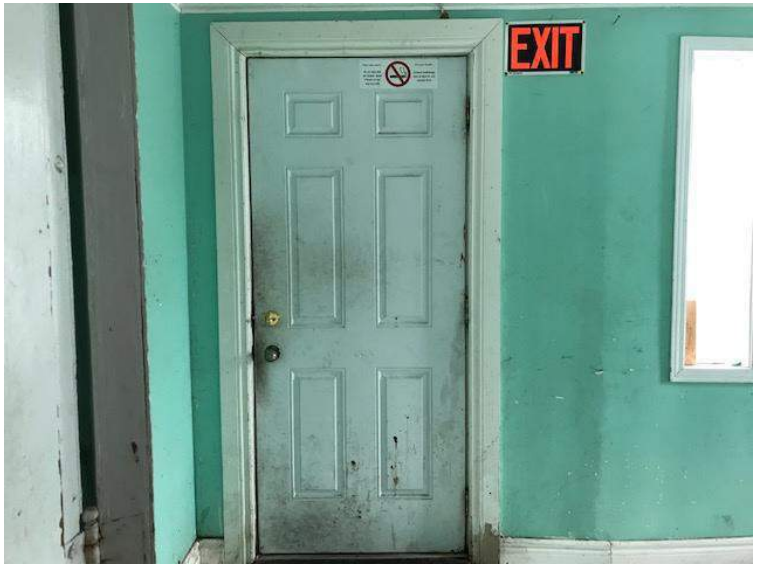
Basement

Basement

Basement

Main and Second Floor

Main and Second Floor



Main and Second Floor

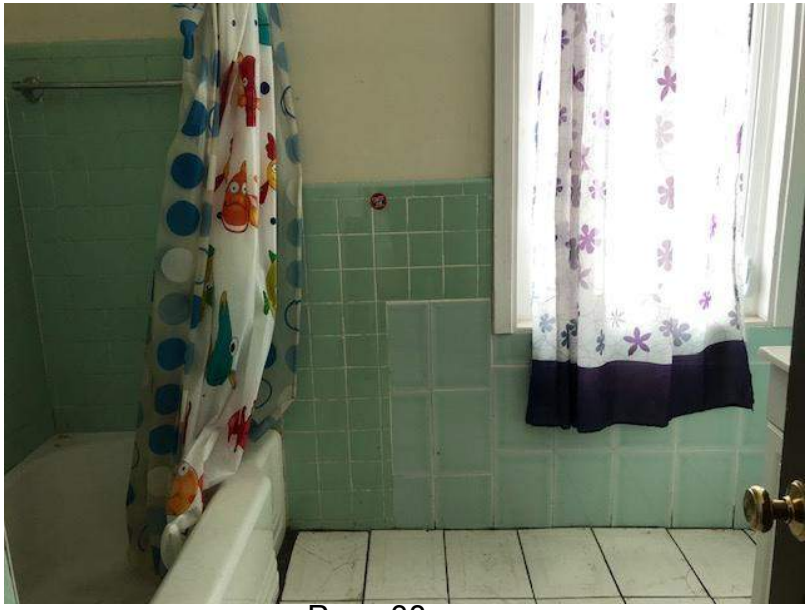
Main and Second Floor

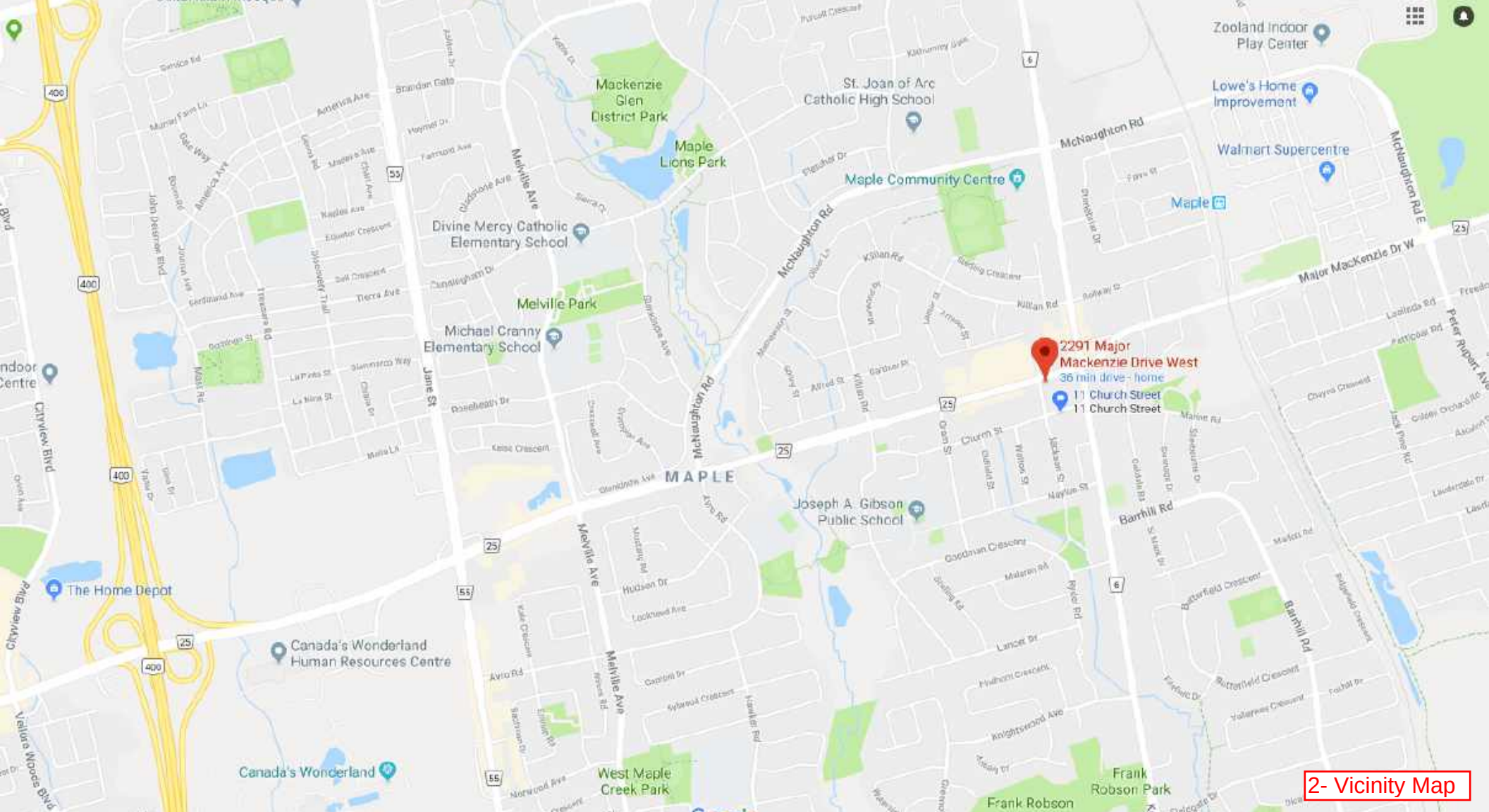
Main and Second Floor

Main and Second Floor

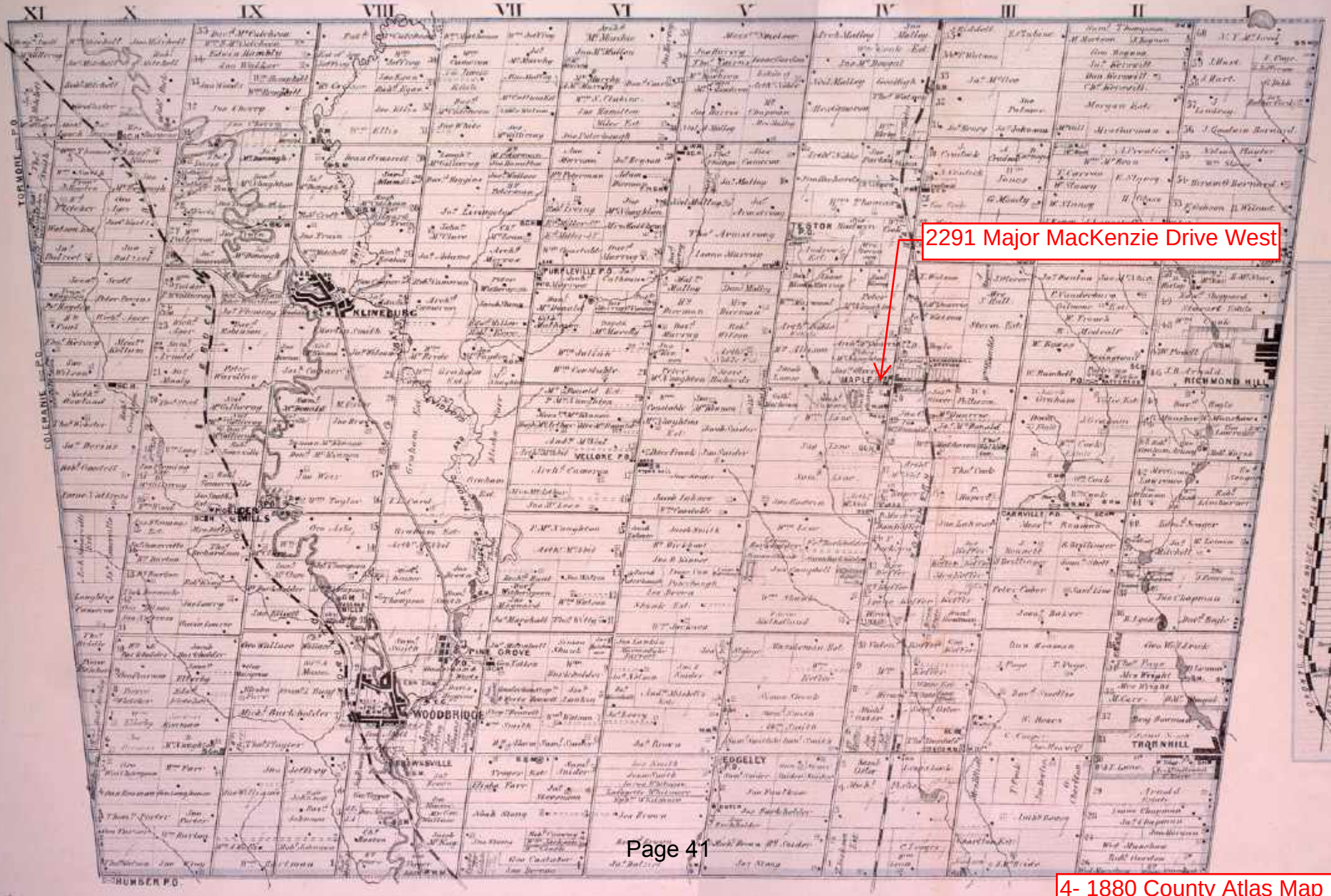
Main and Second Floor

Main and Second Floor

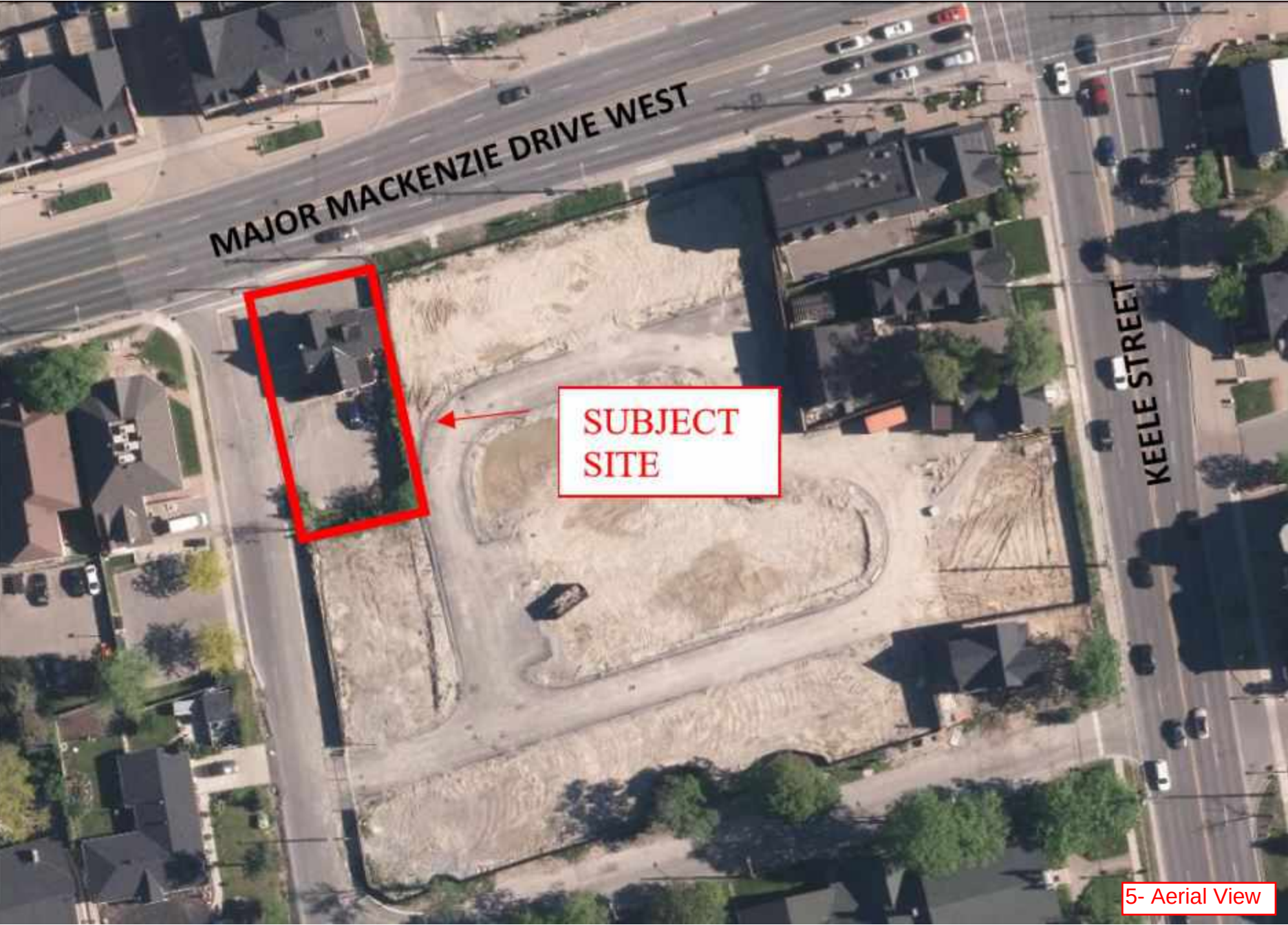



2291 Major Mackenzie Drive West
36 min drive - home
11 Church Street
11 Church Street
Mackenzie Glen District Park
Maple Lions Park
St. Joan of Arc Catholic High School
Zooland Indoor Play Center
Lowe's Home Improvement
Walmart Supercentre
Maple Community Centre
Maple
Divine Mercy Catholic Elementary School
Melville Park
Michael Cranny Elementary School
MAPLE
Joseph A. Gibson Public School
The Home Depot
Canada's Wonderland Human Resources Centre
Canada's Wonderland
West Maple Creek Park
Frank Robson Park
Frank Robson
McNaughton Rd
Major MacKenzie Dr W
Jane St
Melville Ave
Barnhill Rd
Peter Rupert Ave
Vaughan Mills Blvd
Clayview Blvd
Lancer Dr
Knightswood Ave
Hudson Dr
Lockwood Ave
Avro Rd
Norwood Ave
Church St
Killian Rd
Rosebeath Dr
Tierra Ave
Naples Ave
Fairmont Ave
Haymel Dr
Brandon Gate
Service Rd
Murray Farm Ln
Gale Way
Bowman Ave
John Delorme Blvd
Journey Ave
Ferdinand Ave
Treasure Rd
Discovery Trail
Bell Crescent
Equator Crescent
Dunningham Dr
Mills Rd
Dosdale St
La Pinta St
La Nina St
Slammerco Way
Clarence Dr
Mills Ln
Keise Crescent
Glenbridge Ave
Alyce Rd
Mustang Rd
Kate Crescent
Avro Rd
Bachman Dr
Emilia Rd
Wexis Rd
Oxford Dr
Kylewood Crescent
Hawker Rd
Goodman Crescent
Malaney Rd
Sterling Rd
Ryle Rd
Butterfield Crescent
Valleywood Crescent
Foxhill Dr
Fairfield Dr
Ardelay Dr
Greenbrook Dr
Waterbury Dr
Dicksonville Dr
Sidesquire Dr
Marine Rd
Lauderdale Tr
Golden Orchard Rd
Jack Pine Rd
Coyote Crescent
Lodinda Rd
Patricia Rd
Freedom
Mallory Rd
Ridgewood Crescent
Fairfield Dr
Foxhill Dr
Valleywood Crescent
Butterfield Crescent
Gardner St
Alfred St
Kilian Rd
Bolivar St
Gerding Crescent
Fletcher Dr
Kathumey Drive
Pursuit Crescent
Kelly Dr
Sierra Ct
Glenbridge Ave
Clarence Ave
Wexford Ave
Mackenzie St
Olive Ln
Mainwood Dr
Lillian Dr
Arthur St
John St
Grant St
Clarence St
Wilson St
Jackson St
Naylor St
Cedarbrae Rd
Sidesquire Dr
Dicksonville Dr
Greenbrook Dr
Waterbury Dr
Ardelay Dr
Fairfield Dr
Foxhill Dr
Valleywood Crescent
Butterfield Crescent
Mallory Rd
Ridgewood Crescent
Lauderdale Tr
Golden Orchard Rd
Jack Pine Rd
Coyote Crescent
Lodinda Rd
Patricia Rd
Freedom
Marine Rd
Sidesquire Dr
Cedarbrae Rd
Naylor St
Jackson St
Wilson St
Clarence St

2291 Major Mackenzie Drive West
VAUGHAN
KING
CLAIREVILLE
3- 1860 Tremaine Map



4- 1880 County Atlas Map



5- Aerial View

2291 Major MacKenzie Drive West, Vaughan

Owner: Carlo Ammendolia and Mary Ammendolia

Outstanding mortgage: Bank of Montreal

CHAIN OF TITLE

Part lot 20, Concession 4, Vaughan

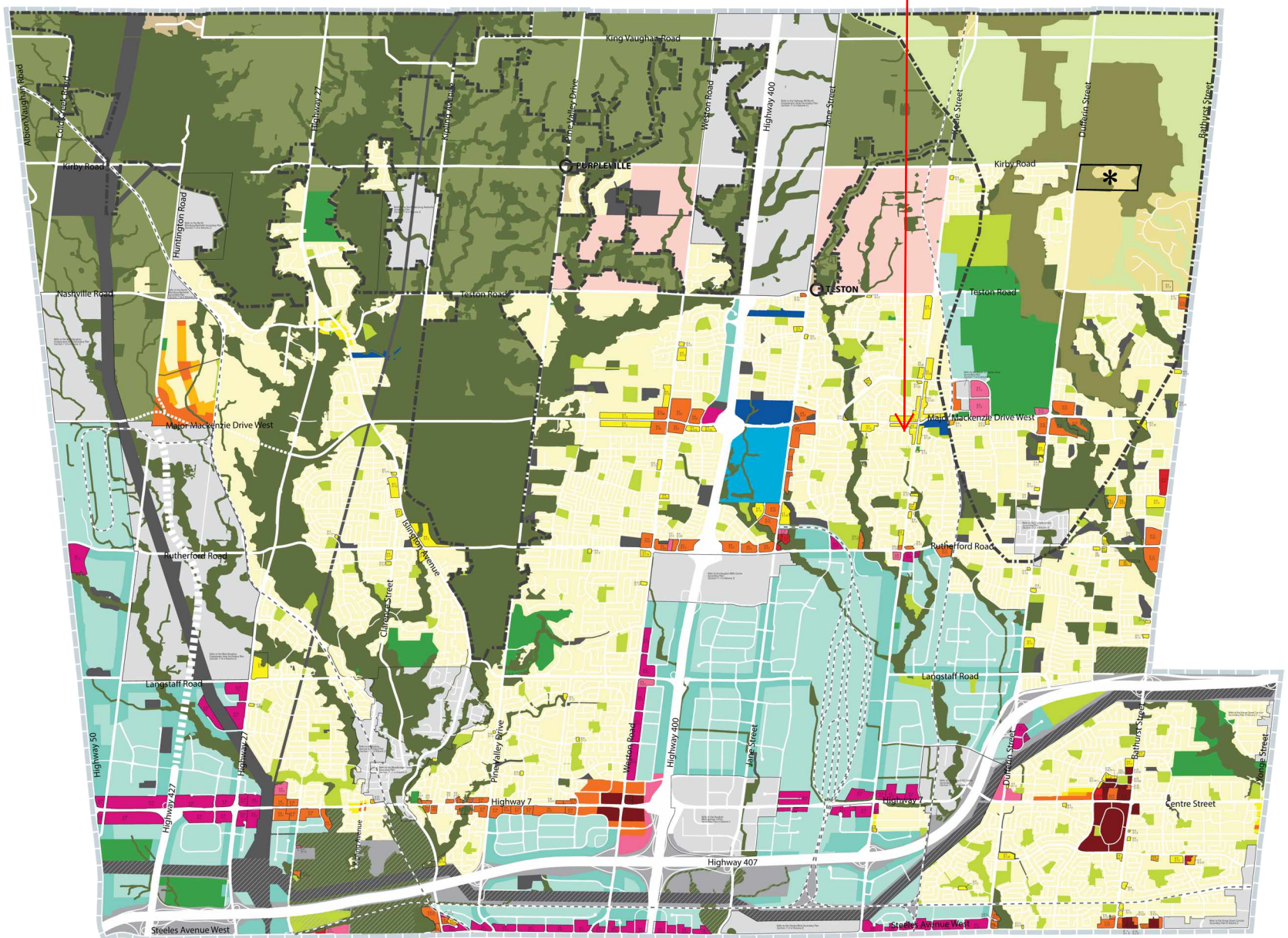
PIN 03335-0076

Instrument #	Instrument type and amount paid	Date of instrument	Registration date	Vendor	Purchaser	Amount of land
Patent		3 Jan. 1828		Crown	King's College	All 200 ac. Lot 20, concession 4, Township of Vaughan
46904 (see 77125)	B & S 50 pounds	15 Nov. 1852	29 Dec. 1852	Adam Rupert	John Rupert	E ¼ 49 ac lot 20
77125	Grant	13 July 1852	28 May 1859	King's College	Adam Rupert	E ¼ 50 ac. Lot 20
3035	Grant 25 pounds	10 Dec. 1855	4 May 1880	John Millar Rupert	Jacob Rupert	NE pt.
3036	Grant $2,639	17 Apr. 1880	4 May 1880	Jacob Rupert	Jacob H. Shunk and Nathanial Shunk	1/5 ac. of NE ¼ lot 20
3975	Grant $1,850	29 Jan. 1884	8 Apr. 1884	Jacob Henry Shunk and Nathanial Shunk	William Jackson	1/5 ac. of NE ¼ lot 20

4500	Grant $1000	16 Dec. 1886	27 Dec. 1886	William Jackson	Elizabeth Jackson	Pt. NE ¼ lot 20 being 1 ½ chains
5040	Grant $1,050	18 Aug. 1888	13 May 1889	Elizabeth Jackson (widow)	William Jackson	Pt. NE ¼ lot 20 being 1 ½ chains
7689	Will (document missing)	26 Feb. 1903	4 May 1904	William Jackson	Isabella Jackson, John A. Jackson, George H. Jackson	Pt. NE ¼
11896	Grant $2,500	3 Nov. 1919	22 Dec. 1919	Estate of William Jackson (William Jackson died 6 March 1904)	Alfred Rumble	Pt. NE ¼ lot 20 being 1 ½ chains
26166	Grant $5,000	18 Oct. 1950	17 Nov. 1950	Estate of Alice Rumble, widow (Alfred Rumble died 1 Feb. 1931 and devised lands to his wife and appointed her sole executrix) (Alice Rumble died 28 Jan. 1950)	Leo Gudat and Ethelwyn Gudat	Pr. NE ¼ lot 20 being 1 ½ chains (115.5' x 54.78'aprox.)
42134	Grant $12,000	22 May 1959	11 June 1959	Leo Gudat and Ethelwyn Gudat	George Albert Grout and Doris Margaret Grout	As in 26165
Deposit 13675	Stat. Decl.	21 Nov. 1950	23 Nov. 1950	(re Alice Rumble – declaration missing)		As in 11896
383479	Transfer $115,000	30 Oct. 1985	12 Nov. 1985	Doris Margaret Grout (George Albert Grout died 5 April 1985)	Dario Zeni and Cosmo Angona	121.7 ¾ x 55' lot 20
654694	Site Plan Agmt.	6 Feb. 1995	10 Feb. 1995	The Corporation of the City of Vaughan	Dario Zeni and Cosmo Angona	As in 383479
YR691525	Transfer $406,000		29 Aug. 2005	Dario Zeni and Cosmo Angona	Carlo Ammendolia and Mary Ammendolia (of 2301 Major MacKenzie Dr. , Maple)	PIN 03335-0076 as in 383479

YR691526	Charge $251,250		29 Aug. 2005	Carlo Ammendolia and Mary Ammendolia	Bank of Montreal	As in YR691525
YR1113905	By-law # 167-2007	11 June 2007	17 Jan. 2008	A by-law to designate an area as a Heritage Conservation District		As in YR691525
Last instrument April 18/ 2018						

2291 Major MacKenzie Dr W



VAUGHAN

SCHEDULE 13

Land Use

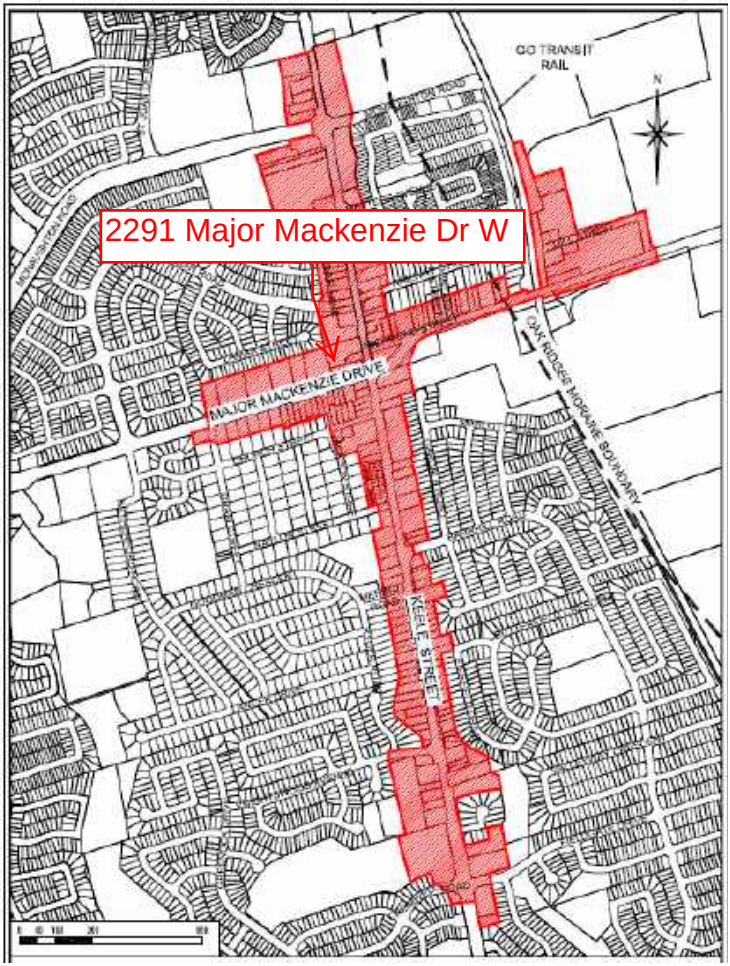
- Natural Areas
- Parks
- Private Open Spaces
- Agricultural
- Rural
- Low-Rise Residential
- Low-Rise Mixed-Use
- Mid-Rise Residential
- Mid-Rise Mixed-Use
- High-Rise Residential
- High-Rise Mixed-Use
- Community Commercial Mixed-Use
- Employment Commercial Mixed-Use
- General Employment
- Prestige Employment
- Major Institutional
- New Community Areas
- Theme Park and Entertainment
- Parkway Belt West Lands
- Infrastructure and Utilities
- Lands Subject to Secondary Plans (See Schedules 14A)
- Roads
- Railway
- Greenbelt Plan Area & Oad Ridges Moraine Conservation Plan Area
- Oak Ridges Moraine Natural Core
- Oak Ridges Moraine Natural Linkage
- Oak Ridges Moraine Countryside
- Hamlet
- See Minister's Decision on ORMCP Designation
- Municipal Boundary

Refer to Schedules 14B-C for Lands Subject to Area and Site Specific policies in Volume 2

0 1,000 2,000 3,000 4,000 5,000 Meters

7- Vaughan Official Plan Map

September 2016



Map 3. The Boundary of the Village of Maple Heritage Conservation District. The District provides protection for the heritage resources in the old village, and controls the appearance of future development that will form their setting.

SITE STATISTICS

EXIST. LOT AREA of Heritage	284.33sm (3060.50sf)
EXIST. LOT AREA of Unit 1 TH	104.05sm (1119.98sf)
EXIST. LOT AREA of Unit 2 TH	102.35sm (1101.68sf)
EXIST. LOT AREA of Unit 3 TH	104.48sm (1124.61sf)
EXIST. LOT AREA of Setback	20.40sm (219.58sf)
TOTAL EXIST. LOT AREA:	615.61sm (6626.37sf)
LESS: R.O.W. CONVEYANCE	73.50sm (791.14sf)
NEW LOT AREA:	542.11sm (5835.23sf)
EXISTING GRD. FLOOR AREA:	106.766sm (1149.21sf)
EXISTING 2ND. FLOOR AREA:	69.39sm (747.00sf)
HERITAGE HOUSE:	
PROPOSED GRD. FLR. AREA:	
HERITAGE HOUSE:	
INCL. GARAGE	110.42sm (1188.55sf)
TOWNHOUSE:	
GROUND FLOOR AREA	
INCL. GARAGE	165.16sm (1777.76sf)
TOTAL GROUND FLR. AREA	275.58sm (2966.31sf)
LOT COVERAGE	275.58 sm (2966.31sf) F.A./ 542.11 sm (5835.23sf) L.A. = 50.83% COVERAGE

BUILDING HEIGHT CALC.

	EXISTING (HERITAGE)
AVERAGE GRADE @ FRONT	235.12
DOOR SILL ELEV. (DSE) = FFE	235.58
TOP OF ROOF ELEV. (TRE)	242.72
	PROPOSED BUILDING
BLDG. HEIGHT ALLOWED	11.80
BLDG. HEIGHT PROVIDED (FR. AVE. GRADE)	11.136

BUILDING AREAS:

PROPOSED TOWNHOUSES

TYPICAL FLOOR AREA FOR UNITS 1,2 & 3

UNIT 1		
Ground Floor	37.80sm	(406.87sf)
Second Floor	64.38sm	(692.98sf)
Third Floor	67.98sm	(731.73sf)
Total Floor Area	170.16sm	(1831.58sf)
UNIT 2		
Ground Floor	33.30sm	(358.43sf)
Second Floor	63.67sm	(685.33sf)
Third Floor	67.34sm	(724.84sf)
Total Floor Area	164.31sm	(1768.61sf)
UNIT 3		
Ground Floor	33.20sm	(357.36sf)
Second Floor	64.41sm	(693.30sf)
Third Floor	67.98sm	(731.73sf)
Total Floor Area	165.59sm	(1782.39sf)

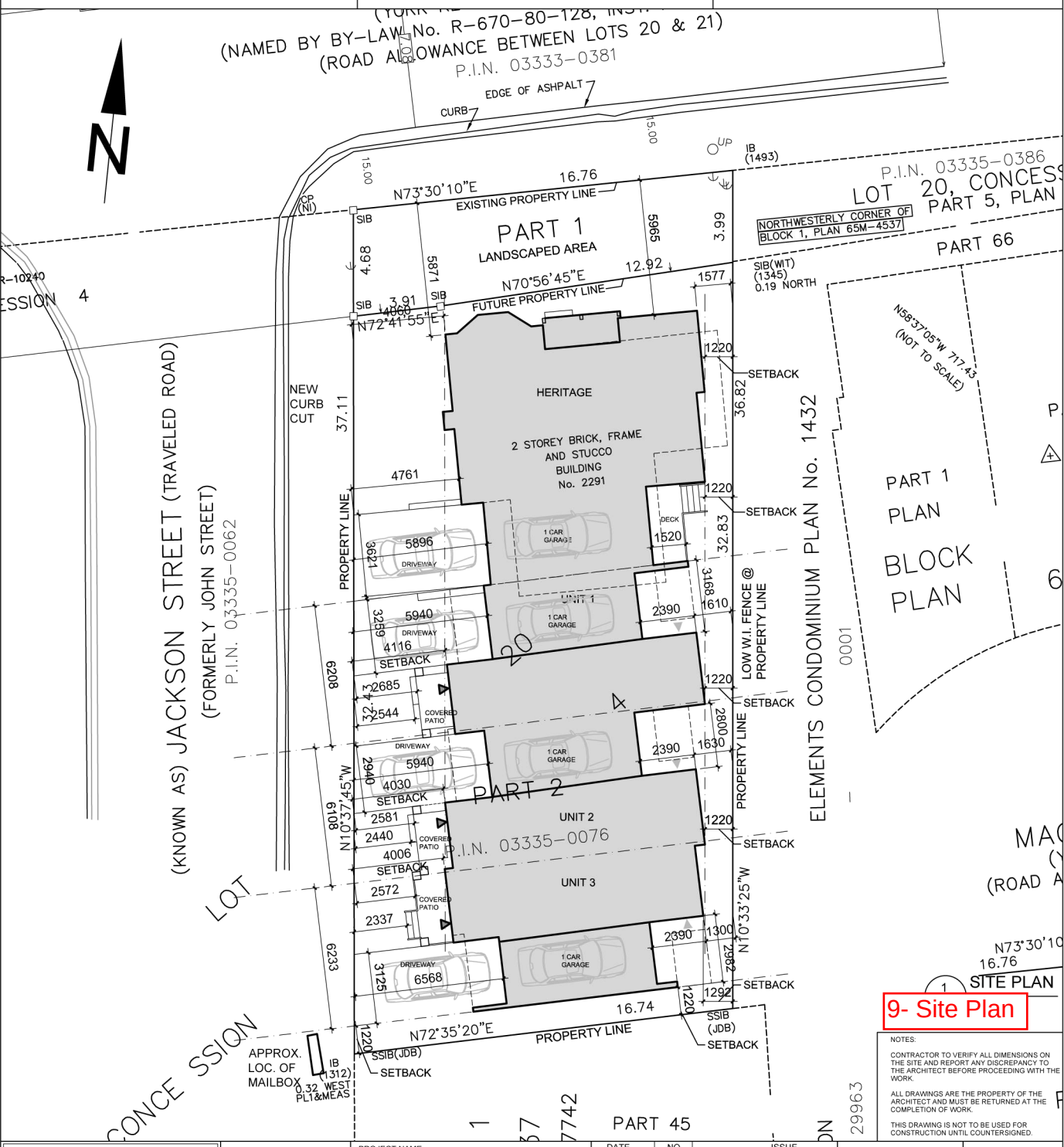
BUILDING AREAS:

TOTAL FLR. AREA OF 3 UNITS TOWNHOUSE	*500.06**sm***	***(5382.58sf)***
PROPOSED HERITAGE		
Ground Floor	84.93sm	(914.17sf)
Second Floor	87.27sm	(939.36sf)
TOTAL FLR. AREA OF HERITAGE	***172.20sm***	***(1853.54sf)***
TOTAL GFA	*672.26sm*	*(7236.14sf)*

OTHER AREAS:

PROPOSED TOWNHOUSES

Unit 1 Basement	59.28sm	(638.08sf)
Unit 2 Basement	58.65sm	(631.30sf)
Unit 3 Basement	59.90sm	(644.75sf)
HERITAGE		
Basement	109.48sm	(1178.43sf)
Garage	25.50sm	(274.48sf)



NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

MW HALL CORPORATION
21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS — MARK W. HALL LICENCE 4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Site Plan

DATE	NO.	ISSUE
2019 - 03 - 13	01	FOR CITY COMMENTS
2019 - 03 - 26	02	FOR CITY COMMENTS
2019-04-06	03	ISSUED SPA
2019-11-13	04	RE-ISSUED SPA
2020-10-19	05	2nd SUBMISSION

SCALE	
PROJ. NO.	18007
DATE	2019-03-13
DRAWN	AAF
CHECKED	MWH

A101

Date: 25-Apr-2018

Inspection No. 141045-228

Visual Property Inspection

2291 Major Mackenzie Dr
Vaughan, ON

Prepared for :

Dr. Carlo Ammendolia
Vaughan, ON

Inspected by :

Sandro Testa
26 Gainsville Ave
Unionville, Ontario L3R 1W8
Phone: (647) 559-7762 Email: sandro.testa@pillartopost.com

1.0 Inspection Details

The Inspection

Thank you for choosing Pillar To Post, the home of home inspection.

The subject property is a 1 1/2 storey detached dwelling municipally known as 2291 Major Mackenzie Dr. W., within the City of Vaughan and community of Maple.

The dwelling is also located within the Maple Heritage Conservation District. All properties located within this area have a historical designated pursuant to Part V of the Ontario Heritage Act and subject to development review. The overall objective in the designation is "to guide change so that it contributes to, and does not detract from, the District's architectural, historical, and contextual character". As such, any proposed changes that will impact the exterior of this building, including maintenance items / selection of materials that will affect its aesthetics are subject to the designation and likely review.

The dwelling itself is listed as a 1 1/2 storey / asymmetrical plan within the Gothic Revival style. Assessment records suggest it was built around c. 1920. The designation listing on the City of Vaughan web site lists no other historical / architectural attributes.

Inspection Package

☑ Pillar to Post Plus Inspection

Additional Services

☑ Mould Sampling

The client expressed concerns about the presence of mould in the basement and as such, sampling was conducted and specimens retrieved from the property for analysis by a certified lab. These samples were retrieved from the property on April 25, 2018 at approx. 2:00 PM and delivered to the lab on April 26, 2018 at aaprox. 2:40 PM.

A separate report was created by the lab based on an analysis specific to the mould samples provided, which falls within the scope of the inspection service provided by Pillar to Post Professional Home Inspection and provided as an addendum to the final inspection report.

Refer to EMSL Report, Order No.: 551804736, Project : 2291 Major Mackenzie Dr W.

Inspection Conditions

☑ Tenant Occupied Home ☑ Rain

Outside Temperature : 4 - 5 deg cel

The subject property is occupied by a tenant who runs a dress making / retail sales business from the premises. According to the tenant, the property is leased on a live / work basis and a portion of the building is utilized as a dwelling unit. The current tenant has occupied the premises for approximately 4 years as at the time of inspection.

Building Type

☑ Detached ☑ 1 1/2 Storey ☑ Commercial- Residential use

Approx. Age : 95 - 100 Years Old Hydrant within 150 m of property : Yes

The dwelling is described as a 1 / 2 storey wood frame structure, clad predominantly with brick tile (thin

slices of brick over a mortar base), some vinyl and aluminum siding as well as stucco cement. The foundation is partially block with stone / rubble below grade.

Two additions have been added to the main dwelling over time, the age of which is not determinable, however, both are not original to the initial construction.

One of the additions is utilized as an enclosed porch on the east side of the dwelling near the rear and the other is utilized as part of the main floor retail store, also located on the east side but at the front of the building. Neither of these structures were noted with basements / accessible crawl spaces.

Front / North Elevation

Side / West Elevation

Rear / South Elevation

East Side

Historical Information

The property was last inspected on April 7, 2005 by Lighthouse Inspections Canada, S. Fidale. Some of the findings in that report are referenced within this report.

The referenced Lighthouse report was hand written with no photographic support. Nonetheless, the principle finding in summary was stated as follows:

"Home is in need of major repairs i.e. Roof, gutters, exterior walls, foundation repairs, windows, bathrooms

and other items".

Since that time, and likely shortly thereafter some of the recommendations for repair contained within the report were undertaken, such as the roof covering, chimney, soffits, fascia and eavestroughs, as well as a number of windows.

However, given the dwellings current state of repair, noted at the time of inspection on April 24 and 30, 2018, it does not appear that any substantive repair was undertaken as it relates to the exterior walls, the foundation, electrical / plumbing systems or interior finishes / fixtures. As such, their current condition is documented within this report.

1.1 Property and Site

Site / Property General Comments

The lot grading is a significant contributor to the water penetration issue within the basement. The exterior finishes on front wall of the dwelling extend to finished grade and no portion of the foundation is visible. As well, although an attempt to manage the water entering through the foundation wall was noted in the basement by way of the installation of a sub-grade drain pipe within a trench system that leads to a sump pump, it has not prevented water accumulation.

RECOMMENDATION :

Part of the solution to manage run-off is to re-grade the front and side yard so as to direct water away from the foundation walls. In addition, some form of exterior drainage system / area drain to collect water in the front yard is also likely required. Consultation with a qualified landscape designer to discuss options to solve this issue is recommended.

Limitations

☐ Vegetation / Shrubs ☑ Debris / Waste Material

Storage of material / debris on site

Debris noted in east side yard. Old / unused septic catch basin also noted)

Landscaping / Topography

☑ Grade slopes toward foundation ☑ Improvements needed

Note / Observation :

The lot grading was noted as continuously sloping from the north boundary / front of the property until the south most / rear boundary. The street line was noted at a higher elevation point then the grading around the dwelling.

As such, the walls of the dwelling and foundation walls are constantly subject to run-off that originates from the boulevard / front yard. No significant provisions for management of run-off to protect the front / sides of the dwelling were noted in place.

The ground cover over approx. 90% of the property is asphalt paving and the markings suggest intended solely for vehicle parking.

grading slopes from the front of the property continuously to the rear

Driveway(s) / Parking **No Significant Visible Damage Noted**

☑ Asphalt

Note / Observation :

For the most part the exterior yard areas are covered with asphalt paving to facilitate on site parking. However, some cracks / deterioration was noted, but for the most part the surfacing remains reasonably smooth and in tact.

Maintenance Note :

Fill and seal cracks within the asphalt surfacing to reduce water penetration and seal the entire surface in order to extend the service life as part of a regular maintenance program.

Rear yard parking area

Porch(es) **Visible Damage Noted**

☑ Wood

Note / Observation :

The dwelling includes an enclosed porch on the east side of the dwelling that is a wood frame structure covered with OSB that has a stucco finish applied to it. The foundation for this structure was not visible as the exterior wall finish extends to grade level and likely below. However, this structure was noted in a poor state of repair at the time of inspection.

The condition of the exterior wall suggests that moisture has penetrated underneath the sheathing / stucco causing water related damage. The finish is peeling off and mould has formed on the surface.

Also noted were issues related to roof flashing which is not installed in a workmanlike manner and as such its condition is likely contributing to the issue of moisture penetration into the walls.

RECOMMENDATION :

The only way to repair this structure is to remove the damaged exterior finish, evaluate the underlying wood structure, repair / replace any deteriorated components and then replace the sheathing and finish materials. In addition, doing so will likely require a mould remediation effort. Consultation with a qualified contractor specializing in mould remediation and restoration is required.

Porch enclosure, east side yard

Rear wall of porch enclosure. Dark areas indicate water penetration into substrate material.

Damaged stucco corner of wall

Peeling stucco due to moisture. Visible mold growth on surface of OSB.

Guard(s) / Handrail(s)

☑ Provided

Note / Observation :

A guard / handrail was noted on stairs leading to the enclosed porch within the east side door. Although the guard is not constructed in accordance to current standards it does afford passage to occupants / users of property in safety. However, its condition should be monitored over time to ensure the guard remains structurally sound and able to withstand lateral forces to which it may be subjected to. Upon replacement, consult with a qualified contractor to ensure new guard / handrail conforms to current standards.

2.0 Exterior

Exterior General Comments

Some of the more significant issues noted on the property relate to the exterior elements of the dwelling. The condition of the exterior walls / cladding is in a extremely poor state of repair. The deterioration noted predominantly stems from a common cause, that is, moisture penetration. The problem is that the extent of the damage within the wall / foundation cannot be determined fully unless the cladding is removed.

Although it is not known how long the brick tile finish has been in place, it has been a considerable time. Given it current state / condition, it appears the implications related to maintenance in choosing this material were not fully appreciated by the property owners over the years and as such restoration / replacement of the cladding and likely a significant amount of the underlying structure, is now required due to the extent of damage sustained.

Limitations

☐ Debris / Waste material ☐ Vegetation / bushes

Other : Exterior walls finishes extend to grade

The exterior wall finishes extend to grade level along the front and a portion of the side walls as well and as such the foundation wall is not visible in these areas.

Paving installed against siding

Siding extends to grade at front of dwelling

Wood to soil contact in north east corner of building

Foundation Wall **Visible Damage Noted**

☑ Block

Note / Observation :

The foundation wall was noted as concrete block, as viewed from the exterior in relation to the original portion of the dwelling and the addition in the east side yard at the front of the dwelling. The type of foundation utilized for the enclosed porch was not visible.

Nonetheless, significant issues were noted with the foundation wall that include cracks / holes as noted along the rear wall and on the interior of the foundation wall as viewed from within the basement. This damage has resulted in water penetration over a long period of time. Efflorescence and mould was noted present on the wall within the basement but also on the exterior block above grade level.

RECOMMENDATION :

Complete restoration of the foundation wall is required. This work can only be done effectively from the outside of the wall, necessitating perimeter trenching to the depth of the footing / bottom of the foundation that will allow the wall to be repaired as required before a perimeter weeping tile system and waterproofing membrane can be installed. Consultation with a qualified contractor specializing in foundation repair / restoration is recommended.

Maintenance Note :

It is very important that water & runoff drain away from foundations to minimize chance of water leakage into the basement, as cracks in foundation walls are common. Make sure the ground, patios and walkways slope away from the house for the first six feet, optimally.

Concrete block above grade. Note surface mold on saturated block.

Cracked / broken foundation wall at basement walk-out

Damaged foundation wall at basement walk-out

Interior view of stone / rubble foundation

Porch foundation type not visible

Water saturated block wall.

Exterior Walls — Visible Damage Noted

☑ Brick / Stone

Note / Observation :

The exterior walls were noted as principally clad with brick tiles. They are approximately 3/8" to 1/2" thick and adhered to a mortar base that incorporates wire mesh reinforcement. In addition, the rear wall is covered with a cement stucco finish likely applied in a similar fashion.

As well, several sections of wall on the west and north elevations were noted with vinyl siding, which has been installed over the described exterior finish, likely to protect those areas where the surface has deteriorated and a choice was made not to repair the surface to its original state. Factors influencing that decision may be related to cost and product availability.

The brick tile surface is deteriorated to the point that the surface is buckling in several areas. As well, numerous areas were noted with missing, spalled and cracked brick tiles. The deterioration is due to moisture penetration into the substrate material, especially below window sills and areas where flashing has failed.

The window sills are made of cement that is also reinforced with wire mesh. These sills are badly deteriorated and enable water penetration into the wall system.

In general the described brick tile surfacing, as well as some of the stucco surfaces, have failed in numerous locations and are in a state of disrepair that will lead to further deterioration. The rate of deterioration will occur at an accelerated pace as more moisture penetrates.

Also of concern is the likely damage to the underlying structure the moisture has caused which cannot be assessed with the facing material in place.

RECOMMENDATION :

Consult with a qualified contractor specializing in building cladding installation to determine the state and extent of deterioration of all exterior wall surfaces / types. The current state of deterioration will likely involve replacement of all the brick tile surfaces and replacement of any rotted / deteriorated structural framing elements for part of the exterior walls.

Brick tile wall finish

Wall area below window sill failing. Brick tile finish is buckling.

Brick tile finish noted as buckling at corner of building.

Close-up view of failing brick tile. Cracked and spalling of surface / cement substrate.

Missing area of brick tile exposing cement substrate and mesh

Indiscriminate wall area with siding applied over brick tile.

Siding type over brick tile varies as applied at different times.

Rear stucco wall. Discoloration, especially under window sills noted.

Badly deteriorated window sill on second floor level

Parged wall above flashing

Deteriorated cement window sill has no capacity to keep water out of wall

Water saturated stucco wall

Wall Structure — Not Applicable

☑ Wood frame

Note / Observation :

Although not directly visible at the time of inspection, this type of construction is anticipated for this dwelling based on key indicators noted within the building.

Door(s) — No Significant Visible Damage Noted

☑ Metal / glass door ☑ Metal side door

Note / Observation :

The front door provides access into the storefront. It is commercial grade aluminum with fixed glass panel. The side door provides access from the enclosed porch on the east side of the dwelling near the rear. Both these door were functional at the time of inspection.

Windows — No Significant Visible Damage Noted

☑ Vinyl ☑ Casement

Note / Observation :

The building incorporates several types of windows. The storefront is made of large panels of glass (double glazed units) within aluminum / wood frames. They make up the main floor windows on the north / street side. In addition, most of the other windows are vinyl casement type which were manufactured / installed in 2008.

One window on the rear elevation is a horizontal slider that was not dated and the porch incorporates two fixed glass units.

An opening in the basement wall that has been boarded up suggest that at one tim there was a window here as well.

Nonetheless, although the windows require some attention / maintenance, they appeared serviceable.

Window to Wall Seal **Damaged: No**

☑ Monitor condition of caulking / seal

Maintenance Note :

Monitor / maintain windows and doors to promote weathering protection over time. Repair / replace sealant around windows as required.

Basement Walkout **Damaged: Yes**

☑ Concrete ☑ Drain Provided

Note / Observation :

The basement walkout located at the rear of the dwelling was noted as deteriorated and in a genral state of disrepair. It does not provide safe access/ egress into the basement. No landing is provided at the bottom or guard / handrail. A hinged wood panel is provided to protect the opening / stairs when the access point is not utilized.

RECOMMENDATION :

It is recommended that the basement walk-out be demolished and replaced with a structure that facilitates access from grade into the basement. Options include an exposed stairwell that incorporates a proper foundation extending below the frost line (4 ft below the lowest exposed level of the staircase) or an enclosed structure that can be heated so that the depth of foundation can be reduced to 4 ft below the finished grade level.

Also required for the basement walkout is the installation of a drain at the bottom of the stairwell. Doing so will likely require the installation a sump pump to direct water at an appropriate discharge point, the City's infrastructure or appropriate grade area.

Basement walkout

Single access point into basement

Standing water at bottom of walkout. Note dead rat floating in water.

3.0 Garage

Garage General Comments

The property does not include a garage structure, built-in / attached / detached.

4.0 Roof Structure

Inspected By:

☑ Binoculars / Grade

Limitations

☑ Rain ☑ Steep Slope ☐ Gravel Cover

Roof System

☑ Sloped ☑ Gable

Estimated Age : Approx. 10 - 12 years

Maintenance Note :

Monitor the roof on a seasonal basis for leaks and other damage that may result from wind or other factors . Conduct repair as soon as possible if any loose shingles, wind damage and deterioration is noted. Consult with a qualified roofing contractor as required.

Roof Covering(s) Visible Damage Noted

☑ Near end of life cycle ☑ Asphalt

Estimated # of Layers : 1

Note / Observation :

Although generally intact, some areas of the roof displayed surface deterioration. Areas of concern include lower roof planes where roof-to-wall flashing has failed / is not installed in a proper and workmanlike manner.

RECOMMENDATION :

The owner is advised to budget to replace the roof covering on lower roof planes within the next 3 - 5 years based on the anticipated life cycle. Replacement of the covering should include evaluation of roof sheathing (and replacement as required) which may have sustained damage in areas reliant on wall flashing to maintain water tightness. Consult with a qualified roofing contractor.

Gable roof type

Lower roof areas also noted as shingled

Various roof planes / slopes noted

Some shingles deterioration noted in places. Likely due to moisture penetration.

Accessory / Penetrations **No Visible Damage Noted**

☑ Vent Stack ☐ Vent Caps ☑ Chimney(s)

Flashing **Damaged: Yes**

☐ Drip Edge ☑ Roof to Wall ☑ Valley ☐ Cap Flshg ☑ Aluminum / Galvanized

Note / Observation :

Flashing noted on the main roof above the second floor level appeared on tact and not compromised at the time of inspection.

However, wall flashing for lower level roof planes were noted as deteriorated and an improper use of material. Roofing paper / membrane has been installed on the walls above shingled areas, most likely in an attempt to prevent moisture penetration / further damage.

RECOMMENDATION :

A counter flashing system (preferably aluminum) needs to be employed above all lower level roof planes that intersect with exterior walls so as to prevent moisture penetration into wall and roofing substrate material.

Maintenance Note :

Inspect flashing on a regular basis and ensure counter measure application remain in tack / sealed and that it does not bend / incur wind damage.

Improper wall flashing at lower roof plane

Improper wall flashing

Gap in flashing at wall noted above roof

Fascia / Soffit **No Visible Damage Noted**

☑ Aluminum

Note / Observation :

The aluminum soffit / fascia was likely installed just after the April 2005 inspection as the author of the inspection report described deteriorated wood soffit and fascia board requiring repair / replacement.

Gutters / Downspouts — No Visible Damage Noted

☑ Aluminum ☐ Missing / Not Provided

Note / Observation :

The aluminum eavestroughs / downspouts were likely installed just after the April 2005 inspection as the author of the report described deteriorated eavestrough requiring repair / replacement.

Although noted as functional at the time of inspection, most of the dowspouts drain into subgrade pipes for whicch the discharge point was not determined as part of this inspection.

RECOMMENDATION :

Consult with a drain contractor to scope and determine the discharge point for the downspouts so as to ensure theye are functional and result in removal of water away from the dwelling.

Downspout noted as extending into below grade drain pipe

Downspout below grade discharge

Downspout at front of building discharging at grade

Damaged / perforated downspout

Chimney/Vent **No Visible Damage Noted**

☑ Masonry ☑ Furnace

Note / Observation :

The chimney was likely repaired just after the April 2005 inspection as the author of the report described deteriorated brick / mortar.
At the time of the current inspection the chimney above grade was noted in a generally good state of repair.

Brick Chimney

Brick chimney extends below grade

5.0 Attic / Roof Space

Inspected By

☑ No Access / Sealed

Limitations

☐ Insulated ☐ Stored Items

Note / Observation :

Although enclosed roof spaces / attics are present within the dwelling, there were no provisions noted to facilitate access into them.

Maintenance Note :

The owner is advised to create access points into attic spaces so as to enable the evaluation of the condition of these spaces and to make the required repairs / improvements as determined.

6.0 Basement / Structure

Basement / Structure General Comments

The condition of the basement as noted at the time of inspection is of significant concern as it relates to the maintenance of the property from a structural standpoint, as well as a habitable one. It has been allowed to deteriorate to the point that it is no longer safe to access.

The basement is only accessible from a walkout at the rear of the dwelling that is accessed from the rear yard. There is standing water on the floor concentrated near the rear portion of the dwelling, which has no where to drain and has become stagnant. At least one dead rat was noted floating in the water. The space is heated and the presence of active mould growth was determined through testing. Structural damage was noted and repairs / alterations have been performed which as suspect as to their ability to perform the intended function.

In addition the current condition of the electrical system within the basement also posses a hazard to anyone accessing the space for service / other reasons.

Limitations

☐ Partially Finished ☑ Storage ☐ Dry Weather

Note / Observation :

Material storage within the basement prevented complete visual access to all floor and wall areas.

Interior view of basement

Standing water at rear portion of basement

Storage of material in basement noted

More stored material

Foundation Wall **Significant Visible Damage Noted**

☑ Block ☑ Partly Concealed

Note / Observation :

The foundation walls are comprised of stone / rubble below grade. Cracks / other deterioration was noted in various locations.

Basement walls were checked visually and with a moisture sensor. In doing so water penetration was noted at the time of inspection. As well, the presence of efflorescence / moisture diffusion through the wall was also noted, which indicates the presence of moisture on the outside of the wall that has no where to go and the likelihood there is weeping tile / drainage provisions in place is extremely doubtful.

Some of the block on the exterior of the building that is visible also displayed the presence of significant levels of moisture for which the source was not easily determined but is likely due to penetration within the walls from above.

RECOMMENDATION :

See recommendation contained within the EXTERIOR section of this report related to the foundation wall. In addition to the scope of work specified within that section, the interior condition of the foundation also needs to be addressed, which should include crack / structural repair, mould remediation and cleaning.

Interior of stone foundation wall - east side

Water stained / damaged foundation wall

Portion of foundation noted as wet at the time of inspection

Significant amount of efflorescence on inside of foundation wall caused by moisture migration through the wall

Floor Structure/ Joists — Visible Damage Noted

☑ Partly Concealed ☑ Dimensional Lumber

Note / Observation :

Only a small amount of the wood floor structure was noted as visible from the basement as the ceiling is mostly covered with drywall. For the portions that were visible the integrity of the wood was tested and found not to be compromised (in those areas). In addition, no wood destroying insects were noted / visible at the time of inspection. However, some water stains were noted and the drywall was saturated with moisture. In fact, the presence of mould was noted on the exposed portion of the drywall and samples were taken for testing.

The testing conducted by a certified lad concluded that there was in fact mould growth and that it was active at the time of sampling.

In addition, some of the floor joists were noted as cracked / damaged.

RECOMMENDATION :

Removal of all drywall as part of the required mould remediation.
Consultation with a mould remediation contractor and then a professional engineer / designer to evaluate the condition of the wood floor structure in addressing any structural damage / alterations in place intended to modify the original structure.

Mould growth noted on underside of ceiling drywall

Drywall on basement ceiling is damaged by moisture. Mould growth also visible.

Visible wood joists not structurally compromised

Cracked / compromised floor joist

Basement Stairway — Not Applicable

☐ Concrete

None provided. There is no direct access from the main floor of the dwelling into the basement. Access to basement is only gained from exterior stairs at the rear of the building.

Sill Plate — Not Applicable

☐ Completely Concealed

Beam **No Visible Damage Noted**

☑ Wood ☑ Partially Concealed

Note / Observation :

Only a very small section of the built-up wood beam supporting the main floor structure was visible at the time of inspection.

Post(s) / Load Bearing Wall(s) **Visible Damage Noted**

☑ Partly Concealed ☑ Metal

Note / Observation :

A masonry load bearing wall was noted within the middle of the basement which did not appear structurally compromised. However, some additional vertical support elements were noted comprising of pressure treated 4" x 4" posts that support structural steel angle-irons placed directly below and perpendicular to the span of the floor joists, which suggest they are intended to support the structure above them. These posts are placed on a base of stone pavers but there is no physical connection / fastening of the posts to the angle-iron or the stone base / footing.

RECOMMENDATION :

The design and condition of the vertical wood posts installed in the basement needs to be evaluated by a professional engineer / designer to determine the appropriateness / effectiveness in facilitating their intended purpose.

Steel angle-iron installed under floor joist and propped up by wood post

Vertical wood post supports noted in basement

Wood post supported on stone paver units

Brick load bearing wall

Insulation System

Not Applicable

☐ Expanded Polystyrene ☐ Plastic Vapor Retarder

Note / Observation :

None noted in place, except for rear of door to exterior which has a piece of polystyrene attached to it.

7.0 Electrical System

Electrical General Comments

Most of the wiring throughout the dwelling is hidden within wall / floor cavities and not visible. However, although newer three-prong outlets are visible within each room of the dwelling as tested they are not grounded. The only grounded outlet was noted within the kitchen. This suggests the old wiring (ungrounded double wire) remains in place.

However, most of the wiring at the breaker panel is newer Romex type (grounded triple wire). Therefore, splicing connections have been made throughout the dwelling between the newer and older wiring. One such junction box was noted within the basement with no cover and thereby exposing this type of connection. Also noted within the basement was live knob and tube wiring connected to a hanging light fixture.

The inspection also determined the widespread use of extension cords / power bars (most as permanent wiring) throughout the dwelling because the number of outlets avaliable is not sufficient. In speaking with the tenant, they describe having to constantly go into the basement to rest breakers when multiple electrical equipment / items are utilized at the same time. As such, an unsafe condition has been created with the potential to be a fire hazard.

Others specific issues found will be detailed within this section of the report.

Generally speaking the hazard exists because of the mix / incompatibility of different types of wiring, components and technology, some that is very old / obsolete and never intended to remain in service for the length of time it has been.

Limitations

Circuit Sizing - The Inspector is required to address the compatibility of conductors and overcurrent devices. In some instances, general trade procedures include over-sizing overcurrent devices to guard against nuisance (e.g. air conditioning units, dryers). The Inspector is not required to evaluate such general trade procedures, but to inform you of incompatibility.

Not all receptacles / outlets may have been tested due to limited accessibility (i.e. furniture, clutter and/or obstructions).

Electrical Service **Damaged: No**

☑ Overhead Cables

Meter Location : North-East corner of dwelling

Estimated Service Size (Ampacity)

☑ 200 Amps

Service Entrance Cables

☑ Copper
Estimated Wire Gauge : Not determined - Concealed

Main Disconnect — Damaged: No

☑ Breaker ☑ 100 amps
Disconnect Location: Integrated as part of breaker panel

Ground — Damaged: No

☑ Ground path concealed ☐ Water Main ☐ Gas Line Bonding

Distribution Panel — No Visible Damage Noted

☑ Breakers ☑ 125 Amp Rating
Location: North-East corner of basement

Note / Observation :

The breaker panel was noted with the cover missing, which creates a hazard for anyone interacting with it to reset a tripped breaker / coming into contact with the panel inadvertently.

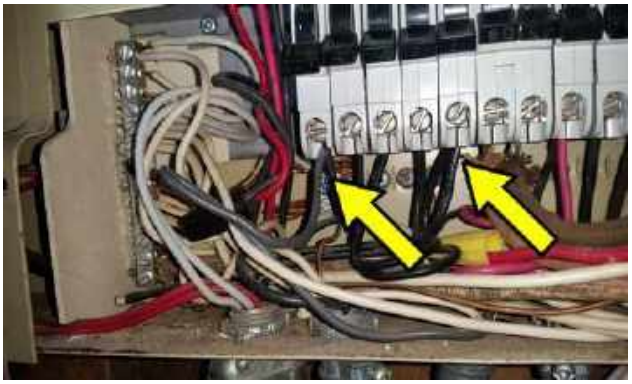
As well, a number of breakers were noted as double tapped within the panel (mostly 15 amp) which suggests the number of breakers is not sufficient. As well, no markings were available to determine what these circuits serve within the dwelling.

RECOMMENDATION :

Consult with a qualified professional electrician to evaluate the breaker panel as well as the double tapping noted and effect required repairs in accordance with applicable standards / regulation to make it safe.

Main panel, no cover provided

Panel noted as full. No spars circuits / breakers available



Circuit double tapping

Old cloth sheathed wring noted in panel servicing the stove still in place

Branch Circuit Wiring **Damaged: No**

☑ Predominant - ungrounded cable ☑ Copper Conductors

Note / Observation :

The wiring in the dwelling is a mix of old ungrounded 2-wire type mixed with newer 3-wire type. As such, the circuits are not grounded. Although most of the old wiring is cloth sheathed type, some knob and tube was also noted in the basement which was still live at the time of inspection.

As well, throughout the dwelling wiring was noted as mounted over finished surfaces also creating an unsafe conditions with anyone inadvertently coming into contact with them. In addition, through each room electrical cords / power bars were in use as permanent wiring also creating a hazardous condition as the number of circuits were never intended to facilitate current demand for electricity in this day and age.

RECOMMENDATION :

Consult with a qualified professional electrician to evaluate the number of outlets / circuits available and in

use, as it relates to the electrical demand placed by on them in conjunction with an evaluation of the entire system to effect the required changes / upgrades that enable use by current standards.

Old wires spliced with new in open junction box

Old active knob and tube wiring

Wall outlet likely overloaded

Extension cords used as permanent wiring

Stove outlet also used for small appliance

Kitchen fan connection to outlet

Inordinate number of power bars in use

Fixtures — Visible Damage Noted

Note / Observation :

The goal of the inspection of the fixtures is to gain an overall impression of the system. To do this, a representative number of fixtures are operated. We endeavor to operate as many as possible but some may not have been operated.

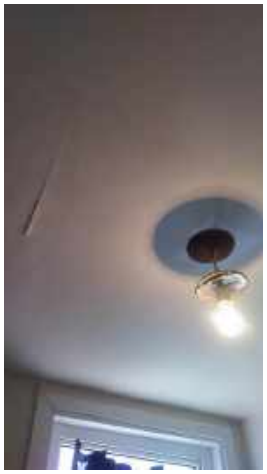
Inoperative and broken fixture were noted within the dwelling. Some fixtures were noted without covers over fluorescent bulbs, which pose a hazard to occupants who may come in direct contact with then resulting in breakage and the release of toxic gases.

RECOMMENDATION :

Replace any broken / inoperative light fixture throughout the dwelling as required in conjunction with other recommended electrical work to be conducted by a qualified professional electrician.

Exposed fluorescent bulbs

Inoperative fixture



Light fixture with missing cover

Receptacles - General **Damaged: Yes**

☑ Three prong but not grounded

Note / Observation :

A representative number of outlets were tested to gain an overall impression of the system. We endeavor to test as many as we can as we work our way through the home. Some are not tested such as those that are inaccessible and those that would require us to unplug the homeowners equipment.

Conditions noted included outlets with open grounds, reverse polarity and no power supply (yet all breakers noted on). Only one outlet within the dwelling was noted as grounded within the kitchen.

RECOMMENDATION :

Consult with a qualified professional electrician to evaluate the condition of outlets noted throughout the dwelling (inoperative, open grounds and reverse polarity) and rectify defect as required in conjunction with other recommended electrical repairs / upgrades.

Reverse polarity condition

Open ground condition throughout

Broken bedroom light switch

Inoperative outlet (also exposed bulb above)

Exterior Receptacles — Not Applicable

☐ Tested ☐ Not GFCI Protected

Note / Observation :

None noted.

Kitchen Receptacles — Operational: Yes

☑ Tested ☑ Not GFCI Protected near sink

Note / Observation :

Outlets near kitchen sink (within 5 ft) are not GFCI protected and as such pose a hazard to occupants / users of dwelling.

RECOMMENDATION :

For improved safety replace outlets / circuit breaker serving electrical outlets near the kitchen sink with GFCI type. Consult with a qualified electrician as required.

Bathroom Receptacles **Operational: Yes**

☑ Tested ☑ Not GFCI Protected

Note / Observation :

Outlets in bathrooms near sink were noted as non-GFCI type and as such pose a hazard to occupants / users of dwelling.

RECOMMENDATION :

For improved safety replace outlets / circuit breaker serving electrical outlets near bathroom sinks with GFCI type. Consult with a qualified electrician as required.

Non GFCI outlet (also open ground condition noted)

8.0 Heating

System Description

The forced air gas furnace is installed in the basement area that is intended as a heated space.

Manufacturer : American Standard

Model no. : AUD1B080A9361AA

S/N : 8354UJ71G

Manufacture Date: 8/2008

Limitations

☐ System Shut Down / Not Tested

System operating in heating mode at time of inspection.

Dismantling the furnace to thoroughly inspect the heat exchanger / burner is beyond the scope of this inspection. You are advised to obtain the services of a qualified gas fitter / technician to perform a complete inspection of your furnace prior to the start of the heating season.

Forced Air Gas Furnace — Operational: Yes

☑ Mid Efficiency ☑ Combustion Air From Inside ☑ Natural Gas

Estimated Age (years) : 10 Furnace Capacity Input (BTU) : 80,000

Gas furnace

Venting — No Visible Damage Noted

☑ Metal ☑ Chimney

Note / Observation :

The furnace also relies on air circulation to the appliance, from within the basement, for combustion purposes. The metal flue runs to a masonry chimney that is metal lined.

Also noted was the fact that the furnace sits on the floor slab and as such is subject deterioration and catastrophic failure in the event of a more severe basement flood.

Maintenance Note :

The furnace should be cleaned and inspected prior to each heating season as part of a regular maintenance program.

Furnace sits on floor of basement

Thermostat — Operational: Yes

☑ Programmable
Location : Main floor level back room

Fuel Source Shut Off Location

☑ At / Near Appliance
Location : Near furnace

Note / Observation :

Valve tagged for identification at time of inspection.

Central Humidifier **Not Applicable**

☐ No Evidence of Failure

Note / Observation :

Not provided.

Filter **Damaged: No**

☑ Disposable

Note / Observation :

Disposable filter noted in place. However, it was also noted to be close to the basement floor level and as such subject to getting wet in a flood condition, which may result in distribution or dirty / stagnant water into furnace / duct system and possibly mould spores.

Although a sump pump was noted near by, it did not have a battery back-up system to ensure continuous operation.

Maintenance Note :

Inspect regularly to ensure cleanliness is maintained and operation of furnace is not affected. Replace filter at regular intervals (every three months is suggested) or more frequently as required.

RECOMMENDATION :

Rectifying the possible flooding condition within the basement will allow the furnace to operate as intended.

Air Ducting **Not Applicable**

☑ Concealed

8.1 Air Conditioning / Heat Pump

System Description

No central air conditioning system noted in place. Two window units were noted in place to facilitate the dress shop on the main floor level. Neither were operational at the time of inspection, nor were they evaluated as part of the inspection.

9.0 Plumbing System

Limitations

Water Supply Lines

☑ Metered ☑ Copper

Shut-Off Location: Basement, near west side wall

Maintenance Note :

Maintain water main valve clearance to facilitate quick access / emergency / servicing.

Main water shut-off valve and meter

Water Pressure / Flow

☑ Static pressure test not provided ☑ Adequate

Water Quality

☑ No odour/discoloration ☑ Water quality test not provided

Note / Observation :

Municipal water supply. No discolouration / odour noted at time of inspection.

Distribution Piping

No Visible Damage Noted

☑ Copper

Other : Plastic (PEX)

Note / Observation :

Distribution piping is visible in some areas. Of course, most of the piping is concealed. The piping types indicated above were identified.

Plastic pipes have been installed to facilitate the kitchen sink and the clothes washer.

Maintenance Note :

Re-secure sections of distribution piping where necessary to reduce potential system failure and secondary water damages.

Predominantly copper plumbing supply lines

PEX lines for washing machine

PEX lines under kitchen sink

Hose Faucet(s) **Not Applicable**

Location : West side wall of dwelling

Note / Observation :

The hose bib was noted within the boarded-up opening that used to be a basement window.

Maintenance Note :

Ensure valve are shut-off during winter months to prevent possible leaks / damage.

Hose bib

Waste Drainage Pipe

☑ Plastic
Other : Brass, cast iron and plastic (PVC)

Note / Observation :

Wherever visible, drain pipes were inspected. The pipe types found during the inspection are identified above.

The P- traps for all the sinks in the dwelling were noted with an improper S - configuration which may result in siphoning that would leave the trap without water and unable to prevent sewer gases from entering the dwelling. A condition may in fact be hazardous to the occupants / users of the property.

RECOMMENDATION :

Consult with a qualified plumber to evaluate / modify the existing P- traps so that the are configured in accordance with applicable standards and maintain water within the trap thereby inhibiting sewer gases from entering the dwelling.

Cast iron and brass connection to newer PVC type drain pipe in basement

S-Trap drain configuration under second floor bathroom sink

S-Trap drain configuration under main kitchen bathroom sink

S-Trap drain configuration under main floor bathroom sink

Floor Drain(s)

Note / Observation :

None noted within the basement and although a sump pump / pit was noted in place, the entire floor does not drain / slope to it (as evidenced by the presence of standing water at the rear portion of the basement).

RECOMMENDATION :

Consult with a qualified plumber in consideration of relocating the existing sump pump / adding an additional pump(s) to ensure that the any water that collects within the basement is pumped / drained to an appropriate discharge point.

Water Heater **Operational: Yes**

☑ Electric ☑ Storage tank system ☑ Fuel Shut-off at Tank

Estimated Age (years): 10 Estimated Capacity (gallons): 30.5 IMP

Note / Observation :

Manufacturer : Rheen

M/N : RR410T

S/N : 0802J10264

The hot water heater is likely a rental unit. It was noted as raised off the floor level using concrete blocks. However, there is no guarantee that the water level won't get to the bottom of the tank, which may cause catastrophic failure / other damage.

Electric HWT on concrete blocks in basement

Relief Valve **Damaged:** **No**

☑ Provided

Discharge Tube **Damaged:** **No**

☑ Provided

Sump Pump **Operational:** **Yes**

☑ Submersible ☑ Cover not provided

Location : West side of basement, midway along the wall

Note / Observation :

A sump pump was noted in the basement that was operational at the time of inspection. However, no power back-up provisions were noted in place.

As well, the pump is installed in a location where it cannot serve the entire basement as it is not in the lowest point of the floor slab. In fact, 3-4 inches of standing water was noted in the rear most portion of the basement at the time of inspection that had no where to go.

The pump appears to have been installed to facilitate water penetration through the foundation wall at the front of the dwelling, as evidenced by the trenching in place along the inside of the foundation wall, that incorporates a weeping tile and gravel bed that is directed into the sump pit.

Also of note, the discharge was noted as directed through a pipe that appears to penetrate the foundation wall but the ultimate discharge point was not determinable.

RECOMMENDATION :

Consult with a qualified plumber / drain contractor to ensure that the entire basement is served by a sump pump / pumps. In addition, battery back-up systems are required to ensure continuous operation in case of a power outage / failure. In addition, confirmation that the water is being discharged from the pump to an appropriate location is also recommended.

Submersible sumo pump

Trench / drain pipe leading into sump pit

Perimeter trenching along inside of foundation wall

Pump discharge tube runs into foundation

11.0 Interior Living Spaces

Limitations

The dress shop and dwelling unit is full of material and the occupants belongings. There is also an excess of dresses / retail stock within the storefront. All of which inhibited viewing of floor and wall surfaces.

Dress shop full of product / merchandise

More stock

Interior General Comments

As described, the dwelling is utilized as a retail business, as well as a dwelling unit. The main floor level at the front is used a dress shop. The rear portion of the main floor and the second floor level is utilized as a dwelling unit.

Nonetheless, the interior of the dwelling is noted as not in a good state of repair and serviceability. All rooms and especially the bathrooms and kitchen are in need of major renovation of surfaces and fixtures.

Floors — Visible Damage Noted

Note / Observation :

The floors are predominantly laminate type of various styles throughout. In addition, the kitchen, bathrooms and other miscellaneous areas are tiled.

For the most part the floor finishes are worn and tiled areas are loose, cracked and badly deteriorated.

However, for the most part the flooring within the dress shop appeared serviceable at the time of inspection.

RECOMMENDATION :

Renew flooring throughout as required to eliminate hazards associated with broken-up flooring finishes.

Consult with a qualified flooring contractor as required.

Laminate tile floor finish

Cracked / broken floor tile

Walls — Visible Damage Noted

Note / Observation :

Predominantly drywall / plaster.

Deteriorated / old paint finishes with some plaster damage was noted throughout.

RECOMMENDATION :

Renew internal wall finishes and repair any plaster damage as required.

Ceilings — No Significant Visible Damage Noted

Note / Observation :

Predominantly drywall / plaster. Acoustic suspended- ceiling tiles within the dress shop and smaller acoustic tiles adhered to the ceiling in some areas.

Most surfaces described appeared tired. Damaged ceiling tiles were noted as well as peeling / deteriorated paint surfaces and water stains.

RECOMMENDATION :

Renew / replace damaged internal ceiling finishes and repair any plaster damage as well, as required.

Water stained ceiling

Windows — Operational: Yes

☑ Windows that were tested/operated are functional

Note / Observation :

A representative number of windows were tested during this inspection.

Our goal is to determine the overall condition of the windows. We endeavor to test as many as we can but some were not tested. See note / observation within EXTERIOR section of report.

Interior Door(s) — Operational: Yes

☑ Improvements / Repairs Needed ☑ Swinging

Note / Observation :

A representative number of doors were operated during this inspection. Most were functional, however, a couple were noted as damaged at the hinges / entirely removed from frames.

RECOMMENDATION :

Repair / replace any damaged doors / door hardware to ensure they are secured in place and functional.

Door removed from hinges

Stairways — No Visible Damage Noted

Note / Observation :

Painted wood type finish noted.

Stairs to second floor level

Hand Rails / Guard Rails — No Visible Damage Noted

Note / Observation :

The top portion of main stairs does not incorporate a handrail for safe passage. The entire staircase forms one continuous run and as such the handrail nust also be continous.

RECOMMENDATION :

Ensure that a continuously graspable handrail is installed on the main stairs for safe passage in accordance with current standards / regulation. Consult with a railing contractor as required.

Section of stairs with missing handrail

Smoke Detectors

☑ Basement ☐ Main floor(s) ☑ Near sleeping areas

Note / Observation :

The home was inspected for the presence of smoke detectors. The selected list above is where smoke detectors were present. The smoke detectors were not tested during the inspection. For safety and peace of mind, you should test all smoke detectors when you move into the home and replace any that are suspect.

RECOMMENDATION :

Provide smoke detectors on all levels of dwelling and near sleeping area as required by law for occupants safety.

Main floor inoperative smoke detector

Second floor level detector

Smoke detector in basement hanging from junction box

Carbon Monoxide Detectors

☐ Basement ☐ Main floor(s) ☐ Near sleeping areas

Note / Observation :

The home was inspected for the presence of Carbon Monoxide detectors. The selected list above is where CO detectors were present. The CO detectors were not tested during the inspection. For safety and peace of mind, you should test all CO detectors when you move into the home and replace any that are suspect.

RECOMMENDATION :

Provide carbon monoxide (CO) detectors on levels containing fuel burning appliances and near sleeping areas as required by law for occupants safety.

Heating / Cooling Distribution — Operational: Yes

☑ Air Registers

Laundry Room / Area — Not Applicable

☑ Washer ☑ Electric Dryer

Note / Observation :

Selected above are the appliances present at the time of the inspection within the enclosed porch section of the dwelling. Operating cycles and appliance functions were not tested.

Stalked washer / dryer enclosed porch

Dryer Venting **Damaged: Yes**

☑ Sidewall ☑ Metal Duct

Note / Observation :

Exterior vent was noted without a cover which will allow water into the opening.

RECOMMENDATION :

Install appropriate vent cover for dryer exhaust on exterior wall so as to prevent water penetration into the wall system.

Dryer venting

Exterior unprotected dryer vent

11.1 Kitchen

Limitations

Kitchen General Comments

Note / Observation :

The focus of the kitchen inspection is on overall performance rather than cosmetic conditions or flaws.

Nonetheless, the condition of the kitchen was found to be in a general state of disrepair. Cupboards, counters and appliances are old and in need of renewal.

RECOMMENDATION :

Renew / renovate kitchen as required to bring it back to a usable state.

Main floor kitchen

Sink

Damaged: **No**

- [x] Faucet functional
- [x] Sink drains functional
- [ ] Garbage disposal unit functional

Sink Faucet mounted on section of wood over counter

Counter **Damaged:** **Yes**

☑ Laminate ☑ Not serviceble

Note / Observation :

The counter top was noted as water damaged especially underneath / beside the sink faucet.

RECOMMENDATION :

As part of the recommendation to renew the kitchen the counter needs to be replaced.

Counter deteriorated around sink area

Cabinets **Damaged:** **Yes**

☑ Wood ☑ Not serviceble

Note / Observation :

The cupboards were noted as old / damaged, beyond their anticipated service life.

RECOMMENDATION :

As part of the recommendation to renew the kitchen the cupboards need to be replaced.

Old / tired kitchen cabinets / drawers

Range Hood / Exhaust Fan — Operational: Yes

☑ Standard Vented Outside

Note / Observation :

Although functional the fan was noted as old / rusted and missing filter elements.

Rusty old fan above stove with no filter elements and direct view to exterior.

Major Appliances (Built-in) — Not Applicable

☑ Stove ☐ Oven ☐ Cooktop ☑ Refrigerator ☐ Dishwasher
☐ Sink Garbage Disposal ☐ Microwave

Note / Observation :

Selected above are the appliances present at the time of the inspection. Operating cycles and appliance functions were not tested.

Appliances noted in place

11.2 Bathrooms

Bathrooms General Comments

The focus of the inspection is on overall performance rather than cosmetic conditions or flaws.

The condition of the bathrooms was found to be in a general state of disrepair. All fixtures are old and in need of renewal.

RECOMMENDATION :

Renew / renovate bathrooms as required to bring them back to a usable state.

Main floor bathroom

Second floor bathroom

Sink(s) — Visible Damage Noted

☑ Faucet(s) functional ☑ Drain(s) functional ☑ Shut-off Valves not provided

Note / Observation :

Only the sink within the second floor bathroom was noted with shut-off valves.

Counter(s) — Damaged: No

☑ Composite Stone

Cabinet(s) — No Significant Visible Damage Noted

☑ Wood

Toilet(s) — No Visible Damage Noted

☑ Functional ☑ Loose

Note / Observation :

Toilet in second floor bathroom was noted as a loose and requiring tightening / re-securing to floor. In doing so ensure flange gasket is not damaged / compromised.

Loose toilet in second floor bathroom

Tub / Shower Enclosure(s) Damaged: Yes

☑ Faucet(s) functional ☑ Drain Functional

Note / Observation :

The tub is old with badly worn with deteriorated surfaces in need of re-finishing / replacement.

In addition a significant amount of moisture was detected in the tiled wall substrate material with the aid of a moisture meter.

Main floor bathroom tub is old / worn

Significant moisture penetration in tub enclosure wall

Floors Visible Damage Noted

Note / Observation :

The floor within the bathroom was noted as old / deteriorated with significant water penetration noted in substrate material with the aid of a moisture sensor.

Toilet does not sit on tile but below it. Tile not fitted around toilet leaving gaps.

Tile floor near tub is saturated with moisture.

Walls — Visible Damage Noted

Note / Observation :

Bathroom walls were noted with deteriorated / peeling paint.

main floor bathroom with hole in tiled wall

Wall above shower stall with deteriorated plaster / peeling paint

Exhaust Fan(s) — Not Applicable

☐ Attic

Note / Observation :

None noted.

12.0 Additional Comments

General Comments

This inspection is performed to the Standards of the Canadian Association of Home and Property Inspectors, is visual in nature, and does not address building code compliance issues which are the purview of municipal building inspectors.

This building is approximately 85-90 years old and most of the building systems are beyond their anticipated service life. In fact, the lack of rigorous maintenance has lead to significant damage to structural components, finishes and fixtures throughout the building that now require immediate attention. Although some components were done, like the roof, soffits, eavestroughs and a furnace, a regular maintenance program was not adhered to as required for this type and age of building. Nonetheless, if the owner is unsure as to the required maintenance / repair work to be performed, a qualified contractor / consultant appropriate to the trade / expertise should be consulted.

Also note that, the inclusion of pictures contained in this report is done at the sole discretion of the inspector and those pictures are only intended to provide clarity around an issue being described. They are not to be relied upon out of context to the issue they are associated with in the report. In general, they are also not intended to provide an exhaustive narrative pictorial account of the inspection.

Additional Limitations

The Building Inspection Report as presented herein outlines the Inspector's observations and opinions regarding the physical condition of the subject property as observed at the time of the inspection based solely upon a visual examination of readily accessible building systems and components as outlined in the report.

The Building Inspection Report is not intended as a warranty or guarantee of any kind with regard to the physical condition, sale or merchantability of the property as it pertains to adequacy, performance or fitness for use.

The Building Inspection Report is not intended to signify, confer or act as a compliance inspection or certification of or for any governmental / non-governmental codes, ordinances or regulations of any kind.

The Building Inspection Report is prepared exclusively for the client named herein and shall not be assigned, transferred or sold to any outside third party. Pillar to Post nor its agents shall bear any responsibility for use of information contained in this report by other than the client for whom it is intended.

12.1 Recommendations

This summary / recommendation consolidation is not the entire report. The complete report may include additional information of concern to the client.

It is recommended that the client read the entire report.

Recommendations :

1.1. Property and Site

Site / Property General Comments

RECOMMENDATION :

Part of the solution to manage run-off is to re-grade the front and side yard so as to direct water away from the foundation walls. In addition, some form of exterior drainage system / area drain to collect water in the front yard is also likely required. Consultation with a qualified landscape designer to discuss options to solve this issue is recommended.

Porch(es)

RECOMMENDATION :

The only way to repair this structure is to remove the damaged exterior finish, evaluate the underlying wood structure, repair / replace any deteriorated components and then replace the sheathing and finish materials. In addition, doing so will likely require a mould remediation effort. Consultation with a qualified contractor specializing in mould remediation and restoration is required.

2.0 Exterior

Foundation Wall

RECOMMENDATION :

Complete restoration of the foundation wall is required. This work can only be done effectively from the outside of the wall, necessitating perimeter trenching to the depth of the footing / bottom of the foundation that will allow the wall to be repaired as required before a perimeter weeping tile system and waterproofing membrane can be installed. Consultation with a qualified contractor specializing in foundation repair / restoration is recommended.

Exterior Walls

RECOMMENDATION :

Consult with a qualified contractor specializing in building cladding installation to determine the state and extent of deterioration of all exterior wall surfaces / types. The current state of deterioration will likely involve replacement of all the brick tile surfaces and replacement of any rotted / deteriorated structural framing elements for part of the exterior walls.

Basement Walkout

RECOMMENDATION :

It is recommended that the basement walk-out be demolished and replaced with a structure that facilitates access from grade into the basement. Options include an exposed stairwell that incorporates a proper foundation extending below the frost line (4 ft below the lowest exposed level of the staircase) or an enclosed structure that can be heated so that the depth of foundation can be reduced to 4 ft below the finished grade level.

Also required for the basement walkout is the installation of a drain at the bottom of the stairwell. Doing so will likely require the installation a sump pump to direct water at an appropriate discharge point, the City's infrastructure or appropriate grade area.

4.0 Roof Structure

Roof Covering(s)

RECOMMENDATION :

The owner is advised to budget to replace the roof covering on lower roof planes within the next 3 - 5 years based on the anticipated life cycle. Replacement of the covering should include evaluation of roof sheathing (and replacement as required) which may have sustained damage in areas reliant on wall flashing to maintain water tightness. Consult with a qualified roofing contractor.

Flashing

RECOMMENDATION :

A counter flashing system (preferably aluminum) needs to be employed above all lower level roof planes that intersect with exterior walls so as to prevent moisture penetration into wall and roofing substrate material.

Gutters / Downspouts

RECOMMENDATION :

Consult with a drain contractor to scope and determine the discharge point for the downspouts so as to ensure they are functional and result in removal of water away from the dwelling.

6.0 Basement / Structure

Foundation Wall

RECOMMENDATION :

See recommendation contained within the EXTERIOR section of this report related to the foundation wall. In addition to the scope of work specified within that section, the interior condition of the foundation also needs to be addressed, which should include crack / structural repair, mould remediation and cleaning.

Floor Structure/ Joists

RECOMMENDATION :

Removal of all drywall as part of the required mould remediation.
Consultation with a mould remediation contractor and then a professional engineer / designer to evaluate

the condition of the wood floor structure in addressing any structural damage / alterations in place intended to modify the original structure.

Post(s) / Load Bearing Wall(s)

RECOMMENDATION :

The design and condition of the vertical wood posts installed in the basement needs to be evaluated by a professional engineer / designer to determine the appropriateness / effectiveness in facilitating their intended purpose.

7.0 Electrical System

Distribution Panel

RECOMMENDATION :

Consult with a qualified professional electrician to evaluate the breaker panel as well as the double tapping noted and effect required repairs in accordance with applicable standards / regulation to make it safe.

Branch Circuit Wiring

RECOMMENDATION :

Consult with a qualified professional electrician to evaluate the number of outlets / circuits available and in use, as it relates to the electrical demand placed by on them in conjunction with an evaluation of the entire system to effect the required changes / upgrades that enable use by current standards.

Fixtures

RECOMMENDATION :

Replace any broken / inoperative light fixture throughout the dwelling as required in conjunction with other recommended electrical work to be conducted by a qualified professional electrician.

Receptacles - General

RECOMMENDATION :
Consult with a qualified professional electrician to evaluate the condition of outlets noted throughout the dwelling (inoperative, open grounds and reverse polarity) and rectify defect as required in conjunction with other recommended electrical repairs / upgrades.

Kitchen Receptacles

RECOMMENDATION :

For improved safety replace outlets / circuit breaker serving electrical outlets near the kitchen sink with GFCI type. Consult with a qualified electrician as required.

Bathroom Receptacles

RECOMMENDATION :

For improved safety replace outlets / circuit breaker serving electrical outlets near bathroom sinks with GFCI type. Consult with a qualified electrician as required.

8.0 Heating

Filter

RECOMMENDATION :

Rectifying the possible flooding condition within the basement will allow the furnace to operate as intended.

9.0 Plumbing System

Waste Drainage Pipe

RECOMMENDATION :

Consult with a qualified plumber to evaluate / modify the existing P- traps so that the are configured in accordance with applicable standards and maintain water within the trap thereby inhibiting sewer gases from entering the dwelling.
Floor Drain(s)

RECOMMENDATION :

Consult with a qualified plumber in consideration of relocating the existing sump pump / adding an additional pump(s) to ensure that the any water that collects within the basement is pumped / drained to an appropriate discharge point.

Sump Pump

RECOMMENDATION :

Consult with a qualified plumber / drain contractor to ensure that the entire basement is served by a sump pump / pumps. In addition, battery back-up systems are required to ensure continuous operation in case of a power outage / failure. In addition, confirmation that the water is being discharged from the pump to an appropriate location is also recommended.

11.0 Interior Living Spaces

Floors

RECOMMENDATION :

Renew flooring throughout as required to eliminate hazards associated with broken-up flooring finishes. Consult with a qualified flooring contractor as required.

Walls
RECOMMENDATION :

Renew internal wall finishes and repair any plaster damage as required.

Ceilings

RECOMMENDATION :

Renew / replace damaged internal ceiling finishes and repair any plaster damage as well, as required.

Interior Door(s)

RECOMMENDATION :

Repair / replace any damaged doors / door hardware to ensure they are secured in place and functional.

Hand Rails / Guard Rails

RECOMMENDATION :

Ensure that a continuously graspable handrail is installed on the main stairs for safe passage in accordance with current standards / regulation. Consult with a railing contractor as required.

Smoke Detectors

RECOMMENDATION :

Provide smoke detectors on all levels of dwelling and near sleeping area as required by law for occupants safety.

Carbon Monoxide Detectors

RECOMMENDATION :

Provide carbon monoxide (CO) detectors on levels containing fuel burning appliances and near sleeping areas as required by law for occupants safety.

Dryer Venting

RECOMMENDATION :

Install appropriate vent cover for dryer exhaust on exterior wall so as to prevent water penetration into the wall system.

11.1 Kitchen

Kitchen General Comments

RECOMMENDATION :

Renew / renovate kitchen as required to bring it back to a usable state.

Counter

RECOMMENDATION :

As part of the recommendation to renew the kitchen the counter needs to be replaced.

Cabinets

RECOMMENDATION :

As part of the recommendation to renew the kitchen the cupboards need to be replaced.

11.2 Bathrooms

Bathrooms General Comments

RECOMMENDATION :

Renew / renovate bathrooms as required to bring them back to a usable state.

Cobe
Please enter addresses

M-4531.

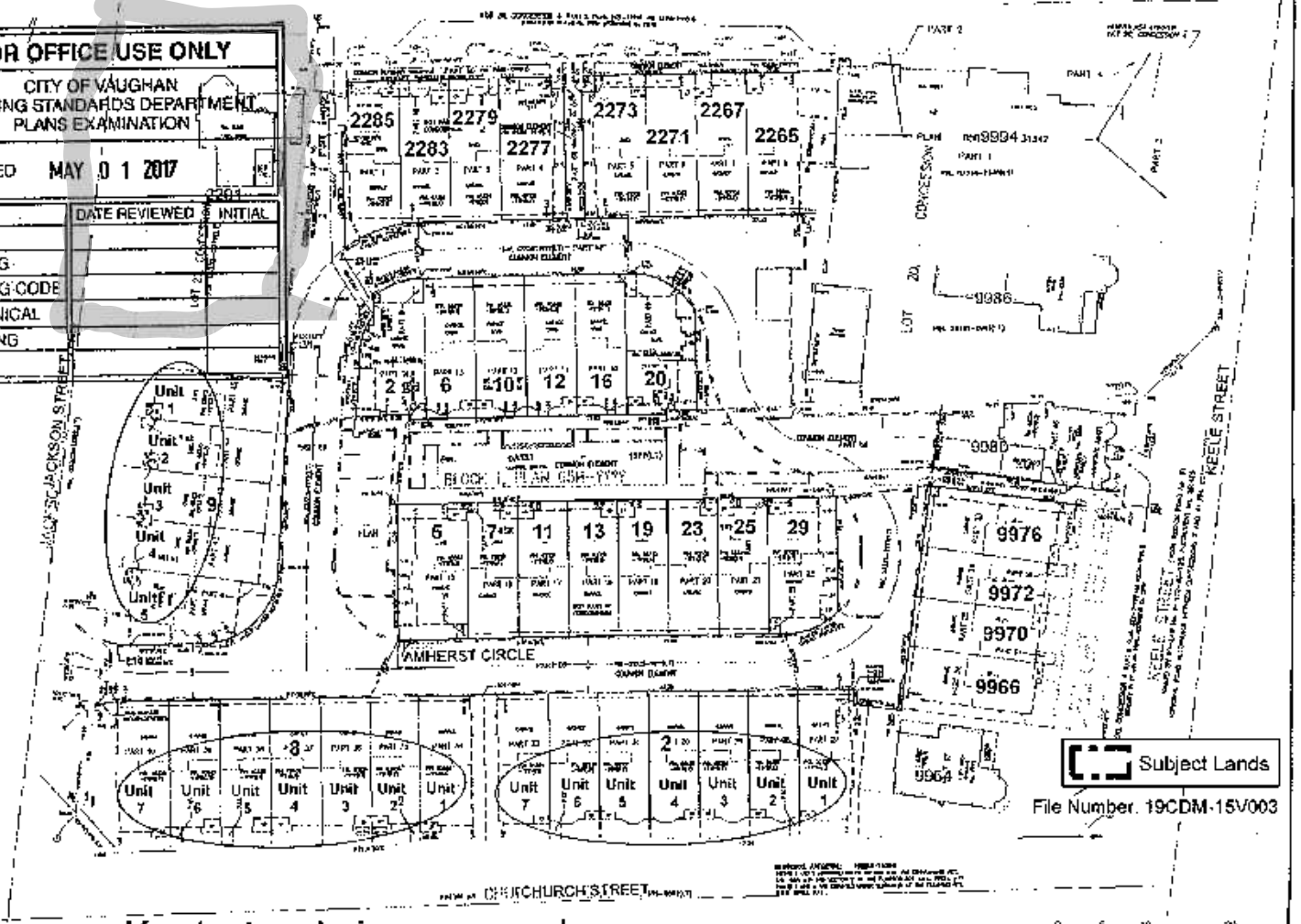
OFFICE COPY

FOR OFFICE USE ONLY

CITY OF VAUGHAN
BUILDING STANDARDS DEPARTMENT
PLANS EXAMINATION

RECEIVED MAY 01 2017

	DATE REVIEWED	INITIAL
ZONING		
GRADING		
BUILDING CODE		
MECHANICAL		
PLUMBING		
FIRE		



11- Cassavia Estates, Master Plan

NOTE:
ALL PROPOSED WALL MOUNTED
LIGHTS SHOWN ON ELEVATION
SHALL BE DIRECTED DOWNWARD

12- Preliminary drawings and renderings of planned redevelopment

PROPOSED WEST ELEVATION

SCALE: 1:100

MW HALL
CORPORATION
21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS
MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Elevation

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
2019-03-26	04	ISSUED TO CITY
2019-04-06	05	ISSUED FOR SPA
2019-11-13	06	RE-ISSUED FOR SPA
2020-10-19	07	2nd SUBMISSION

NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A301

NOTE:
ALL PROPOSED WALL MOUNTED LIGHTS SHOWN ON ELEVATION SHALL BE DIRECTED DOWNWARD

PROPOSED EAST ELEVATION

SCALE: 1:100

MW HALL CORPORATION
21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS
MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
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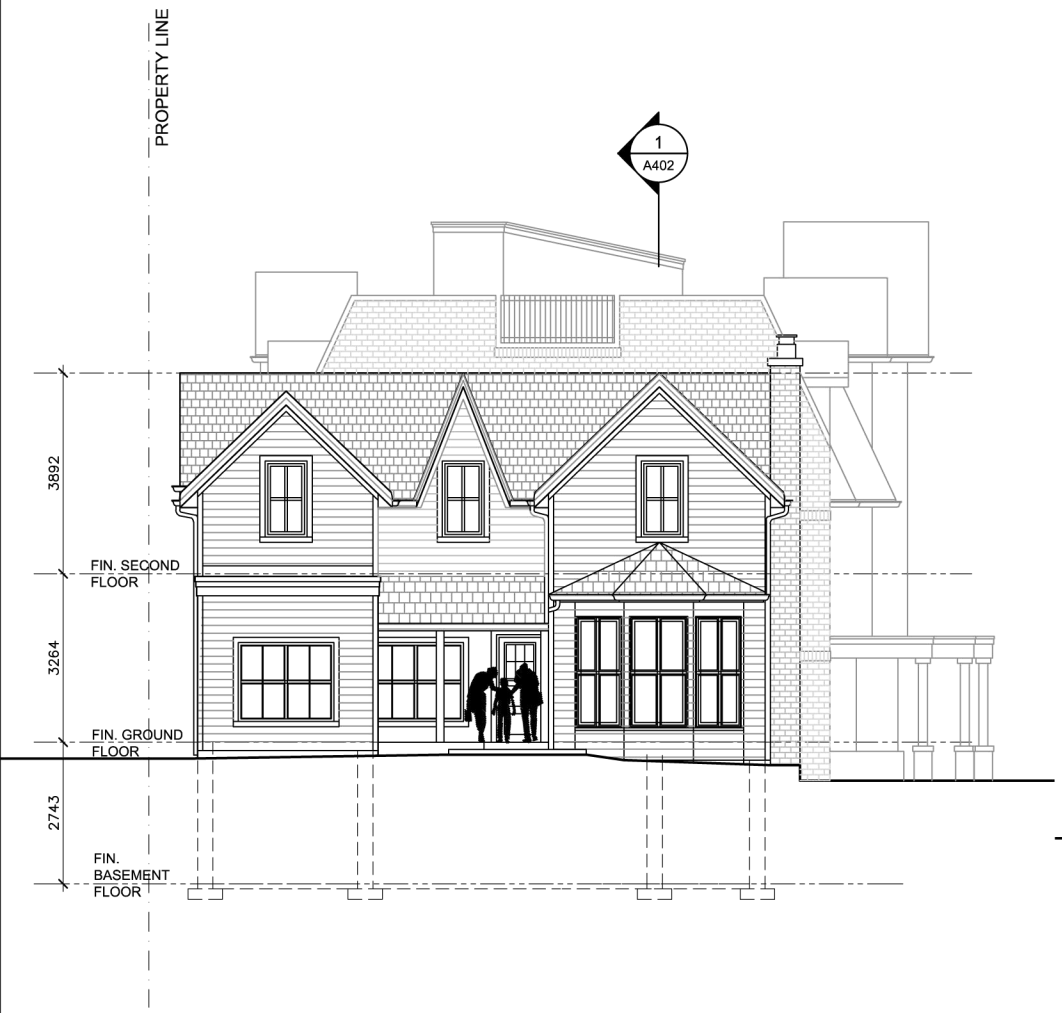
SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

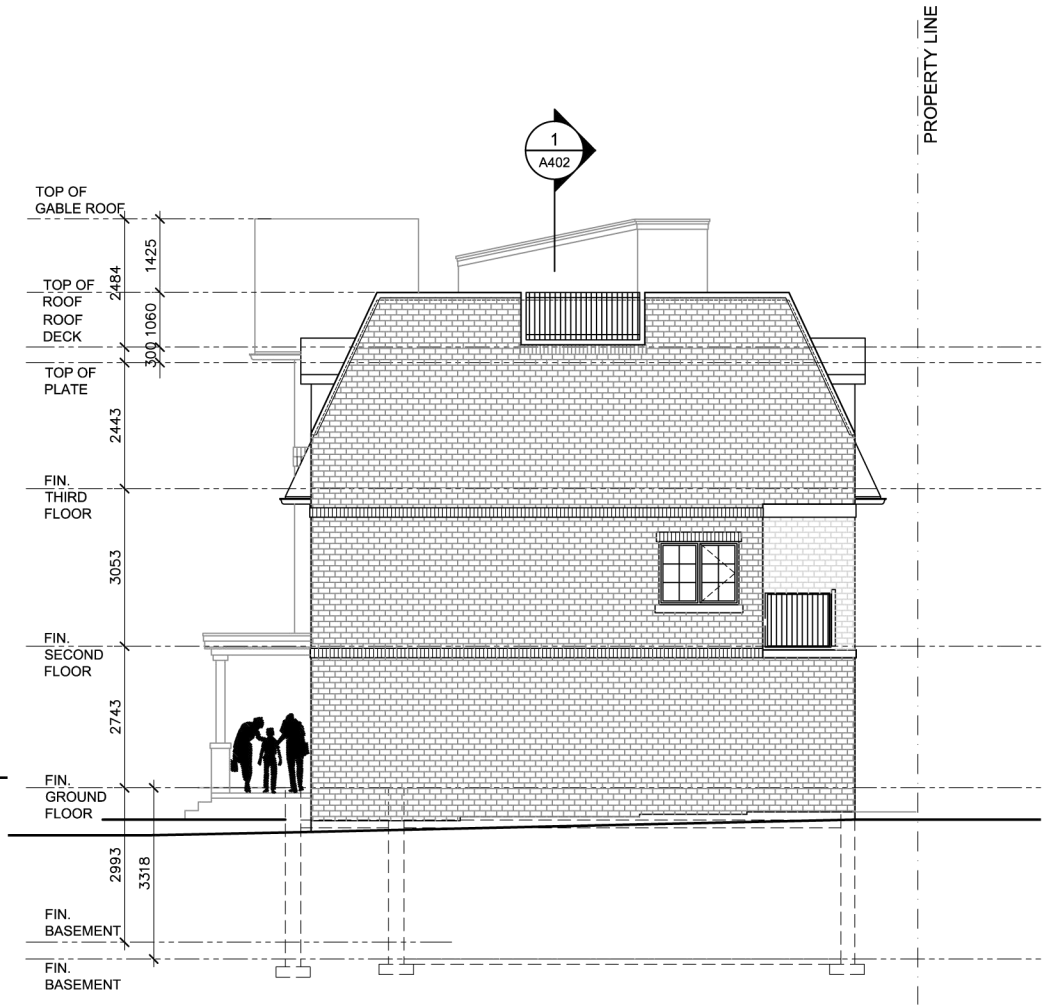
REVISION NO.

DWG. NO.
A302



PROPOSED NORTH ELEVATION

SCALE: 1:100



PROPOSED SOUTH ELEVATION

SCALE: 1:100

MW HALL CORPORATION
21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
t: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS
MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Elevations

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
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SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A303

Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President
MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President
DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.

ATTACHMENT 3

SITE STATISTICS

EXIST. LOT AREA of Heritage	284.33sm (3060.50sf)
EXIST. LOT AREA of Unit 1 TH	104.05sm (1119.98sf)
EXIST. LOT AREA of Unit 2 TH	102.35sm (1101.68sf)
EXIST. LOT AREA of Unit 3 TH	104.48sm (1124.61sf)
EXIST. LOT AREA of Setback	20.40sm (219.58sf)
TOTAL EXIST. LOT AREA:	615.61sm (6626.37sf)
LESS: R.O.W. CONVEYANCE	73.50sm (791.14sf)
NEW LOT AREA:	542.11sm (5835.23sf)
EXISTING GRD. FLOOR AREA:	106.766sm (1149.21sf)
EXISTING 2ND. FLOOR AREA:	69.39sm (747.00sf)
HERITAGE HOUSE:	
PROPOSED GRD. FLR. AREA:	
HERITAGE HOUSE:	
INCL. GARAGE	110.42sm (1188.55sf)
TOWNHOUSE:	
GROUND FLOOR AREA	
INCL. GARAGE	165.16sm (1777.76sf)
TOTAL GROUND FLR. AREA	275.58sm (2966.31sf)
LOT COVERAGE	275.58 sm (2966.31sf) F.A./ 542.11 sm (5835.23sf) L.A. = 50.83% COVERAGE

BUILDING HEIGHT CALC.

	EXISTING (HERITAGE)
AVERAGE GRADE @ FRONT	235.12
DOOR SILL ELEV. (DSE) = FFE	235.58
TOP OF ROOF ELEV. (TRE)	242.72
	PROPOSED BUILDING
BLDG. HEIGHT ALLOWED	11.80
BLDG. HEIGHT PROVIDED (FR. AVE. GRADE)	11.136

BUILDING AREAS:

PROPOSED TOWNHOUSES
TYPICAL FLOOR AREA FOR UNITS 1,2 & 3

UNIT 1		
Ground Floor	37.80sm	(406.87sf)
Second Floor	64.38sm	(692.98sf)
Third Floor	67.98sm	(731.73sf)
Total Floor Area	170.16sm	(1831.58sf)
UNIT 2		
Ground Floor	33.30sm	(358.43sf)
Second Floor	63.67sm	(685.33sf)
Third Floor	67.34sm	(724.84sf)
Total Floor Area	164.31sm	(1768.61sf)
UNIT 3		
Ground Floor	33.20sm	(357.36sf)
Second Floor	64.41sm	(693.30sf)
Third Floor	67.98sm	(731.73sf)
Total Floor Area	165.59sm	(1782.39sf)

BUILDING AREAS:

TOTAL FLR. AREA OF 3 UNITS TOWNHOUSE	*500.06**sm***	***(5382.58sf)***
PROPOSED HERITAGE		
Ground Floor	84.93sm	(914.17sf)
Second Floor	87.27sm	(939.36sf)
TOTAL FLR. AREA OF HERITAGE	***172.20sm***	***(1853.54sf)***
TOTAL GFA	*672.26sm*	*(7236.14sf)*

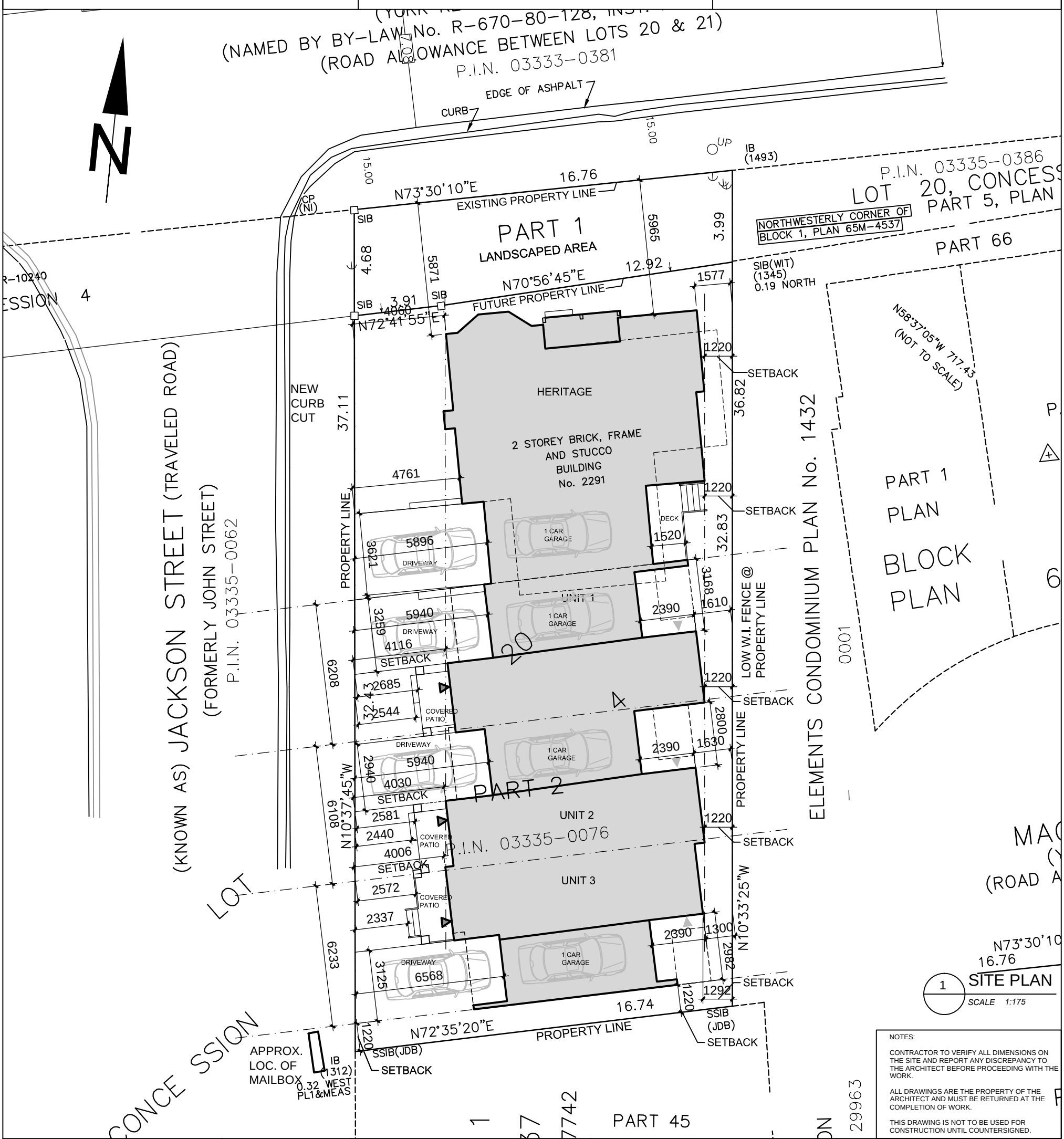
OTHER AREAS:

PROPOSED TOWNHOUSES

Unit 1 Basement	59.28sm	(638.08sf)
Unit 2 Basement	58.65sm	(631.30sf)
Unit 3 Basement	59.90sm	(644.75sf)

HERITAGE

Basement	109.48sm	(1178.43sf)
Garage	25.50sm	(274.48sf)



NOTES:

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21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS
MARK W. HALL
LICENCE 4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

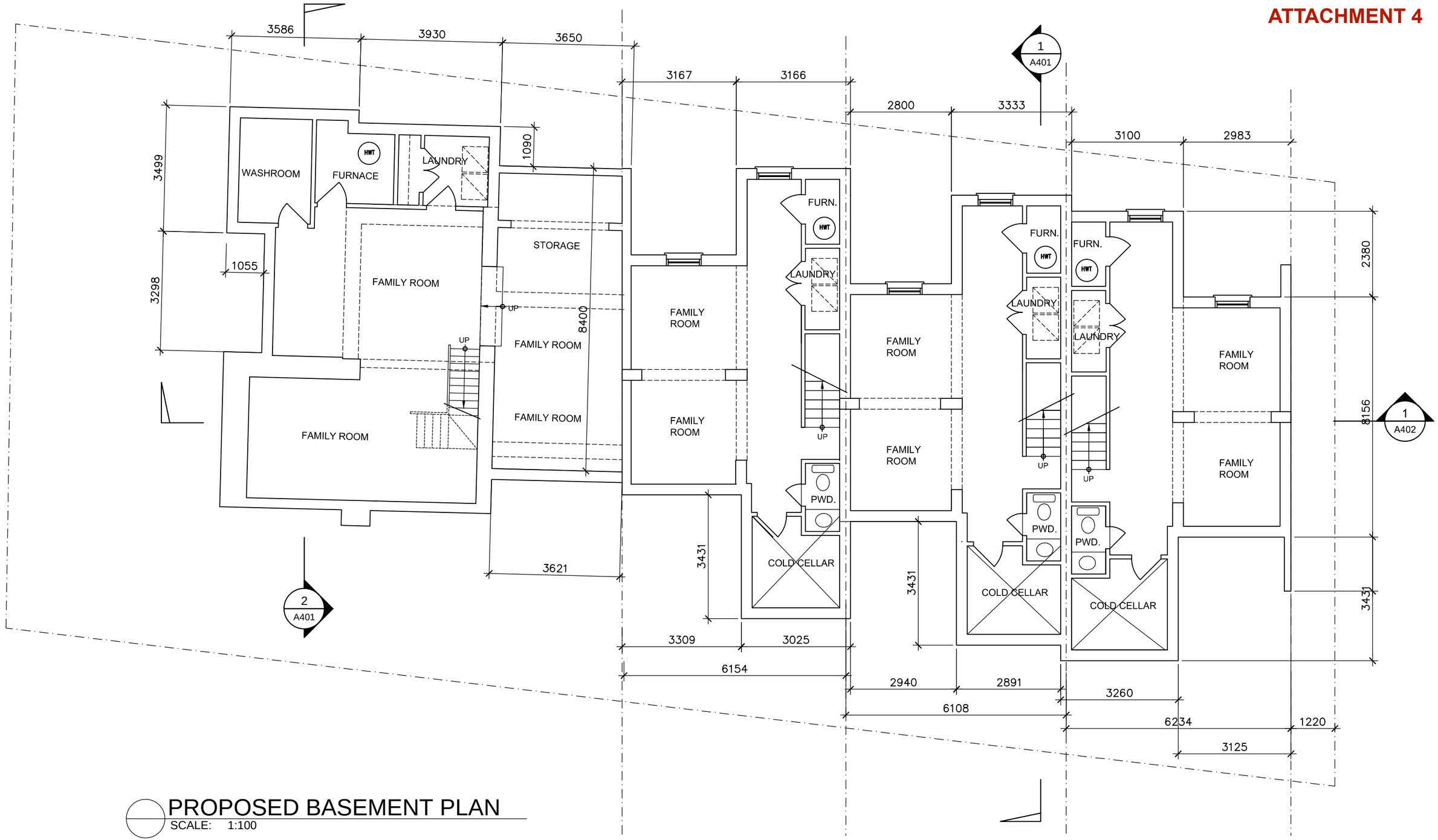
DRAWING TITLE:
Site Plan

DATE	NO.	ISSUE
2019 - 03 - 13	01	FOR CITY COMMENTS
2019 - 03 - 26	02	FOR CITY COMMENTS
2019-04-06	03	ISSUED SPA
2019-11-13	04	RE-ISSUED SPA
2020-10-19	05	2nd SUBMISSION

SCALE	
PROJ. NO.	18007
DATE	2019-03-13
DRAWN	AAF
CHECKED	MWH

A101

ATTACHMENT 4



PROPOSED BASEMENT PLAN

SCALE: 1:100

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Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
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MARK W. HALL
LICENCE
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ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Floor Plan

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
2019-03-26	04	ISSUED TO CITY
2019-04-06	05	ISSUED FOR SPA
2019-11-13	06	RE-ISSUED FOR SPA
2020-10-19	07	2nd SUBMISSION

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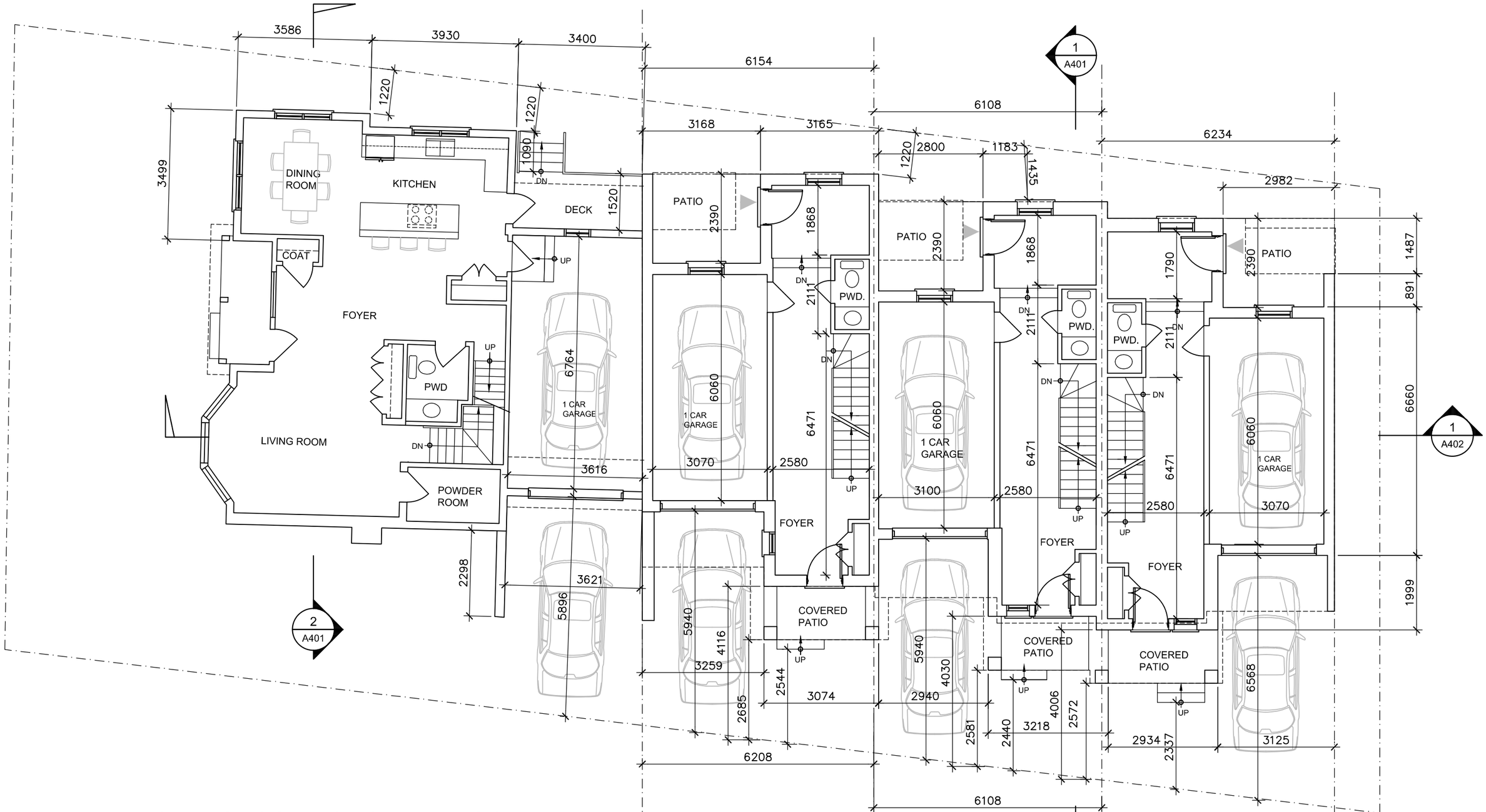
SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A201



PROPOSED GROUND FLOOR PLAN

SCALE: 1:100

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t: (416) 920 8105
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e: mark@mwhallcorp.com
www.mhallcorp.com

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LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Floor Plan

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
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2019-04-06	05	ISSUED FOR SPA
2019-11-13	06	RE-ISSUED FOR SPA

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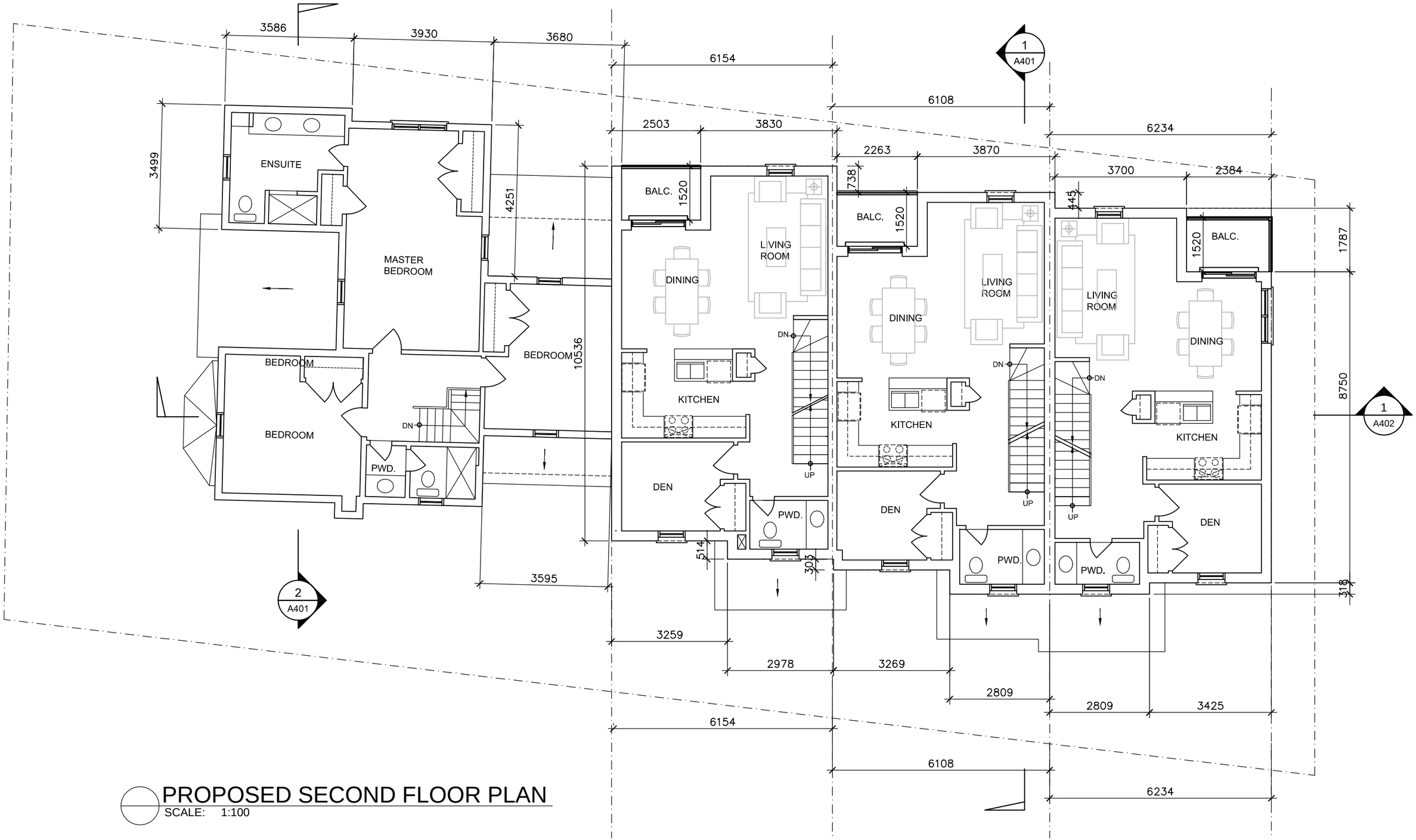
SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A202



PROPOSED SECOND FLOOR PLAN

SCALE: 1:100

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21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

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LICENCE 4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Floor Plan

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
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2019-11-13	06	RE-ISSUED FOR SPA

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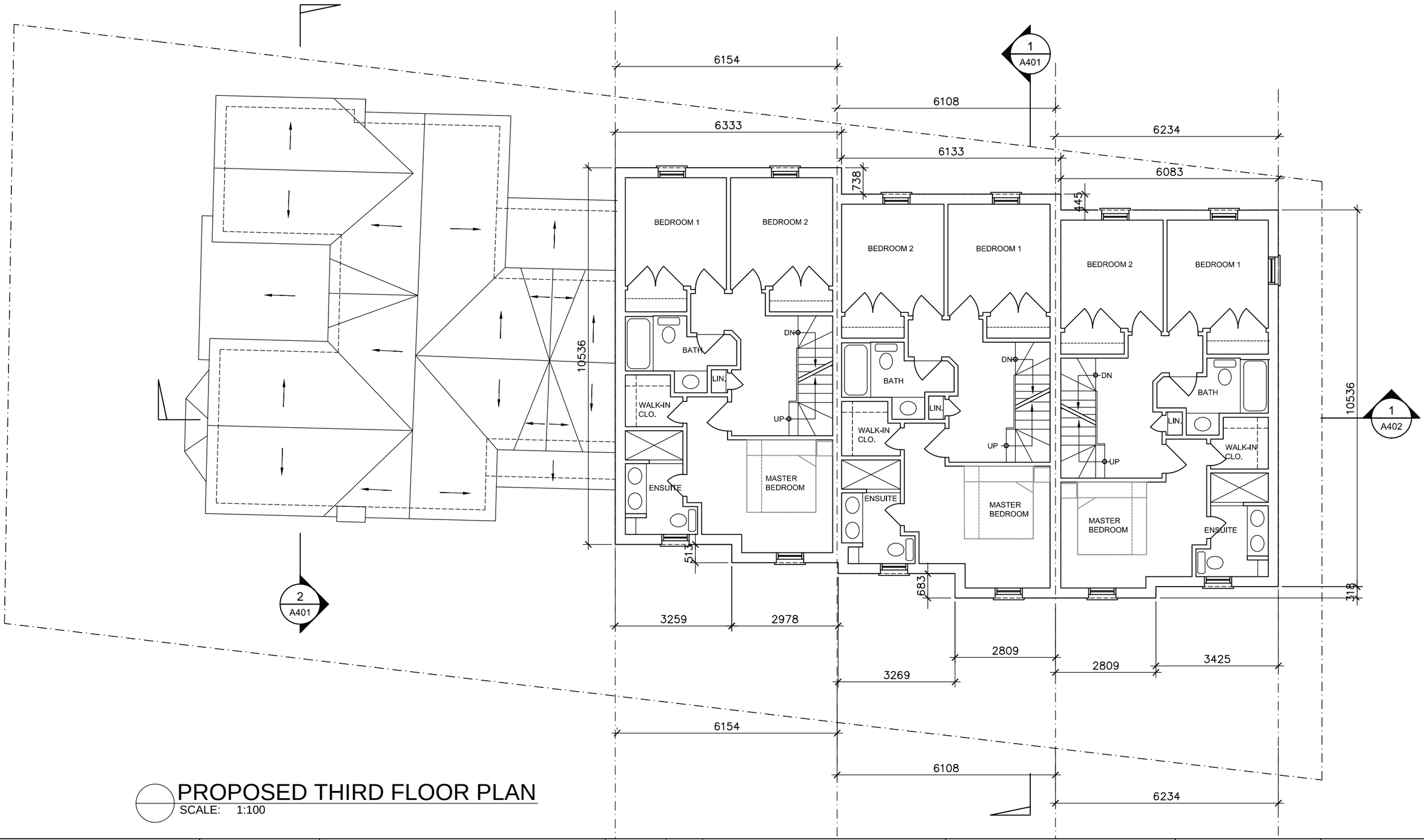
SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A203



PROPOSED THIRD FLOOR PLAN

SCALE: 1:100

MW HALL CORPORATION
21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

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MARK W. HALL
LICENCE 4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Floor Plan

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
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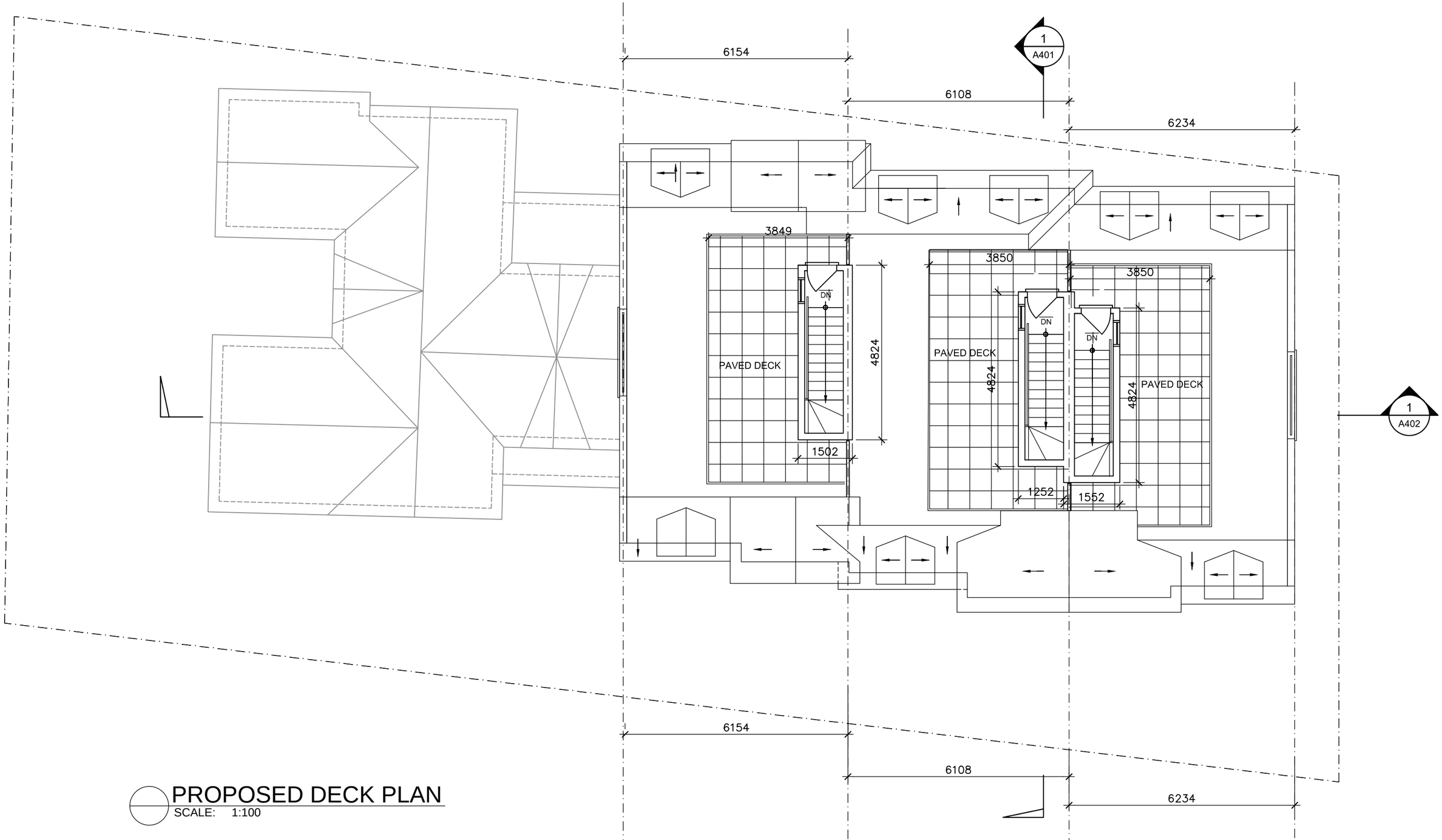
SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A204



PROPOSED DECK PLAN

SCALE: 1:100

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21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
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MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Floor Plan

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
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SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A205

ATTACHMENT 5

PROPOSED WEST ELEVATION

SCALE: 1:100

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21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
www.mhallcorp.com

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LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Elevation

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
2019-03-26	04	ISSUED TO CITY
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2020-10-19	07	2nd SUBMISSION

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SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A301

NOTE:
ALL PROPOSED WALL MOUNTED LIGHTS SHOWN ON ELEVATION SHALL BE DIRECTED DOWNWARD

PROPOSED EAST ELEVATION

SCALE: 1:100

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21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
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www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS
MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Elevation

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
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2019-11-13	06	RE-ISSUED FOR SPA
2020-10-19	07	2nd SUBMISSION

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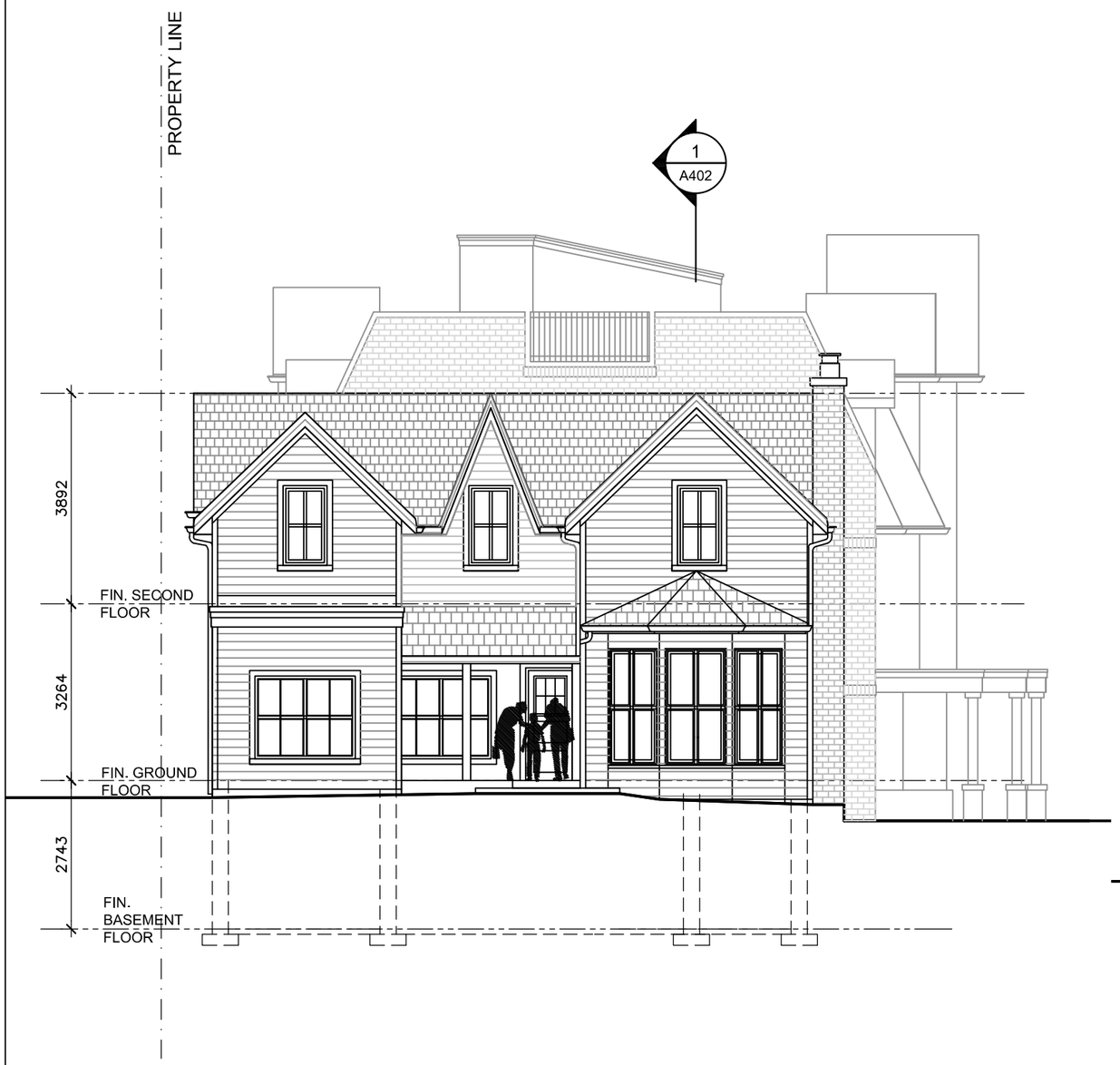
SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

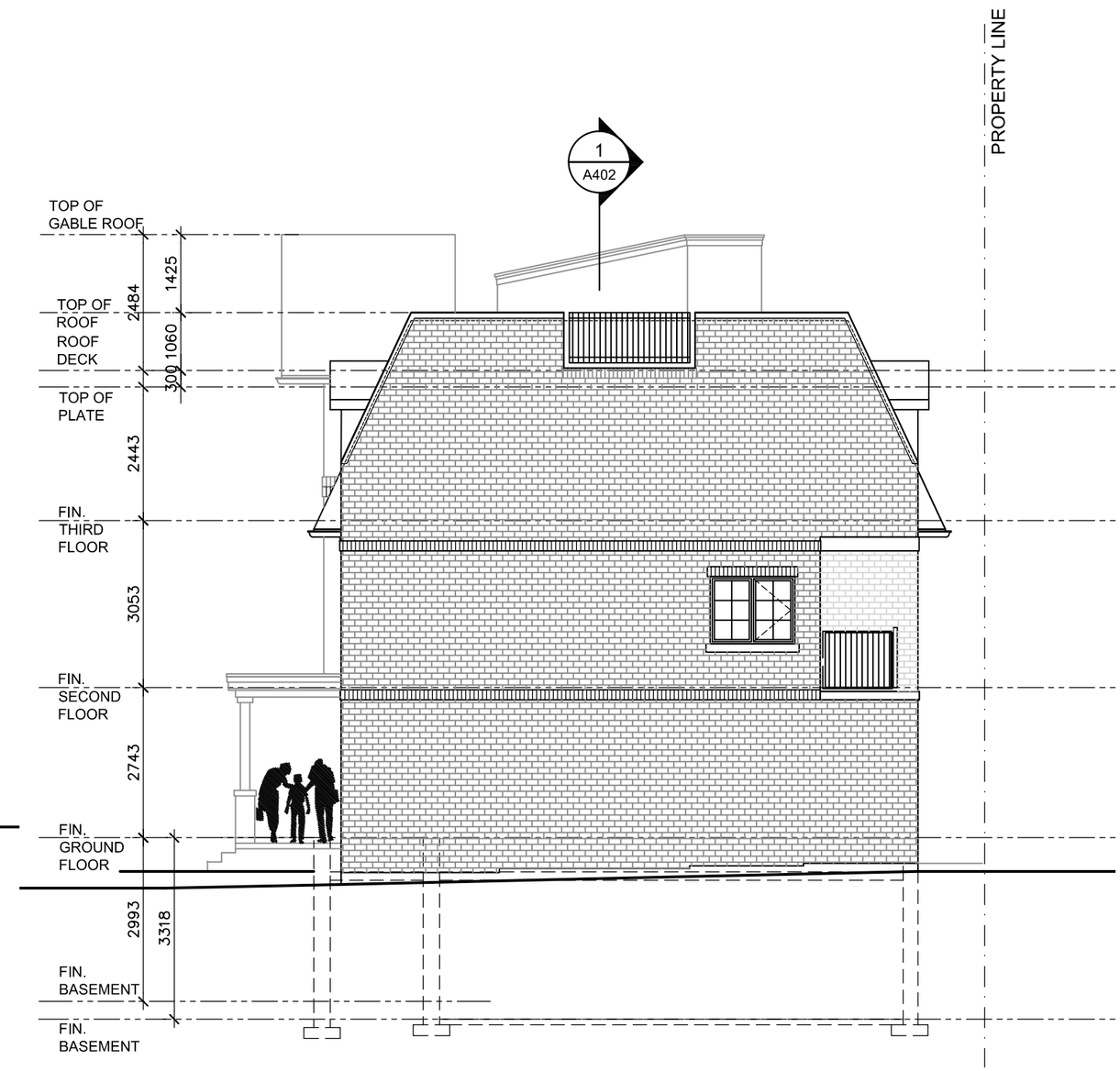
REVISION NO.

DWG. NO.
A302



PROPOSED NORTH ELEVATION

SCALE: 1:100



PROPOSED SOUTH ELEVATION

SCALE: 1:100

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t: (416) 920 8105
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e: mark@mwhallcorp.com
www.mhallcorp.com

ONTARIO ASSOCIATION OF ARCHITECTS
MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Proposed Elevations

DATE	NO.	ISSUE
2018-10-02	01	FOR CLIENT'S REVIEW
2018-12-21	02	RE-ISSUED FOR CLIENT'S REVIEW
2019-01-25	03	RE-ISSUED FOR CLIENT'S REVIEW
2019-03-26	04	ISSUED TO CITY
2019-04-06	05	ISSUED FOR SPA
2019-11-13	06	RE-ISSUED FOR SPA
2020-10-19	07	2nd SUBMISSION

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SCALE	AS NOTED
PROJECT NO.	18007
DATE	2018-10-02
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A303

ATTACHMENT 6

WEST ELEVATION

NOTE:
ALL PROPOSED WALL MOUNTED LIGHTS SHOWN ON ELEVATION SHALL BE DIRECTED DOWNWARD

EAST ELEVATION

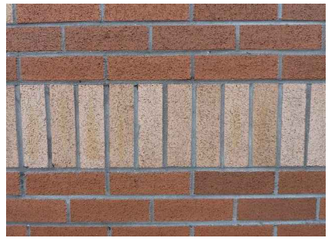
NOTE:
ALL PROPOSED WALL MOUNTED LIGHTS SHOWN ON ELEVATION SHALL BE DIRECTED DOWNWARD

1. RED BRICK

2. 150mm WIDE YELLOW WOOD SIDING

3. BLACK ROOF SHINGLES

4. STONE WINDOW SILL



5. YELLOW BRICK SOLDIER COURSE AND HEADER

6. DARK GREY STONE MASONRY

7. PRE-FINISHED ALUMINUM PICKET RAILING/GUARD

8. WOOD LOUVER VENT

9. EXTERIOR WALL LIGHT

MW HALL CORPORATION
21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1
t: (416) 920 8105
f: (416) 901 0830
e: mark@mwhallcorp.com
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4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Finish Materials and Colour

DATE	NO.	ISSUE
2020-19-10	01	FOR 2nd SUBMISSION

NOTES:

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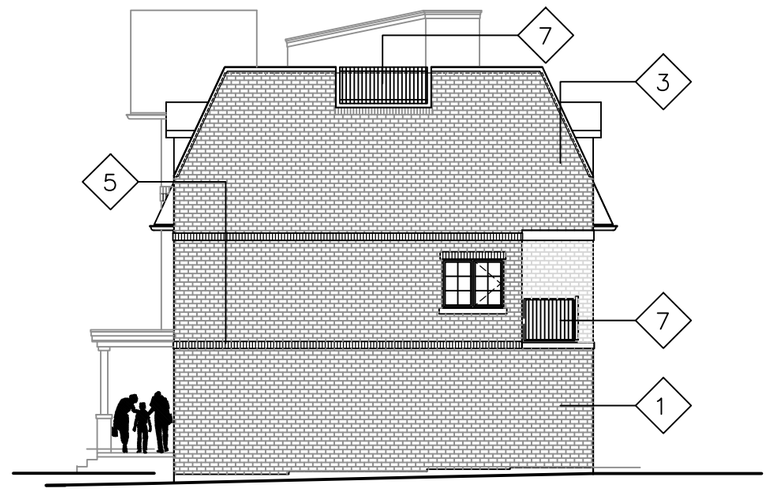
SCALE	DNTS
PROJECT NO.	18007
DATE	2020-19-10
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A401

NORTH ELEVATION



SOUTH ELEVATION

1. RED BRICK

2. 150mm WIDE YELLOW WOOD SIDING

3. BLACK ROOF SHINGLES

4. STONE WINDOW SILL

5. YELLOW BRICK SOLDIER COURSE AND HEADER

6. DARK GREY STONE MASONRY

7. PRE-FINISHED ALUMINUM PICKET RAILING/GUARD

8. WOOD LOUVER VENT

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21 Scollard Street, ste 103
Toronto,Ontario M5R 1G1

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MARK W. HALL
LICENCE
4383

PROJECT NAME:
ADAPTIVE RE-USE
2291 Major Mackenzie, Vaughan, ON

DRAWING TITLE:
Finish Materials and Colour

DATE	NO.	ISSUE
2020-19-10	01	FOR 2nd SUBMISSION

NOTES:

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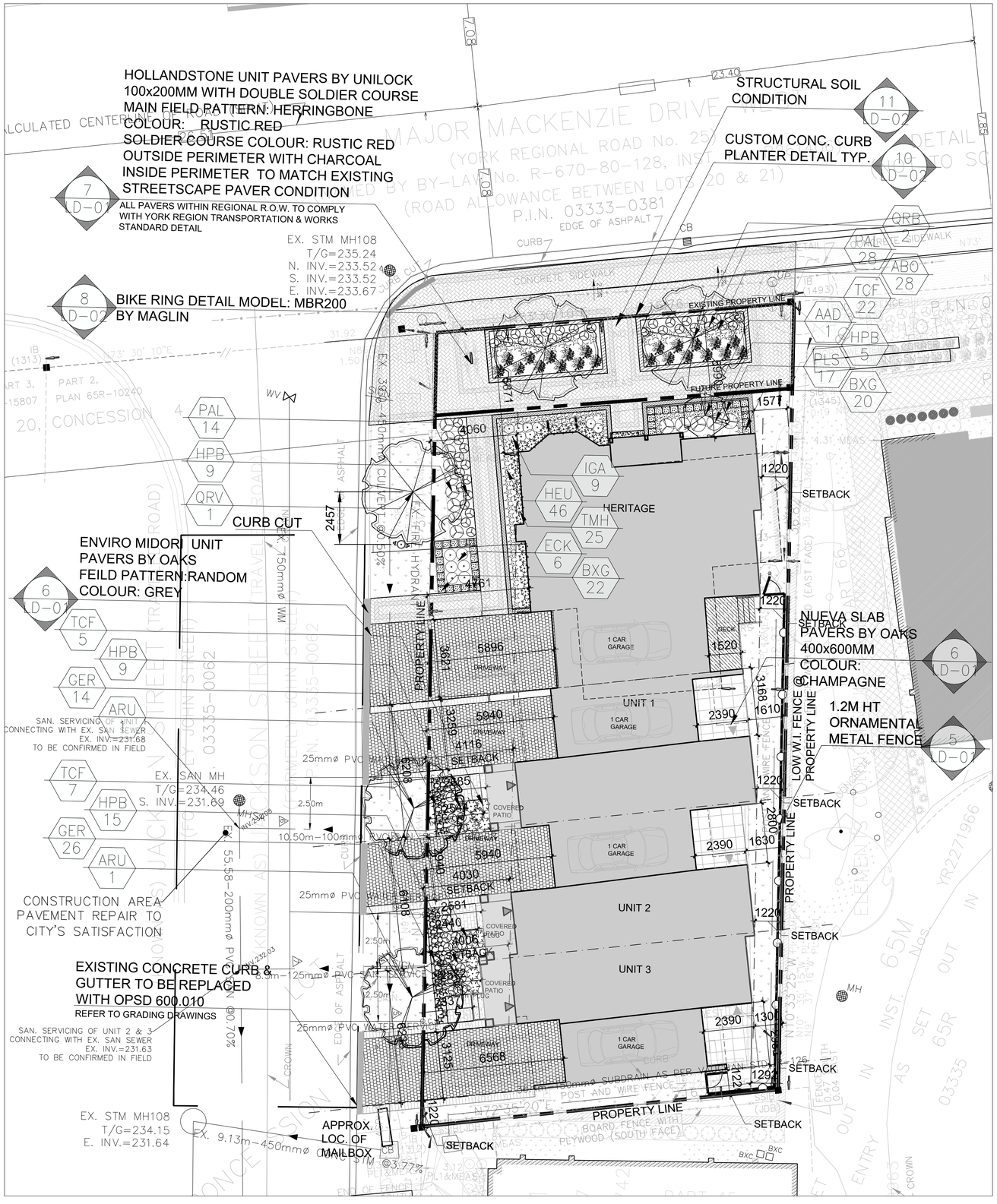
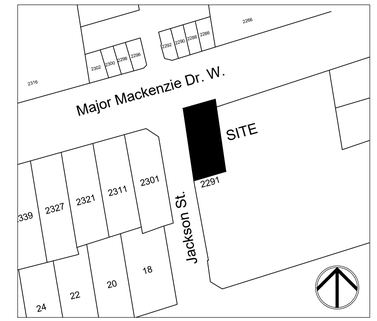
SCALE	DNTS
PROJECT NO.	18007
DATE	2020-19-10
DRAWN	AAF
CHECKED	MH

REVISION NO.

DWG. NO.
A402





Key Map

Legend

- Proposed Deciduous Tree
- Property Line
- Prop. 1.2m Ht Ornamental Metal Fence Typ.
- Detail Reference Key
- Plant Material Reference Key
- Prop. Sodded Area Typ.
- Prop. Asphalt Paving Typ.
- Prop. Unit Paving Type 1
- Prop. Unit Paving Type 2
- Prop. Unit Paving Type 3
- Prop. Permeable Unit Paving Type 3
- Wood deck

Proposed Plant Schedule

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
ARU	2	Acer rubrum	Native Red Maple	70 mm		B.&B.	High	Yes	Full Form
QRB	2	Quercus rubra	Red Oak	70 mm		B.&B.	High	Yes	Full Form
QRV	1	Quercus velutina	Black Oak	70 mm		B.&B.	High	Yes	Full Form
DECIDUOUS MULTI STEM TREES									
AAD	1	Amelanchier arborea	Downy Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
DECIDUOUS SHRUBS									
BXG	42	Buxus 'Green Mound'	Green Mound Boxwood	30 cm		C.G.	High	Yes	Full Form
HPB	28	Hydrangea paniculata 'Bombshell'	Dwarf Bombshell Hydrangea	60 cm		5 gal.	High	Yes	Full Form
CONIFEROUS SHRUBS									
TCF	34	Taxus cuspidata 'Fairview'	Fairview Yew		65 cm	C.G.	High	Yes	Full Form
TMH	25	Taxus media 'Hicksii'	Hick's Yew	70 cm		C.G.	High	Yes	Full Form
PERENNIALS									
ABO	28	Astilbe 'Ostrich Plume'	Ostrich Plume Pink Astilbe			C.G. #1	High	Yes	Full Form
ECK	6	Echinacea purpurea 'Kim's Knee High'	Dwarf Purple Cone Flower			2 Gal.	High	Yes	Full Form
GER	40	Geranium 'Rozanne'	Hardy Cranesbill Geranium			2 Gal.	High	Yes	Full Form (PPOY Winner)
HEU	46	Heuchera 'Purple Palace'	Coral Bells (Purple Foliage)			2 Gal.	High	Yes	Full Form
IGA	9	Iris germanica 'Amethyst Flame'	Purple Iris			C.G. #1	High	Yes	Full Form
PLS	17	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			2 Gal.	High	Yes	Full Form
GRASSES									
PAL	42	Pennisetum alopecuroides 'Hameln'	Hamlin Dwarf Fountain Grass			2 Gal.	High	Yes	Full Form

msla
MARTON SMITH LANDSCAPE ARCHITECTS
170 The Donway W Suite 206.
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:
MW HALL CORPORATION

Client/Owner:

Municipality:
VAUGHAN

Notes:

All boulevard turf that is damaged or missing due to construction shall be restored to its original or better condition with minimum 100mm topsoil and sod at the Owner's expense.

30% of LAndscaped area to be soft landscape as shown. refer to soil volume plan for soil volume information.

No.	Revision	Date
08	Re Issued for Submission	10/26/20
07	Re Issued for Submission	10/16/20
06	Re Issued for Submission	09/25/20
05	Issued for Review	09/18/20
04	Re Issued for Submission	03/23/20
03	Re Issued for Submission	02/05/20
02	Issued for Submission	12/20/19
01	Issued for Review	05/30/19

North: Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS MEMBER OALA

Project:
Proposed Residential Development
2291 Major Mackenzie Drive
Vaughan, Ontario

Scale: **1:100** Date: **May 2019**
Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:
Landscape Master Plan

Project No. **19118** Sheet No. **L1-01**

All information contained in these plans shall be checked by the contractor. All discrepancies shall be reported to the Landscape Architect (L.A.) before commencing with construction. All drawings have copyright and shall remain the property of the Landscape Architect. Copying or any reproduction in part or whole shall only be permitted with written consent of L. A. Drawings shall not be used for construction unless sealed & SIGNED.
All drainage patterns must claim positively away from buildings or structures at 2% min. The position of existing above ground and underground utilities and facilities are not necessarily shown on the drawings, and where shown, the accuracy of the position of utilities or facilities is not guaranteed. Before starting work, the contractor shall confirm the exact location of all existing utilities and facilities, and shall assume liability for damages.
WHEN PLANS ARE ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT A PROFESSIONAL ENGINEER OF LANDSCAPE ARCHITECTURE CERTIFIES THE DRAWINGS FOR CONSTRUCTION
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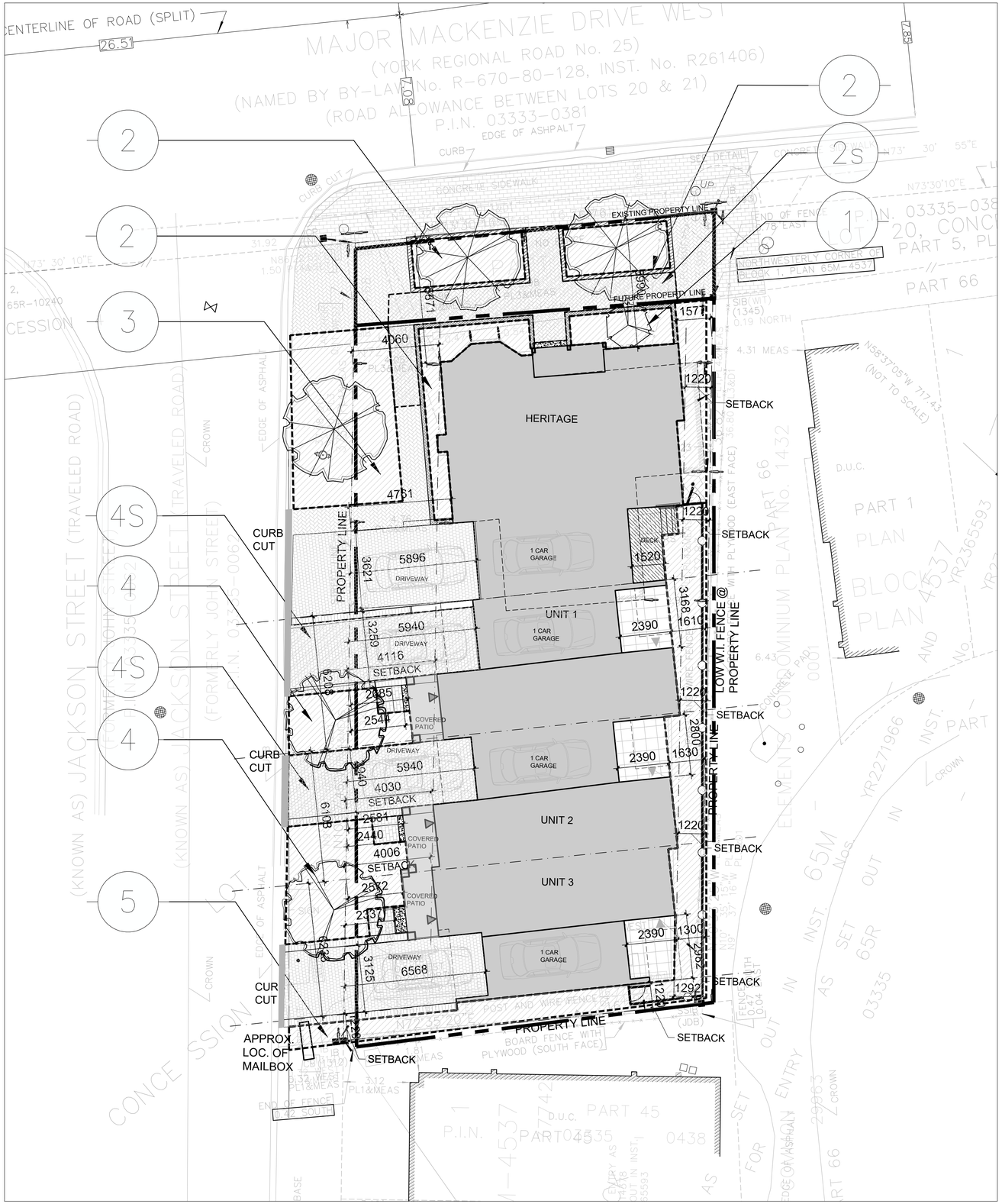

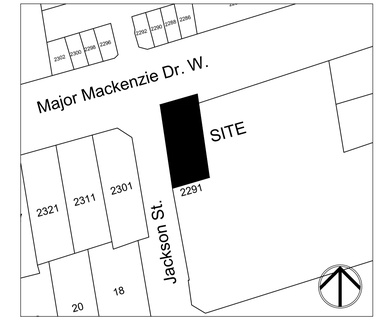

Key Map

Legend

- Proposed Deciduous Tree
- Property Line
- Prop. 0.9 Wood Privacy Fence Typ.
- 10 Soil Volume Reference Key
- Prop. Sodded Area Typ.
- Prop. Concrete Paving Typ.
- Prop. Unit Paving Type 1
- Prop. Unit Paving Type 2
- Soil Volume Area
- Structural Soil Volume Area
- Soil Volume Area Boundry

Soil Volume Chart

Soil area #	soil area (M2)	soil depth (M)	soil volume(M3)	Trees in area	Soil Volume Per tree	Irrigation Provided
1	11.6	1.3	15.08	0	N/A	No
2	34.6	1.3	44.98	N/A	N/A	No
2S	30.1	0.5	15.05	N/A	N/A	No
2 TOTAL	64.7		60.03	2	30.02	No
3	39	1.3	50.7	1	50.70	No
4	39.8	1.3	51.74	N/A	N/A	No
4S	54.6	0.5	27.3	N/A	N/A	No
4 TOTAL	94.4		79.04	2	39.52	No
5	55.9	1.3	72.67	0	N/A	No

msla
MARTON SMITH LANDSCAPE ARCHITECTS
170 The Donway W Suite 206.
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 I email. info@msla.ca

Architect:

MW HALL CORPORATION

Client/Owner:

Municipality:

VAUGHAN

Notes:

All boulevard turf that is damaged or missing due to construction shall be restored to its original or better condition with minimum 100mm topsoil and sod at the Owner's expense.

No.	Revision	Date
08	Re Issued for Submission	10/26/20
07	Re Issued for Submission	10/16/20
06	Re Issued for Submission	09/25/20
05	Issued for Review	09/18/20
04	Issued for Submission	03/23/20
03	Issued for Submission	02/05/20
02	Issued for Submission	12/20/19
01	Issued for Review	05/30/19

North:

Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS OALA MEMBER

Project:

Proposed Residential Development
2291 Major Mackenzie Drive
Vaughan, Ontario

Scale: **1:100** Date: **May 2019**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Soil Volume Plan

Project No. **19118** Sheet No. **L1-02**

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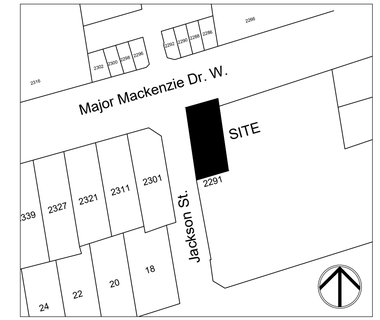

Key Map

Legend

- Proposed Deciduous Tree
- Property Line
- Prop. 1.2m Ht Ornamental Metal Fence Typ.
- Detail Reference Key (AAA 1-2)
- Plant Material Reference Key (AAA 0)
- 1m reference circle
- Prop. Unit Paving Type 1
- Prop. Unit Paving Type 2
- Prop. Unit Paving Type 3
- Prop. Permeable Unit Paving Type 3
- Wood deck
- Fire Hydrant
- MH Man hole
- UP Utility pole
- Underground utility's (water)
- Overhead hydro
- Underground utility's
- 25mmØ PVC WATER SERVICE Underground utility's (water)

Proposed Plant Schedule

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
ARU	2	Acer rubrum	Native Red Maple	70 mm		B.&B.	High	Yes	Full Form
QRB	2	Quercus rubra	Red Oak	70 mm		B.&B.	High	Yes	Full Form
QRV	1	Quercus velutina	Black Oak	70 mm		B.&B.	High	Yes	Full Form
DECIDUOUS MULTI STEM TREES									
AAD	1	Amelanchier arborea	Downy Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
DECIDUOUS SHRUBS									
BXG	42	Buxus 'Green Mound'	Green Mound Boxwood	30 cm		C.G.	High	Yes	Full Form
HPB	28	Hydrangea paniculata 'Bombshell'	Dwarf Bombshell Hydrangea	60 cm		C.G.	High	Yes	Full Form
CONIFEROUS SHRUBS									
TCF	34	Taxus cuspidata 'Fairview'	Fairview Yew		65 cm	C.G.	High	Yes	Full Form
TMH	25	Taxus media 'Hicksii'	Hick's Yew	70 cm		C.G.	High	Yes	Full Form
PERENNIALS									
ABO	28	Astilbe 'Ostrich Plume'	Ostrich Plume Pink Astilbe			C.G. #1	High	Yes	Full Form
ECK	6	Echinacea purpurea 'Kim's Knee High'	Dwarf Purple Cone Flower			2 Gal.	High	Yes	Full Form
GER	40	Geranium 'Rozanne'	Hardy Cranesbill Geranium			2 Gal.	High	Yes	Full Form (PPOY Winner)
HEU	46	Heuchera 'Purple Palace'	Coral Bells (Purple Folage)			2 Gal.	High	Yes	Full Form
IGA	9	Iris germanica 'Amethyst Flame'	Purple Iris			C.G. #1	High	Yes	Full Form
PLS	17	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			2 Gal.	High	Yes	Full Form
GRASSES									
PAL	42	Pennisetum alopecuroides 'Hameln'	Hamlin Dwarf Fountain Grass			2 Gal.	High	Yes	Full Form

msla
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Project:

Proposed Residential Development
2291 Major Mackenzie Drive
Vaughan, Ontario

Scale: **1:100** Date: **May 2019**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Composite Utility Plan

Project No. **19118** Sheet No. **L1-03**

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Heritage Vaughan Committee Report

DATE: Wednesday, February 17, 2021 **WARD(S):** 1

TITLE: DEMOLITION AND NEW CONSTRUCTION – SINGLE DETACHED DWELLING WITH ATTACHED GARAGE LOCATED AT 10432 ISLINGTON AVENUE, KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT

FROM:
Jim Harnum, City Manager

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for the proposed demolition of the existing dwelling and detached garage and the construction of a new commercial-residential development. The proposed development consists of a 3-storey building with 2 levels of underground parking and a detached 3-storey additional building. The property is located at 10432 Islington Avenue, in the Kleinburg-Nashville Heritage Conservation District and designated under Part V of the *Ontario Heritage Act,* as shown on Attachments 1 and 2.

Report Highlights

- The Owner seeks approval to demolish the existing dwelling and detached garage, and construct a new commercial-residential development consisting of a 3-storey building with 2 levels of underground parking and a detached 3-storey additional building at 10432 Islington Avenue
- The existing dwelling and detached garage are identified as a non-contributing architecture in the Kleinburg-Nashville Heritage Conservation District Plan
- The proposal is consistent with the relevant policies and objectives of the Kleinburg-Nashville Heritage Conservation District Plan
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff supports approval of the proposal as it conforms with the policies and objectives of the Kleinburg-Nashville Heritage Conservation District Plan

Recommendations

THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of the existing dwelling and detached garage and the construction of a commercial-residential development consisting of a 3-storey building with 2 storeys of underground parking and a detached 3-storey additional building, located at 10432 Islington Avenue, under Section 42 of the *Ontario Heritage Act*, subject to the following conditions:

a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Deputy City Manager, Planning & Growth Management;

b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;

c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official; and

d) A demolition permit for the removal of the existing building and detached garage shall not be issued until a Building Permit has been obtained for the construction of the proposed commercial-residential development consisting of a 3-storey building with 2 storeys of underground parking and a detached 3-storey additional building in accordance with the Kleinburg-Nashville Heritage Conservation District Plan.

Background

The subject property has two existing distinct built structures, both considered non-contributing architecture within the Kleinburg-Nashville Heritage Conservation District Plan ('KNHCD Plan').

The south building is a one-storey ranch-style house dating from around 1970. The exterior wall finish is a textured red coloured low crenelated (upper and lower concrete coping sections, similar to a castle) brick wall, with a pitched roof. The building is set well back from Islington Avenue.

There are various window types, including bottom sliders under fixed upper panes, which replaced larger original sliding sashes. A wide brick chimney projects from a low-pitched roof at the south end. Gable ends are clad in vertical aluminum siding. Soffits are clad in stained wood. Gutters and downspouts are conventional modern aluminum profiles. The existing asphalt shingle roof has been replaced with a red tile roof to match the adjacent north building.

The north building, constructed around 1950, is a painted brick garage with three overhead doors and pitched roof, with a walk-out basement area to the west. It is set well back from Islington Avenue. All three original overhead doors have been replaced by new glazed aluminum overhead doors. The opening for the overhead door furthest north has been raised to accommodate a taller overhead door (6 panels high).

The original asphalt shingles have been replaced with textured roof tiles with aluminum soffits, gutters and downspouts. The exterior walls original brick veneer finish has been covered in stucco. The rear or west side of the building is 2-storeys with two glazed overhead doors on the lower level and three aluminum windows on the upper level. There is a brick chimney located in the centre of the rear wall of the building.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies, objectives and supporting guidelines within the KNHCD Plan.

The following is an analysis of the proposed demolition of the existing dwelling and detached garage and the new construction of a commercial-residential development consisting of a 3-storey building with 2 levels of underground parking and a detached 3-storey additional building, located at 10432 Islington Avenue according to the KNHCD guidelines.

6.3 POLICIES FOR NEW DEVELOPMENT

New development should complement and enhance the heritage character of the District. New buildings should be sympathetic in siting, scale, material, texture, and general design to the heritage buildings around them.

- *New development should be limited to vacant sites or to sites currently occupied by unsympathetic buildings. Even the most skillfully executed heritage-friendly building cannot replace the value of a real heritage building*
- *New development within the District should be consistent with the Guidelines in Section 9.5*

The proposed new construction replaces two non-contributing buildings on the subject property. Staff finds that the overall architectural composition of the proposed buildings is in keeping with the commercial and residential architectural styles prevalent in the KNHCD. In addition, the proposed building presents a functional and playful streetscape elevation that engages with its immediate surroundings.

9.5.1 NEW DEVELOPMENT OVERVIEW

The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the

street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building its context. Different settings within the district have different characters of siting, landscaping and streetscaping.

New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail. The following guidelines, describing the dominant elements that contribute to the heritage character of the District, are divided according to the principal settings found in the District.

The proposed architectural style for the new construction is respectful of the materials and design language of the chosen architectural style and conforms with the requirements of the KNHCD Plan. The proposed development employs heights and volumes consistent with new current construction industry standards, yet the appearance maintains the look and feel of the village commercial architecture setting. In particular, the rhythm of the façade projects the aesthetic of individuality as small lateral scale and a vertical composition as if to suggest infill architecture interventions.

9.8.4 ISLINGTON AVENUE COMMERCIAL CORE

The Islington Avenue Commercial Core means the commercially zoned properties within the Kleinburg Village Core, which front on Islington Avenue and Nashville Road. This area contains almost all of the commercial uses in the District, and they comprise a mixture of locally oriented and tourism-oriented businesses. Tourism generates cyclical parking loads, varying by season and day of the week, and the road allowance has been called on to provide overflow parking spaces above those provided on-site by the commercial uses. In addition, modern requirements call for amenities and equipment that were not present in the historical village. The design of road allowance presents special challenges if it is to preserve and enhance the heritage character of the Commercial Core. The intent of this Plan is to enhance the quality of the Commercial Core as a pedestrian-friendly village shopping environment.

Principles

Early 20th-century photographs of the District show streetscapes very different from today's. An accurate 'historical reproduction" of Kleinburg Village would exclude automobiles, paving, lighting, highway signs, bollards, and benches. It's obvious that a lively commercial district requires all of these things, some of them- because they enable and enhance public use and commercial activity in the village core, many of them because regulations and standards govern the design of traffic systems, lighting levels, and so on. There is an inherent historical ambiguity in a Heritage District that

must be dealt with in the evaluation of the design of these modern installations. The following principles apply to such an evaluation:

1. *<u>Accept the automotive streetscape</u>: As the list of modern artifacts above shows, the automobile and its infrastructure account for much of the visible non-heritage installations in the District. There is a built-in division of the streetscape in its historical aspect: it is inescapably modern from curb to curb. Modern accessories like waste receptacles and street lighting should be placed near to the curb, where they form a transition band between the heritage experience of the buildings and the modern experience of the roadway.*
2. *<u>Don't accentuate non-heritage installations</u>: Human perception is very good at filtering out unimportant and repetitive information. The modern enthusiasm for heritage has produced a host of "old-fashioned" products. Many of these are poorly executed and overly fussy. As a result, they call undeserved attention to themselves and the attention, thus directed, detects the fraud. Often, a very plain modern item will fade into the recesses of perception and be less intrusive than a deliberately "historical" version.*
3. *<u>Maintain historical integrity</u>: Even when they don't represent an accurate reconstruction, it is important to choose "historical" items in the context of history. For example, the street lighting of 1890 can't be reconstructed because there was none. The designer should bear in mind that Kleinburg and Nashville were modest villages and ask, if the village HAD installed early lighting, what sort of fixtures would have been chosen?" They would have been simple and functional and would not have had the ornate qualities of lighting for a big-city promenade.*

Rather than masking the integration of automobile access and parking requirements on site with the architecture of the building, the design actually embraces and welcomes the requirement through heritage vocabulary form and function: the arched access to the ramp leading to the underground parking structure and the lower level of the site is directly reminiscent of a coach house design. The box window, above the arch, is juxtaposed against the recessed lateral façade that creates a balcony on two levels and is referenced in the horizontal plank siding so as to maintain the consistent material language.

Roof dormers are positioned in a comfortable visual repetition and are dressed in siding as if to detach them from the building through use of a lighter material than the brick of the main structure. End details at the roof, reminiscent of English chimneys, draw attention to the roof and create the illusion of a properly proportioned human-scale smaller country house rather than a typical three-storey commercial building. Lastly, the metal awning and commercial trim at grade speaks of the adaptive reuse of otherwise-residential properties within the District and helps formally differentiate the public realm from the private realm of the upper floors.

9.10.1 HERITAGE BUILDINGS APPROPRIATE MATERIALS:

Exterior Finish*: Smooth red clay face brick, with smooth buff clay face brick as accent; Wood clapboard, 4" to the weather; Smooth, painted, wood board and batten siding.*

Exterior Detail*: Cut stone or reconstituted stone for trim in brick buildings. Wood shingles, stucco, or terra-cotta wall tiles in gable ends. Painted wood porches, railings, decorative trim, shutters, fascias and soffits. Painted wood gingerbread bargeboards and trim, where appropriate to the design.*

Shopfronts*: Wood frames, glazing bars, and panels with glazed wood doors are preferred. Metal shopfronts, detailed and proportioned to be compatible with heritage shopfronts, are acceptable.*

Roofs*: Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the style.*

Doors*: Wood frames; double hung; lights as appropriate to the architectural style. Real glazing bars, or high-quality simulated glazing bars. Vertical proportion, ranging from 3:5 to 3:7.*

Flashings: *Visible step flashings should be painted the colour of the wall.*

Staff finds that the material palette of the proposed design is in direct keeping with the chosen architectural style and is contextually complementary to the adjacent properties and to the neighbourhood at large. The combination of brick and metal framing (and shutters) speak to the commercial aspect and function of the building, while the box window detail, the nearly invisible balcony railing, the window keystones, and the roof frieze dentils speak to the character of an affluent heritage home of its time. The proposed windows present a muntin pattern accurate with the architectural style along the visible streetscape elevations, while the more private two sides of the building play with large fenestration as if to introduce industrial loft interventions into an otherwise classical residential Victorian building.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed commercial-residential development and underground parking conform to the policies, objectives and supporting guidelines within the Kleinburg-Nashville Heritage Conservation District Plan. Accordingly, staff can support Council approval of the proposed demolition of the existing dwelling and detached garage and the construction of a 3-storey building with

2-storeys of underground parking and a detached 3-storey additional building, located at 10432 Islington Avenue under the *Ontario Heritage Act*.

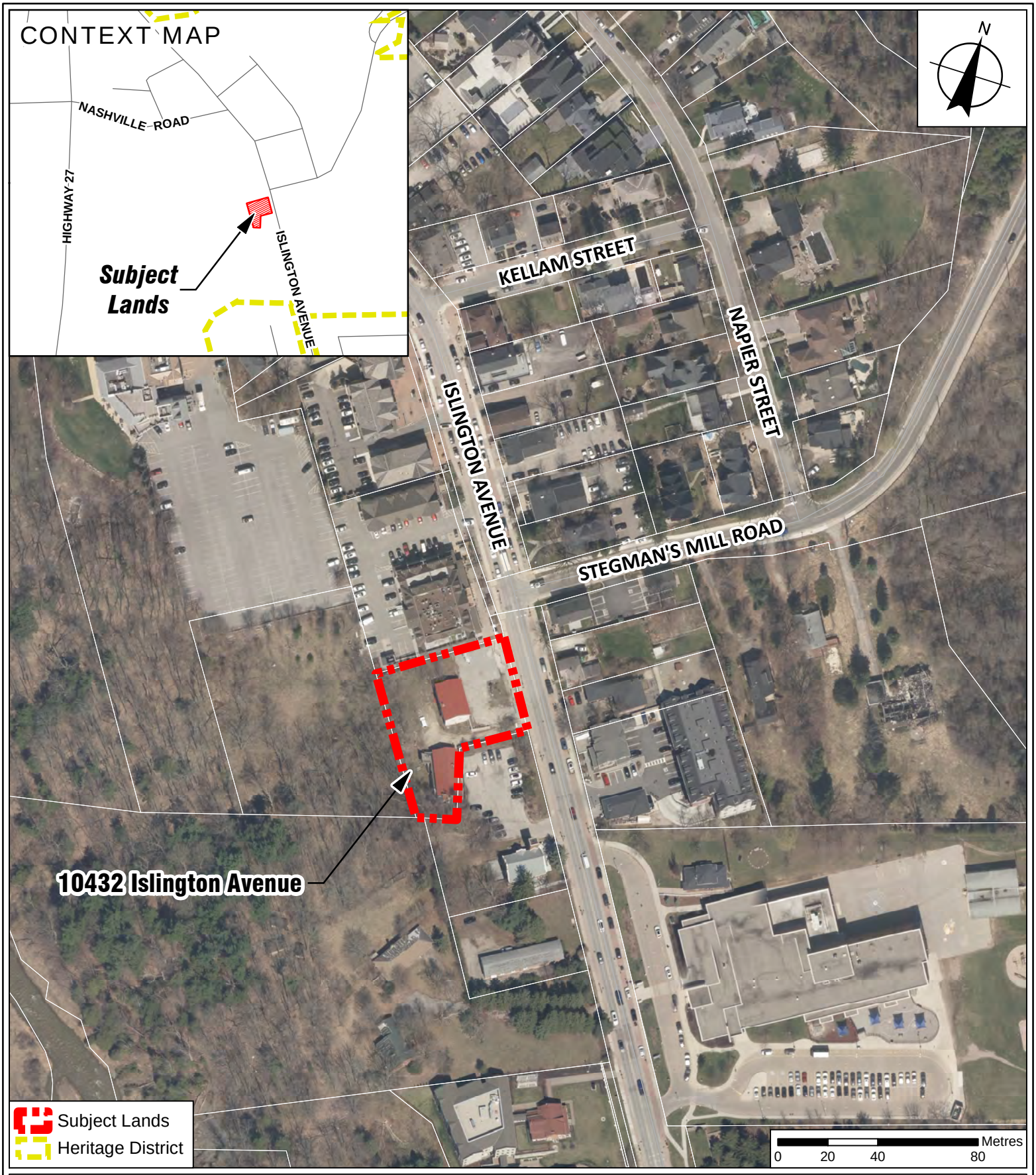
For more information, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

Attachment 1-10432Islington_Location Map
Attachment 2-10432Islington_Cultural Heritage Impact Assessment
Attachment 3-10432Islington_Site Plan
Attachment 4-10432Islington_Floor plans
Attachment 5-10432Islington_Elevations
Attachment 6-10432Islington_Rendering
Attachment 7-10432Islington_Materials
Attachment 8-10432Islington_Landscape Plan
Attachment 9-10432Islington_Arborist Report

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191
Rob Bayley, Manager of Urban Design/Cultural Services, ext. 8254
Bill Kiru, Acting Director of Development Planning, ext. 8633



Location Map

LOCATION:
10432 Islington Avenue, Kleinburg
Part of Lot 24, Concession 8
City Planning Block 54

VAUGHAN
Development Planning

Attachment 1

DATE:
January 29, 2021

N:\GIS_Archive\Attachments\Heritage\2021\10432 Islington Avenue\10432 Islington Ave_Location Map.mxd

Created on: 1/29/2021

ADDENDUM No. 3

CULTURAL HERITAGE IMPACT ASSESSMENT FOR

10432 Islington Avenue

Kleinburg, Ontario

May 15, 2020

Prepared by:

Martindale Planning Services
23 Elizabeth Street
Ajax, Ontario L1T 2X1
Tel: (905) 427-7574 Fax: (905) 427-2328
E-mail: martplan@sympatico.ca

in association with

BARRY BRYAN ASSOCIATES
Architects, Engineers, Project Managers
250 Water Street
Suite 201
Whitby, Ontario
Canada
L1N 0G5
Telephone: 905 666-5252
Toronto: 905 427-4495
Fax: 905 666-5256
Email: bba@bba-archeng.com
Web Site: www.bba-archeng.com

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3.0 CONCLUSION **3**

APPENDICES

PROPOSED DRAWINGS

1.0 Introduction

In December 2015 a Cultural Heritage Impact Assessment was submitted by Martindale Planning Services, in conjunction with Barry Bryan Associates, for 10432 Islington Ave., a property located within the Kleinburg – Nashville Heritage Conservation District. The subject site contains two buildings: a c.1950 service station and a c.1970 ranch-style bungalow. The current owner of the property wishes to remove the two buildings and construct a two-storey mixed-use building comprising a dance studio and condominium apartments along with a commercial building on the site of the existing dwelling.

In December 2016, in response to comments made on the original report by Katrina Guy, the City's Cultural Heritage Coordinator, Addendum No. 1 was submitted to the City.

The comments on Addendum No. 1 essentially noted that:

1. further documentation (in the form of photographs) was required including the interior of both buildings;

2. options of possible commemoration of the only village gas station should be provided; and,

3. an updated Conformity of Development Proposal to the District Guidelines should be provided, in view of the substantial design changes to the project since the original submission, including a justification for the proposed contemporary wood-clad design.

In August 2018, Addendum #2 was issued in response to further comments from City staff. It suggested that a sign or plaque be installed in front of the main building commemorating the site of the village's first gas station, and provided an updated Statement of Conformity to the Heritage District Guidelines.

In December 2019, the project was re-designed to reflect additional comments received from Vaughan planning staff. Since there were a few substantial and several minor revisions from the original concept, we have reviewed the new site plan and rendering in detail and would offer the following observations.

2.0 Comments on May 2020 Plans

It is noted that the existing residence to the south of the main building will now be replaced by a new 3-storey commercial building, which is a significant improvement as the present Spanish-style home is not in keeping with the predominant architectural theme in the village of Kleinburg. Although the visual effect is compromised somewhat by its large setback from Islington Avenue, it will fit in much better with the village streetscape in terms of design and materiality.

The other changes in the project design are described as follows:

- The north and south portions of the first floor elevations feature a more traditional commercial appearance rather than residential, with more pronounced at-grade front entrances and a new cornice line, thereby making the steps in front of the doors unnecessary;
- All of the windows in these portions are more traditional, being multi-paned and featuring keystones above the second storey windows, while the central windows now have shutters;
- The third storey dormers are more elaborate and feature multi-paned windows;
- The dormer window has been removed from the north portion;
- A return eave has been added to the north end of the building;
- It appears that some additional floor area in the form of a two-storey wing above the driveway has been added;
- South-facing balconies have been added to the third storey of the southerly portion;
- The design of the middle portion retains its contemporary appearance but now features larger windows and a new chimney.

In general, we are of the opinion that the latest changes are in accordance with the policies and guidelines outlined in the Kleinburg-Nashville Heritage Conservation District Plan and the project will be more in keeping with the predominant architectural style of the village main street.

3.0 Conclusion

This Addendum should be read in conjunction with the original Cultural Heritage Resource Impact Assessment dated December 15, 2015; Addendum No. 1 dated December 5, 2016; and Addendum No. 2 dated August 31, 2018.

Respectfully submitted,

D.L. Bryan, P. Eng., OAA, MRAIC, CAHP
Barry Bryan Associates

Robert A. Martindale, MCIP, RPP, CAHP
Martindale Planning Services

CULTURAL HERITAGE IMPACT ASSESSMENT FOR

10432 Islington Avenue

Kleinburg, Ontario

December 15, 2015

Prepared by:

Martindale Planning Services
23 Elizabeth Street
Ajax, Ontario L1T 2X1
Tel: (905) 427-7574 Fax: (905) 427-2328
E-mail: martplan@sympatico.ca

in association with

BARRY BRYAN ASSOCIATES
Architects, Engineers, Project Managers

250 Water Street
Suite 201
Whitby, Ontario
Canada
L1N 0G5

Telephone: 905 666-5252
Toronto: 905 427-4495
Fax: 905 666-5256
Email: bba@bba-archeng.com
Web Site: www.bba-archeng.com

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1.0 BACKGROUND AND INTRODUCTION

A mixed-use project comprising a technical school on two levels and 13 apartment units on three floors has been proposed for 10432 Islington Ave. in Kleinburg. As the subject property is located within the Kleinburg-Nashville Heritage Conservation District, the City of Vaughan requires the submission of a cultural heritage impact assessment to evaluate the project in the context of the surrounding heritage resources and the design guidelines contained within the plan.

This report has been prepared in accordance with the City's "Guidelines for Cultural Heritage Impact Assessments" as well as the guidelines contained in the Ontario Heritage Tool Kit.

2.0 HISTORY AND DEVELOPMENT OF KLEINBURG

The origins of Kleinburg go back to the development of a sawmill and a gristmill located on the Humber River in Lot 24, Concession 9 that was built in 1847 by John N. Kline, an immigrant from Alsace-Lorraine. Some accounts state that the name "Kleinburg" was derived from a combination of two German words, "klein", meaning "little" or "small" and "berg" meaning "hill" or "mountain", while other accounts indicate that the settlement was named Kleinsberg after the mill owner whose name was also spelled "Klein". The village on the top of the hill to the east was known as Mount Vernon; by 1850 the two had grown together and the community was called Kleinburg. A subdivision map from 1848 shows lots on both sides of the King Road (now Islington Avenue) extending from 230 feet south of Stegman's Mill Road to the intersection of Kline's Mill Road (now Nashville Road) on both sides of Kline's Mill Road, and on both sides of Napier Street as far as Kellam Street. The same map also shows a second sawmill across town on the East Humber River.

In 1852 the mill was sold to H.S. and W.P. Howland. Together with their brother Fred they owned four mills – at Lambton, Waterdown, St. Catharines and Kleinburg. The Howland family came from Cape Vincent, New York (opposite Kingston). Henry Stark Howland started his career as the first Postmaster in the village, then went into politics, being elected Reeve of Vaughan Township in 1864 and Warden of York County in 1865. His business pursuits included Vice-President of the Canadian Bank of Commerce and the first President of the Imperial Bank of Canada. After he moved to Toronto his sons, Thomas and William, ran the mill in Kleinburg. William Pearce Howland was equally successful and held numerous prestigious positions in his lifetime: a minister in the first Dominion Cabinet of Canada; the Lieutenant-Governor of Ontario from 1868 to 1873, and Postmaster General of Canada in 1867. Both of his sons held the position of Mayor in Toronto – William Holmes from 1886 to 1887 and Oliver A. from 1901 to 1902.

The flour mill was very successful and remained in the Howland family as long as it was operated, being the largest mill between Barrie and Toronto with a grinding capacity of 200 barrels a day. Soon other industries associated with the mill were established nearby (cooperage, stave factory, planing mill) as well as those found in most 19th century Ontario villages – carriage-making shops, blacksmiths, tannery, etc. In 1852 the first postmaster, H.S. Howland, was appointed and served for 18 years.

To encourage improvement in the transportation network, the government began to encourage the incorporation of road companies in the mid-1800s. The Vaughan Road Co. was formed in 1850, establishing the roadway known today as Islington Avenue and eventually becoming Hwy. 27 north of Kleinburg. In 1868 the Toronto, Grey and Bruce Railway was organized and the line from Toronto, through Woodbridge and Orangeville to Mount Forest was opened in 1871. (This is now part of the Canadian Pacific Railway main line to Sudbury.). A train station serving both Nashville and Kleinburg was built in 1870 near Nashville Road and subsequently replaced in 1907. The importance of the railway to the prosperity of Kleinburg's mills created an important connection between these two communities. After passenger service was discontinued on this line the station was moved in 1976 to Islington Avenue just north of Kleinburg Public School and used for several years by the local Scout group, then a soccer club.

In 1860 Kleinburg housed a drugstore, three merchants, a tanner and currier, two hotels, a boot and shoemaker, tailor, carriage maker, doctor, saddler and harness maker. By 1870 a few more occupations were added – chemist and druggist, cabinet maker, insurance agent, butcher, justice of the peace, tinsmith and milliner. Kleinburg also boasted a school and two churches.

In 1890 Charles Shaw Jr., the local distributor of binder twine, announced a Binder Twine Night when the twine used to tie up their sheaves of wheat arrived. The event grew into a sizeable community festival, including games, refreshments and entertainment. Around this time Kleinburg was at its prosperous height. The population topped 350; half a dozen manufacturing industries produced farm implements, furniture, harnesses, clothes and carriages.

Ironically, the basic elements of the village's success contributed to its decline. As the lands were cleared, the sawmills steadily consumed the timber that was responsible for their creation. Although the railways initially helped the mills get their product to market, they also allowed larger firms in the cities to expand their markets over wider areas, to the detriment of smaller local businesses. New technologies also contributed to the decline: electrification came to Kleinburg later than other communities in Vaughan and the water-powered mills were put at a competitive disadvantage. The coming of the automobile eliminated the village's role as a stopping place on the way to the city. The construction of Hwy. 27 in the 1930's sealed its fate by bypassing Kleinburg.

By the end of the second World War, the village had lost more than 2/3 of its population, but the postwar housing shortage resulted in a moderate surge of growth as returning veterans looking for affordable housing began to see Kleinburg as a good place to raise a family. "Starter" homes were built on Napier Street and the Windrush Co-operative was established at the end of Stegman's Mill Road.

Kleinburg's renewal was interrupted by Hurricane Hazel in October 1954. The swollen Humber River swept away the village's bridges and wreaked havoc in Toronto. However, the positive outcome of the hurricane was the establishment of the Metropolitan Toronto and Region Conservation Authority which took on the responsibility of conserving and managing the 7 watersheds in the Toronto area. As the authors of the Kleinburg-Nashville Heritage Conservation District Study noted, "public ownership of the floodplain and public stewardship of the valleys have been instrumental in restoring the valley ecostystems and preserving the character of Kleinburg's setting."

Three well-known educational and/or entertainment venues are located in or near Kleinburg. The McMichael Canadian Art Collection, founded by Robert and Signe McMichael in the 1950s and since donated to the Province of Ontario, now attracts 125,000 visitors a year. The 40-acre property contains a small cemetery where the original members of the Group of Seven are buried. South of Major Mackenzie Drive is the Kortright Centre, an environmental education facility operated by the Toronto Region Conservation Authority, which has attracted over a million visitors since it opened in 1979. Finally, the Doctor's House on Nashville Road started out as a modest tea room in 1967 and has since grown into a full-service restaurant, banquet facilities and a chapel, now the largest private attraction in Kleinburg – hosting banquets, conventions and weddings.

In 1967 the Binder Twine Festival was revived under the leadership of Mr. Vic Ryder and has been an annual event ever since, now considered one of the highlights of village life. The funds it generates have contributed to parks, building and storefront restoration, school trips, fireworks displays and countless other community projects.

3.0 DESCRIPTION OF KLEINBURG - NASHVILLE HERITAGE CONSERVATION DISTRICT PLAN

3.1 Origins of the District Plan

Due to concerns over the rapid growth in the commercial core of Kleinburg expressed in the 1980's, Vaughan Council started the process of studying the potential benefits of a Heritage Conservation District in 1985 with the passing of By-law No. 257-85. A preliminary study was carried out by Loredana Margiotta in April 1993 and a study area was identified (shown on Figure 2) which encompassed both sides of the Islington Avenue commercial district, Napier Road, John Street, Kellam Street, Main Street, Centre Street and portions of Stegman's Mill Road and Nashville Rd. Subsequently, a Community Plan was prepared for Kleinburg – Nashville and adopted by Council on Sept. 25, 2000.

The Objective of the Kleinburg-Nashville Community Plan, adopted by Council in 2000 and approved by the Ontario Municipal Board in 2001, is as follows:

> *"to preserve and protect the rich cultural heritage and natural resources of the Kleinburg – Nashville community."*

The Plan went on to list a series of policies that would govern future development in the community, including the following policy directly applicable to the subject property:

> *"3) to encourage that new development along the historic core areas of Kleinburg and Nashville be sympathetic in scale, massing and architectural design with the existing 19th and early 20th century heritage buildings in these historic core areas;"*

Based on the Community Plan, Council decided in July 2000 to undertake the necessary steps to commence a Heritage Conservation District Study. Following consultation with Heritage Vaughan, in November 2001 Council approved a by-law (no. 468-2001) defining an area to be examined for future designation as a Heritage Conservation District. A consultant was retained in August 2002 and the Plan was completed in early 2003. Following public meetings on the Plan, it was adopted through the passing of By-law no. 183-2003 (see Appendix 2) on June 23, 2003.

3.2 Applicable District Plan Provisions

3.2.1 General Comments

Section 1.3.1 of the Plan, entitled "Commercial Concerns", notes that Kleinburg used to be a popular spot to stop for lunch when people were driving around the countryside in Vaughan, but the rapidly-developing suburbs have taken away the 'rural ride' aspect, and *"intensified the qualitative contrast that distinguishes Kleinburg from the surrounding recent development."* This section concludes with the statement that *"care is required to maintain the village character in the face of the intensification, and municipal controls need to be established and maintained to strike the right balance."* The authors of the Plan go on to comment that at the public meetings, residents expressed concern about the scale of recent commercial developments on the west side of Islington Ave.

After describing each property within the District in detail, the Plan offers the following comments related to development in the commercial core of the village:

In the commercial core, heritage buildings predominate on the east side of Islington Avenue, and the village character is preserved in building scale, varied setbacks, and landscape details of planting and fencing. The west side of Islington is predominantly new development of a larger scale, and the attempts at 'heritage' design of the buildings and their sites is not particularly successful."

3.2.2 Heritage Character Statement

Section 2.4.4 sets out the Heritage Character Statement for the District, which is included in by-law 183-2003. This statement describes the qualities that make the Kleinburg - Nashville community worthy of designation as a Heritage Conservation District. These qualities include:

- its dramatic setting on a narrow ridge between the valleys of two branches of the Humber River, which has the status of a Canadian Heritage River;
- its connection with the railway, which created Nashville and served mills and industries in Kleinburg;
- its substantial stock of heritage buildings;
- the continuous maintenance of the rural pattern of road profile, variety of building types and ages, streetscape and landscape elements, mature urban forestry and modest scale of construction;
- the unique village road layout, which (due to topography) lacks a single crossroad but has T-intersections only;
- the valleys, which formed strict growth boundaries to the east and west, preventing the 'edge sprawl' that has overwhelmed the character of other rural villages in Vaughan and provided 'rural retreat' sites for postwar residential development.

3.2.3 Policies for New Development

Section 6.3 of the Plan sets out policies for new development in the District, as follows:

- *New development should complement and enhance the heritage character of the District. New buildings should be sympathetic in siting, scale, material, texture and general design to the heritage buildings around them.*
- *New development should be limited to vacant sites or to sites currently occupied by unsympathetic buildings;*
- *New development within the District should be consistent with the Guidelines in section 9.5.*

3.2.4 Design Guidelines for New Development

In keeping with the authors' general comments on development in the commercial core, section 9.5.2.1 of the Plan contrasts the east and west sides of Islington Avenue as follows:

> *"The east side of Islington Ave. retains the original informal site-planning character of a village.*
>
> *New developments on the west side are over-urbanized, and the village character has been buried under an array of standard fittings and fixtures: ubiquitous pavers, bollards and planting tubs."*

This section of the Plan goes on to provide detailed design guidelines for new development in the village core, specifically with respect to site planning, architectural style, scale and massing, storefronts and signage.

4.0 ARCHITECTURAL EVALUATION AND CONDITION ASSESSMENT OF THE CULTURAL HERITAGE RESOURCE ON THE SUBJECT PROPERTY

4.1 10432 Islington Avenue (north building)

The existing north building at 10432 Islington Avenue, then "constructed around 1950," is a pitched roof garage with three overhead doors, with a walk-out basement area to the west. It is set well back from Islington Avenue, and the exterior walls are brick which has been painted. All three original overhead doors have been replaced by new glazed aluminum overhead doors. The opening for the overhead door furthest north has been raised to accommodate a taller over head door (6 panels high). The original asphalt shingles have been replaced with textured roof tiles with aluminum soffits, gutters and downspouts. The original brick veneer finish has been covered in stucco for the exterior walls. The rear or west side of the building is two storey with two glazed overhead doors on the lower level and three aluminum windows on the upper level. There is a brick chimney located in the centre of the rear wall of the building.

4.2 10432 Islington Avenue (south building)

The existing south building at 10432 Islington Avenue is a one storey ranch-style house. The exterior wall finish is textured red coloured brick, with a pitched roof and replaced windows, dating from around 1970. It is set well back from Islington Avenue and has a perimeter low crenelated wall (upper and lower concrete coping sections, similar to a castle) at the parking area in front of the home. There are various window types, including bottom sliders under fixed upper panes, which replaced larger original sliding sashes. A wide brick chimney projects from a low pitched roof at the south end. Gable ends are clad in vertical aluminum siding. Soffits are clad in stained wood. Gutters and downspouts are conventional modern aluminum profiles. Asphalt shingle roof has been replaced with red tile roof to match the adjacent north building.

5.0 DESCRIPTION OF DEVELOPMENT PROPOSAL AND IMPACT ON CULTURAL HERITAGE RESOURCE

5.1 Site Plans

The proposed development consists of a two storey mixed use building with a lower level for underground parking. Access to the site is from a driveway off Islington Avenue to the lower level exterior parking to the southwest and indoor parking below the building. The building is setback at the front to allow space for landscaping. Garbage and recycling bins are in an enclosure at the lower level.

5.2 Rendering and Materials

The proposed building is a combination of commercial on the main floor and residential above. There are two historically related wings flanking a centre modernist dance studio. The roofs are pitched with gable windows in the wings. The centre section of the building has a combination of flat and pitched roofs. Windows in the north and south wings are combination of rectangular and quarter circle punched openings in the masonry with muntins to break up the glazing. Windows in the centre dance studio section are large vertical and horizontal sections. Exterior facade materials are a combination of heritage/ reclaimed brick veneer and redwood shiplap siding for the entrance area. Traditional stone veneer window sills are proposed. The recessed walls each side of the main entrance are white or light gray fiber-cement paneling. Glazing will be in black aluminum frames.

6.0 CONFORMITY OF DEVELOPMENT PROPOSAL TO THE DISTRICT GUIDELINES

6.1 Introduction

In Section 3.2 of this report the provisions of the Kleinburg - Nashville Heritage Conservation District applicable to this project were outlined. We will now comment on how the proposed building addresses these provisions, starting with the general policy on new development and moving to specific design guidelines for the village core.

6.2 Policy direction

The general policy for new development in the district states that new development should:

"(a) be limited to vacant sites or to sites currently occupied by unsympathetic buildings;

(b) complement and enhance the heritage character of the district and should be sympathetic in siting, scale, material, texture and general design to the heritage buildings around them."

In our opinion, the site is currently occupied by unsympathetic buildings that do not have a long history in the village and do not reflect the prevailing architectural character of Islington Ave.

The proposed mixed-use building is a comparatively large building on a large lot, relative to most the existing development in the village core. However, the façade has been broken up effectively by dividing the structure into three distinct components – traditional 2 ½ storey, predominantly brick, gabled fronts with dormers at each end, flanking a more contemporary central portion employing a much higher percentage of glass. It does not provide an ample front yard as do most of the newer buildings to the north of the property; however, the design guidelines encourage commercial buildings to be located at the streetline so the proposal conforms in this respect.

6.3 Design Guidelines

The Guidelines for New Development are found in section 9.5 and focus on site planning, architectural style, scale and massing, storefronts and signage.

(a) Site planning

These guidelines encourage the existence of side yards on most commercial properties; a variety of front yard setbacks, with purpose-built commercial buildings tending to be located at the street line, and planting of trees in front, side and rear yards. They also suggest that for new buildings, setbacks that contrast with adjacent properties should be provided.

The proposed development does not provide side yards, but is located at the streetline. Landscaping appears to be limited to shrubs rather than trees due to the limited space available in the front and side yards. Since the adjacent buildings to the north and south have ample front yards, the setback in this case does contrast with adjacent properties.

(b) Architectural style

The guidelines encourage using a "local heritage style" as a design precedent and following the precedent in all details, rather than using hybrid designs that mix elements from different historical styles or using historical styles that are not indigenous to the area.

(c) Scale and massing

Similar to the guidelines for architectural style, those for scale and massing state that "new construction in the Commercial Core should respect local heritage precedents." It provides two examples of designs based on larger heritage precedents, such as hotels and mills; for frontages larger than 18m (which is the case here) it is recommended that the building mass "should be subdivided into discrete elements reflecting the historical scale and have varied setbacks in keeping with the village character."

As stated earlier, we believe that the proposed design satisfies this policy in terms of the façade being broken up into three distinct portions, although the front lot line is only slightly staggered as opposed to having varied setbacks.

(d) Storefronts

The guidelines encourage traditional storefront designs to reflect local historic precedents; however, the proposed building is not designed as a storefront and we therefore do not consider the guidelines applicable in this case.

(e) Signage

The guidelines point out that the commercial core of Kleinburg is designated as a "Special Sign District" in the City of Vaughan Sign By-law. Beyond these provisions, the District Plan recommends that moulded signboards integrated with historic storefronts, small soffit signs above or below porch fascias and flat externally illuminated wall signs are appropriate in the district. We do not have sufficient detail on the proposed sign above the main entrance to the building to comment on its conformity to the guidelines; however, in our opinion the modest sign is unobtrusive and fits in well with the design of the building.

7.0 PROPOSED MITIGATION TECHNIQUES

7.1 Site Plan

The proposal has the building set back from the street to provide landscaping in the form of shrubs. It could be set back further in order to provide enough space for two or three trees. The width of the building could be reduced in order to provide side yards, as recommended in the guidelines; however, these changes would significantly reduce the interior square footage of the building.

7.2 Rendering and Materials

The materials of the proposed development are a combination of heritage/reclaimed brick veneer and redwood ship-lap siding. A mitigation technique would be to replace the redwood with brick. However, the redwood siding is similar to the horizontal siding of neighbouring buildings, so it does relate to the area.

8.0 CONCLUSION

The proposed redevelopment of 10432 is a significant milestone, as it represents the first new mixed-use project to be built in the Kleinburg - Nashville Heritage Conservation District in several years. It will provide the village with 13 new residential apartments and a dance studio on what is now an unattractive, abandoned garage site. The removal of the 1970's suburban-style bungalow is not considered a loss to the village and the bright red roofs of both buildings looks out of place on the Islington Ave. streetscape.

While the building does not exactly "reflect a suitable local heritage precedent style" as suggested by the District Plan, it does incorporate some details common to 19th century architecture such as gable roofs, dormers, brick chimneys and a 2½ storey built form.

Notwithstanding the fact that it does not comply in all respects with the Plan's design guidelines, we believe that the project will make a positive contribution to the village core.

Respectfully submitted,

D.L. Bryan, P. Eng., OAA, MRAIC, CAHP
Barry Bryan Associates

Robert A. Martindale, MCIP, RPP, CAHP
Martindale Planning Services

APPENDICES

1 - Title Search

TITLE SEARCH RECORD(CHAIN OF TITLE)

Municipal Address:10432 Islington Ave., Village of Kleinburg,

Legal Description: Lots 29 and 30, Pl. 9 Vaughan, City of Vaughan, Regional Municipality of York; PIN:03323-0281(LT)

Date of Search: Oct. 13, 2015

Instrument No.	Date	Grantor	Grantee
Patent	13 July 1847	Crown	MITCHELL, Andrew
34862	23 July 1849	MITCHELL, Andrew	KLINE, John N.
40912	18 July 1851	KLINE, John N.J.	HAMBLEY, Thomas
67857	15 May 1857	HAMBLEY, Thomas	CAMERON, David
67873	2 June 1857	CAMERON, David	STEAD, Elizabeth
79188	27 Feb 1880	STEAD, Elizabeth	CROSSON, Valentine
88884	21 Jan 1866	CROSSON, John Sr.	MCKAY, Jane
835	21 Apr 1871	FITTER, Thomas W.	STROUD, Stephen
4682	13 Oct 1887	STROUD, Stephen	HODGSON, john
5846	6 Feb 1894	Hodgson, Sarah ESTATE	HODGSON, Elizabeth, Martha and Sarah Elizabeth
6162	24 July 1895	HODGSON, Martha, Sarah and Elizabeth	HODGSON, Elizabeth, Martha and Sarah
10438	31 Apr 1915	HODGSON, Sarah ESTATE	CURTIS, Kathleen
12588	26 May 1921	CURTIS, Mark	CARD, Albert

Instrument No.	Date	Grantor	Grantee
14368	26 Apr 1926	CARD, Albert	MACTAGGART, Elmer H.A.
24650	16 Aug 1949	MACTAGGART, Elmer H.A.	WEIDERHOLD, Lawrence A.
42190	19 June 1959	WEIDERHOLD, Lawrence A.	ROLLER, Daniel E. and Bernice O.
R437961	26 June 1987	ROLLER, Daniel E. and Bernice Olive	ROLLER, Bernice Olive
R546798	4 July 1990	ROLLER, Bernice Olive	MARGIOTTA, Enzo and Enza; ANZELLOTTI, Tony and Gennaro; GALLO, Victor and Rose
R688380	15 Nov 1996	MARGIOTTA, Enzo and Enza; ANZELLOTTI, Tony and Gennaro; GALLO, Victor and Rose	ROLLER, Bernice Olive
YR158707	14 June 2002	ROLLER, Bernice Olive	1527330 ONTARIO LIMITED
YR632647	2 May 2005	1527330 ONTARIO LIMITED	1654235 ONTARIO INC.
YR2018483	14 Aug 2013	1654235 ONTARIO INC.	2383717 ONTARIO INC.

2 - By-law 183 – 2003 (Heritage Designation By-law)

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 183-2003

A By-law to designate an area of the City of Vaughan as a Heritage Conservation District.

WHEREAS under Part V of the *Ontario Heritage Act*, R.S.O., 1990, c.O.18, as amended, a Heritage Conservation District may be designated;

AND WHEREAS the City of Vaughan's Official Plan Amendment Number 601, The Kleinburg-Nashville Community Plan, includes policies to authorize the study of an area within the Community Plan Area for potential designation as a Heritage Conservation District;

AND WHEREAS on November 26, 2001 the Council of the City of Vaughan enacted By-law Number 468-2001 defining a Study Area within the Kleinburg-Nashville Community Plan Area to be examined for future designation pursuant to subsection 40(1) of the *Ontario Heritage Act*;

AND WHEREAS the Study of the Kleinburg-Nashville Heritage Conservation District has been completed, and the Council of the City of Vaughan wishes to designate the area to be known as the Kleinburg-Nashville Heritage Conservation District pursuant to subsection 41(1) of the *Ontario Heritage Act*;

NOW THEREFORE the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That the area known as the Kleinburg-Nashville Heritage Conservation District located within The Corporation of the City of Vaughan, as identified on Schedule "A" attached hereto, is hereby designated as a Heritage Conservation District.
2. Schedule "A" attached to this By-law forms a part of this By-law.
3. That this By-law comes into full force and effect on the date it is finally passed.

READ a FIRST, SECOND and THIRD time and finally passed this 23rd day of June, 2003.

Michael Di Biase, Mayor

J. D. Leach, City Clerk

HERITAGE CHARACTER STATEMENT

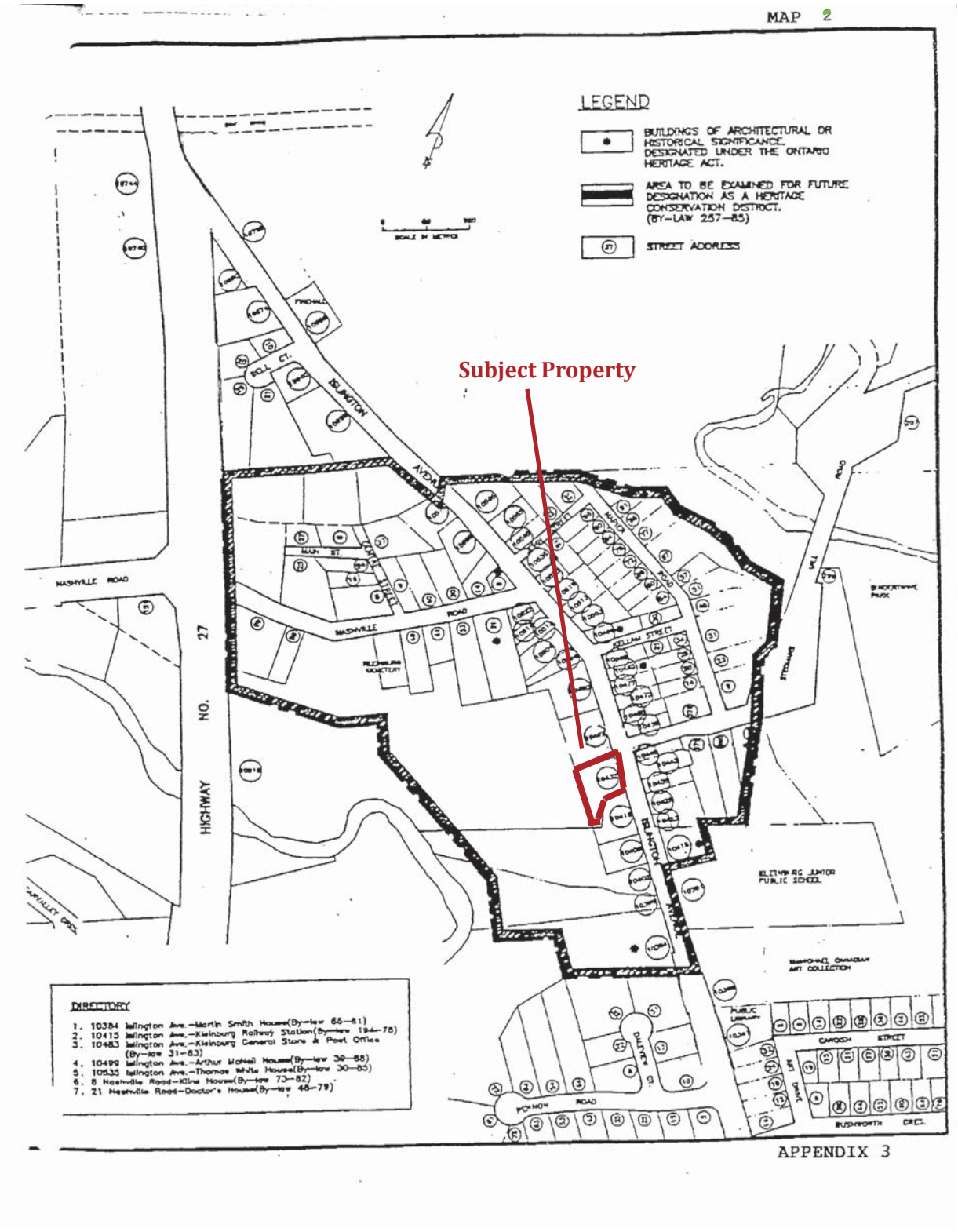
Kleinburg is an historic rural village, founded in 1848. It enjoys a dramatic setting on a narrow ridge between the valleys of two branches of the Humber. It is connected by both road and history with Nashville, which grew up around the 1870 'Kleinburg' railroad station. The railroad created Nashville and served Kleinburg mills and industries, and the farms in the surrounding community. Within both Kleinburg and Nashville, the presence of a substantial stock of heritage buildings, and the continuous maintenance of the rural pattern of road profile, variety of building types and ages, streetscape and landscape elements, mature urban forestry, and modest scale of construction combine to preserve a heritage character that is worthy of conservation.

The Humber River has heritage value in its own right, both in pre-historical and historical terms, and it has the status of a Canadian Heritage River. The rivers and their valleys are historically connected to both Kleinburg and Nashville, as the site of the mills that originally brought both villages into being. The valleys have been a main determinant in Kleinburg's form and development. The village road layout, following topography, is unique in not having a single crossroad, only T-intersections. The valleys formed strict growth boundaries to the east and west, preventing the 'edge sprawl' that has overwhelmed the character of other rural villages, such as Maple; and also provided 'rural retreat' sites for the postwar resettlement that kept the village alive. The valleys are worthy of conservation for their historical connections to the villages, their role in determining the patterns of development, and as the defining element of Kleinburg's setting within the larger community.

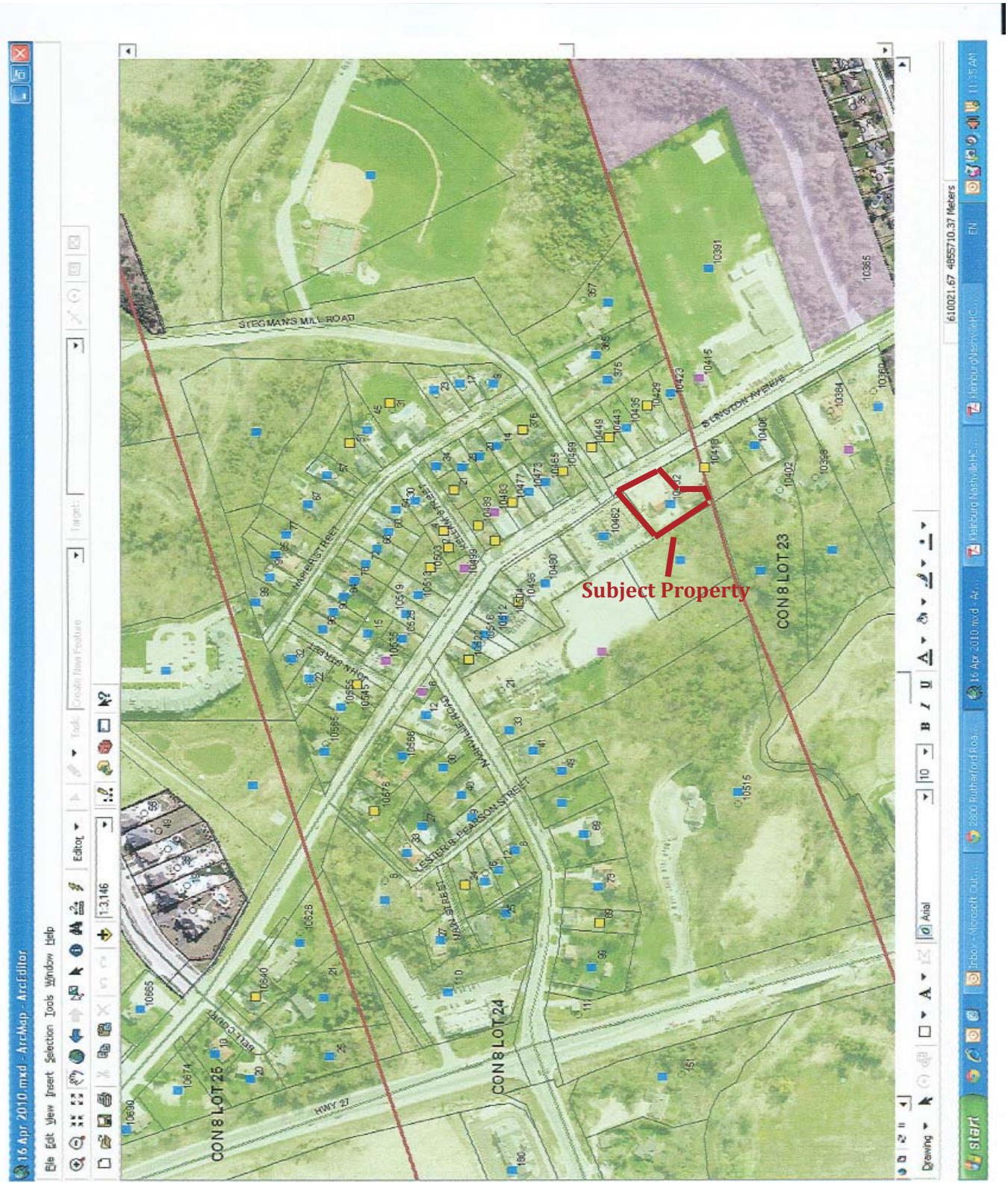
FIGURES

1 – Location Map (Google)

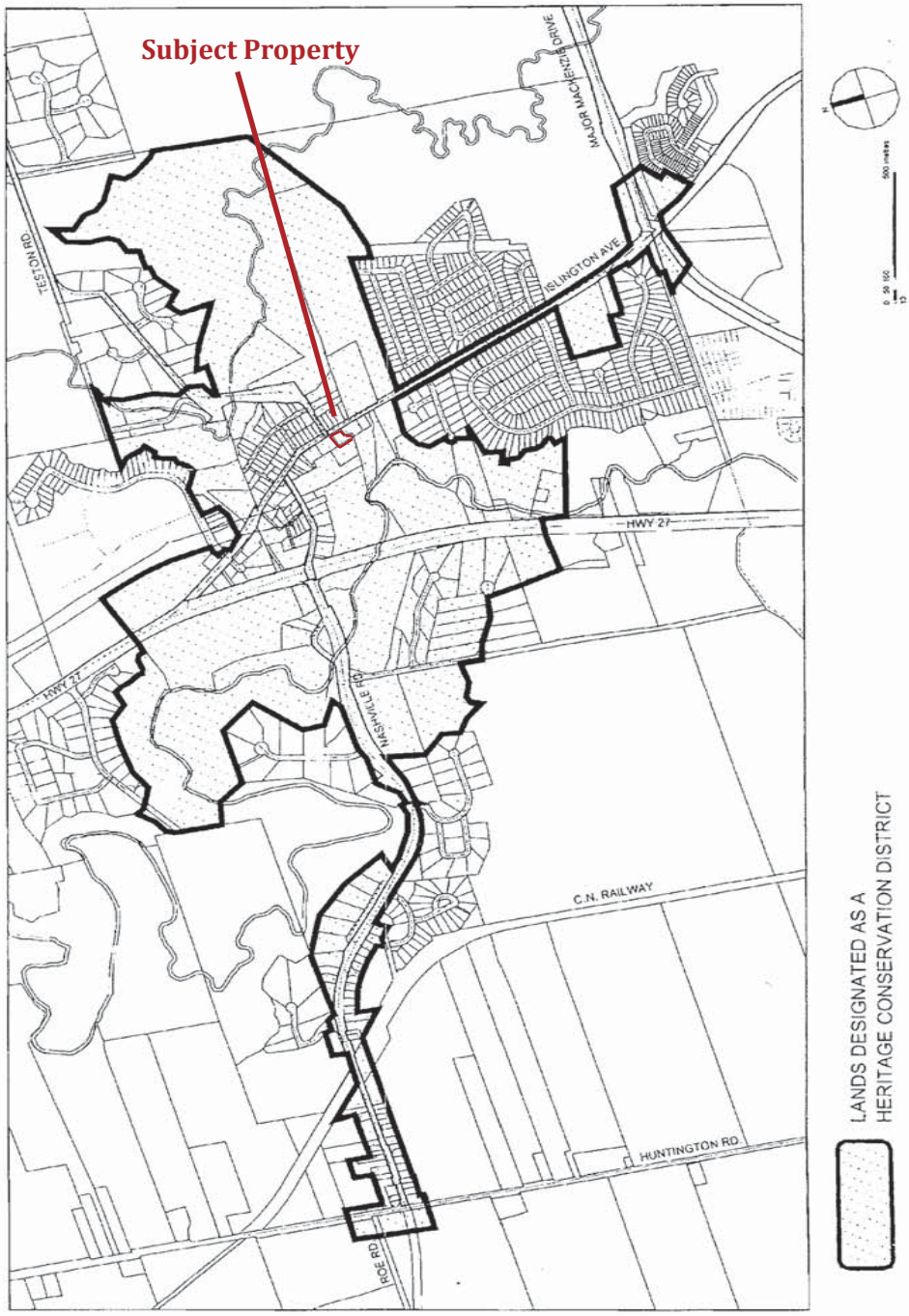
2 – 1983 Village Map



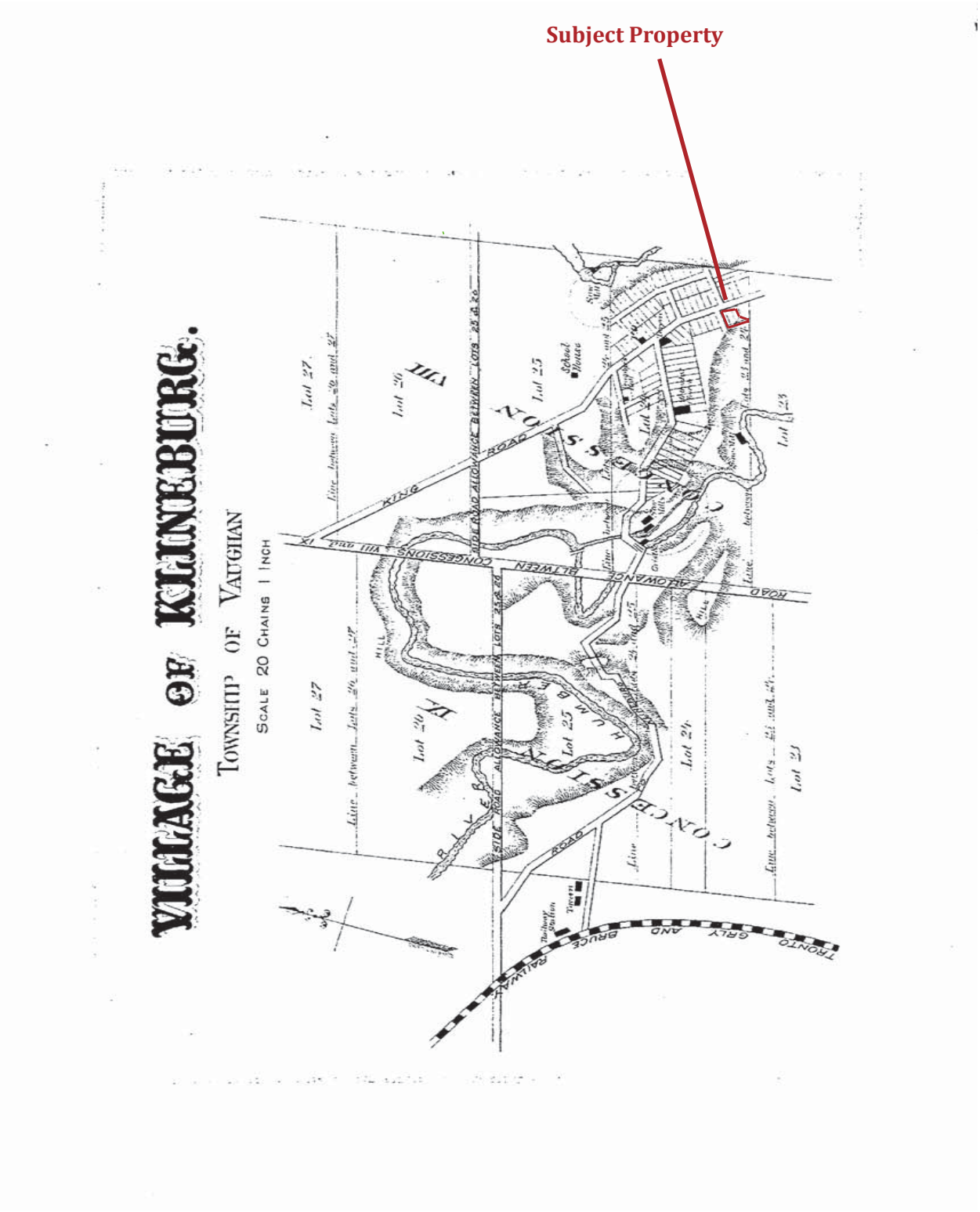
3 – Air Photo


Subject Property
STEGMAN'S MILL ROAD
ISLINGTON AVENUE
MAPLE STREET
CON 8 LOT 23
CON 8 LOT 24
CON 8 LOT 25
HWY 27

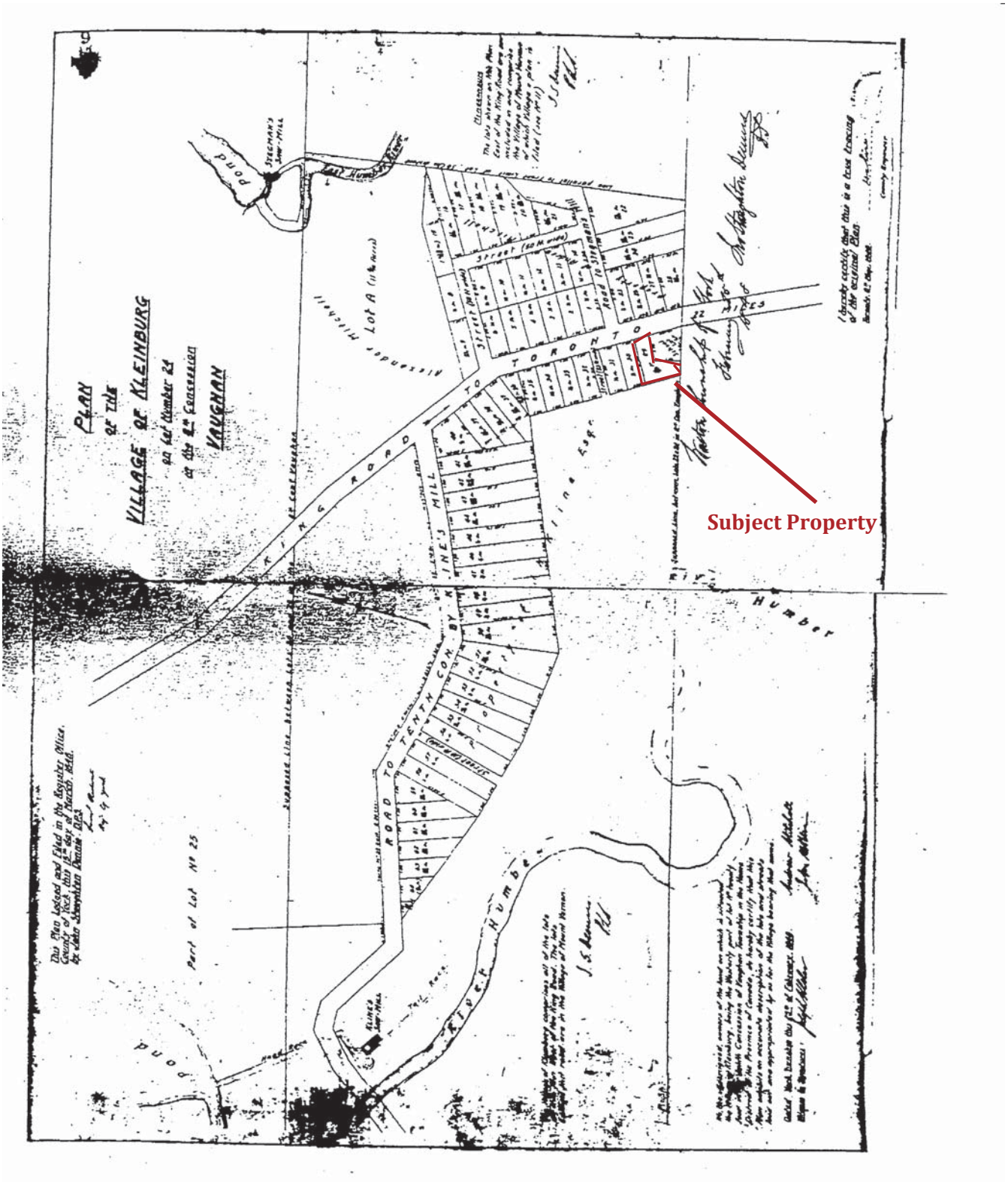
4 – Boundary of Kleinburg - Nashville Heritage Conservation District



5 – Village Map from York County Atlas



6 – 1848 Plan of the Village of Kleinburg



7 – undated photo and description of 10432 Islington Ave. (north portion)

Islington Avenue (west) Kleinburg

10432 Islington Avenue (south)

- Ranch-style house built of textured red-brick with pitched roof and altered windows (c. 1970).
- Description – Suburban bungalow is set well back from road, behind unusual, low brick wall with crenellated top and square concrete copes at raised portions. House contains varied windows, including bottom-sliders under fixed upper panes which replace larger, original, sliding sashes. Wide brick chimney projects from low-pitched gable at south end, and gable ends are clad in vertical aluminum siding. Soffits are clad in stained wooden board, and gutters and downspouts are in conventional modern aluminum profiles. Roof is clad in dark-brown asphalt shingles.
- Comments – Long bungalow is unobtrusive in location wall back from road, and is typical of suburban Kleinburg. Any future addition to this structure should not be visible from above existing roof peaks, and for redevelopment of this site see the Plan and Guidelines.

8 – undated photo and description of 10432 Islington Ave. (south portion)

Islington Avenue (west) Kleinburg

10432 Islington Avenue (north)

- Pitched-roof, triple-bay, painted brick garage (c. 1950).
- Description – Large garage is set well back from Main Street, and is built of painted bricks. Pitched roof perhaps indicates some different, previous use. Roll-up, panelled doors have two glazed sections within total of four, and lintel at right-hand door has recently been raised to accommodate five-panel door. Soffits, gutters and downspouts are in conventional modern aluminum, and roof is clad in dark brown shingles.
- Comments – Large plain garage provides a contrast with buildings on Islington, but is part of evolution of village, particularly post-war period of suburban car-culture, and so deserving of retention. Archival photographs may indicate previous configuration of building, and nature of pumps etc. at front, and a period restoration might be considered - to a date deemed suitable to the central Heritage District context. For any proposed redevelopment of this site, see the Plan and Guidelines.

9 – undated photo of earliest building on subject property

Ingenuity a part of life for pioneer settlers

Continued from page 9

when the table gave way and she fell into it. Someone grabbed her but it was too late to save her arm. While one of the men rode on horseback to Woodbridge for the doctor, another applied a tourniquet to her arm to keep Jane from bleeding to death. The doctor had to saw off her arm above the elbow without an anesthetic.

Always bright and cheerful, Jane never spoke of her handicap and through ingenuity and determination re-learned to do everything about the house.

She was able to knit with the aid of a holder which was eight inches long, one inch in diametre and made of horsehair. She placed one needle in the holder which she put under her right arm. She held the other three needles and yarn in her left hand and by some mysterious twist of the wrist and fingers, manipulated the yarn into a sock.

Mrs. Charles Shaw outside the family business on Islington Avenue. The former Petro-Canada gas station sits on the site.

Out of towners caused their fair share of headaches

When automobiles became common, the meadow between the mill race (the area between the mill and dam) as well as the Humber River were favourite spots for visitors, often from the city, for picnics. They often lit a fire to boil a kettle or cook wieners and didn't always put the fire out.

It became a job for James Coward, who was the last miller at the Howland mill, to take a walk to the dam and around the grounds to check for fires on Sunday nights after coming home from church.

One Sunday night he found five fires still burning.

So, for safety's sake, the property had to be closed to picnickers.

Road construction most expensive

Road construction accounted for the most costliest component in the new development charges recently approved by the York Regional Council.

The development charges bylaw, already in effect, set the levy on fully serviced detached housing units at $9,070, up from $7,480 established in the 1994 bylaw. The levy in the new bylaw is comprised of roads, $3,064, water works, $2,890, sewage works, $2,593, transit, $428, police, $150, health, $34, long term care (as homes for the aged), $52, public works, $35, and growth studies, $24.

Development charges are to pay the growth related capital costs of providing services required for growth. The Region, a staff report has said, is facing a $3 billion bill to fund infrastructure costs from now to year 2021 when the Region population is expected to double.

The new charges for other residential categories are townhouses, $7,645, apartments with two or more bedrooms, $5,608, and smaller apartments, $3,568. As the charges are deemed to provide services to people, the levy differs for the four housing categories based on their average occupancy.

Roads in the new bylaw account for 59 cents of the $1.29 a square foot development charge for industrial, office and institutional developments and $1.32 in the $2.50 levy on retail projects. Retail uses, according to the Region, generate more traffic and other demands for service than the other non residential category.

Other components in the industrial category are water, 30 cents, sewage, 24 cents, and a total of 17 cents for police, health, long term care, public works, transit and growth studies. The equivalent charges for retail are water, 50 cents, sewage, 41 cents and a total of 26 cents for the other components.

Unlike previous development charge bylaws, there is no component for hospitals. The Ontario Development

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LAW OFFICE

10 – Site Plans of Proposed Development

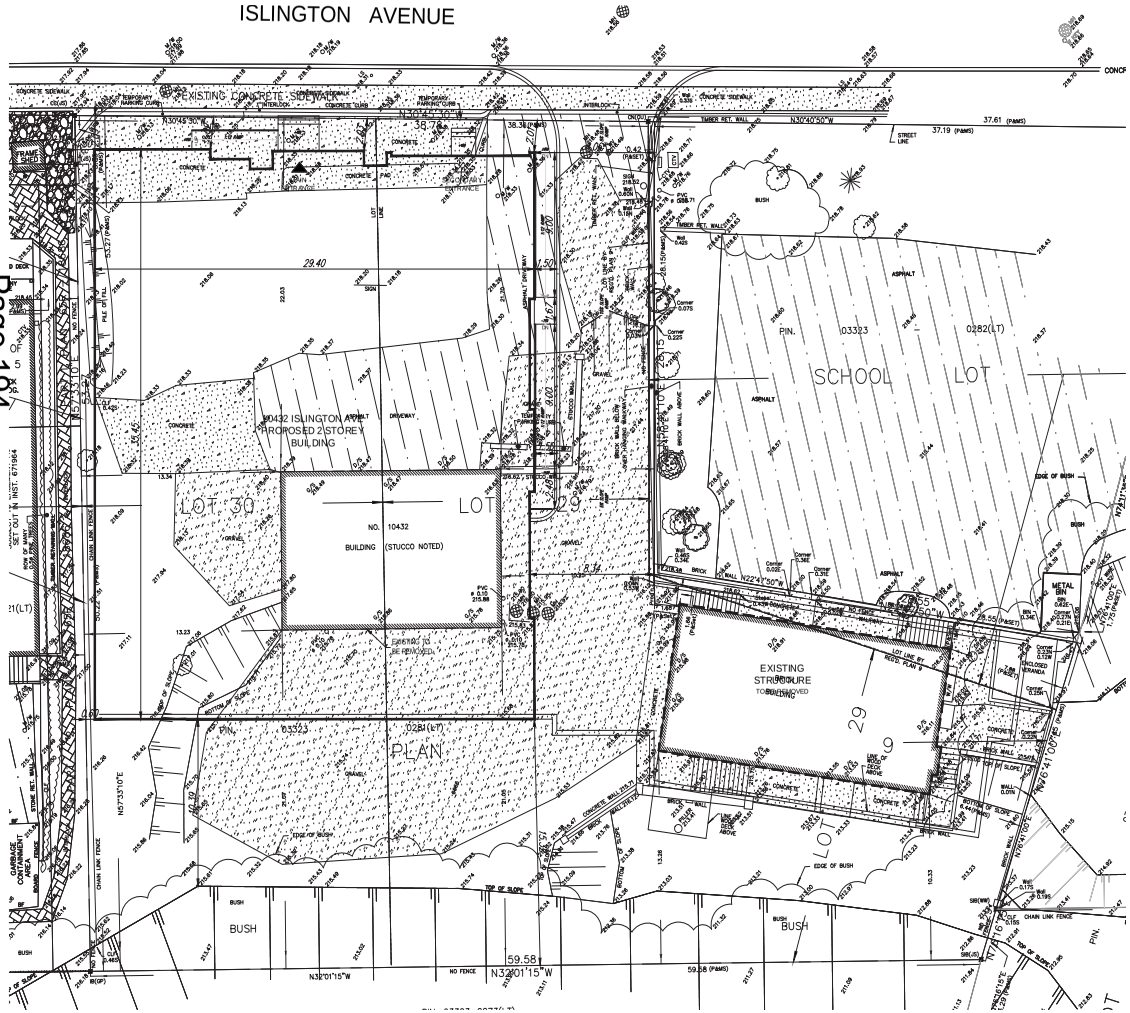
CONTEXT PLAN 1
NTS A1.01

AERIAL PLAN 1
NTS A1.01

Site Statistics for 10432 Islington Ave

Zoning: Mainstreet Commercial (C11)

	Permitted		Proposed	
1 Min Lot Area	742.5 m^2	7992.2 ft^2	2576.8 m^2	27736.4 ft^2
2 Setbacks				
Front (min/max)	2.0/6.0 m		2.0/2.0 m	
Rear (min)	15.0 m		15.3 m	
Sides (min)	1.8 m		1.3/0.6 m	
3 Coverage	30.0%	773.0 m^2	40.2%	1035.0 m^2
4 Gross Floor Area	0.6	1546.1 m^2	1.0	2690.5 m^2
5 Building Height	9.5 m		9.5 m	
6 Occupancy				
Residential (15 Units)			1346.7 m^2	14495.2 ft^2
Technical School			1091.6 m^2	11750.2 ft^2
Common			252.2 m^2	2714.5 ft^2
7 Parking Spots				
Dwelling with Visitor/ Unit	1.75	17.5	1.5	22.0
Tecnichal School/ 100m^2	6.0	65.5	1.4	15.0
Barrier Free Parking (10-100)	1.0	1.0	1.0	1.0
Total Parking Spots		**84.0**		**38.0**



SITE PLAN 1
1:150 A1.01

IANROBERTSONDESIGN
P: 905 669 2111 F: 866 602 1163 E: INFO@IANROBERTSONDESIGN.CA 1681 LANGSTAFF ROAD UNIT 1A CONCORD ONTARIO L4K 5T2

1 RISIR DESIGNS GENERAL NOTES

1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS NOTE RISIR DESIGNS PRIOR TO BEGINNING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO RISIR DESIGNS PRIOR TO COMMENCEMENT OF WORK.

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REVISIONS

CLIENT:	PRIVATE
PROJECT:	ART AND SOUL DANCE STUDIO
SHEET TITLE:	SITE PLAN & STATISTICS
PROJECT NO.: 13 - 17	DATE: NOV 09, 15
DRAWN BY: RN	CHECKED BY: -
SCALE: AS NOTED	DRAWING NO.: A1.01

CONTEXT PLAN 1 / A1.01
NTS

AERIAL PLAN 1 / A1.01
NTS

Site Statistics for 10432 Islington Ave
Zoning: Mainstreet Commercial (C11)

	Permitted		Proposed	
1 Min Lot Area	742.5 m^2	7992.2 ft^2	2576.8 m^2	27736.4 ft^2
2 Setbacks				
Front (min/max)	2.0/6.0 m		2.0/2.0 m	
Rear (min)	15.0 m		15.3 m	
Sides (min)	1.8 m		1.3/0.6 m	
3 Coverage	30.0%	773.0 m^2	40.2%	1035.0 m^2
4 Gross Floor Area	0.6	1546.1 m^2	1.0	2690.5 m^2
5 Building Height	9.5 m		9.5 m	
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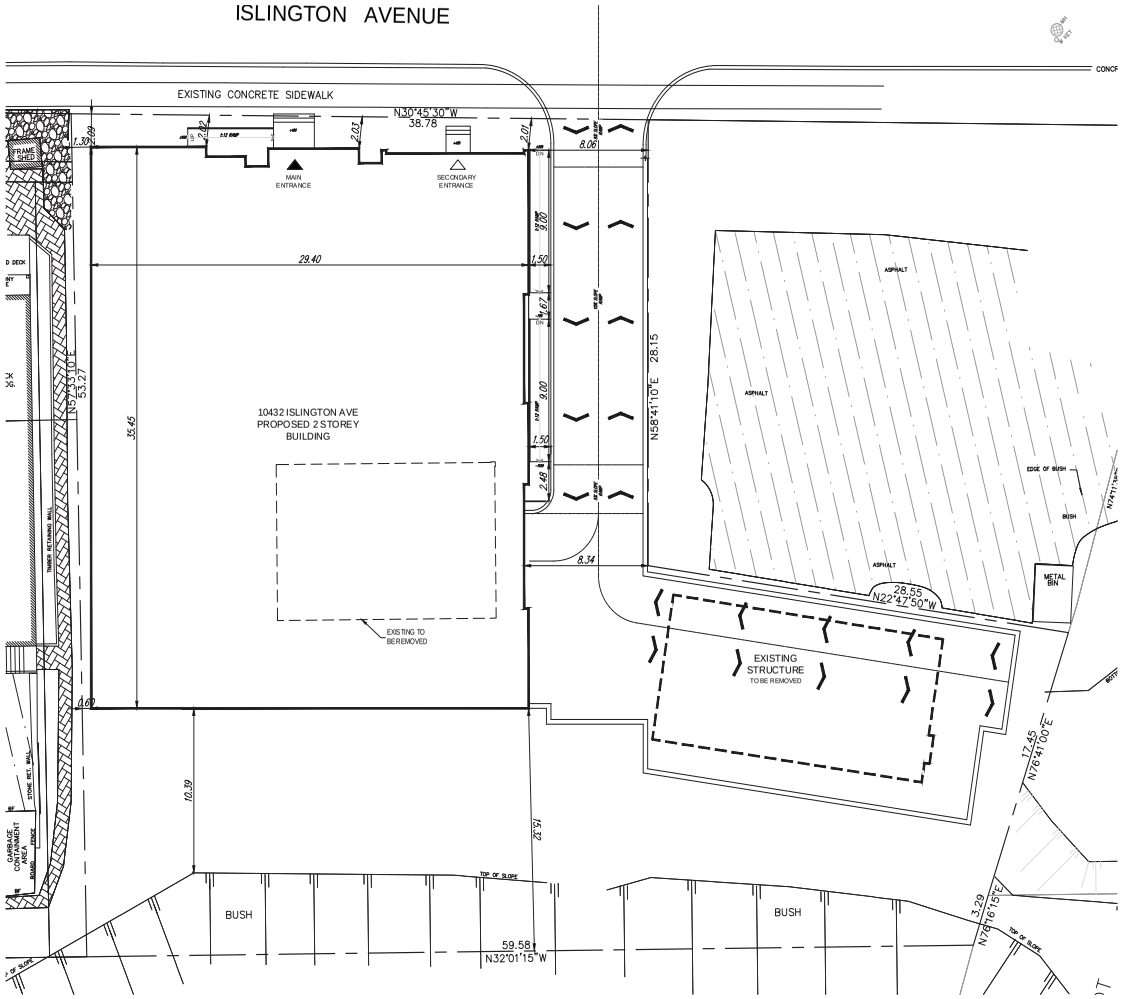
Common			252.2 m^2	2714.5 ft^2
7 Parking Spots				
Dwelling with Visitor/ Unit	1.75	17.5	1.5	22.0
Tecnichal School/ 100m^2	6.0	65.5	1.4	15.0
Barrier Free Parking (10-100)	1.0	1.0	1.0	1.0
Total Parking Spots		**84.0**		**38.0**



SITE PLAN 1 / A1.01
1:150

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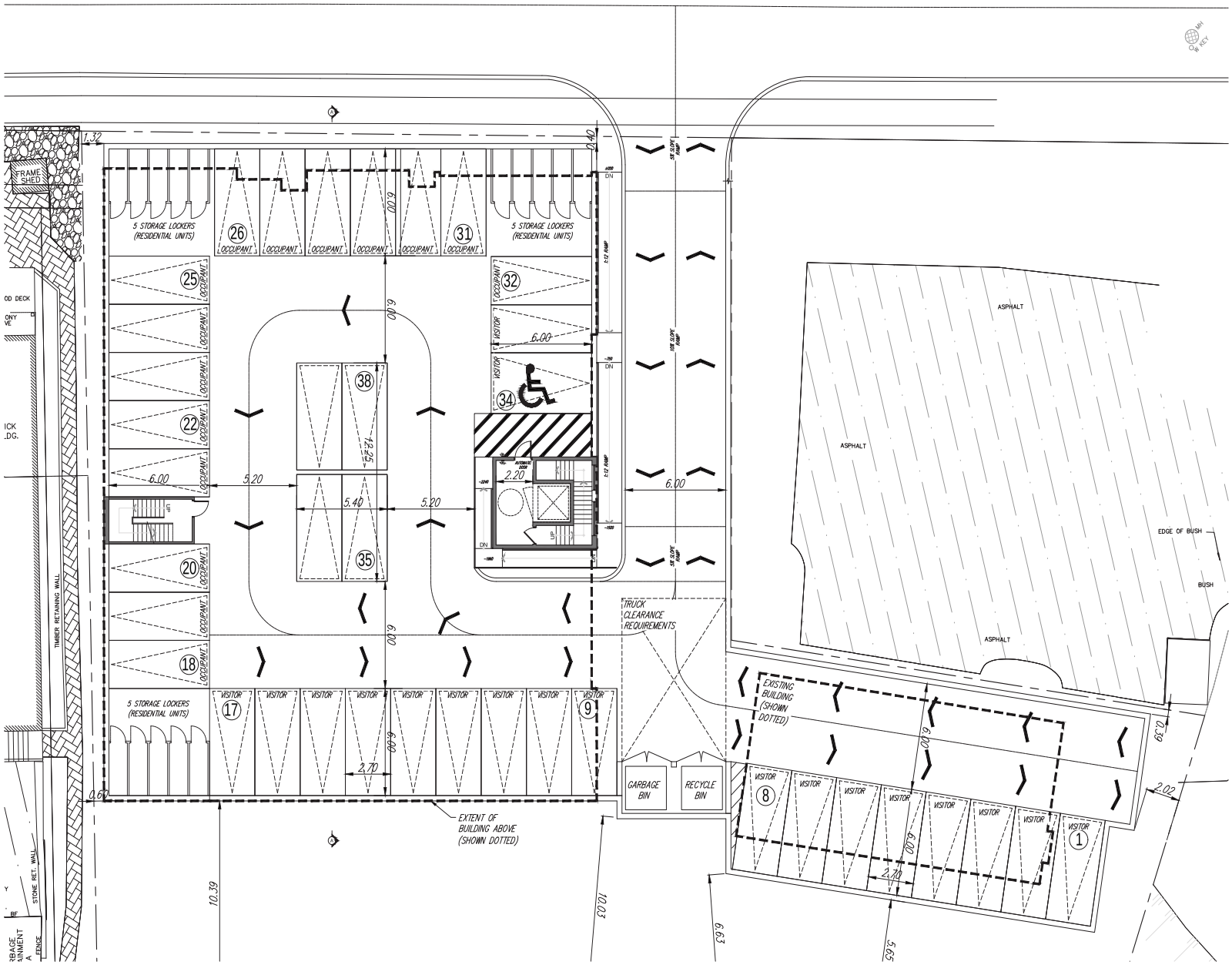
PROJECT:	ART AND SOUL DANCE STUDIO
SHEET TITLE:	SITE PLAN & STATISTICS
PROJECT NO.: 13 - 17	DATE: NOV 09, 15
DRAWN BY: RN	CHECKED BY: -
SCALE: AS NOTED	DRAWING NO.: A1.01



BASEMENT LEVEL 1
1:100 A2.01

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2. RISER DESIGN, IS NOT RESPONSIBLE OF ON THE SITE SAFETY, MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONS AND PROPERTY IN CONNECTION WITH THE WORK, AND FOR COMPLYING WITH ALL APPLICABLE LAWS, BUILDING CODES, REGULATIONS AND LICENSES.

3. ALL CONSTRUCTION DRAWINGS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

4. RISER DESIGN HAS NOT BEEN RETAINED TO QUARY OUT GEOTECHNICAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR ANY WORK CARRIED OUT BY ANY OTHER OR SUB CONTRACTOR TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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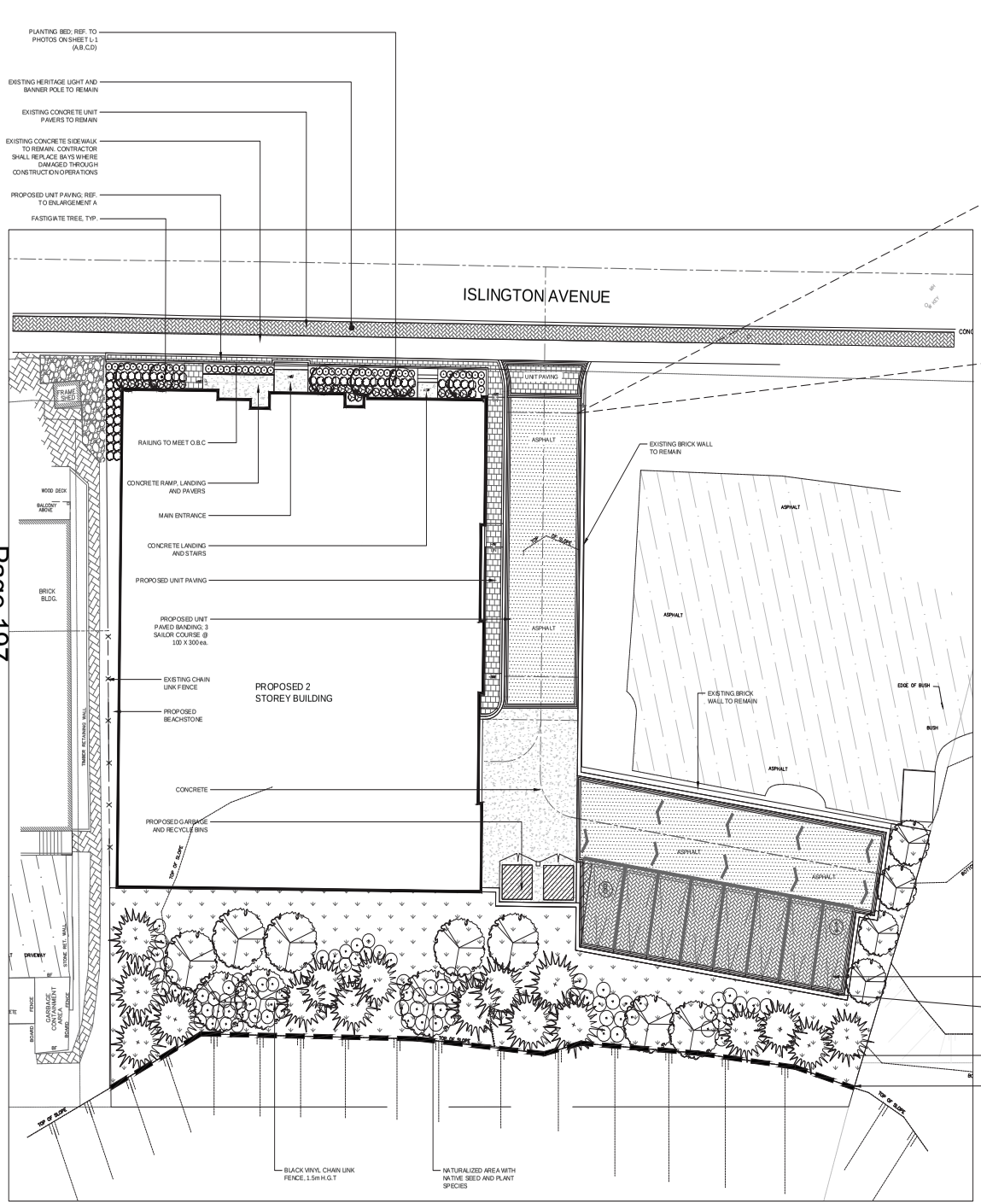
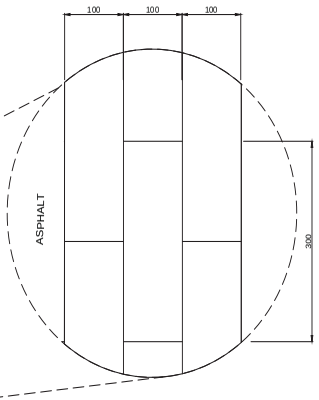
CLIENT: PRIVATE

PROJECT: ART AND SOUL DANCE STUDIO

SHEET TITLE: FLOOR PLANS

PROJECT NO.: 13 - 17	DATE: NOV 09, 15
DRAWN BY: RN	CHECKED BY: -
SCALE: AS NOTED	DRAWING NO.: A2.01





ENLARGEMENT 'A'

GENERAL CONSTRUCTION NOTES:

1. Contractor shall verify all dimensions and site conditions before proceeding with the work, and report any discrepancies to the Landscape Architect before proceeding. No allowance shall be made on behalf of the Contractor for failure to do so.
2. Landscape Architect is not responsible for accuracy of survey or engineering drawings. Refer to appropriate drawings before proceeding with the work.
3. All existing utilities shown on the drawings are for reference purposes only. Contractor shall be responsible for verifying and staking out the location of all existing utilities and services. Contractor shall give utilities advance notice prior to digging and shall assume all liabilities of damage during construction. All construction to be carried out in accordance with the most current design criteria standards and specifications.
4. Contractor shall establish all property boundaries and corner stakes, and shall be responsible for all costs of re-establishing them should they be disturbed.
5. Contractor shall review existing grades and report any discrepancies to the landscape architect. Commencement of grading shall constitute acceptance of existing grades.
6. Contractor shall notify Landscape Architect 48 hours prior to commencement of work to coordinate inspection schedules.
7. Contractor to confirm physical layout of all landscape and plantings with Landscape Architect before proceeding.
8. Construction must conform to all applicable Codes and Regulations of all authorities having jurisdiction.
9. Refueling, lubrication and/or maintenance of construction vehicles is not permitted on site unless approved by the owner in writing.
10. Contractor shall be responsible for any damage to existing streets, sidewalks, structures, and mature trees to remain during construction of this project and shall repair such damage to the satisfaction of the owner and the municipality at no additional cost.
11. No machine access or grade changes are permitted within the drip line of existing trees. Any roots or branches which extend beyond the tree protection hoarding indicated on this plan which require pruning, must be done in accordance with good aboricultural standards. Any excavations within the drip line must be hand dug. Contractor to remove and dispose hoarding fencing upon construction completion.
12. The Contractor, upon acceptance of the contract, assumes complete responsibility and liability for the job site during the course of construction, and will ensure public safety and cleanliness of municipal roads near the site.
13. All drawings, specifications and related documents are the copyright of the Landscape Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in whole or in part is forbidden without the Landscape Architect's permission. Drawings are not to be scaled.
14. Contractor responsible for the removal and off site disposal of all materials as required to facilitate new construction.

Ⓐ GREEN DAWYCK BEECH TREE

Ⓑ HICKS YEW

Ⓒ LIMELIGHT HYDRANGEA

Ⓓ BOXWOOD

LEGEND:

- ASPHALT PAVING
- CONCRETE PAVING
- UNIT PAVING
- UNIT PAVING
- BEACHSTONE
- SEED
- PROPOSED BLACK VINYL CHAIN LINK FENCE

no.	revision	date	by
R0	MODIFY REVISION TABLE	XXX.00.X3	XX

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reviewed by JS
drawn by DB

date 11/17/2015

scale 1:150

drawing title
LANDSCAPE PLAN

drawing number
L-1

client

project title
10432 ISLINGTON AVE.

COMMERCIAL / RETAIL

project number
2015-053

landscape planning limited
150 rivermede road, suite 202
concord, ontario L4K 3M8
905-669-6838 | fax 905 669-3615
email lpl@landscapeplan.ca
www.landscapeplan.ca

11 - Rendering and Proposed Materials

ART SOUL

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P 905.669.2111 F 866.602.1163 E INFO@IANROBERTSONDESIGN.CA 1681 LANGSTAFF ROAD UNIT 1A CONCORD ONTARIO L4K 5T2

CLIENT:	PRIVATE
PROJECT:	ART AND SOUL DANCE STUDIO
SHEET TITLE:	ARCHITECTURAL MATERIAL BOARD
PROJECT NO.: 13 - 17	DATE: NOV 27, 13
DRAWN BY: RN	CHECKED BY: -
SCALE: AS NOTED	DRAWING NO.: A4.00

12 – Photos of Subject Property (South House)

12 – Photos of Subject Property (North Garage)

13 – Photos of Surrounding Properties (to North of Site)

13 – Photos of Surrounding Properties (Southeast of Site)

13 – Photos of Surrounding Properties (East and Northeast of Site)

Prepared by:

Martindale Planning Services
23 Elizabeth Street
Ajax, Ontario L1T 2X1
Tel: (905) 427-7574 Fax: (905) 427-2328
E-mail: martplan@sympatico.ca

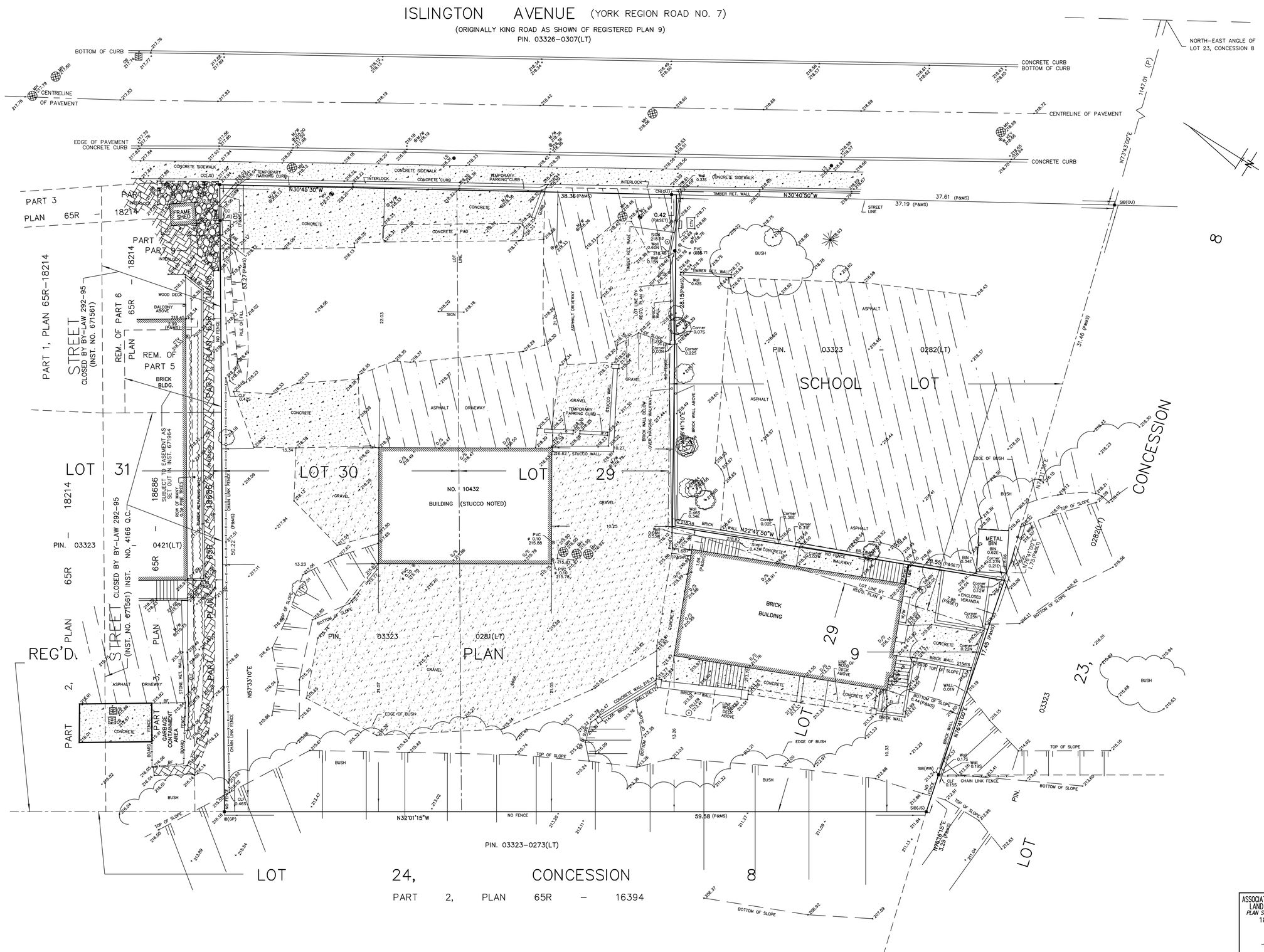
in association with

BARRY BRYAN ASSOCIATES
Architects, Engineers, Project Managers

250 Water Street
Suite 201
Whitby, Ontario
Canada
L1N 0G5

Telephone: 905 666-5252
Toronto: 905 427-4495
Fax: 905 666-5256
Email: bba@bba-archeng.com
Web Site: www.bba-archeng.com

ATTACHMENT 3



SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF
LOTS 29 AND 30 AND
PART OF SCHOOL LOT
REGISTERED PLAN 9
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

5 0 5 10metres

SCALE = 1 : 150

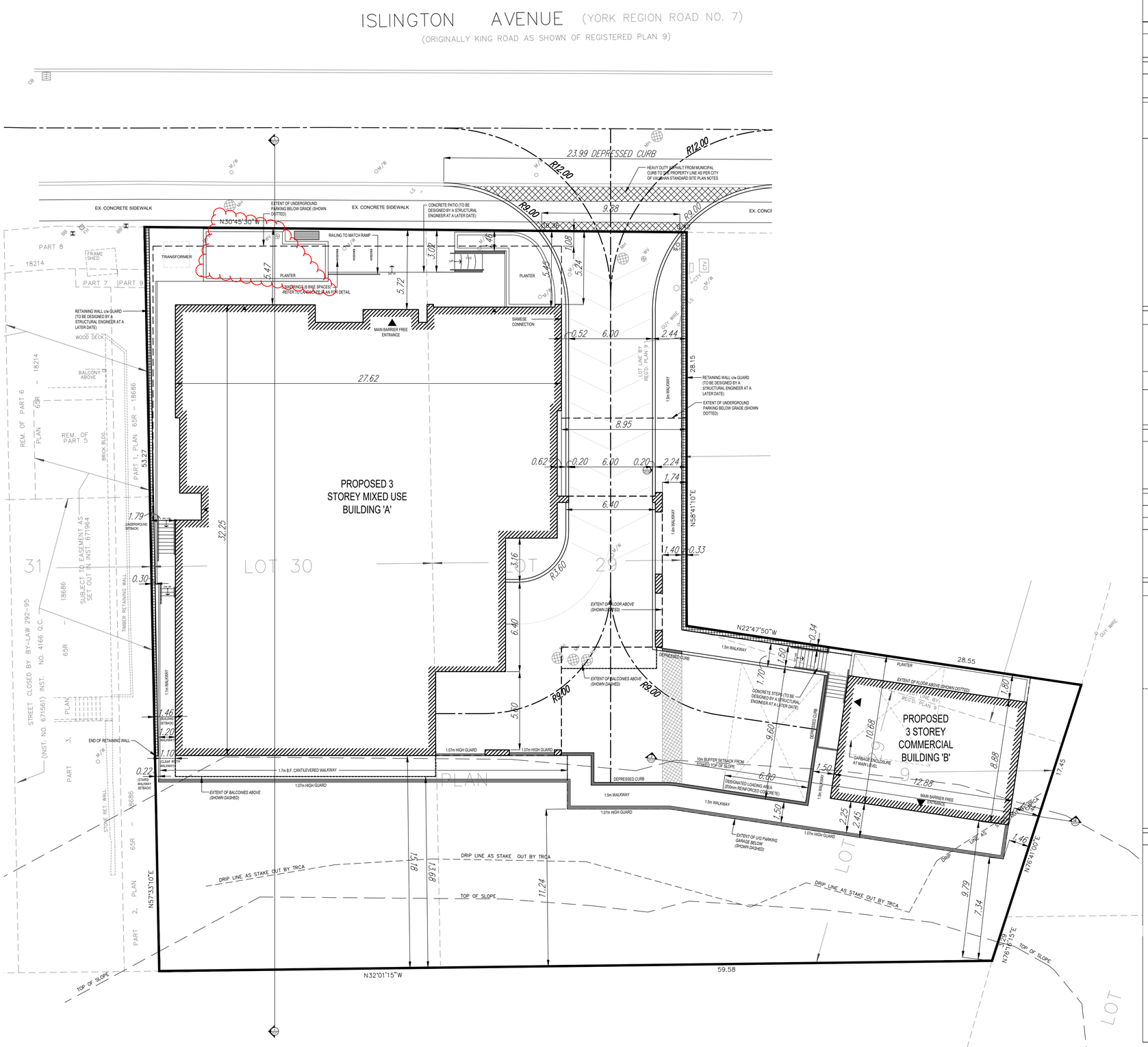
METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 THIS PLAN MUST BE READ IN CONJUNCTION WITH REPORT DATED

THIS REPORT HAS BEEN PREPARED FOR "c/O MR. IAN ROBERSTON" AND GUIDO PAPA SURVEYING LTD. ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE
__ __ DAY OF _ _ _ _ _ _ _

DATE: _ _ _ _ _ _



1. A1.00 SITE PLAN
SCALE: 1:150

SITE STATISTICS

10432 ISLINGTON AVE.,
CITY OF VAUGHAN
BY-LAW 1-88 AS AMENDED

ZONING: C11 MAIN STREET COMMERCIAL ZONE

		REQUIRED	PROVIDED	
1	**MIN LOT AREA**	sq. m.	sq. m.	sq. ft.
		742.50	2,576.80	27,736.44

		REQUIRED	PROVIDED	
2	**MIN LOT FRONTAGE**	m.	m.	ft.
		16.5	38.77	127.20

		PROPOSED					
		COMMERCIAL RETAIL/ OFFICE		RESIDENTIAL (22 UNITS)		COMMON	
3	**GROSS FLOOR CALCULATIONS**	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.
	PARKING LEVEL C	N/A	N/A	N/A	N/A	36.36	391.38
	PARKING LEVEL B	N/A	N/A	N/A	N/A	36.36	391.38
	PARKING LEVEL A	N/A	N/A	N/A	N/A	36.77	395.79
	BUILDING 'A'						
	FIRST FLOOR (RETAIL)	319.61	3,440.25	322.36	3,469.85	123.77	1,332.25
	SECOND FLOOR	N/A	N/A	824.58	8,875.71	73.32	789.21
	THIRD FLOOR	N/A	N/A	756.71	8,145.16	84.08	905.03
	ROOF TOP	N/A	N/A	N/A	N/A	52.48	564.89
	BUILDING 'B'						
	FIRST FLOOR (OFFICE)	86.99	936.35	N/A	N/A	N/A	N/A
	SECOND FLOOR (OFFICE)	94.13	1,013.21	N/A	N/A	20.25	217.97
	THIRD FLOOR (OFFICE)	94.13	1,013.21	N/A	N/A	4.50	48.44
	TOTAL AREA BY OCCUPANCY	**594.86**	**6,403.02**	**1,903.65**	**20,490.72**	**467.89**	**5,036.33**
	TOTAL GROSS FLOOR AREA	**2,966.40**	**(COMMERCIAL, RESIDENTIAL, COMMON AREA)**				

		PERMITTED	PROPOSED
4	**COVERAGE** *(EXCLUDING PORCH)*		sq. m.
	TOTAL BUILDING AREA (BUILDING 'A' & BUILDING 'B')		1,074.35
	LOT AREA		2,576.80
	LOT COVERAGE	**30%**	**41.69%**

		PERMITTED	PROPOSED	
5	**LANDSCAPE AREA**		sq. m.	%
	HARDSCAPE		383.37	14.9%
	SOFTSCAPE		699.29	27.1%

		PERMITTED	PROVIDED
6	**GROSS FLOOR AREA RATIO**		sq. m.
	TOTAL GROSS FLOOR AREA		2,966.40
	LOT AREA		2,576.80
	RATIO	**0.6**	**1.151**

		REQUIRED	PROVIDED
7	**AMENITY AREA**	MIN. (sq. m.)	sq. m.
	1 BEDROOM UNITS (BALCONY)	20.00	0.00
	1 BEDROOM + DEN UNITS (BALCONY)	20.00	5.36
	2 BEDROOM UNITS (BALCONY)	55.00	4.09
	COMMON SPACE (OUTDOOR ROOF TOP)		377.67
	**BALCONY AREA BASED ON SMALLEST UNIT*		

		REQUIRED		PROVIDED
7	**SETBACKS**	MIN (m)	MAX (m)	sq. m.
	BUILDING 'A'			
	FRONT YARD (TO MAIN WALL)	2.00		5.45
	FRONT YARD (TO PORCH)			2.30
	FRONT YARD (TO U/G PARKING GARAGE)			1.08
	NORTH INTERIOR SIDE YARD (TO MAIN WALL)	1.80		1.46
	NORTH INTERIOR SIDE YARD (TO U/G PARKING GARAGE)			0.19
	NORTH INTERIOR SIDE YARD (TO WALKWAY)			0.22
	SOUTH INTERIOR SIDE YARD (TO MAIN WALL)	1.80		1.74
	SOUTH INTERIOR SIDE YARD (TO U/G PARKING GARAGE)			0.00
	REAR YARD (TO MAIN WALL)	15.00		15.18
	REAR YARD (TO BALCONY)			13.68
	REAR YARD (TO PARKING GARAGE)			7.34
	BUILDING HEIGHT		9.50	9.71
	BUILDING 'B'			
	EAST INTERIOR SIDE YARD (TO MAIN WALL)	1.80		0.0/1.80
	SOUTH INTERIOR SIDE YARD (TO MAIN WALL)	1.80		1.84
	REAR YARD (TO MAIN WALL)	15.00		9.79
	BUILDING HEIGHT (FROM GRADE AT EAST SIDE)		9.50	8.73
	BUILDING HEIGHT (FROM GRADE AT WEST SIDE)			10.64

		REQUIRED			PROVIDED
8	**PARKING**	NO. PER.	AREA/UNITS	REQ.	
	VEHICLE				
	RETAIL	6/100m^2	319.61	20	20
	OFFICE SPACE	3.5/100m^2	275.25	10	10
	RESIDENTIAL - DWELLING UNITS	1.5/UNIT	22	33	33
	RESIDENTIAL - VISITOR	0.25/UNIT	22	6	6
	TOTAL PARKING			**69**	**69**
	BARRIER FREE	4% OF TOTAL		3	3
	**THE MIN. PARKING SPACE DIMENSION IS 2.70m X 6.0m*				

		REQUIRED			PROVIDED
	BICYCLE	NO. PER.	AREA/UNITS	AREA	
	SHORT TERM - RESIDENTAL	0.2/UNIT	22	6	6
		OR MIN. 6 SPACES			
	SHORT TERM - RETAIL/OFFICE	0.15/100m^2	594.86	6	6
		OR MIN. 6 SPACES			
	LONG TERM - RESIDENTIAL	0.5/UNIT	22	11	11
	LONG TERM - RETAIL/OFFICE	0.1/100m^2	594.86	1	1

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DO NOT SCALE DRAWINGS.

TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title: SITE PLAN

Drawn by:	PS/KR	Checked by:	XX
Project No:	19-19	Page:	A1.00
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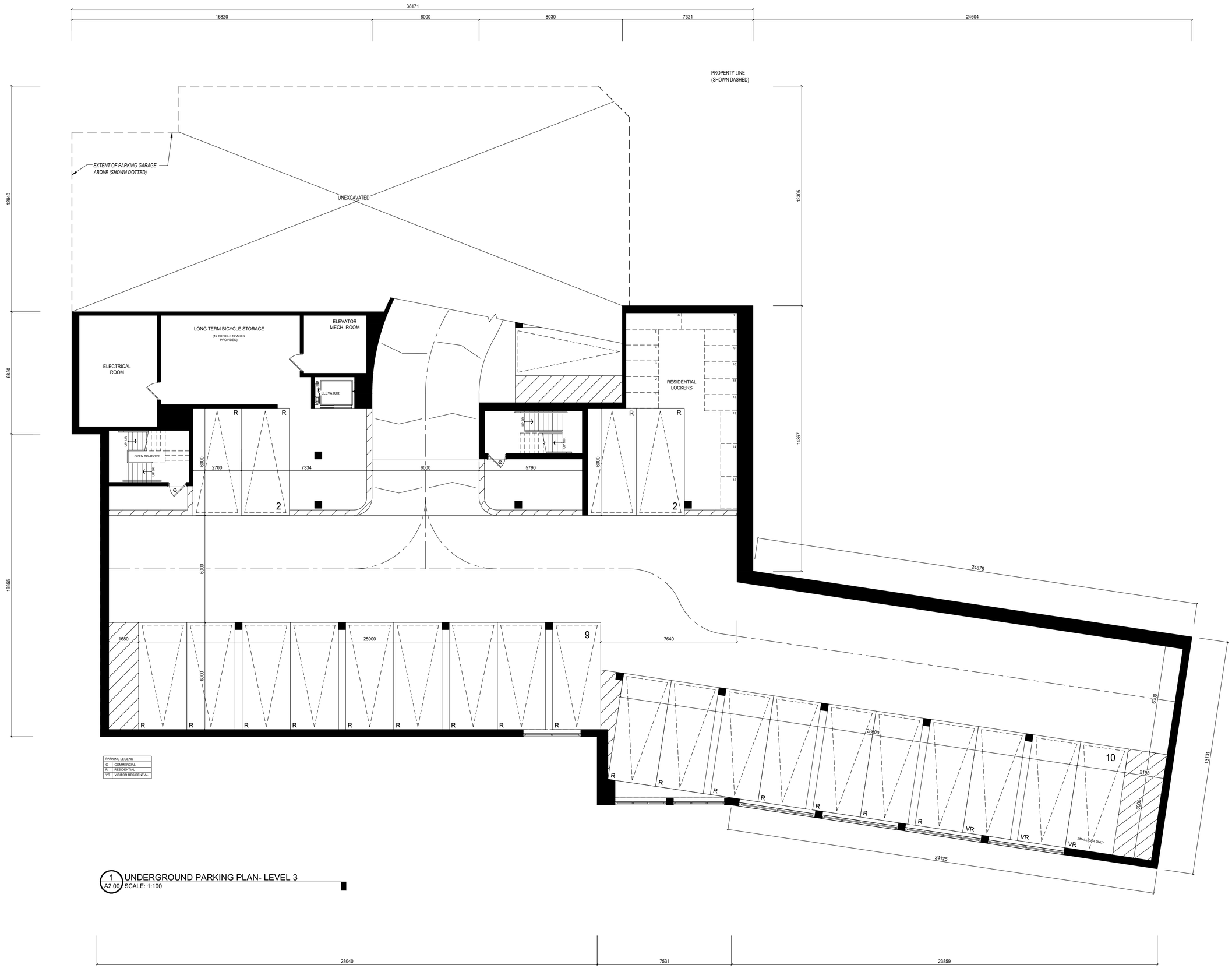

PARKING LEGEND	
C	COMMERCIAL
R	RESIDENTIAL
VR	VISITOR RESIDENTIAL

1 A2.00 UNDERGROUND PARKING PLAN- LEVEL 3
SCALE: 1:100

ATTACHMENT 4

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title: UNDERGROUND PARKING PLAN - LEVEL 3

Drawn by: PS/KR	Checked by: XX
Project No: 19-19	Page: A2.00
Scale: AS NOTED	

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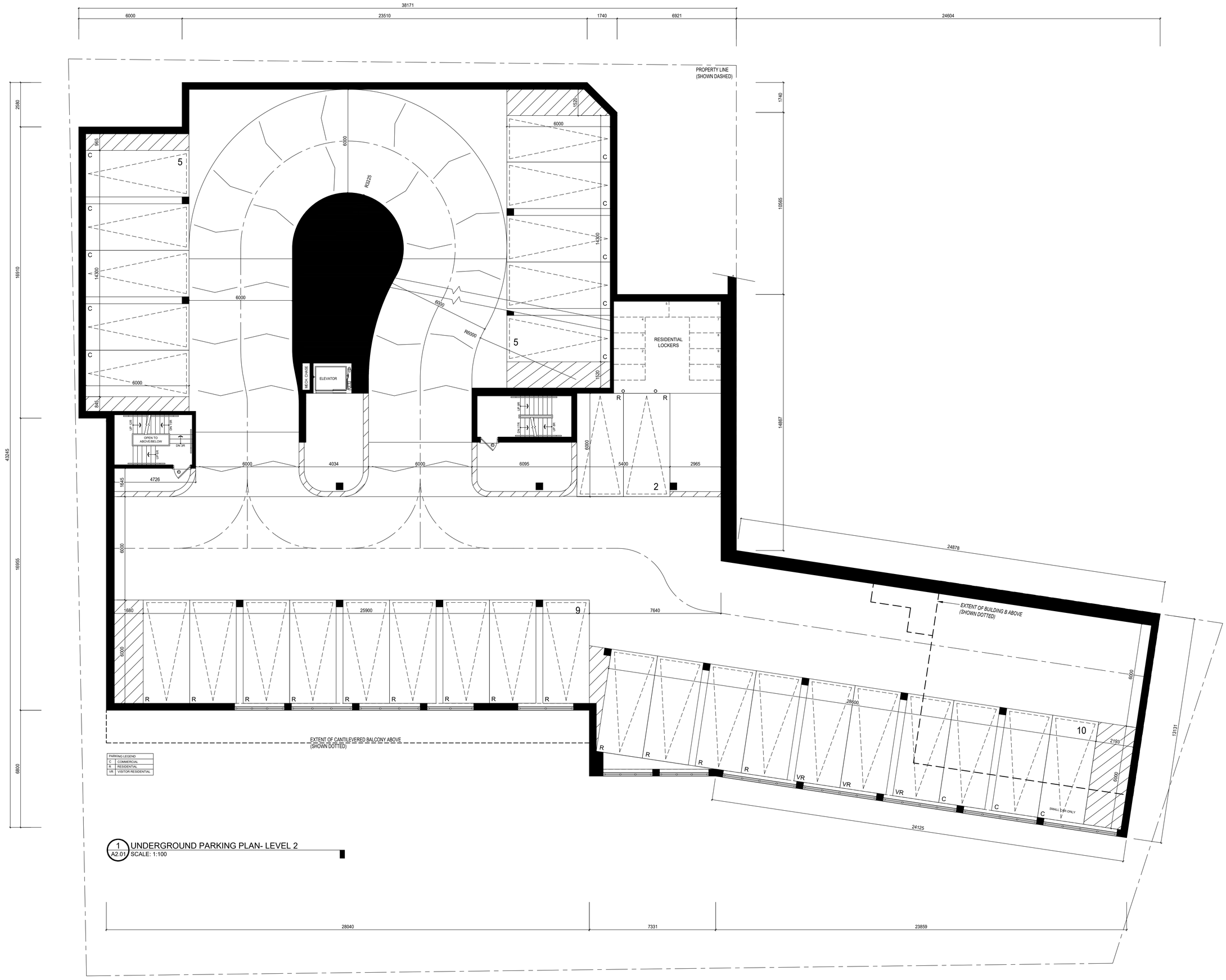

PARKING LEGEND	
C	COMMERCIAL
R	RESIDENTIAL
VR	VISITOR RESIDENTIAL

1 A2.01 UNDERGROUND PARKING PLAN- LEVEL 2
SCALE: 1:100

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
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CITY OF VAUGHAN

Sheet Title: UNDERGROUND PARKING PLAN - LEVEL 2

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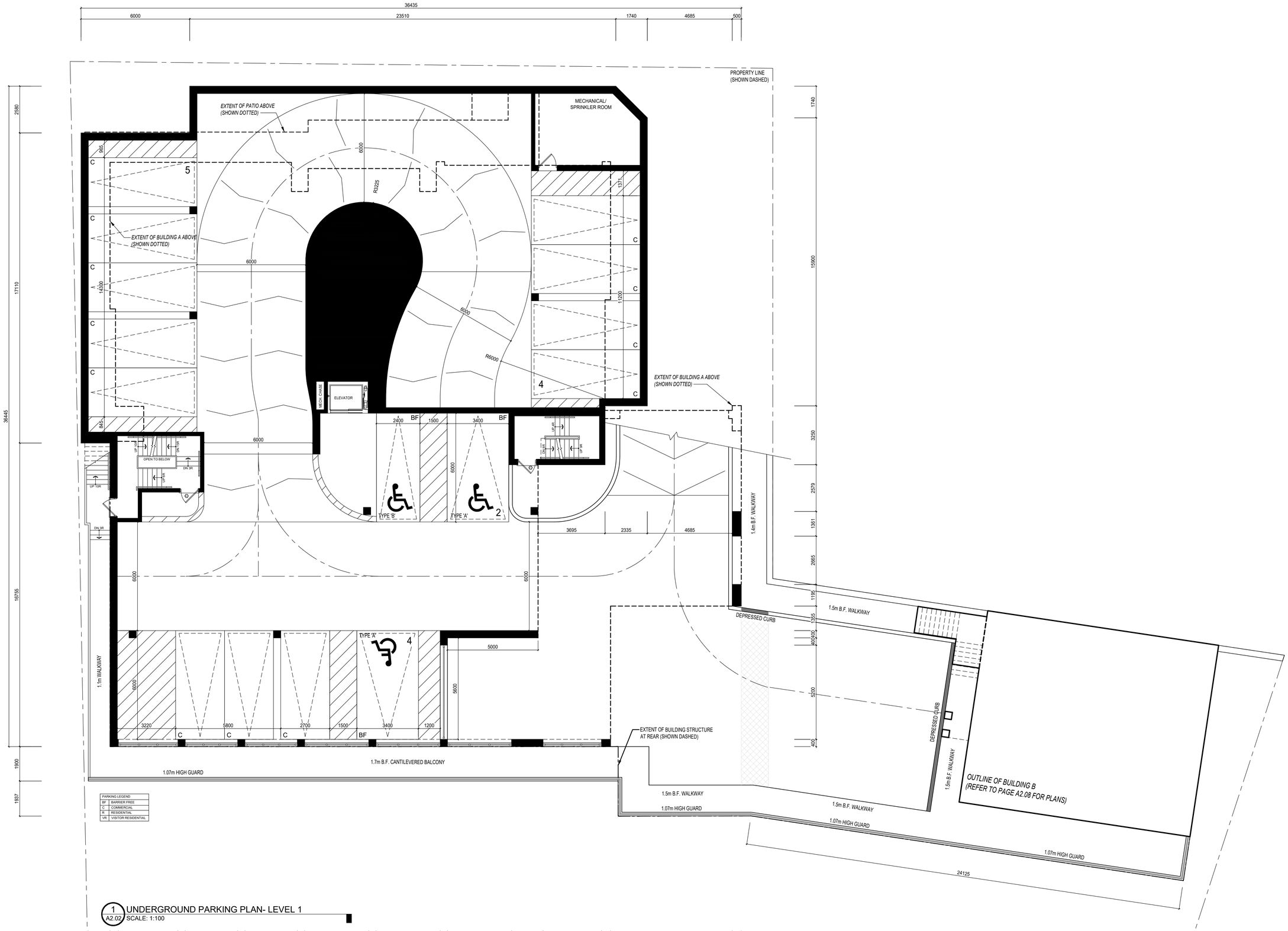

PARKING LEGEND	
BF	BARRIER FREE
C	COMMERCIAL
R	RESIDENTIAL
VR	VISITOR RESIDENTIAL

1 A2.02 UNDERGROUND PARKING PLAN- LEVEL 1
SCALE: 1:100

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TRUE NORTH | PROJECT NORTH

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Project: MIXED USE DEVELOPMENT
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CITY OF VAUGHAN

Sheet Title: UNDERGROUND PARKING PLAN - LEVEL 1

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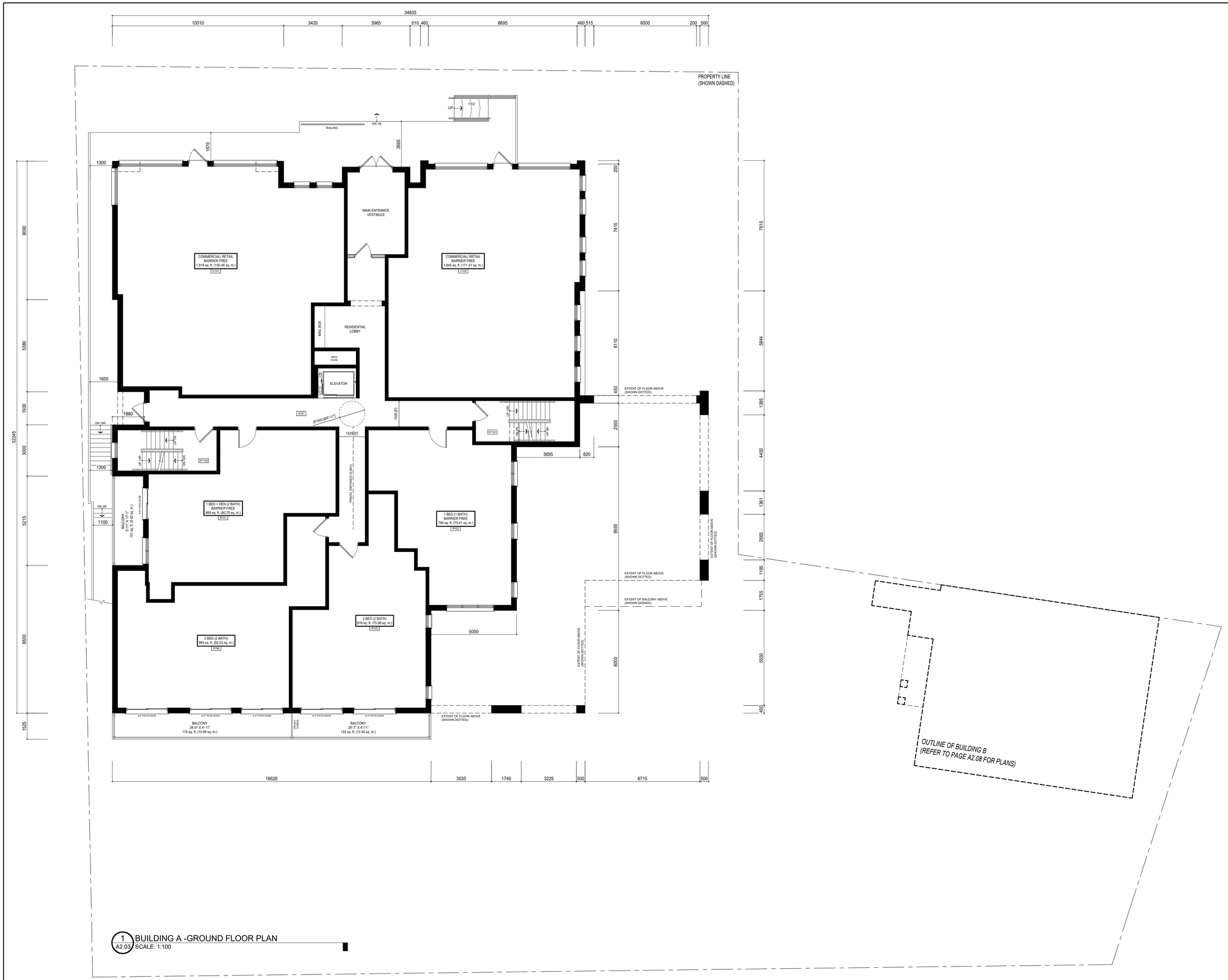

1 A2.03 BUILDING A -GROUND FLOOR PLAN
SCALE: 1:100

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

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CITY OF VAUGHAN

Sheet Title: BUILDING A-
GROUND FLOOR PLAN

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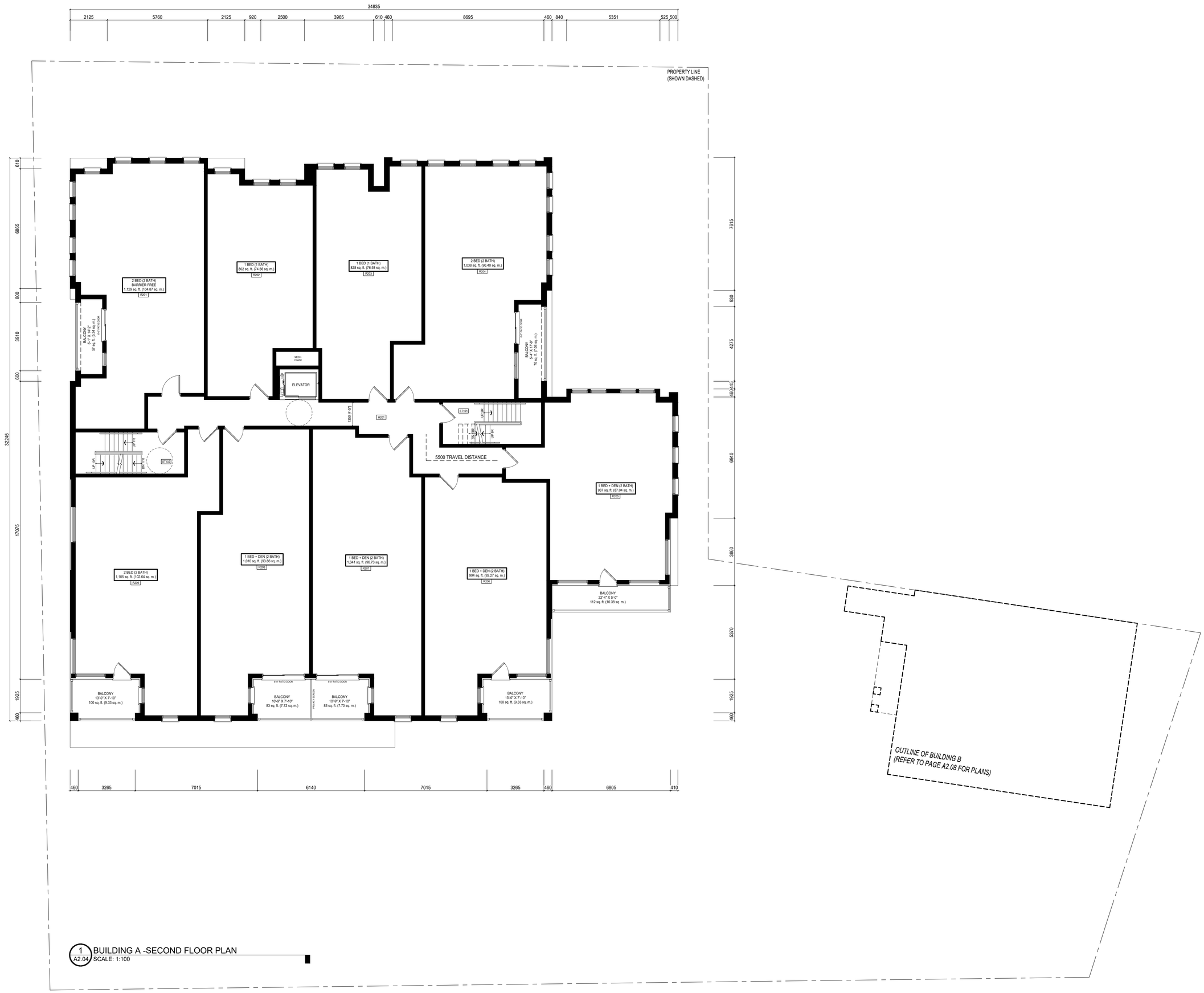

1 A2.04 BUILDING A -SECOND FLOOR PLAN
SCALE: 1:100

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Sheet Title: BUILDING A-
SECOND FLOOR PLAN

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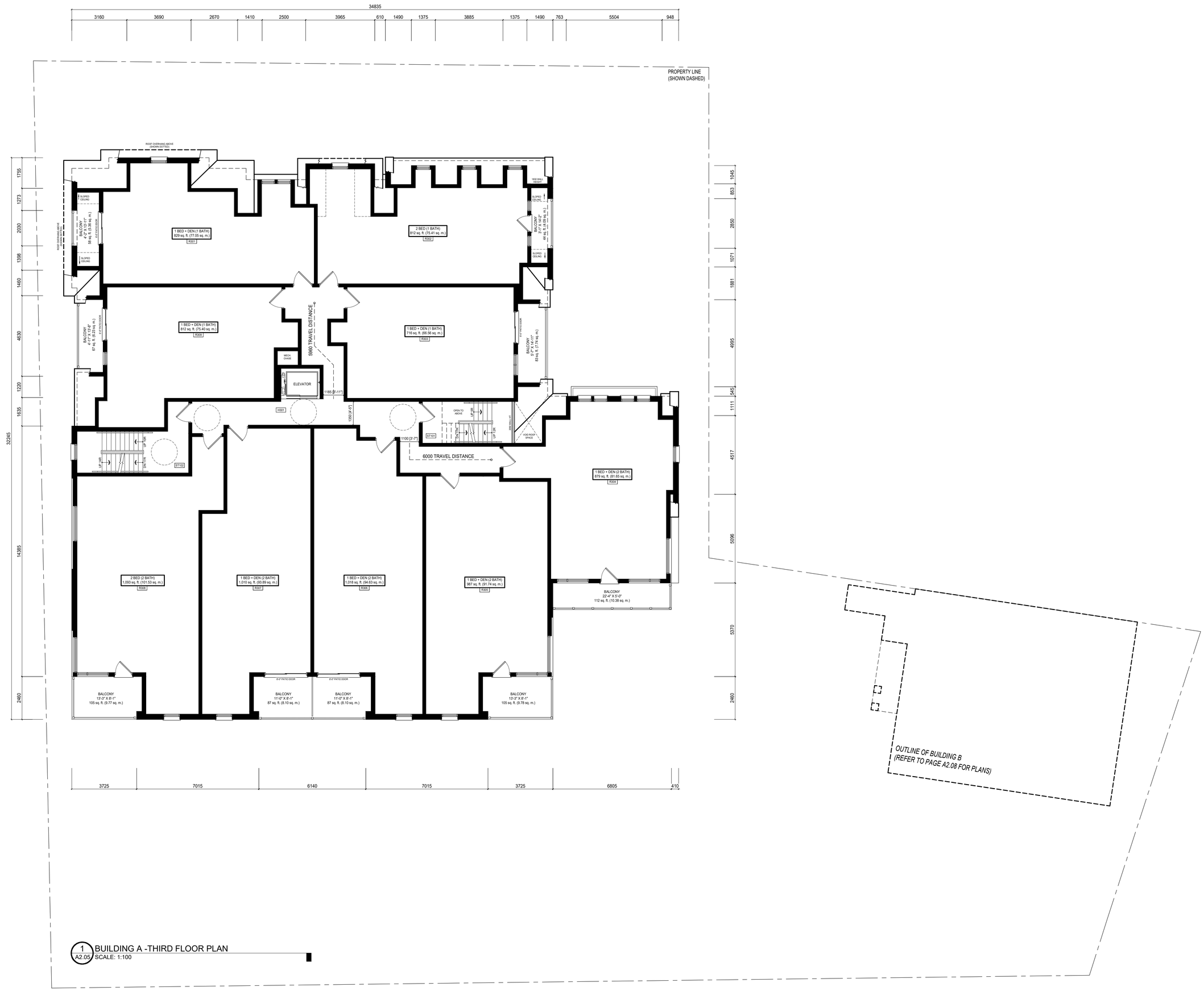

1 BUILDING A -THIRD FLOOR PLAN
A2.05 SCALE: 1:100

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TRUE NORTH

PROJECT NORTH

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Project:
MIXED USE DEVELOPMENT
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CITY OF VAUGHAN

Sheet Title:
BUILDING A-
THIRD FLOOR PLAN

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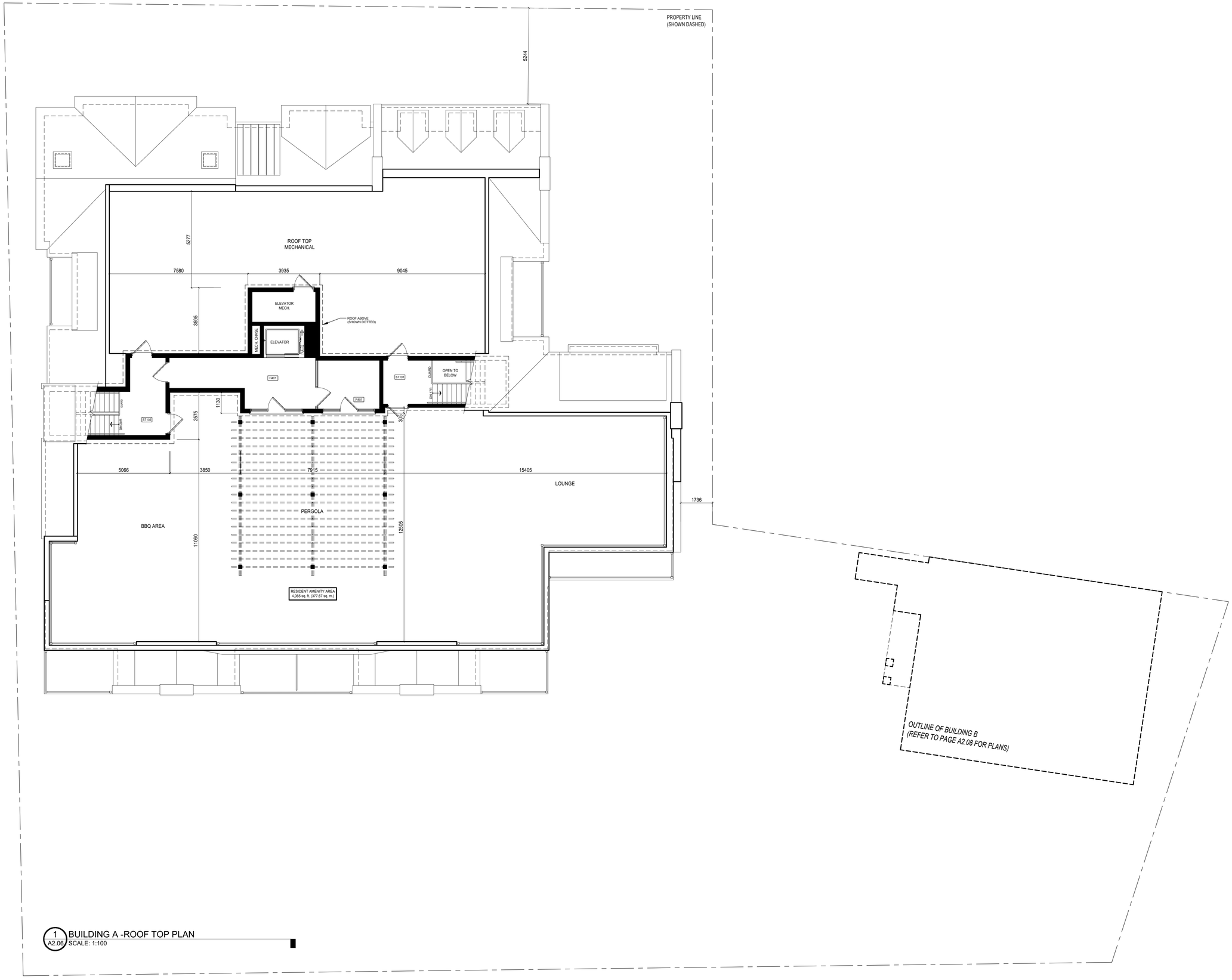

1 A2.06 BUILDING A -ROOF TOP PLAN
SCALE: 1:100

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Project:
MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title:
BUILDING A-
ROOF TOP PLAN

Drawn by: PS/KR	Checked by: XX
Project No: 19-19	Page: A2.06
Scale: AS NOTED	

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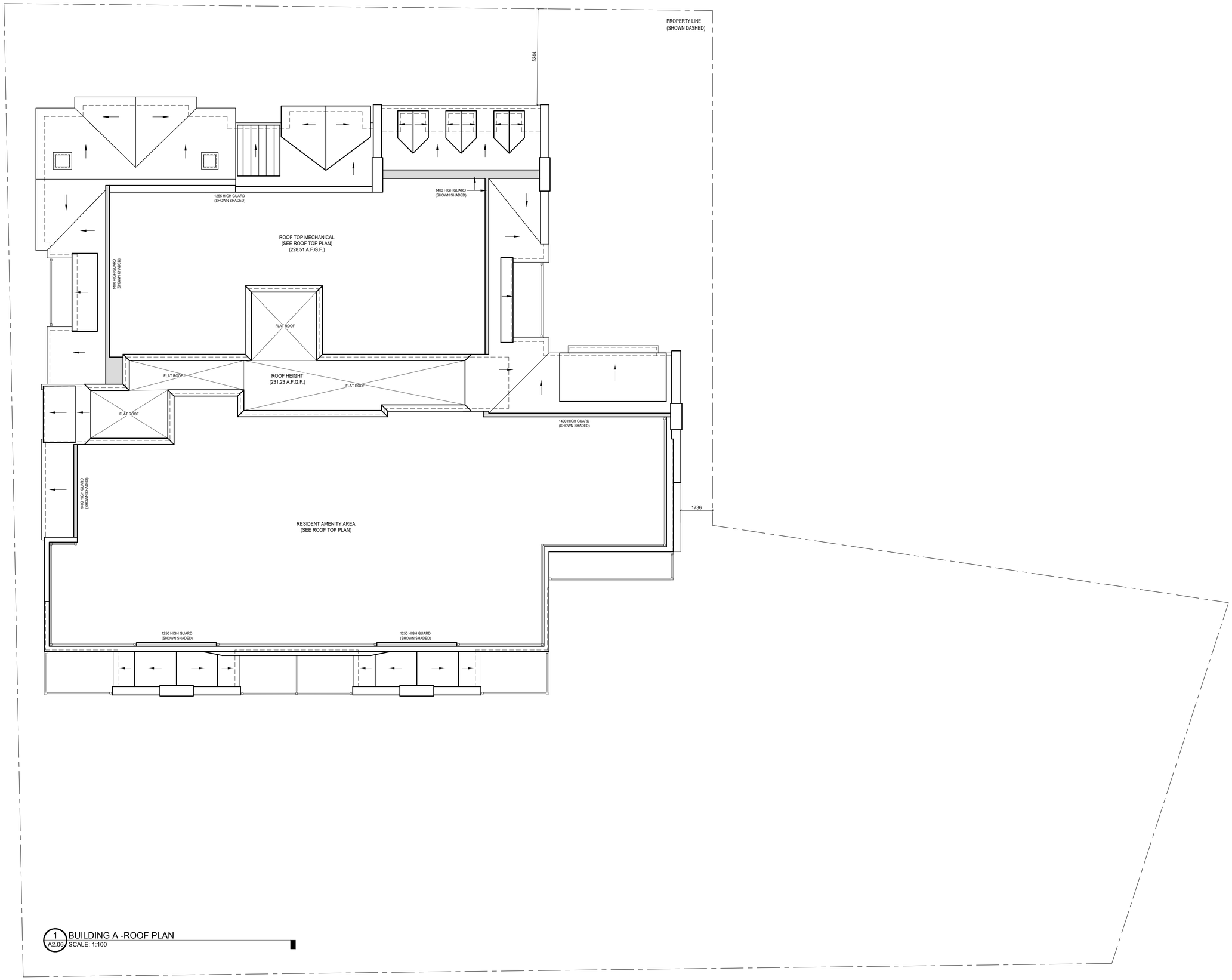

1 A2.06 BUILDING A -ROOF PLAN
SCALE: 1:100

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PROJECT NORTH

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Sheet Title: BUILDING A-
ROOF PLAN

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Scale: AS NOTED	

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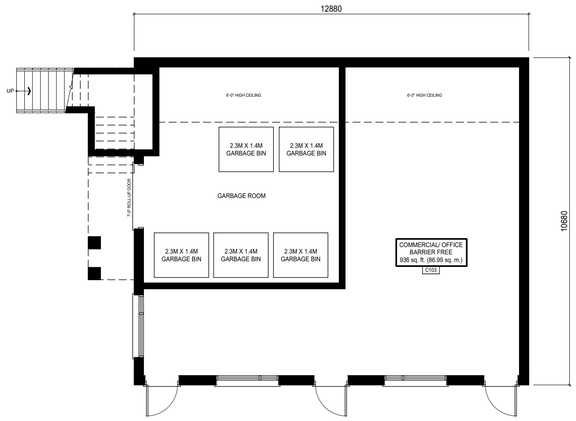
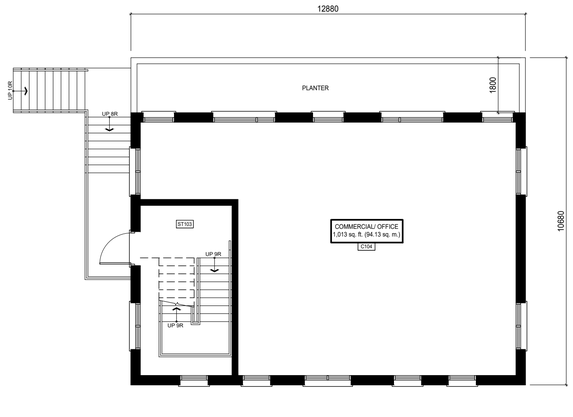


1 A2.08 BUILDING B -GROUND FLOOR PLAN
SCALE: 1:100



2 A2.08 BUILDING B -SECOND FLOOR PLAN
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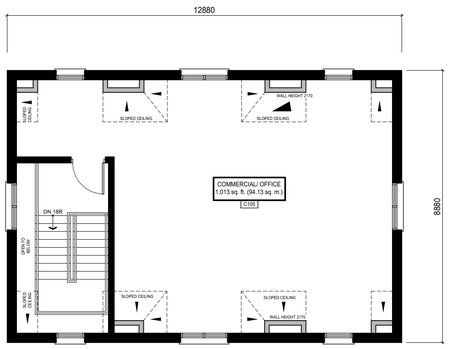
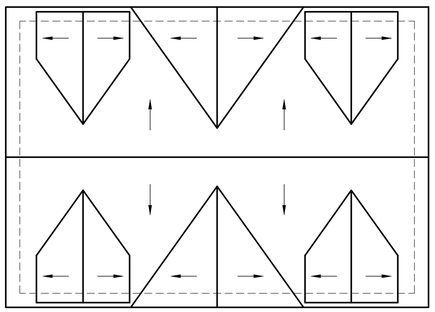


3 A2.08 BUILDING B -THIRD FLOOR PLAN
SCALE: 1:100



4 A2.08 BUILDING B -ROOF PLAN
SCALE: 1:100

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title: BUILDING B FLOOR PLANS

Drawn by: PS/KR	Checked by: XX
Project No: 19-19	Page: A2.08
Scale: AS NOTED	

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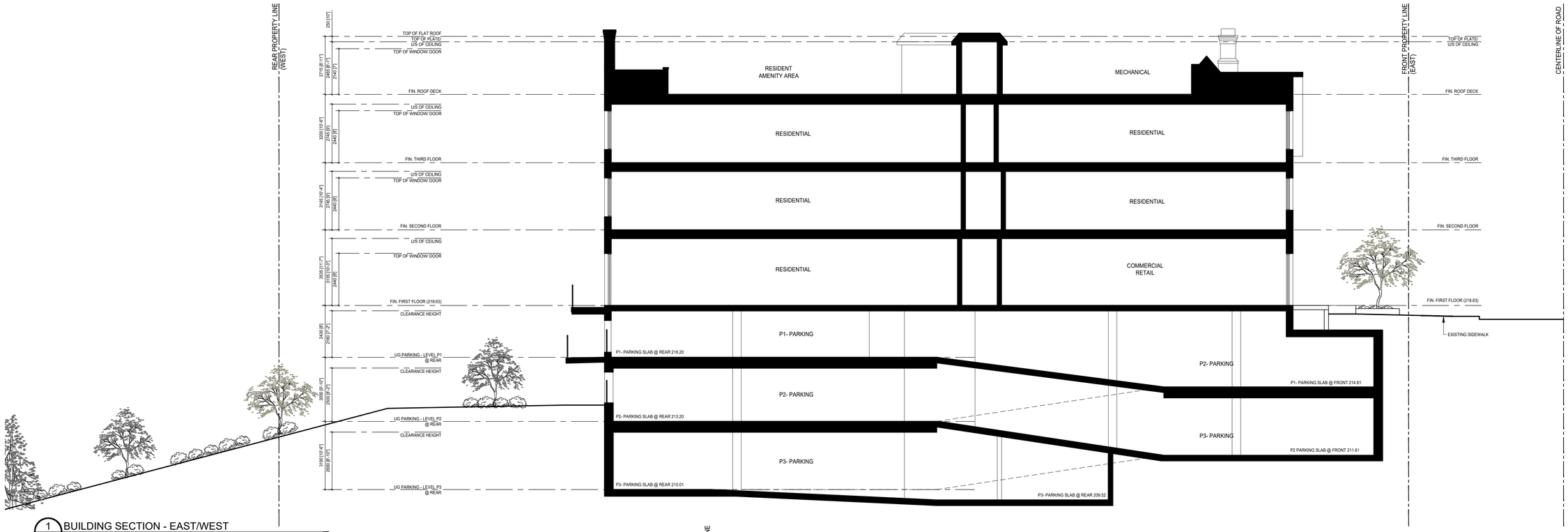
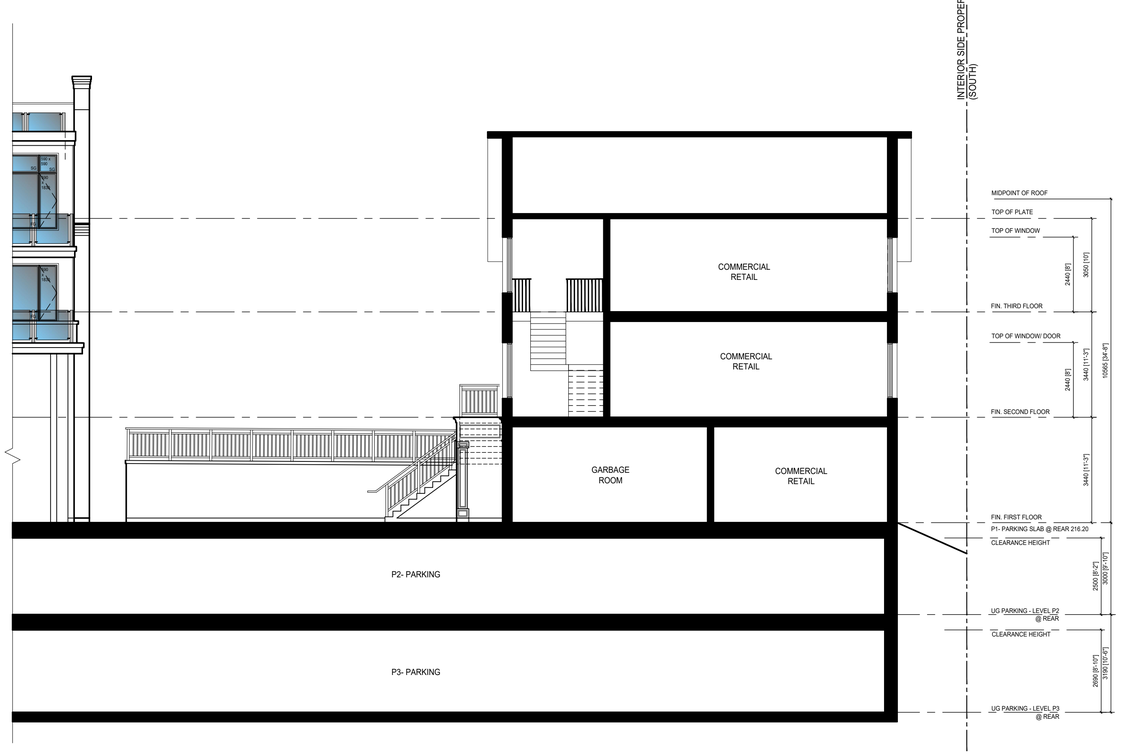


1 A4.00 BUILDING SECTION - EAST/WEST
SCALE: 1:100



2 A4.00 BUILDING SECTION - NORTH/SOUTH
SCALE: 1:100

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10	OCT 23, 20	ISSUED FOR SPA

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Project: MIXED USE DEVELOPMENT
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CITY OF VAUGHAN

Sheet Title: SITE/ BUILDING SECTIONS

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Project No:	19-19	Page	A4.01
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1 A3.00 BUILDING A -NORTH ELEVATION
SCALE: 1:100

EXTERIOR ELEVATION NOTES

REFER TO EXTERIOR FINISH SCHEDULE FOR COLOURS

1. ASPHALT SHINGLES. CERTAINTEED, GRAND MANOR- GATE HOUSE SLATE. OR EQUIVALENT
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13. ALUMINUM WINDOWS, DOORS AND PANELING. COMMERCIAL BROWN COLOUR. OR EQUIVALENT
14. ALUMINUM SHUTTERS. BUCHNER MANUF. LOUVERED SHUTTERS - 14" - BLACK COLOUR . OR EQUIVALENT

2 A3.00 BUILDING A -EAST ELEVATION
SCALE: 1:100

ATTACHMENT 5

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title: BUILDING A- NORTH/ EAST ELEVATIONS

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1 A3.01 BUILDING A -SOUTH ELEVATION
SCALE: 1:100

EXTERIOR ELEVATION NOTES

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14. ALUMINUM SHUTTERS. BUCHNER MANUF. LOUVERED SHUTTERS - 14" - BLACK COLOUR . OR EQUIVALENT

2 A3.01 BUILDING A -WEST ELEVATION
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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
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CITY OF VAUGHAN

Sheet Title: BUILDING A- SOUTH/ WEST ELEVATIONS

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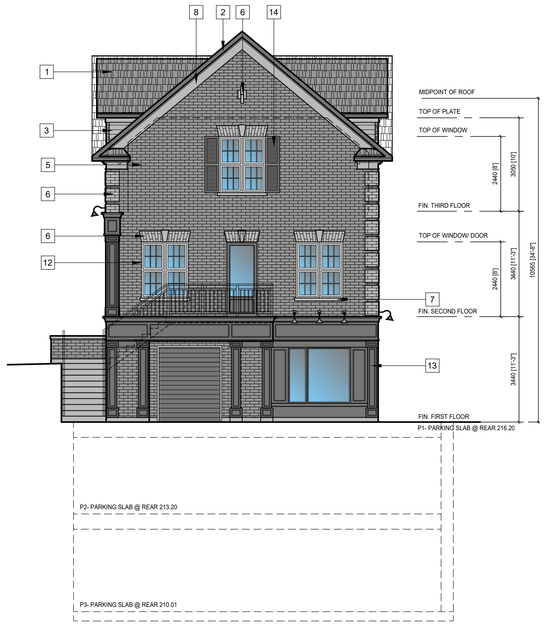
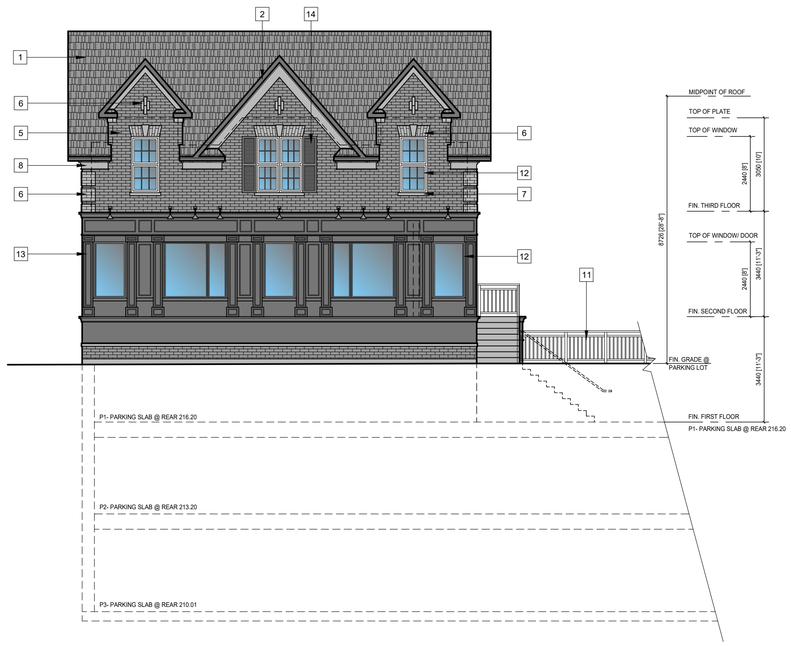
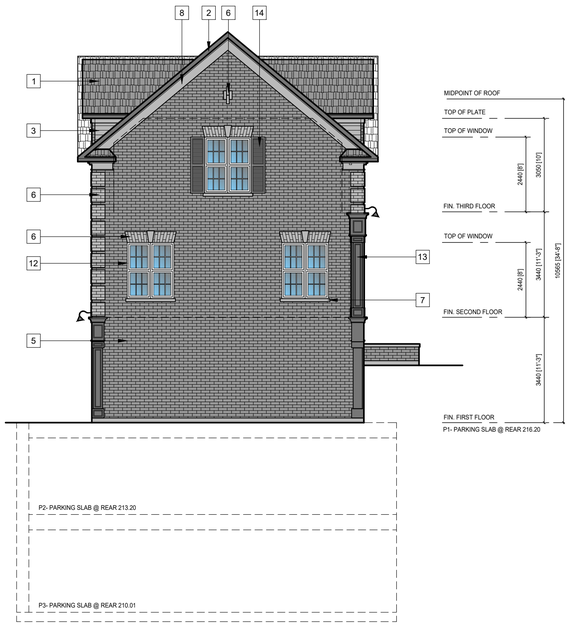


1 A3.02 BUILDING B -NORTH ELEVATION
SCALE: 1:100



2 A3.02 BUILDING B -EAST ELEVATION
SCALE: 1:100



3 A3.02 BUILDING B -SOUTH ELEVATION
SCALE: 1:100

4 A3.02 BUILDING B -WEST ELEVATION
SCALE: 1:100

EXTERIOR ELEVATION NOTES

REFER TO EXTERIOR FINISH SCHEDULE FOR COLOURS

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
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CITY OF VAUGHAN

Sheet Title: BUILDING B ELEVATIONS

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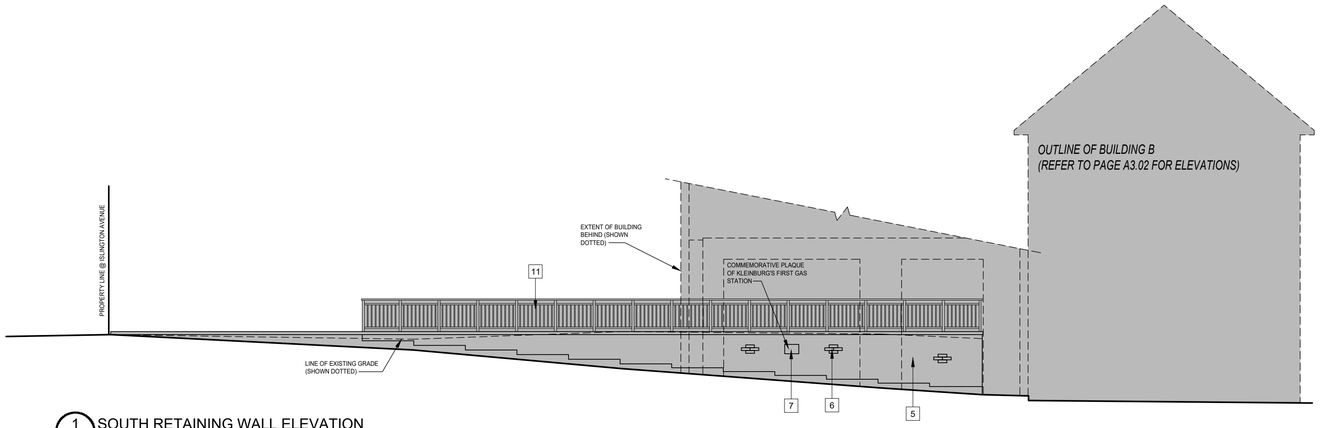

1 A4.00 SOUTH RETAINING WALL ELEVATION
SCALE: 1:100

EXTERIOR ELEVATION NOTES

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TRUE NORTH | PROJECT NORTH

Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title: PARTIAL ELEVATIONS

Drawn by: PS/KR	Checked by: XX
Project No: 19-19	Page: A4.00
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ATTACHMENT 6

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05	APR. 3, 20	ISSUED SITE PLAN SUBMISSION
06	APR. 16, 20	REVISED & RE-ISSUED
07	MAY 11, 20	ISSUED FOR SPA #4
08	AUG 24, 20	REVISED PER TRCA COMMENTS
09	SEPT 24, 20	REVISED FRONT LANDSCAPING
10	OCT 23, 20	ISSUED FOR SPA

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

TRUE NORTH

PROJECT NORTH

Client:
KLEINBURG MILLS INC.

Project:
MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

20 RIVERMEDE RD. UNIT 101, CONCORD, ONTARIO, L4K 3N3
PHONE: (416) 663-0111 FAX: 1 (866) 602-1163. WWW.IANROBERTSONDESIGN.CA

ATTACHMENT 7

1 A5.00 EXTERIOR FINISH SCHEDULE
N.T.S.

PYLONS architecture inc.
Architecture • Interior Design • Project Management
T | 647-280-7310 E | info@pylonsai.ca W | www.pylonsai.ca
A | 113 King William Crescent, Richmond Hill, Ontario, Canada

IANROBERTSONDESIGN

ISSUE TABLE

01	JAN. 10, 20	ISSUED FOR COORDINATION
02	JAN. 21, 20	ISSUED FOR COORDINATION
03	FEB. 14, 20	ISSUED FOR DISCUSSION
04	MAR. 4, 20	ISSUED FOR REVIEW
05	APR. 3, 20	ISSUED SITE PLAN SUBMISSION
06	APR. 16, 20	REVISED & RE-ISSUED
07	MAY 11, 20	ISSUED FOR SPA #4
08	AUG 24, 20	REVISED PER TRCA COMMENTS
09	SEPT 24, 20	REVISED FRONT LANDSCAPING
10	OCT 23, 20	ISSUED FOR SPA

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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DO NOT SCALE DRAWINGS.

TRUE NORTH | PROJECT NORTH

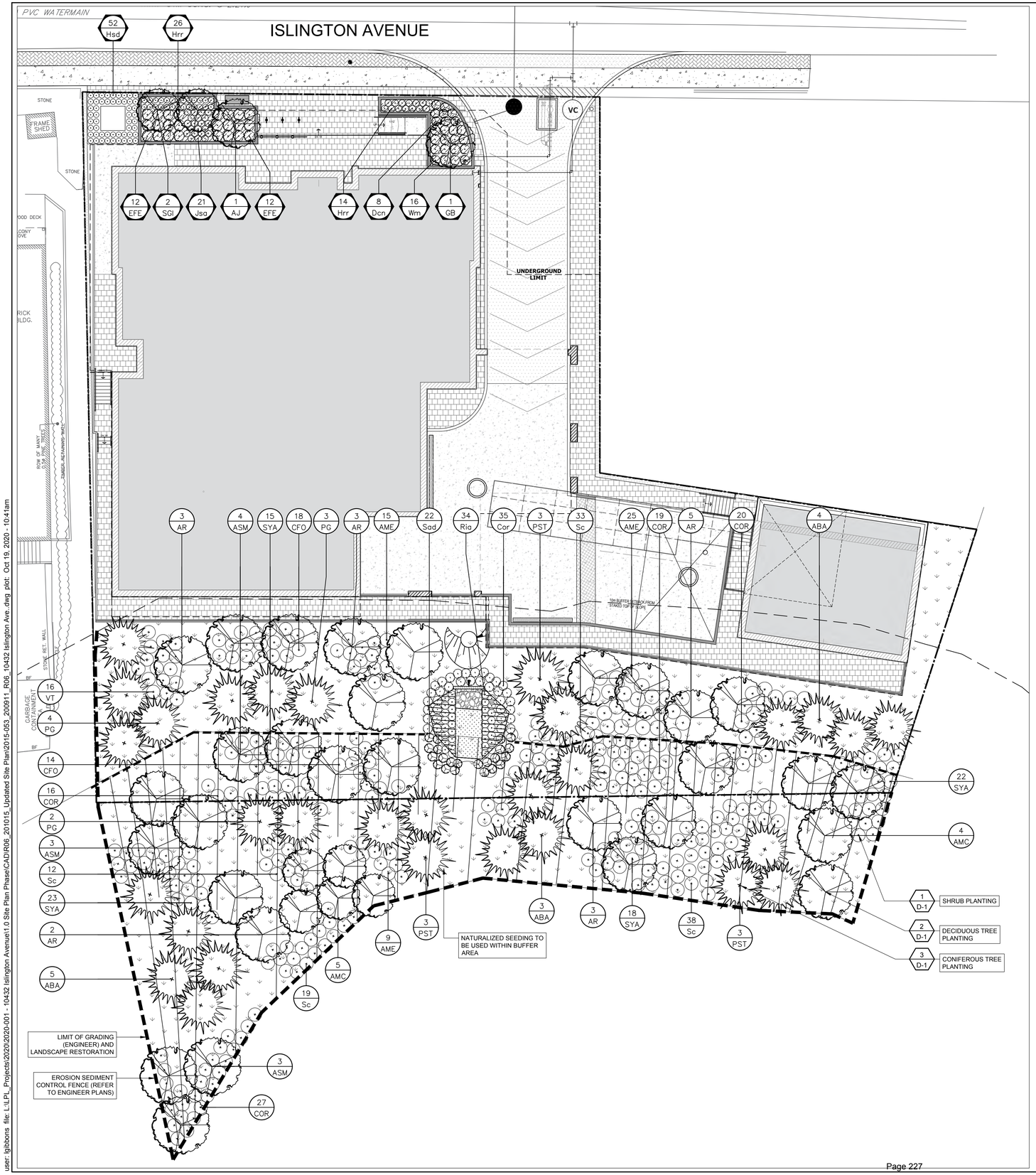
Client: KLEINBURG MILLS INC.

Project: MIXED USE DEVELOPMENT
10432 & 10422 ISLINGTON AVE.
CITY OF VAUGHAN

Sheet Title: EXTERIOR FINISH SCHEDULE

Drawn by: PS/KR	Checked by: XX
Project No: 19-19	Page: A5.00
Scale: AS NOTED	

20 RIVERMEDE RD., UNIT 101, CONCORD, ONTARIO, L4K 3N3
PHONE: (416) 663-0111; FAX: 1 (866) 602-1163; WWW.IANROBERTSONDESIGN.CA



STREETSCAPE PLANTING

QNT / KEY

Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
1	AJ	Acer palmatum	Japanese Maple	60mm	-	W.B.	-	-
1	GB	Gingko biloba	Maidenhair Tree	60mm	-	W.B.	-	-
2	SGI	Syringa reticula "Ivory Silk"	Ivory Silk Tree Lilac	60mm	-	W.B.	-	-
8	Dcn	Deutzia crenata "Nikko"	Dwarf Nikko Deutzia	-	50CM	3 GAL.	-	-
16	Wm	Weigela florida "Minuet"	Minuet Weigela	-	50CM	3 GAL.	-	-
24	EFE	Euonymus fortunei "Emerald Gaiety"	Emerald Gaiety Euonymus	-	60CM	3 GAL.	-	-
21	Jsa	Juniperus sabina 'Arcadia'	Arcadia Juniper	-	50CM	3 GAL.	-	-
40	Hrr	Hemerocallis "Rosy Returns"	Rosy Returns Daylily	-	-	1 GAL.	-	-
52	Hsd	Hemerocallis 'Stella D'oro'	Stella d'Oro Daylily	-	-	1 GAL.	-	-

RESTORATION PLANTING

QNT / KEY

DECIDUOUS / CONIFEROUS TREES (NATIVE)

Count	KEY	BOTANICAL NAME	COMMON NAME	SPREAD	CALIPER	HEIGHT	ROOT	NOTE
12	ABA	Abies balsamea	Balsam Fir	-	-	150	W.B.	UNCLIPPED
9	AMC	Amelanchier canadensis	Serviceberry	-	-	200	10 GAL.	-
16	AR	Acer rubrum	Red Maple	-	45	-	W.B.	-
10	ASM	Acer saccharinum	Silver Maple	-	45	-	W.B.	-
9	PG	Picea glauca	White Spruce	-	-	150	W.B.	UNCLIPPED
9	PST	Pinus strobus	White Pine	-	-	200	W.B.	UNCLIPPED

DECIDUOUS SHRUBS (NATIVE)

49	AME	Aronia melanocarpa	Black Chokeberry	60	60	POT	-
32	CFO	Cornus racemosa	Gray Dogwood	60	60	POT	-
82	COR	Cornus stolonifera	Red Osier Dogwood	60	60	POT	-
35	Cor	Cornus stolonifera	Red Osier Dogwood	60	60	POT	-
34	Ria	Ribes americana	Wild Black Currant	60	60	POT	-
22	Sad	Salix discolor	Pussy Willow	60	60	POT	-
102	Sc	Sambucus canadensis	Common Elderberry	60	60	POT	-
78	SYA	Symphoricarpos albus	Snowberry	60	60	POT	-
16	VT	Viburnum trilobum	High Bush Cranberry	60	60	POT	-

GENERAL CONSTRUCTION NOTES:

1. Contractor shall verify all dimensions and site conditions before proceeding with the work, and report any discrepancies to the Landscape Architect before proceeding. No allowance shall be made on behalf of the Contractor for failure to do so.
2. Landscape Architect is not responsible for accuracy of survey or engineering drawings. Refer to appropriate drawings before proceeding with the work.
3. All existing utilities shown on the drawings are for reference purposes only. Contractor shall be responsible for verifying and staking out the location of all existing utilities and services. Contractor shall give utilities advance notice prior to digging and shall assume all liabilities of damage during construction. All construction to be carried out in accordance with the most current design criteria standards and specifications.
4. Contractor shall establish all property boundaries and corner stakes, and shall be responsible for all costs of re-establishing them should they be disturbed.
5. Contractor shall review existing grades and report any discrepancies to the landscape architect. Commencement of grading shall constitute acceptance of existing grades.
6. Contractor shall notify Landscape Architect 48 hours prior to commencement of work to coordinate inspection schedules.
7. Contractor to confirm physical layout of all landscape and plantings with Landscape Architect before proceeding.
8. Construction must conform to all applicable Codes and Regulations of all authorities having jurisdiction.
9. Refueling, lubrication and/or maintenance of construction vehicles is not permitted on site unless approved by the owner in writing.
10. Contractor shall be responsible for any damage to existing streets, sidewalks, structures, and mature trees to remain during construction of this project and shall repair such damage to the satisfaction of the owner and the municipality at no additional cost.
11. No machine access or grade changes are permitted within the drip line of existing trees. Any roots or branches which extend beyond the tree protection hoarding indicated on this plan which require pruning, must be done in accordance with good aboricultural standards. Any excavations within the drip line must be hand dug. Contractor to remove and dispose hoarding fencing upon construction completion.
12. The Contractor, upon acceptance of the contract, assumes complete responsibility and liability for the job site during the course of construction, and will ensure public safety and cleanliness of municipal roads near the site.
13. All drawings, specifications and related documents are the copyright of the Landscape Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in whole or in part is forbidden without the Landscape Architect's permission. Drawings are not to be scaled.
14. Contractor responsible for the removal and off site disposal of all materials as required to facilitate new construction.

PLANT PERFORMANCE:

1. All plant material shall be nursery stock conforming to the latest edition of the Canadian Standards for Nursery Stock as published by the Canadian Nursery Landscape Association.

2. All plants shall be healthy, vigourous plants, free from defects, decay, disfiguring roots, sun-scald injuries, bark abrasions, plant diseases and pests and all forms of infestations or objectionable disfigurements.

3. All plants shall be true to name, size, condition and quantity as per plan and plant list specifications.

4. All plant material shall be unwrapped prior to inspection. The Landscape Architect reserves the right to inspect all plant material and reject all material that does not meet the standards listed herein.

5. Substitutions will not be accepted without prior written request by the consulting Landscape Architect . Additional plant quantities will be required to compensate for approved reduction in size due to unavailability of materials, to the satisfaction of the Landscape Architect.

6. All trees shall be open-grown for wind-firmness. Trees shall not be leaning or have significant sweep, crook or bend. Deciduous trees shall have approximately two-thirds of their total height in living branches. All trees shall have good crown shape and colour (evergreens) characteristic of their species. Trees shall have a single dominant leader with no side branches taller / longer than the main leader.

7. If required, trees shall be properly target pruned (never flush cut, trimmed, rounded-over, hedged, tipped or topped) and dead / damaged branches shall be removed. Branches that cross-over each other or rub against each other, co-dominant leaders, and branches growing upward inside the crown shall be properly pruned. Trees shall not be treated at any time with wound paint.

8. All trees shall have root ball sizes that meet or exceed nursery standards. Root balls shall be firm and structurally integral with the trunk.

9. Shrubs and ground covers shall have full, well branched crowns typical of species or variety. Root systems shall be ample, well-balanced and fibrous, capable of sustaining vigorous growth. Plants that are weak or thin, undersized, or have been cut back from larger grades to meet specifications shall be rejected.

10. All sod shall be Turfgrass Nursery Sod conforming to the latest specifications of the Ontario Sod Association and the the Nursery Sod Growers Association.

Seeding Notes:

Where required for the purposes of rehabilitation: areas shall be seeded in the spring or fall at 22kg - 25kg/1000 sq. m. To be applied with a nurscrop of perennial ryegrass applied at 22kg/1000 sq. m., ensure shredded compost a minimum depth of 50mm is applied using "express blower supplemental seed injection system" by Hermanns Contracting (905) 939-1230 or approved equal.

Upland Seeding:

SEED MIX BY ONTARIO SEED COMPANY LTD.
(519-886-0557) OR APPROVED EQUAL.

25% Sand Dropseed
10% Little Bluestem
30% Canada Wild Rye
16% Black Eyed Susan
5% Blue Violet (Viola odorata)
1% Wild Bergamot
5% Primrose
7% Showy Tick Trefoil
1% Sky Blue Aster

Sow at rate of 28.6 to 30.8 kg/ha with a nurse crop of perennial Canada Wild Rye at 26 to 28 kg/ha.

ATTACHMENT 8

LEGEND:

- ASPHALT PAVING
- CONCRETE PAVING
- UNIT PAVING
- PROPOSED BLACK VINYL CHAIN LINK FENCE
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUBS
- SEED AREA

no.	revision	date	by
R8	UPDATED SITE PLAN	2020-10-15	LG
R7	UPDATED SITE PLAN	2020-05-11	LG
R6	UPDATED SITE PLAN	2018-07-06	LG
R5	UPDATED SITE PLAN	2018-06-27	LG
R4	UPDATED SITE PLAN	2018-04-30	LG
R3	UPDATED SITE PLAN	3/20/2018	JR
R2	SUBMIT FOR REVIEW	NOV. 29, 2016	DB
R1	SUBMIT FOR REVIEW	OCT. 25, 2016	DB
R0	SUBMIT FOR REVIEW	NOV.27, 2015	DB

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reviewed by JS
drawn by LG

date JANUARY 2020

scale 1:150

drawing title
PLANTING PLAN

drawing number
L-2

client

project title
10432 ISLINGTON AVE.

COMMERCIAL / RETAIL

project number
2015-053

ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO
JOHN DE SHAW
OALA
OCT. 15, 2020
MEMBER

landscape planning
LANDSCAPE ARCHITECTS
Suite 207, 95 Mural Street, Richmond Hill, Ontario L4B 3G2,
Tel. 905.669.6838, www.landscapeplan.ca

user: bjibbons file: L:\LPL_Projects\2020\2020-001 - 10432 Islington Avenue\1.0 Site Plan Phase\CAD\R06_201015_Updated Site Plan\2015-053_200911_R06_10432 Islington Ave.dwg plot: Oct 19, 2020 - 10:41am

Tree Inventory and Arborist Report

prepared for: Landscape Planning Limited
regarding site:
10432 Islington Avenue.
City of Vaughan

prepared by:

THE URBAN ARBORIST

From the roots up.

The Urban Arborist INC.
P.O. BOX 74525 HUMBERTOWN CENTRE, ETOBICOKE ON. M9A 5E2
Tel: 416.833.6467
www.TheUrbanArborist.ca
Certified and Insured
"From the roots up."

ISA Certified Arborist Robert Rafal Lis Cert. # ON-1374A

February 15th, 2020

ATTACHMENT 9

THE URBAN ARBORIST
From the roots up.

The Urban Arborist INC.
P.O. BOX 74525 HUMBERTOWN CENTRE, ETOBICOKE ON. M9A 5E2
Tel: 416.833.6467
www.TheUrbanArborist.ca
Certified and Insured
"From the roots up."

February 15th, 2020

John Shank
Landscape Planning Limited
207- 95 Mural Street
Richmond Hill, ON.
L3B 3G2

Re: 10432 Islington Avenue. Vaughan, ON.

Species: (see attached Tree Inventory, Preservation and Removal Plan by Landscape Planning Limited)

Location: (see attached Tree Inventory, Preservation and Removal Plan by Landscape Planning Limited)

Nature of Work: Tagging and Inventory of existing trees within site limits and beyond 3m. Additional trees beyond slope included in study.

Summary: A total of 57 trees were tagged and inventoried. A total of 21 trees are greater than 20cm in diamater. There are a total of 28 trees proposed to be removed, 12 of which are greater than 20cm in diameter.

A site inspection was made on August 13th, 2015, March 20th, 2016, and later on November 20th, 2019 to tag and inventory all existing trees on the property and beyond to 3 meters. I hereby certify that all data collected on site is accurate.

Robert Rafal Lis
ISA Certified Arborist
No. ON-1374A

INTRODUCTION

The following Tree Inventory Report has been prepared for Landscape Planning Limited.
Site location is **10432 Islington Avenue. Vaughan, ON.**

The site is a residential property with two existing buildings. There is a large slope starting near the western property line that continues beyond property. All significant trees were tagged and inventoried. Information gathered was as follows.

1. Tag number
2. Species
3. Diameter (DBH)
4. Health and structural condition rating
5. Reason for poor rating

Health Rating Table

Very Poor 19%-0%	Tree displays severe dieback of branches, canopy is extremely sparse. May exhibit extreme pathogen infestation or infection. Or tree is dead.
Poor 39%-20%	Tree displays some dieback. Branches or canopy is sparse with little or no signs of new growth or vigor. Possible pathogen infestation or infection. Foliar canopy is sparse.
Average 59%-40%	Tree is developing in a manner typical to others in the area. Canopy is full.
Good 79%-60%	New growth is vigorous as evidenced by stem elongation and color. Canopy is dense.
Very Good 100% - 80%	In addition to the attributes of a good rating, tree is displaying extremely vigorous growth and trunk displays a pattern of vigor cracks or lines.

Structural Rating Table

Very Poor 19%-0%	Trunk has large pockets of decay, is bifurcated or has a severe lean. Limbs or branches are poorly attached or dead. Possible hazard.
Poor 39%-20%	Limbs or branches are poorly attached or developed. Canopy is not symmetrical. Trunk has a lean.
Average 59%-40%	Trunk, limb and branch development though flawed is typical of this species.
Good 79%-60%	Trunk is well developed with well attached limbs and branches; some flaws but are hardly visible.
Very Good 100%-80%	In addition to attributes of a a good rating, the tree exhibits a well developed root flare and a balanced canopy.

INTRODUCTION cont.

Factors assessed are as follows:

Trunk
- Cavities
- Mechanical injury
- Cracks
- Swollen/sunken areas
- Insects/disease
- Fungi

Foliage/Buds
- Size of foliage/buds
- Foliage colour
- Foliage injury
- Dieback

Small Branches/Twigs
- Vigour/growth rates
- Distribution
- Appearance
- Insects/disease
- Dieback

Scaffold Branches
- Attachments/included

Buds/foliage
- Insects/disease

Bark
- Taper
- Distribution
- Decay/cavities
- Deadwood
- Insects/disease

Roots
- Collar/flare
- Mechanical injury
- Girdling roots
- Insects/disease
- Decay/fungi

Guidelines of Preservation

1. Preserve, Protect & Maintain
Includes protection with tree preservation hoarding, as well as pre- and post-construction arboricultural works.

2. Preserve & Protect
Includes the installation of tree protection hoarding; no maintenance will be required unless specified in the recommendations.

3. Retain
No protection or maintenance measures are required. Installation of tree protection barriers is optional.

A total of 57 trees have been tagged and inventoried situated on private property.

10432 Islington Avenue. Vaughan, ON. Tree Inventory - February 15th, 2020

Tag #	Common Name	Botanical Name						Health Condition	Structural Condition	Notes	Crown Radius (m)	Recommendations	TPZ
434	Black Locust	Robinia pseudoacacia	16	x	13			Good	Good	Co-dominant, on slope	4	Remove	
435	Black Locust	Robinia pseudoacacia	14	x	10	x	8	Good	Good	Co-dominant, on slope	4	Remove	
436	Black Locust	Robinia pseudoacacia	14					Good	Good	On slope	4	Remove	
437	Manitoba Maple	Acer negundo	16					Average	Average	On slope	5	Remove	
438	Black Walnut	Juglans nigra	54	x	34			Average	Average	Co-dominant, on slope	8	Remove	
439	Manitoba Maple	Acer negundo	27					Average	Average	On slope	3	Remove	
440	Siberian Elm	Ulmus pumila	38	x	40			Average/Poor	Average/Poor	Storm damage, deadwood, growing into neighbourin tree, rubbing	8	Remove	
441	Siberian Elm	Ulmus pumila	27					Average/Poor	Average/Poor	Storm damage, deadwood, growing into neighbourin tree, rubbing	4	Remove	
442	Norway Maple	Acer platanoides	6					Good	Good	Neighbours tree	2	Retain	1.2
443	Norway Maple	Acer platanoides	11					Good	Good	Neighbours tree	2	Retain	1.8
444	Siberian Elm	Ulmus pumila	19					Average	Average	Neighbours tree	5	Retain	1.8
445	Siberian Elm	Ulmus pumila	23					Average	Average	Neighbours tree	5	Retain	1.8
446	Norway Maple	Acer platanoides	5					Good	Good	Neighbours tree	2	Retain	1.2
447	Siberian Elm	Ulmus pumila	10					Average	Average	Neighbours tree	2	Retain	1.8
448	Norway Maple	Acer platanoides	15					Average	Average	Neighbours tree	3	Retain	1.8
449	Siberian Elm	Ulmus pumila	14					Average	Average	Neighbours tree	2	Retain	1.8
450	Siberian Elm	Ulmus pumila	26					Average	Average	Neighbours tree, storm damage, deadwood	5	Retain	1.8
451	Siberian Elm	Ulmus pumila	24					Average	Average	Neighbours tree, Co-dominant, leaning south eas	5	Retain	1.8
452	Norway Maple	Acer platanoides	12					Average	Average	Neighbours tree, crowded crowr	2	Retain	1.8
453	Siberian Elm	Ulmus pumila	78					Average	Average	Neighbours tree, Co-dominanan	6	Retain	4.8
454	Siberian Elm	Ulmus pumila	25					Average	Average	Neighbours tree	3	Retain	1.8
455	Norway Maple	Acer platanoides	15					Average	Average	Neighbours tree	3	Retain	1.8
456	Siberian Elm	Ulmus pumila	10					Average	Average	Neighbours tree	2	Retain	1.8
457	Norway Maple	Acer platanoides	8					Average	Average	Neighbours tree	2	Retain	1.2
458	Siberian Elm	Ulmus pumila	14					Average	Average	Neighbours tree	2	Retain	1.8
459	Norway Maple	Acer platanoides	9					Average	Average	Neighbours tree	2	Retain	1.2
460	Norway Maple	Acer platanoides	14					Average	Average	Neighbours tree	2	Retain	1.8
461	Manitoba Maple	Acer negundo	24	x	15			Average	Average	Neighbours tree	3	Retain	1.8
462	Norway Maple	Acer platanoides	12					Average	Average	Neighbours tree	2	Retain	1.8
Additional Trees Beyond Slope 30m													
301	Black Walnut	Juglans nigra	46					Average	Average	Beside tree 438	8	Remove	
302	Black Walnut	Juglans nigra	44					Average	Average	Behind tree 301	4	Remove	
303	Black Walnut	Juglans nigra	14					Average	Average	Near apex of proposed re-planting limi	2	Retain	1.8
304	Black Walnut	Juglans nigra	68					Average	Average	Co-dominant at first unior	9	Retain	4.2
305	White Ash	Fraxinus americana	14					Average	Average		2	Retain	1.8
306	Manitoba Maple	Acer negundo	14					Average	Average		1	Retain	1.8
307	White Ash	Fraxinus americana	12					Average	Average		2	Remove	
308	Black Walnut	Juglans nigra	23					Average	Average	Bottom of main slope	5	Remove	
309	Manitoba Maple	Acer negundo	22					Poor	Poor	Broken Crown, bottom of main slope	2	Remove	
310	Black Walnut	Juglans nigra	46					Good	Good	Bottom of main slope	8	Remove	
311	Black Walnut	Juglans nigra	14					Average	Average		3	Retain	1.8
312	Black Walnut	Juglans nigra	13					Average	Average		2	Retain	1.8
313	Black Walnut	Juglans nigra	38					Average	Average	Some Crown Breakage	5	Retain	2.4
314	Black Walnut	Juglans nigra	43					Dead	Dead	Dead	3	Remove	
315	Black Walnut	Juglans nigra	25					Average	Average	Dead neighbouring tree in crowr	6	Remove	
316	Manitoba Maple	Acer negundo	18					Poor	Average	Broken Crown	2	Remove	
317	Manitoba Maple	Acer negundo	26					Average	Average	Beside Storm Drain, Covered in Vines	4	Retain	1.8
318	Manitoba Maple	Acer negundo	14					Average	Average	In the middle of main slope	2	Remove	
319	Manitoba Maple	Acer negundo	17					Very Poor	Very Poor	Near bottom of slope	2	Remove	
320	Manitoba Maple	Acer negundo	23					Average	Average	Split union near base / Faller	3	Remove	
321	Manitoba Maple	Acer negundo	19					Average	Average		2	Remove	
322	Manitoba Maple	Acer negundo	19					Average	Average		2	Remove	
323	Manitoba Maple	Acer negundo	16					Average	Average	Near bottom of main slope	2	Remove	
324	Siberian Elm	Ulmus pumila	15					Average	Average		2	Remove	
325	Siberian Elm	Ulmus pumila	15					Average	Average	Broken Crown / On main slope near bottor	2	Remove	
326	Siberian Elm	Ulmus pumila	15					Average	Average	On main slope	2	Remove	
327	Siberian Elm	Ulmus pumila	18	x	14			Average	Average		2	Remove	
328	White Ash	Fraxinus americana	15					Dead	Dead		2	Remove	

Heritage Vaughan Committee Report

DATE: Wednesday, February 17, 2021 **WARD(S):** 1

TITLE: MAPLE HERITAGE CONSERVATION DISTRICT PLAN UPDATE – DRAFT STUDY PRESENTATION OF THE FIRST PHASE

FROM:
Jim Harnum, City Manager

ACTION: FOR INFORMATION

Purpose
To provide the current status and information to Heritage Vaughan Committee regarding the Maple Heritage Conservation District Plan Update as the first phase of the Study nears completion.

Report Highlights
- The current Maple Heritage Conservation District Plan was drafted and implemented in 2007
- The current Maple Heritage Conservation District Plan is being updated to respond to policy and legislative changes since its original adoption
- The Maple Heritage Conservation District Plan Update project is comprised of two phases being the Study, and the Plan.

Recommendations
1. That the information outlined in this report and the consultant presentation on the draft Study of the Maple Heritage Conservation District Plan Update set out in Attachment 1 be RECEIVED.

Background
A Heritage Conservation District Study and Plan for the town of Maple were prepared in 2007 by Philip Carter and Paul Oberst. Since that time there have been a number of policy and legislative changes which have and continue to influence planning decisions. In February 2020, the City of Vaughan commenced a comprehensive update to the

2007 Maple Heritage Conservation District ('MHCD') Plan. The project is being undertaken in two phases. The first phase is an update to the MHCD Study, and phase two is comprised of the update to the 2007 MHCD Plan, including the design guidelines. This report provides an update of the first phase of work.

Previous Reports/Authority

There are no previous reports.

Analysis and Options

The 2007 MHCD Plan has provided high-level guidance for development activity in the town of Maple for the last 13 years to protect and conserve the MHCDs heritage and character, amidst the many regulatory and policy changes introduced by the Province of Ontario.

The first phase of the MHCD Plan Update is the update to the Study. The MHCD Study process commenced in Q2 2020, with review and mapping of the heritage resources inventory, site walks, Townscape survey, background study and policy review, and the Strengths, Weaknesses, Opportunities and Threats ('SWOT') analysis of the 2007 MHCD Plan.

A public stakeholder meeting was hosted online on January 26, 2021. The input received, along with the evaluation and gap analysis of the 2007 MHCD Plan, will guide the updated MHCD draft Study. The draft Study will also be made available online for digital engagement with the community. The comments received from all stakeholders will contribute to the compilation of the final MHCD Study report expected in Q2 2021.

The second phase, the MHCD Plan Update, is planned to commence in Q3 2021 and will include an additional open house and a digital engagement platform. The final MHCD Plan is expected to be completed in Q4 2021.

The purpose of the MHCD Plan update is to build upon the existing MHCD Plan's past successes and respond to a changing legislative environment, strengthen the heritage policies and conservation tools based on the community's long-term vision. Key objectives of the MHCD Study update include the following:

- develop maps of existing cultural heritage resources
- undertake a SWOT analysis of the 2007 MHCD Plan
- develop a list of heritage attributes
- integrate new background context for the Study, including policy frameworks, performance-based design guidelines and plans
- engage key stakeholders and the community in an open, transparent and meaningful way, incorporating their feedback into the SWOT analysis

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The MHCD Plan is being updated to build upon the existing MHCD Plan's past successes and respond to a changing legislative environment, strengthen the heritage policies and conservation tools based on the community's long-term vision. Cultural Heritage staff recommend that the Heritage Vaughan Committee receive the draft Study and presentation regarding the MHCD Plan update.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, Development Planning, ext. 8191

Attachments

Web link to draft Study Report to be provided by consultants (to be provided prior to the meeting)

Prepared by

Nick R. Borcescu, Senior Heritage Planner, Development Planning, ext 8191
Rob Bayley, Manager of Urban Design and Cultural Services, Development Planning, ext 8254
Bill Kiru, Acting Director of Development Planning, ext. 8633